

# Manhattan Community Board 4

(All Fields Must Be Completed)

|   |  |  |                                     |    |
|---|--|--|-------------------------------------|----|
| APPLICANT   |  | DOING BUSINESS AS (DBA)  |                                     |    |
| Speak Integrated Corp.  |  |  |                                     |    |
| STREET ADDRESS  |  | CROSS STREETS  |                                     |    |
| 167-169 9 <sup>th</sup> Avenue  |  | 20 <sup>th</sup> Street  |                                     |    |
| OWNER   | NAME:  | Kristin Solenne  | ATTORNEY                            |    |
|   | PHONE:   | 714-932-2256   |                                     |    |
|   | FAX:   | 212-944-1231   |                                     |    |
| MANAGER   | NAME:  |  | LANDLORD                            |    |
|   | PHONE:   |  |                                     |    |
|   | FAX:   |  |                                     |    |
| NAME:   |  | Warren Pesestky  |                                     |    |
| PHONE:  |  | 212-513-1988   |                                     |    |
| FAX:  |  | 212-385-0564   |                                     |    |
| NAME:   |  | LMS Realty   |                                     |    |
| PHONE:  |  | 212-874-0035   |                                     |    |
| FAX:  |  | 212-874-5609   |                                     |    |
| DESCRIPTION OF BUSINESS   |  |  |                                     |    |
| Establishment Type:   | <input type="radio"/> Bar/Tavern <input type="radio"/> Bed & Breakfast <input type="radio"/> Eating Place Beer <input type="radio"/> Cabaret <input type="radio"/> Night Club <input type="radio"/> Hotel <input checked="" type="radio"/> <b>Restaurant</b> |  |                                     |    |
|   | <input type="radio"/> Catering Establishment <input type="radio"/> Club (Fraternal Organization – Members Only) <input type="radio"/> Other (Explain):   |  |                                     |    |
| Method of Operation:  | <input checked="" type="radio"/> <b>Restaurant</b> <input type="radio"/> Dance Club <input type="radio"/> Sports Bar <input type="radio"/> Adult Entertainment <input type="radio"/> Wine Bar <input type="radio"/> Pizzeria <input type="radio"/> Cafe      |  |                                     |    |
|   | <input type="radio"/> Other (Explain):   |  |                                     |    |
| License Type:   | <input checked="" type="radio"/> <b>On-Premise</b> <input type="radio"/> Wine <input type="radio"/> Beer <input type="radio"/> Wine & Beer   |  |                                     |    |
| <b>APPLICATION TYPE</b><br>(check one)                                    | <input type="radio"/> <b>New</b>   | Has applicant owned or managed a similar business?   | YES                                 | NO |
|   |  | What is/was the name of establishment?   |                                     |    |
|   |  | What is/was the address of the establishment?  |                                     |    |
|   |  | What were the dates the applicant was involved with this former premise?                           |                                     |    |
|   | <input type="radio"/> <b>Transfer</b>  | What is the prior license #?   |                                     |    |
|   |  | What is the expiration date on the prior license?  |                                     |    |
|   |  | Are you making any alterations or operational changes?   | YES                                 | NO |
|   |  | <i>If alterations or operational changes are being made, please attach the plans to this form.</i> |                                     |    |
|   | <input checked="" type="radio"/> <b>Alteration</b>   | What is the current license #?   | <b>1253082 – License is pending</b> |    |
|   |  | What is the expiration date on the current license?  |                                     |    |
| <i>Please describe the nature of the alterations and attach the plans</i> |  | <b>See Additional Notes Section</b>  |                                     |    |

| OPERATIONAL ISSUES   |   |   |                     |                    |                                   |                               |                               |                       |                     |  |
|--|---|---|---------------------|--------------------|-----------------------------------|-------------------------------|-------------------------------|-----------------------|---------------------|--|
| HOURS  |   | MONDAY  | TUESDAY             | WEDNESDAY          | THURSDAY                          | FRIDAY                        | SATURDAY                      | SUNDAY                |                     |  |
|  | Operation                                 | 12 p.m. – 12 a.m.   | 12 p.m. – 12 a.m.   | 12 p.m. – 12 a.m.  | 12 p.m. – 12 a.m.                 | 12 p.m. – 12 a.m.             | 12 p.m. – 12 a.m.             | 12 p.m. – 12 a.m.     | 12 p.m. – 12 a.m.   |  |
|  | Music                                     | 1 p.m. – 10 p.m.  | 1 p.m. – 10 p.m.    | 1 p.m. – 10 p.m.   | 1 p.m. – 10 p.m.                  | 1 p.m. – 10 p.m.              | 1 p.m. – 10 p.m.              | 1 p.m. – 10 p.m.      | 1 p.m. – 10 p.m.    |  |
|  | Kitchen                                   | 11 a.m. – 12 a.m.   | 11 a.m. – 12 a.m.   | 11 a.m. – 12 a.m.  | 11 a.m. – 12 a.m.                 | 11 a.m. – 12 a.m.             | 11 a.m. – 12 a.m.             | 11 a.m. – 12 a.m.     | 11 a.m. – 12 a.m.   |  |
| OCCUPANCY  | INDOOR                                    |   |                     |                    | BAR                               |                               |                               | OUTSIDE               |                     |  |
|  | Capacity<br>(Certificate of<br>Occupancy) | Maximum # of Persons<br>You Anticipate<br>Occupying Premises<br>(Including Employees) | Number<br>of Tables | Number of<br>Seats | Number of<br>Service<br>Only Bars | Number of<br>Stand-Up<br>Bars | Number<br>of Seats at<br>Bars | Number<br>of Seats    | Number of<br>Tables |  |
|  |   | 100   | 30                  | 90                 | 0                                 | 1                             | 12                            | 0                     | 0                   |  |
| How many floors are there? What is the capacity for each floor? (please respond in space provided)   |   |   |                     |                    | 1-2                               | 3-4                           | 5+                            | 1 <sup>st</sup> Floor |                     |  |
| Will you be applying or intending to apply for a cabaret license? If yes, will there be dancing? (please respond in space provided)  |   |   |                     |                    | YES                               | NO                            | N/A                           |                       |                     |  |
| Will applicant have bottle service?  |   |   |                     |                    | YES                               | NO                            | N/A                           |                       |                     |  |
| Will you be hosting private parties and promotional events?  |   |   |                     |                    | YES                               | NO                            | N/A                           |                       |                     |  |
| Will outside promoters be used?  |   |   |                     |                    | YES                               | NO                            | N/A                           |                       |                     |  |
| Will the security plan submitted be implemented?   |   |   |                     |                    | YES                               | NO                            | N/A                           |                       |                     |  |
| Will State certified security personnel be used?   |   |   |                     |                    | YES                               | NO                            | N/A                           |                       |                     |  |
| Will New York Nightlife Association recommendations and NYPD Best Practices be followed?   |   |   |                     |                    | YES                               | NO                            | N/A                           |                       |                     |  |
| Will the applicant be using delivery bicycles? If yes, have you applied to DOT for bicycle rack? Delivery bicycles are to be clearly marked with the name of the restaurant and staff will wear attire clearly noting name. (please respond in space provided) |   |   |                     |                    | YES                               | NO                            | N/A                           |                       |                     |  |
| Will the applicant be applying for a Sidewalk Café now or in the future? (please respond in space provided)  |   |   |                     |                    | YES                               | NO                            | N/A                           |                       |                     |  |
| If yes to the above, are plans attached and submitted to DCA? How many tables/seats? (please respond in space provided)  |   |   |                     |                    | YES                               | NO                            | N/A                           |                       |                     |  |
| Will applicant provide contact information to neighbors and respond to complaints that arise?  |   |   |                     |                    | YES                               | NO                            | N/A                           |                       |                     |  |
| If you plan to have music, what type(s)?   |   |   | BACKGROUND          | LIVE MUSIC         | DJ                                |                               |                               |                       |                     |  |
| BUILDING DESIGN  |   |   |                     |                    |                                   |                               |                               |                       |                     |  |
| Doors and windows will be closed when any amplified music is played and in the event of no amplified sound, will be closed by 11 PM Friday and Saturday and 10 PM on all other days.   |   |   |                     |                    | YES                               | NO                            | N/A                           |                       |                     |  |
| Will applicant follow the recommendations of a certified sound engineer to mitigate potential noise disturbance to the neighboring residents and buildings, including placing speakers on the floor of the establishment?                                      |   |   |                     |                    | YES                               | NO                            | N/A                           |                       |                     |  |
| Do you agree to comply with DOB rules concerning a storm enclosure? Storm enclosures can be used between November 15 and April 15, but they may NOT project more than 18 inches from the store front.)   |   |   |                     |                    | YES                               | NO                            | N/A                           |                       |                     |  |

| OUTDOOR ITEMS  |            |    |     |  |
|--|------------|----|-----|--|
| Will applicant use the rooftop, rear yard or any outdoor space?  | <b>YES</b> | NO | N/A |  |
| If yes to the above, the rear yard, rooftop, and any outdoor space will be closed and vacated by 11 PM on Friday & Saturday and 10 PM on all other days.   | <b>YES</b> | NO | N/A |  |
| The service and consumption of alcohol in the rear yard, on the rooftop, or in any other outdoor space will be only via seated food service.   | <b>YES</b> | NO | N/A |  |
| The rear yard, rooftop, and any other outdoor space will not allow standing space for patrons to drink or smoke.   | <b>YES</b> | NO | N/A |  |
| Applicant will do everything in their power to provide an effective sound baffling or sound controlled environment through landscaping or some type of enclosure, where possible; provided they do not violate any fire or building code regulations? This includes possibly working with landlords for soundproofing tenants apartments (such as installing soundproofing windows, acoustical tiles, etc.).   | <b>YES</b> | NO | N/A |  |
| Applicant will enforce a quiet environment in the outdoor space, so as not to disturb nearby residents (e.g. there will be no amplified music, as per the law, and windows and doors to areas that play amplified music shall be closed). The applicant will make every effort possible to limit the noise emanating from diners by posting signs outside and also on menus asking for respect of the neighbor's privacy and peace. The staff will also encourage a peaceful environment amongst the outdoor diners. | <b>YES</b> | NO | N/A |  |
| Applicant will have a lighting plan that will allow safe usage of the outdoor space without disrupting neighbors?  | <b>YES</b> | NO | N/A |  |

| LOCATION & ZONING   |   |                          |            |  |
|---|---|--------------------------|------------|--|
| Primary Zoning District:  |   | Overlay (If Applicable): |            |  |
| Is this a Special District? If yes, is it Clinton, West Chelsea or Hudson Yards?  | <b>YES</b>  | <b>NO</b>                | N/A        |  |
| Does the building have a Certificate of Occupancy ("C of O") or a letter of no objection?   | <b>YES</b>  | NO                       | <b>N/A</b> |  |
| Is the 500 Foot Rule or 200 Foot Rule Triggered? If yes, which? Please attach a diagram of the establishments that triggers the rule. | <b>YES</b>  | NO                       | N/A        |  |
| Is a Public Assembly permit required?   | <b>YES</b>  | NO                       | N/A        |  |
| Are your plans filed with DOB?  | <b>YES</b>  | NO                       | N/A        |  |
| Building Type   | <input checked="" type="radio"/> <b>Residential</b> <input type="radio"/> Commercial <input type="radio"/> Mixed Use <input type="radio"/> Other, describe: _____ |                          |            |  |
| Adjacent Buildings  | <input checked="" type="radio"/> <b>Residential</b> <input type="radio"/> Commercial <input type="radio"/> Mixed Use <input type="radio"/> Other, describe: _____ |                          |            |  |
| <b>NOTIFICATION:</b><br>What organizations / community groups have you notified regarding your application?                           | # 1   |                          |            |  |
|   | # 2   |                          |            |  |
|   | # 3   |                          |            |  |

**ADDITIONAL STIPULATIONS: (Office Use Only)**

- **See attached original stips from February 2010**
- **No smoking in the rear**
- **No employee loitering in rear**

**ADDITIONAL STIPULATIONS: (Office Use Only)**

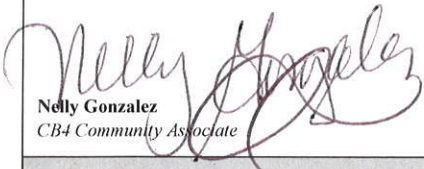
- **See attached original stips from February 2010**

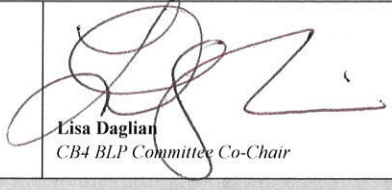
Manhattan Community Board 4 (MCB4) recommends:

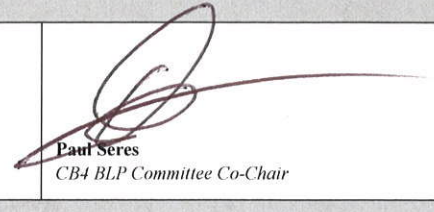
Approval  Denial unless all agreed to by applicant is part of the

method of operation  Denial

**CB4 REPRESENTATIVES**

  
Nelly Gonzalez  
CB4 Community Associate

  
Lisa Daglian  
CB4 BLP Committee Co-Chair

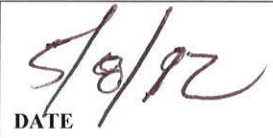
  
Paul Seres  
CB4 BLP Committee Co-Chair

**APPLICANT AGREEMENT WITH THE COMMUNITY**

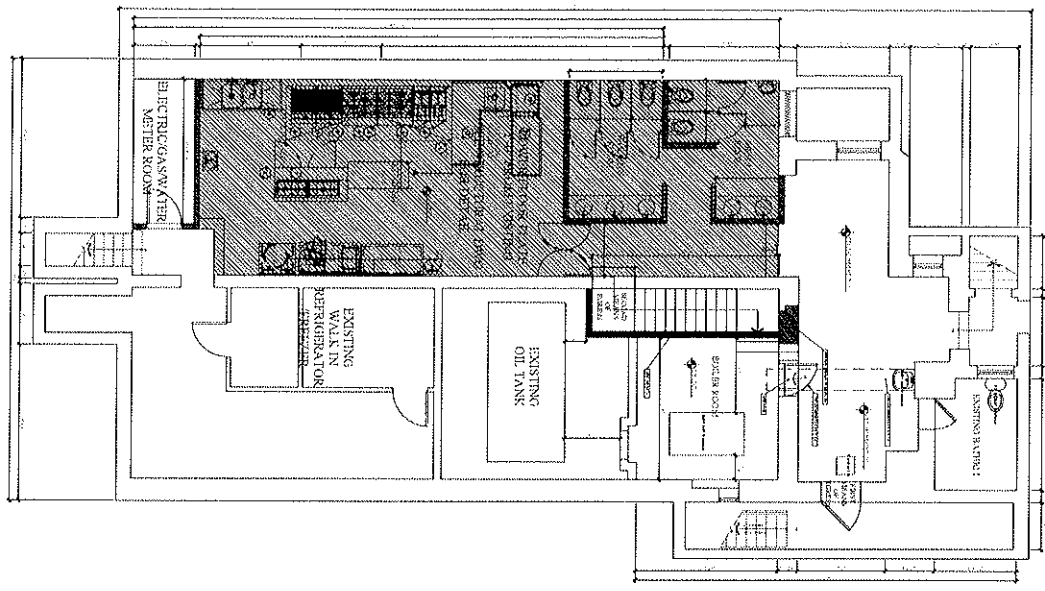
Pursuant to these stipulations, this applicant agrees to have these provisions incorporated in the method of operation of their liquor license. Additionally, the applicant agrees to the community agreements as the basis for the community supporting this application.

**SIGN HERE** →

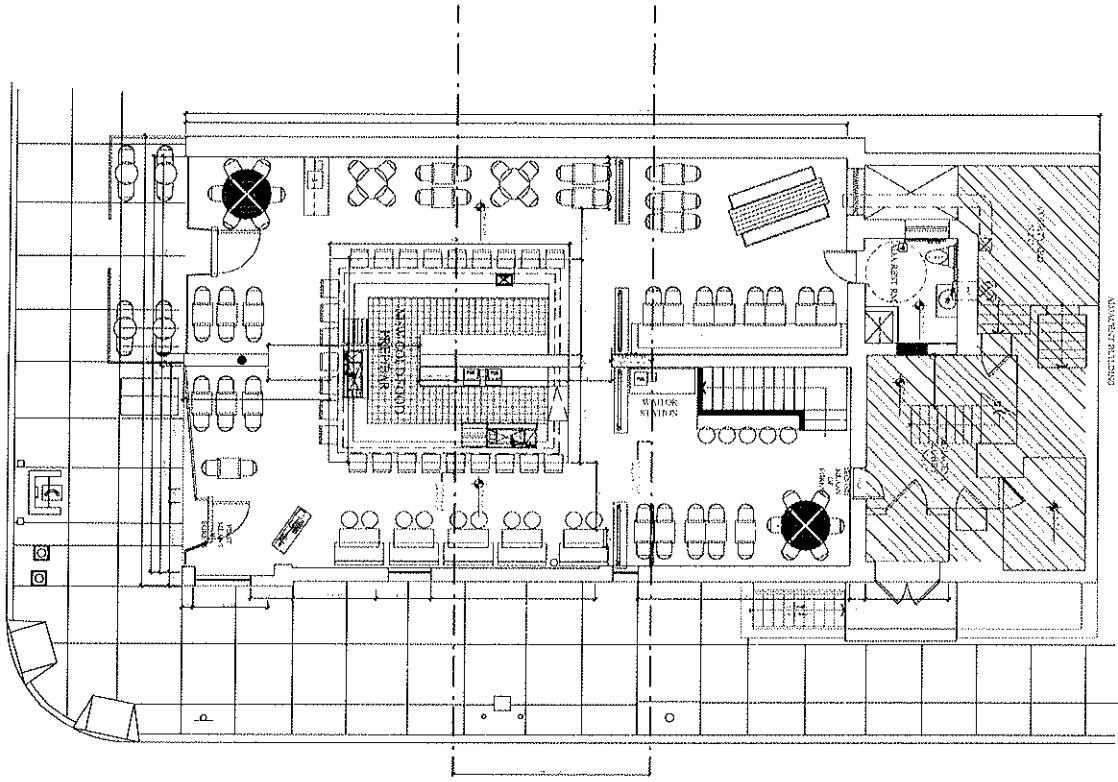
  
SIGNATURE OF APPLICANT

  
DATE





1 CELLAR RCP PLAN  
SCALE: 1/8" = 1'-0"

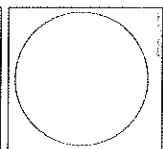


2 FIRST FLOOR RCP PLAN  
SCALE: 1/8" = 1'-0"

**BOCCA DI BACCO**  
400 WEST 20TH STREET  
NEW YORK, NY 10011

PROFESSIONAL  
ARCHITECTS  
NEW YORK, NY

NOTES



**GEORGE RANALLI**  
ARCHITECT  
180 WEST 43RD STREET  
NEW YORK, NY 10018  
212.246.2411  
212.246.2412  
WWW.GEORGERANALLI.COM

PERMIT TO  
DRAWING PLAN

4.18.2011

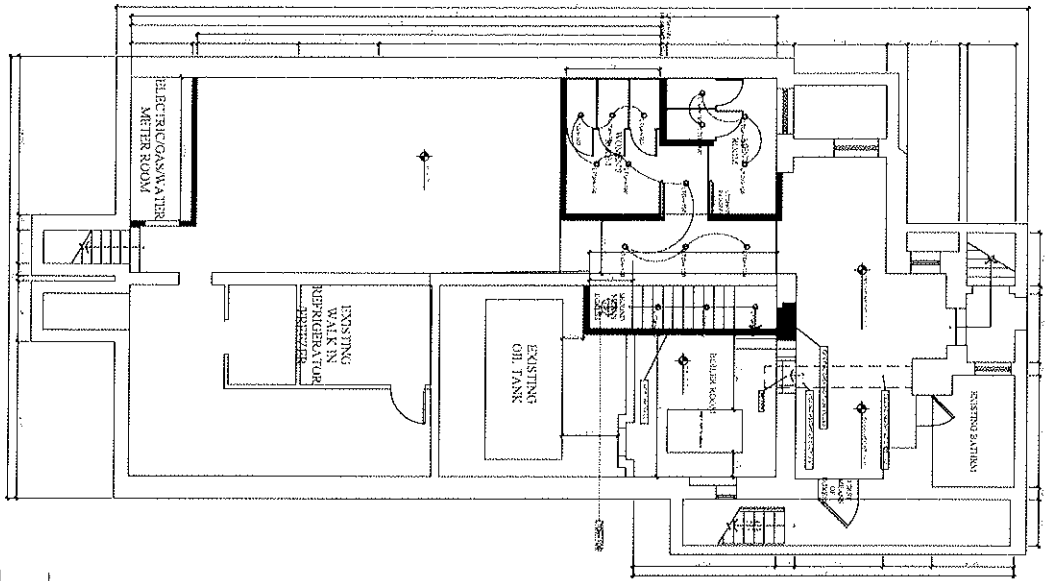
1/8" = 1'-0"

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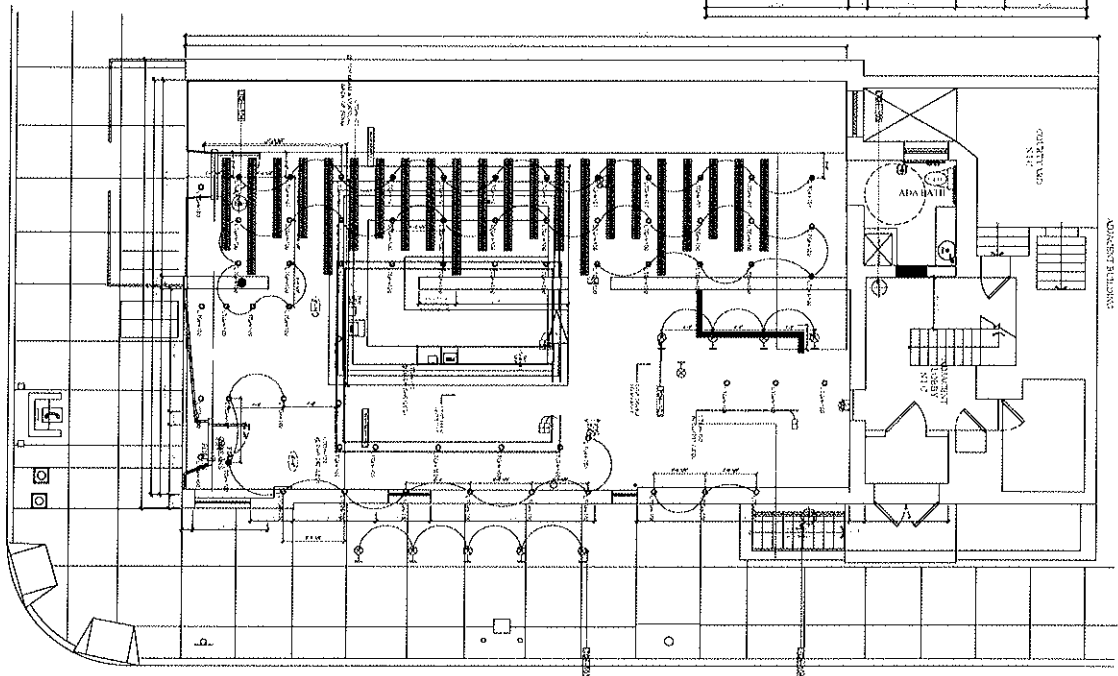
5/20/11



CELLAR RCP PLAN



FIRST FLOOR RCP PLAN



| Item ID | Description   | Quantity | Unit    | Notes |
|---------|---|----------|---------|-------|
| 1       | Group 1: 170H-102 1/2" x 1/2" x 1/2" (200' x 200')  | 1        | Fixture |       |
| 2       | Group 2: 170H-101 1/2" x 1/2" x 1/2" (150' x 150')  | 1        | Fixture |       |
| 3       | Group 3: 170H-102 1/2" x 1/2" x 1/2" (150' x 150')  | 1        | Fixture |       |
| 4       | Group 4: 170H-102 1/2" x 1/2" x 1/2" (150' x 150')  | 1        | Fixture |       |
| 5       | Group 5: 170H-102 1/2" x 1/2" x 1/2" (150' x 150')  | 1        | Fixture |       |
| 6       | Group 6: 170H-102 1/2" x 1/2" x 1/2" (150' x 150')  | 1        | Fixture |       |
| 7       | Group 7: 170H-102 1/2" x 1/2" x 1/2" (150' x 150')  | 1        | Fixture |       |
| 8       | Group 8: 170H-102 1/2" x 1/2" x 1/2" (150' x 150')  | 1        | Fixture |       |
| 9       | Group 9: 170H-102 1/2" x 1/2" x 1/2" (150' x 150')  | 1        | Fixture |       |
| 10      | Group 10: 170H-102 1/2" x 1/2" x 1/2" (150' x 150') | 1        | Fixture |       |

- RCP PLAN NOTES:**
- XXXX
  - XXXXX
  - NEW LIGHT FIXTURES, QC TO PROVIDE POWER FOR NEW LIGHT FIXTURES.
  - ALL NEW CEILING VENTS ACCESS TRAPS & EXHAUST TO BE PAINTED.
- CEILING HEIGHT  
 EXIST. DOWNLIGHT  
 NEW DOWNLIGHT  
 -SMALL  
 SPRINKLER  
 FIRE ALARM  
 SPEAKER  
 EXIT SIGN

# RESTAURANT

400 WEST 20TH STREET  
UNITS:  
NEW YORK, NY 10011

**NOTES**

GEORGE RANALLI  
ARCHITECT

120 EAST 41ST STREET  
NEW YORK, NY 10017  
212-768-0811

DATE: 11-11-11

SCALE: 1/8" = 1'-0"

PROJECT: RESTAURANT CHILING PLAN

6/17/11

**GENERAL NOTES**

- Scope of Work: Renovation of the existing first floor restaurant & cellar access ways. Work include change in minor access ways to kitchen and service work.
- All work shall conform to the requirements of the New York City Building Code, Fire Department regulations, utility company requirements, and the best trade practices.
- Before commencing work, the Contractor shall file all required permits of Insurance with the Department of Buildings, obtain all required permits, and pay all fees required by such agencies, New York City agencies.
- The Contractor shall verify all existing conditions in the field prior to field conditions to the Architect.
- Minor details not exactly shown or specified, but necessary for proper construction of any part of the work shall be included as if they were indicated in the drawings.
- The Contractor shall coordinate all work procedures with representatives of local authorities and building management.
- The Contractor shall be responsible for the protection of all conditions and materials within the proposed construction area. The Contractor shall take The Contractor shall have sole responsibility for any damage or injuries caused by or during the execution of the work.
- The Contractor shall lay out the work, and shall provide all dimensions required for other trades (plumbing, electrical, etc.).
- The plumbing and electrical work shall be performed by licensed and their trades, who shall arrange for and obtain inspections and required approvals.
- The Contractor shall do all cutting, finishing, repairing as required by the drawings and detailed work shall be performed by persons licensed and may be required to complete the job.
- All piping and wiring shall be removed to a point of concealment and shall be properly capped or plugged.
- The Contractor upon completion of the work shall apply for Department of Buildings inspection and approvals as required.

**N.Y.C. GENERAL NOTES**

- In addition to these notes on the page and specifications, these notes precede or amend dimensions on these drawings shall have precedence over or amend dimensions.
- Contractor shall verify and be responsible for all dimensions and conditions on the job, and the Architect's office may be notified of any variations from the dimensions and conditions shown in these drawings.
- All construction, dimensions and details shall conform with and be determined by these drawings only.
- All materials and construction to be incorporated in the work shall be in strict accordance with the data shown on the drawings and Federal recommendations of the various trade manuals (A.C.I., A.I.S.C., etc.) where applicable. All individual responsibility into the work shall be as and contained in the N.Y.C. Board of Standards and Appeals.
- Contractors shall be responsible for adequately bracing and protecting all existing and new construction, and installation of shoring, scaffolding and bracing according to applicable codes, standards and good practice.
- Construction shall comply with all Federal, State and Local codes, ordinances, laws and regulations pertaining to labor and materials.
- All masonry walls shall be carried up and vertical light square wall lock, hold, or slab above unless otherwise indicated.
- For all work beyond the property line, permits will be obtained from the Building Department.
- Ceiling spaces shall be dropped in areas exceeding 3'4" sq. feet per C29-302.5
- All areas herein mentioned shall apply to all drawings and form part of the contract.
- The following items at work shall be subject to controlled inspection, made and witnessed by or under the supervision of an Architect or Engineer who shall be acceptable to the Commission. Test reports and Certificates of Inspection shall be filed with the Building Department.

FINAL INSPECTION 384-116-143 BC 1093

DIRECTIVE 14 OF 1973 AND RCNY 10-110

**N.Y.C. GENERAL NOTES (CONTINUED)**

- Mechanical Ventilation shall be provided where required as per C26-120.2 C26-1206.1
- System of Compliance shall be submitted under Attachment to Contract to C26-121.9.
- This structure and interior shall be erected in accordance with the requirements of the Building Code for the Occupancy and Construction Classifications under Chapter 24-01 of the Code.
- All steel lath on exterior opening greater than 2'0" shall be fastened with wire lath in 2" C. masonry per C26-902.4. The length of steel lath shall be 1'-2" longer than the masonry opening.
- All cuts shall be kept readily accessible and unobscured at all times.
- Installation of at least 5 hour concrete masonry at the floor level shall be maintained continuously during construction in cuts and their access facilities.
- Exit signs may be photoluminescent or electrically lit, having an initial glow of at least 2 foot candles at the floor level. Exit signs shall be red, the background shall be white, and shall be placed horizontally at least 4'-2" high with 9'-6" centers.
- Exit lighting shall be on a circuit that is separate from any other circuit taken off ahead of the main switch.
- Provide doors and pickets as shown or as required by other trades.
- Contractor must verify all dimensions and conditions at the premises, before beginning work. The Contractor shall be responsible for same. All discrepancies must be reported immediately to the Architect.
- All dimensions are to finish unless otherwise indicated.
- All work shall conform to the requirements of all applicable city ordinances, rules and regulations and all other applicable codes and requirements of other applicable authorities having jurisdiction over the work.
- Contractor must obtain all required permits before any work is begun, and pay for same.
- All existing partitions, plumbing fixtures, etc. not shown on plans shall be removed unless otherwise noted.
- No work beyond building line will be started before permit from the Dept. of Highways is obtained.
- Peak surface finish to remain as necessary to be comparable to existing surface construction. All details mentioned are to be reported and in existing.
- Supply and install new electric wiring, equipment and fixtures throughout.
- Contractor shall verify if existing conditions are in compliance with applicable code requirements. Remove existing ventilation where required.
- Repair and replace with all new materials and devices as required. Repair and finish existing floors as required.
- All new systems, based on drawings, shall be tested and sealed in airtight condition. All details mentioned are to be reported and in existing.
- Supply and install new bathroom fixtures and accessories as shown in drawings and specifications.
- All bathroom doors shall be unlocked as required to allow for air ingress.

**EMERGENCY LIGHTING**

- The emergency lighting installation shall be done by a licensed electrician in compliance with the local electrical code, and Directive 579, in compliance with local laws 91-79.
- Emergency lighting shall be on a circuit that is separate from the general lighting and power circuits, either taken ahead of the main switch or connected to an emergency power source, and be arranged to operate automatically in the event of any failure in the normal lighting system, per 25-204, 25-202.
- Illustration shall be arranged so that the failure of any single lighting unit, such as the failure of an electric bulb, will not leave any area in darkness, per Directive 579.
- Emergency lighting fixture shall be sufficient to provide at least 5 foot candles at floor level, per 25-183.
- Emergency lighting shall consist of approved type battery pack type light units, as shown on plan, at 4" x 4" A.V. minimum, with 12 volt battery pack and one or more 25 watt light bulbs per unit, as indicated on plan, per Directive 579 and 63-175-3.
- The Certificate of Electrical Inspection must bear the following stamp: "This certificate includes emergency lighting in conformance with the requirements of the Department of Buildings as to circuiting and power."

**DOORS AND DOOR HARDWARE**

- All door separating the assembly space from the adjacent necessary uses shall be 1-1/2 hour fire-rated, self-closing door, per 27-213-10.
- Door hardware shall be equipped on all doors of E-1 class of assembly and 3-hour fire-rated, self-closing door, per 27-213-10, except:
- Doors not equipped with any locking hardware or locks, and which are operable in all times.
- Main entrance door, with locking hardware, but may be locked from either side but which are kept unlocked during periods of public occupancy.
- No non-fire, hinges or any type of padlocking device may be used.
- Steel bolts or lock bolts shall not be used as an integral part of approved panic hardware on required egress doors readily operable from the inside in conformance with section 27-210 when the premises is occupied, and use of such device and condition to provide unobstructed egress from the outside.
- Locks which may be locked from either side shall be permitted on those entrance doors only, provided they are kept unlocked during periods of public occupancy. Such key locks are prohibited on other egress doors. However, key locks which may be locked from the outside only, shall be used on any egress door which can be readily opened in the direction of travel without the use of a key, at all times by devices such as panic hardware or similar hardware.

**EXIT SIGNS**

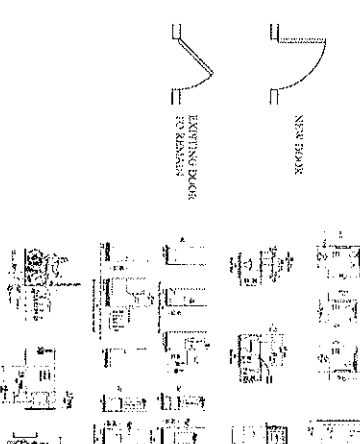
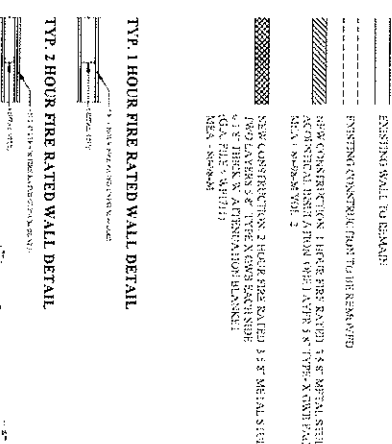
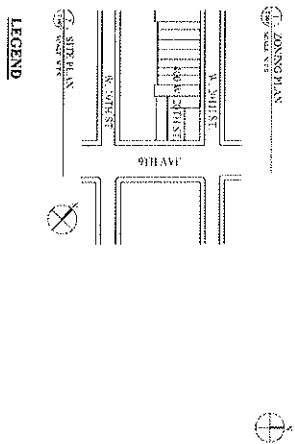
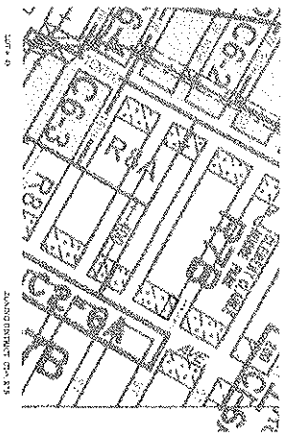
- Exits and exits to be provided with artificial lighting facilities, applying at least two-foot candles measured at the floor level, to be maintained at all times in every exit and every access facilities for their full height, per 27-238-1.
- The location of every exit on every floor shall be clearly indicated by BS&A approval of type exit sign, per 27-238-1.
- Exit lighting and exit signs shall be connected to an emergency power source or to an emergency lighting equipment meeting the requirements of the Bureau of Electrical Control, provided that in existing buildings they may be on a circuit that is separate from the general lighting and power circuits, taken off ahead of the main switch, per 27-232 and 27-238.

**DEMOLITION NOTES**

- Contractor shall perform all operations of demolition and removal of indicated on the drawings and as may be required by the work. All work shall be done carefully and in a systematic manner.
- All existing surfaces and equipment to remain shall fully protected from damage. The Contractor shall assume full responsibility for damage and shall repair required, without additional cost to the Owner.
- No debris shall be allowed to accumulate on the site. Debris shall be removed by the Contractor as it proceeds. The site shall be left clean at the completion of demolition.
- No structural elements shall be removed unless portions affected are adequately supported by other temporary shoring or new structural elements as required to protect the stability and integrity of the existing structure.
- All adjoining property affected by any operations of demolition shall be protected per the requirement of Article 19 of the NYC Building Code.
- Remove or relocate all wiring, plumbing, and mechanical equipment affected by removal of partitions. Remove all pipes and all lines shall be cut promptly, capped or plugged.
- The Contractor shall provide steel and maximum all temporary barrier and guard, and all temporary shoring and bracing as required by Department of Buildings and regulations.
- The contractor shall provide adequate weather protection for the building and the contents during the course of the work. All openings in any wall or roof shall be protected from all forms of weather or water penetration.
- The Contractor shall file all necessary Certificates of Insurance with the Department of Buildings, and provide the same to the Architect and provide the same to the Owner. All work shall be completed by the date shown on drawings.

**DRAWING LIST**

- 1-41 ZONING MARKS, PER PLAN, SHOWN ON LIST A SYMBOL MARK
- 1-42 GENERAL NOTES
- 1-43 DEMOLITION NOTES
- 1-44 SYMBOLS
- 1-45 SECTION



**BOCCA DI BACCO**  
400 WEST 20TH STREET  
NEW YORK, NY 10011

**NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE N.Y.C. BUILDING CODE, FIRE DEPARTMENT REGULATIONS, AND ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS, ORDINANCES, RULES AND REGULATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE DEPARTMENT OF BUILDINGS, FIRE DEPARTMENT, AND ALL APPLICABLE AGENCIES.

3. ALL WORK SHALL BE COMPLETED BY THE DATE SHOWN ON THE DRAWINGS.

4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE DATA SHOWN ON THE DRAWINGS AND FEDERAL RECOMMENDATIONS OF THE VARIOUS TRADE MANUALS (A.C.I., A.I.S.C., ETC.) WHERE APPLICABLE.

6. ALL INDIVIDUAL RESPONSIBILITY INTO THE WORK SHALL BE AS AND CONTAINED IN THE N.Y.C. BOARD OF STANDARDS AND APPEALS.

7. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL EXISTING AND NEW CONSTRUCTION, AND INSTALLATION OF SHORING, SCAFFOLDING AND BRACING ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.

8. CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, LAWS AND REGULATIONS PERTAINING TO LABOR AND MATERIALS.

9. ALL MASONRY WALLS SHALL BE CARRIED UP AND VERTICAL LIGHT SQUARE WALL LOCK, HOLD, OR SLAB ABOVE UNLESS OTHERWISE INDICATED.

10. FOR ALL WORK BEYOND THE PROPERTY LINE, PERMITS WILL BE OBTAINED FROM THE BUILDING DEPARTMENT.

11. CEILING SPACES SHALL BE DROPPED IN AREAS EXCEEDING 3'4" SQ. FEET PER C29-302.5.

12. ALL AREAS HEREIN MENTIONED SHALL APPLY TO ALL DRAWINGS AND FORM PART OF THE CONTRACT.

13. THE FOLLOWING ITEMS AT WORK SHALL BE SUBJECT TO CONTROLLED INSPECTION, MADE AND WITNESSED BY OR UNDER THE SUPERVISION OF AN ARCHITECT OR ENGINEER WHO SHALL BE ACCEPTABLE TO THE COMMISSION. TEST REPORTS AND CERTIFICATES OF INSPECTION SHALL BE FILED WITH THE BUILDING DEPARTMENT.

**GEORGE RANALLU**  
ARCHITECT

190 EAST 20TH STREET  
NEW YORK, NY 10003  
PHONE: 212-333-0248  
FAX: 212-333-0249  
E-MAIL: G.RANALLU@GMAIL.COM

**ZONING MARKS**  
SYMBOLS  
GENERAL NOTES  
DEMOLITION NOTES  
SECTION

DATE: 11-20-15

PLUMBING AND DRAINAGE NOTES

- 1. All plumbing and gas piping work shall be installed in strict accordance with the requirements of Article 16 and Reference Standard RS-16 of the NYC Building Code.
2. Plumbing fixtures shall be of 1/2" and manufacturer approved for use in New York City, and shall bear SSK&A approval.
3. All gas-fired equipment to be A.G.A. or M.E.A. approved.
4. Plumbing contractor to examine proposed layout with regard to existing field conditions and those encountered during construction. Plumbing contractor shall submit a revised layout plan which shall be necessary, based on conditions encountered in the field, in order to install all fixtures, equipment and piping in strict accordance with the requirements of the NYC Building Code.
5. Plumbing contractor shall arrange and obtain inspections and required approvals.
6. Remove or relocate all plumbing affected by removal of partitions. Removed pipes shall be cut to a point of concealment behind or below finish surfaces and shall be properly capped or plugged.
7. The installation components, using, location, dimensions, position and type of systems shall conform to RS 17-2, and Article 4 of SSK&A approval.
8. As per Section 27-98, only approval of materials shall be used.
9. Direct connection of sprinkler to the public water system shall be in conformance with the requirements of Section 27-96.3.
10. Sprinkler shall be protected from freezing and icing per Section 27-96.
11. Inspection and tests of sprinklers shall be conducted per the requirements of Section 27-96.2.
12. The occupancy of the area to be sprinklered in accordance with Chapter 1 through 7 and Appendix A, as per RS 17-2 shall be those specified on the plans.
13. Water supply test pipes and spacers shall be provided as specified in section 27-9 of RS 17-2.
14. Fire fighting, system for emergency, protection against corrosion, drainage, fittings, valves, hangers, openers, panicles, joints and shall be in accordance with Chapter 1, RS 17-2.
15. Pipe Schedule systems shall be in accordance with chapter 8 of RS 17-2.
16. Stock of extra quantities will be furnished as per Section 3-11 of RS 17-2. (Required for each temperature rating).
17. Sprinkler Alarm shall be in conformance with Section 5-12 of RS 17-2.
18. Spraying, location and position of sprinklers shall be in accordance with Chapter 4, RS 17-2.
19. All concealed piping exceeding 6 inches in width or depth which contain combustible material shall be protected in accordance with section 2-4 of RS 17-2.
20. All pipe passing through rated construction shall comply with the requirements of Section 27-83.2.
21. There shall be no "Jug-Bed" system, as defined by Section 4-1.3.10 of RS 17-2.
22. Distance of sprinklers from their sensors shall be in accordance with Table 3-11.3.1(A) of RS 17-2.
23. Automatic marked smelt valves for containment shall conform with Section 4-3 of RS 17-2.
24. All piping shall be installed in accordance with Section 4-3 of RS 17-2.
25. As per Section 27-96, provide Dept. of Water supply. Later with their test data.
26. All open piping through penetration walls shall be protected per the requirements of Section 27-83.19.
27. This application is not filed as a result of action by the Fire Commissioner as authorized by the N.Y.C.A. as a result of the Certificate of Occupancy, nor is such action pending.
28. All valves shall be identified per Section 3-9.4 of RS 17-2.
29. Damage shall comply with Section 3-6 of RS 17-2.
30. Individually designed sprinkler systems shall be in accordance with chapter 7 of RS 17-2.
31. A one-piece reducing fitting shall be used wherever a change in made in the size of piping as per Section 3-6.3 of RS 17-2.
32. All valves on condensate to water systems and in supply to sprinklers shall be approved to S.K.V. or approved indicators.
33. Where pressure systems are connected to standpipe systems, valves shall comply with section 3-6.2.21 of RS 17-2.
34. Other valves and test valves shall be approved 1/2" per Section 3-6.1.1 of RS 17-2.
35. Hangers shall be of a type approved for use with the pipe or tube in which they are used. Hangers shall be approved for rated weight from 1/4" type or greater approved design in accordance with section 3-10 of RS 17-2.

SPRINKLER NOTES (CONTINUED)

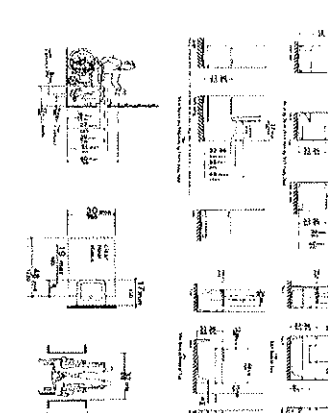
- 29. Protection shall be made to facilitate the holding of a system piping by providing hatching connections consistent of a supported, unglued or the end of the course main, as per Section 3-11 of RS 17-2.
30. Sprinklers shall be of approved type per Section 3-11 of RS 17-2.
31. Temperature ratings shall comply with per 3-11.6, RS 17-2.
32. Minimum of 8 inch clearance to below sprinkler detector as per Section 4-2.3 of RS 17-2.
33. 1" to 10" minimum clearance of sprinkler deflection in ceiling as per Section 4-2.1 of RS 17-2.
34. Sprinkler system complies with NFPA 13-1989 as modified by the B.C. and RS 17-2. 8-5.8 A.C.I. No. 310-6-55.8.
35. Dry Systems shall be in accordance with Section 5-2 of RS 17-2.
36. All pipes will be fire rated and a minimum of one inch.
37. This data is approved only for work approved on the application specifications sheet. All other matters shown are not to be relied upon or be considered as either approval or in accordance with applicable codes.
TRAVANT'S SAFETY PLAN
1. General: All work to be done in accordance with the New York City Building Code, Article 19, and regulations of all other agencies having jurisdiction.
2. Structural: Contractor to provide adequate temporary bracing and shoring wherever any structural work is in place.
3. Means of Egress: All existing means of egress for tenants of the building to be maintained clear and free of all obstructions, such as building materials, tools, etc.
4. Fire Safety: All building materials stored at construction site, and in any area of the building are to be enclosed in a locked area. Access to such areas to be controlled by Owner and/or Electrical Supervisor.
5. Dust Control: Dusters, dirt and dust to be kept to a minimum, and be confined to the immediate construction area, and be cleaned up and stored from building periodically to avoid any excessive accumulation.
6. Noise: After Hours, Construction operations will be confined to normal working hours, 8 a.m. to 5 p.m., Monday through Friday, except legal holidays.
7. Construction operations will not involve the interruption of heating, water or electrical services to other tenants of the building.
8. Construction work will be confined to the proposed construction floor. Contractor will install to the minimum, the amount of dust, dirt or other such contaminants created, so that other tenants within the building.
9. There will be no encroaching the proposed construction floor to be removed during the course of construction work.
ROSS'S NOTES
1. Rest and access requirements are to be calculated as per Table 4-1 as per 27-357.
2. All exits shall be kept readily accessible and unobstructed at all times.
3. Fireproof bearing in all exits shall be of noncombustible material.
4. Corridor use to comply with all applicable requirements of 27-359, including the following:
a. Corridor use to have a clear height of 7'-6" for at least 75% of floor area, with no point less than 7'-0" in height. No projection below the ceiling is to be located so as to obstruct full view of exit signs.
b. Corridor use to be subdivided by smoke barriers into 150-sq-ft maximum lengths as required in E-1 occupancies.
c. Corridor to be completely enclosed in construction having a two-hour fire resistance rating with all vertical doors having self-closing doors and having fire doors which are self-closing. The minimum clear width shall be 44" and the minimum clear height shall be 6'-8".
d. Corridor use to comply with all applicable requirements of 27-357, including the following:
e. Doors are to comply with all applicable requirements of 27-357, including the following:
a. Doors for required exits are to be self-closing with a 1.1.2 hour fire protection rating, except that exterior doors shall have a minimum exterior separation protection of 1 1/2 hour and a minimum fire protection rating of 3/4 hour.
b. Door frames of wood and the door thickness which open in and to reduce the required width by more than 2" for each 22" of width. Door openings to all habitable and occupiable rooms to minimum 22".
c. All exit doors are to open in the direction of egress.
d. Floor levels on both sides of all exit and corridor doors are to be level and at the same elevation for a distance of at least equal to the width of the door.
e. Exit doors shall be readily operable as all hazard from the side from which they are to be opened. Exit doors shall be readily operable from both sides and be locked from either side, except that doors may be locked from one side as required by the stair from the outside at street level.

EGRESS NOTES (CONTINUED)

- 6. Egress doors are to comply with all applicable requirements of 27-357 and Table 6-4, including the following:
a. The clear headroom is to be at least 7' minimum, except that in buildings classified as Occupancy Groups 1-2 and 3, the minimum clear headroom may be 6'-8".
b. Landing and platform from which the door and floor of each flight of stairs are to have a minimum width perpendicular to the direction of travel of at least the width of the stair. In straight-run stairs, the distance between floors of upper and lower flights shall not be more than 44". Landings and platforms are to be opened by walk, gate, or panel, at least 5' high.
c. The maximum vertical rise of an angle flight of stair between floors is not to exceed 8', except in Occupancy Group 5, and the vertical rise is to be not to exceed 8'. The height of stairs is to have less than two treads.
d. Doors shall be maximum 7'-3" high, needs a minimum of 9' 1 1/2" wide.
e. Stairs shall have a handrail on each side, except that stairs less than 44 inches wide may have a handrail on one side only. Handrails shall provide a finger grip with a diameter of not less than 1 1/4" and a maximum diameter of not more than 2 inches. Stairs of more than 36 inches shall be enclosed in a fire-rated enclosure. Handrails shall be between 40 and 48 inches above the tread nosing. Handrails shall be returned to walls and posts at their termination. Materials of handrails shall have a thickness rating not exceeding 150.
f. Stairs, ramps, passages, landings, platforms and gentle inclines of buildings shall be free of any tripping hazards. Where handrails are provided, they shall be of non-combustible construction having a fire resistance rating equal to that required for the stair enclosure. Stairs, landings and platforms shall be designed to support all loads in compliance with 27-313. Treads and landings shall be designed to support all loads in compliance with 27-313. Treads and landings shall be designed to support all loads in compliance with 27-313.
g. Egress doors shall be in accordance with the minimum door width as per the requirements of 27-357.
h. No door opening into the stair above the entrance story shall be hung so as to reduce the required clear width of the stair or stair platform to less than 75% of the required width or in less than the door width opening upon them, as per 27-375.
i. Egress passageway are to comply with all applicable requirements of 27-370 and Table 6-1, including the following:
a. Egress passageway shall be unobstructed clear of obstructions at all times. Not more than 10% of the floor area of the passageway may be occupied by equipment, furniture, or other items, except as provided for above these doors.
b. Openings between steel floor joists serving as egress passageways and other stories or other spaces shall meet the requirements of 27-370, including the following:
c. Side areas are to comply with all the applicable requirements of 27-353, including the following:
d. Side areas shall be separated from assembly spaces by non-combustible construction having a two-hour fire resistance rating.
e. Ventilation systems for side areas shall not be connected to systems serving other areas of the building.
f. Smoke detectors meeting the construction requirements of 27-371 by smoke detectors meeting the construction requirements of 27-371.
g. The clear, unobstructed floor area of each side area shall be sufficient to accommodate the total occupant load of the side area on the basis of two square feet per person. The minimum dimension of such unobstructed space shall be eight feet.
h. Egress passageways are to have a clear height of 7'-6" for at least 75% of floor area, with no point less than 7'-0" in height. No projection below the ceiling is to be located so as to obstruct full view of exit signs.

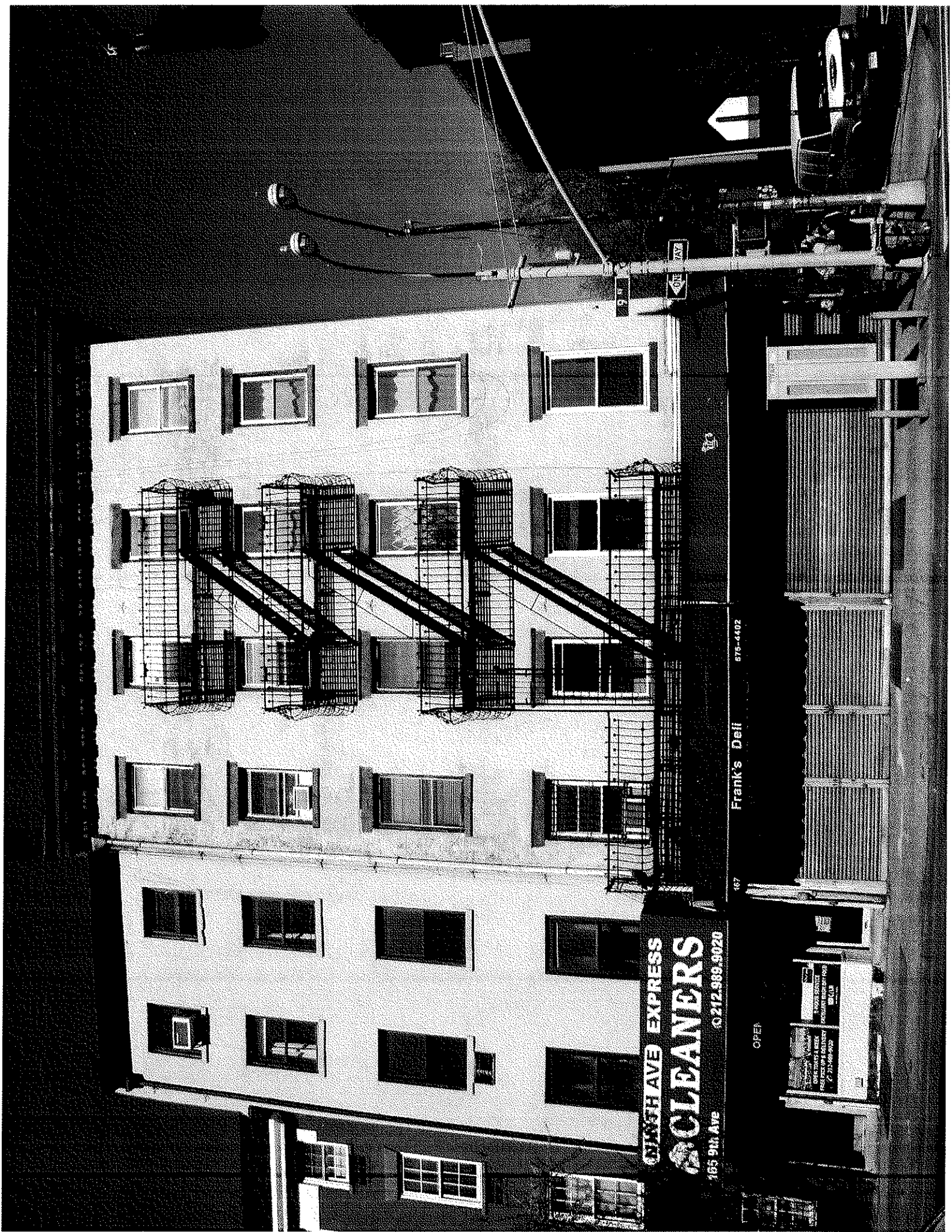
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5. Plumbing contractor shall arrange and obtain inspections and required approvals.
6. Remove or relocate all plumbing affected by removal of partitions. Removed pipes shall be cut to a point of concealment behind or below finish surfaces and shall be properly capped or plugged.



BOCCA DI BACCO
400 WEST 20TH STREET
NEW YORK, NY 10011
NOTES
GEORGE RANALLI
ARCHITECT
180 WEST 24TH STREET
NEW YORK, NY 10011
TEL: 212 504 5000
WWW.BDRSARCHITECTURE.COM

Architectural drawing showing a circular plan with various annotations and a title block containing project information, date (7-29-2013), and sheet number (1 of 5).



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165 9th Ave 0212.989.9020

Frank's Deli 675-6402

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OPEN FROM 11 AM TO 10 PM  
7-21-2008

ONE WAY

9th Ave

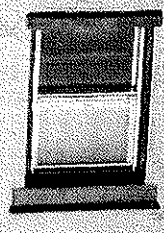
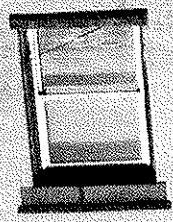
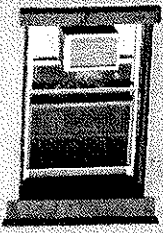
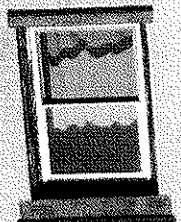
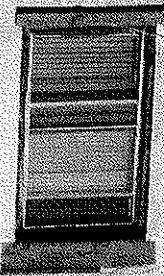
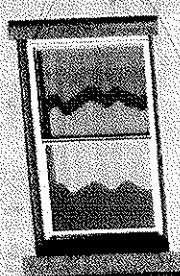
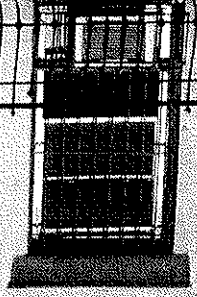
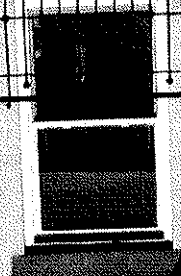
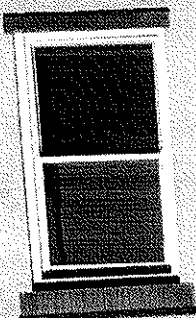
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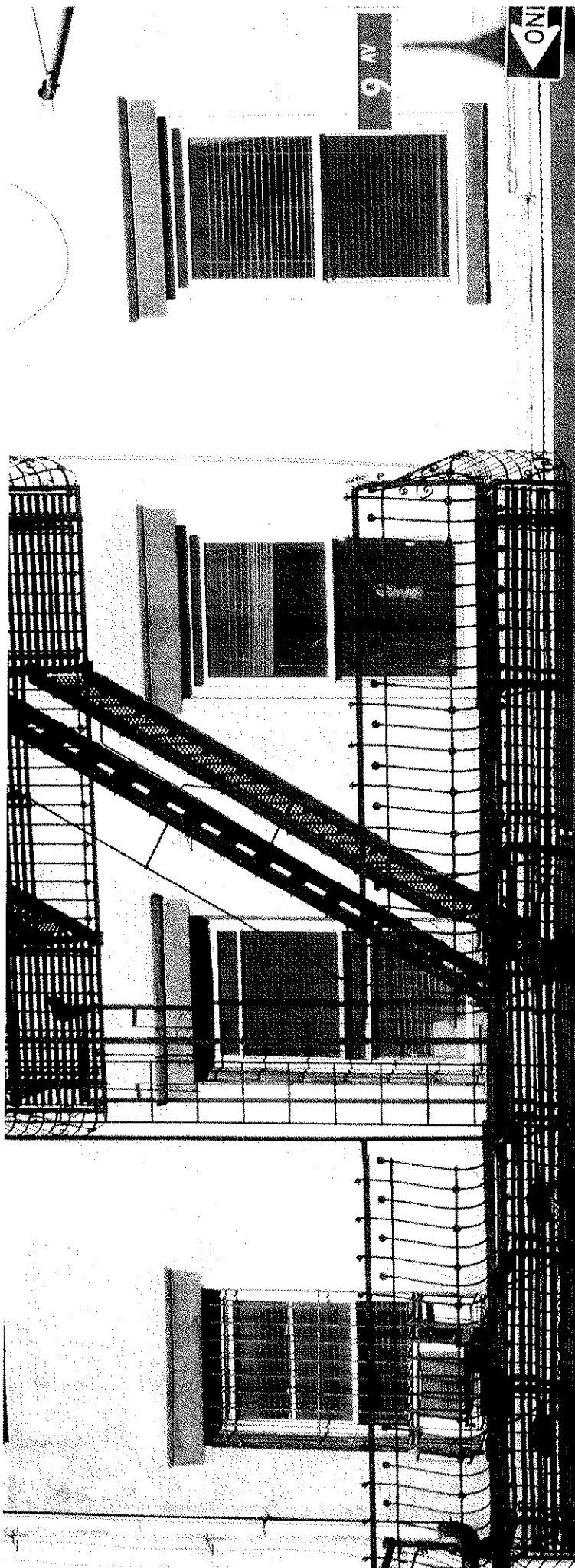
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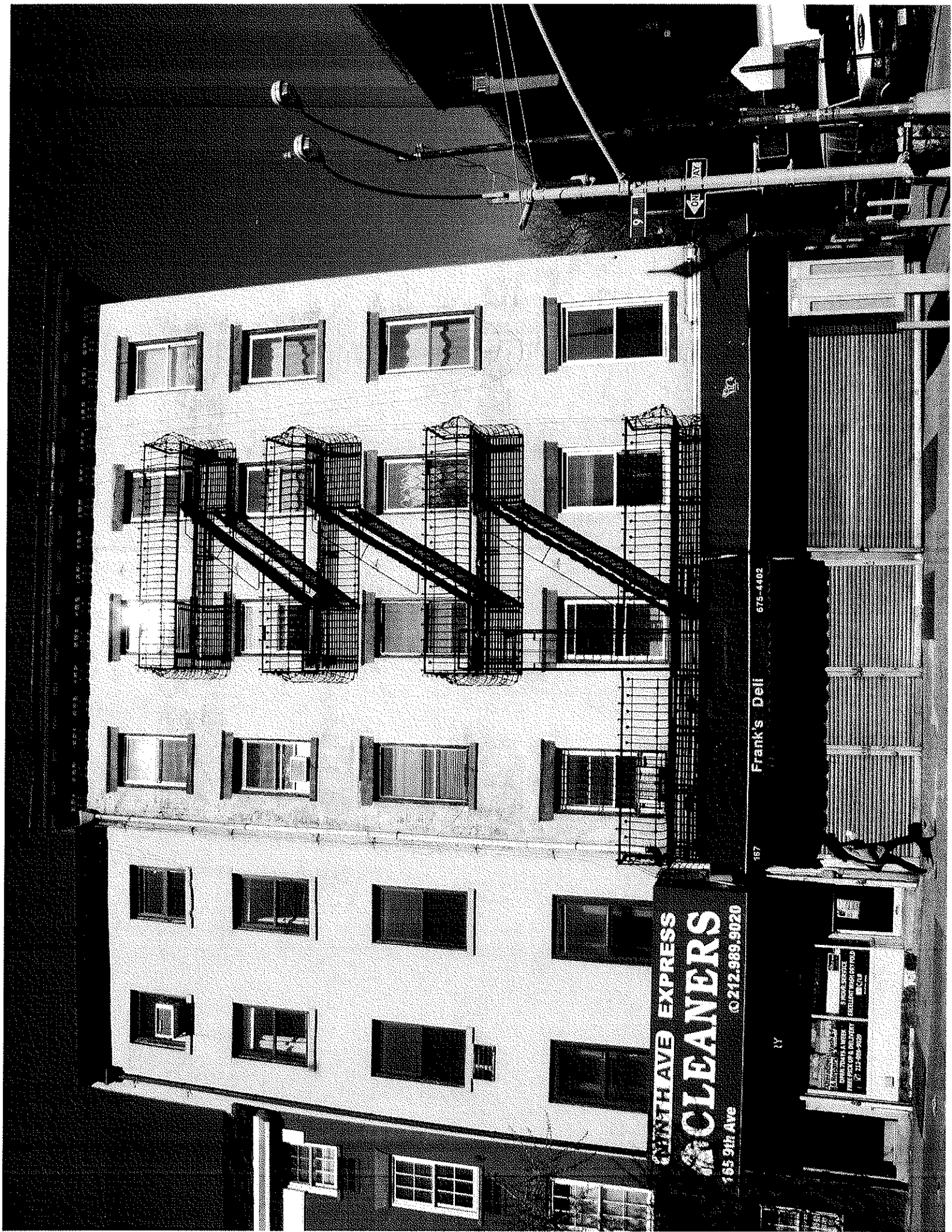
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Frank's Deli

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Frank's Deli

TITAN



**NINTHAVE EXPRESS**  
**CLEANERS**  
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165 9th Ave

167  
**Frank's Deli**  
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167 9th Ave  
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Fax: 675-4402  
CASH ONLY

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167 9th Ave  
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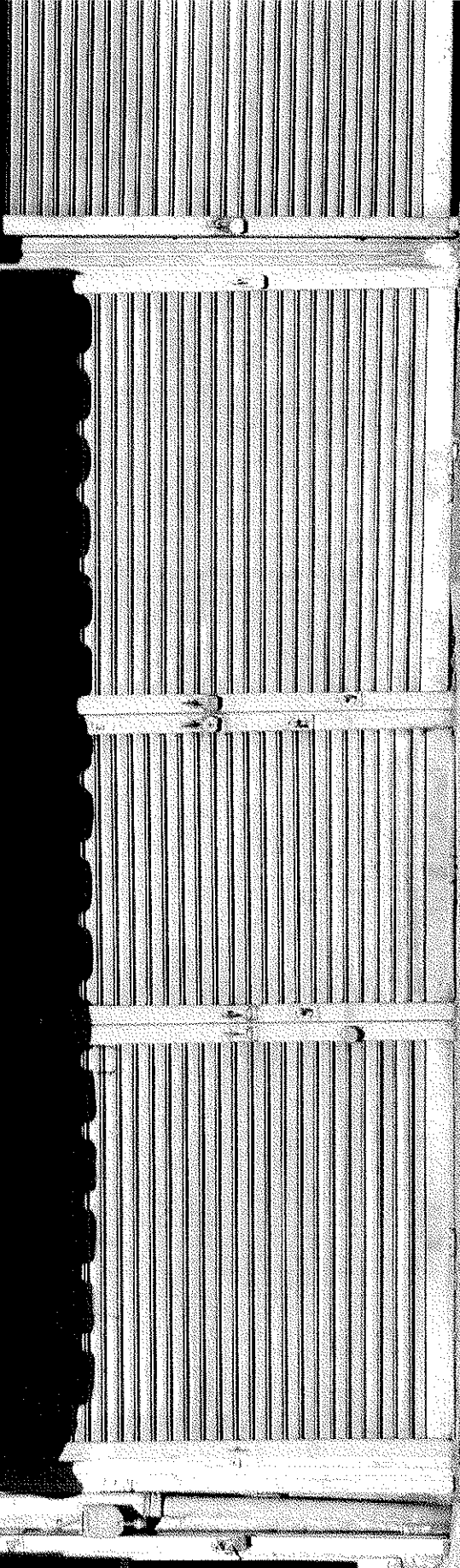
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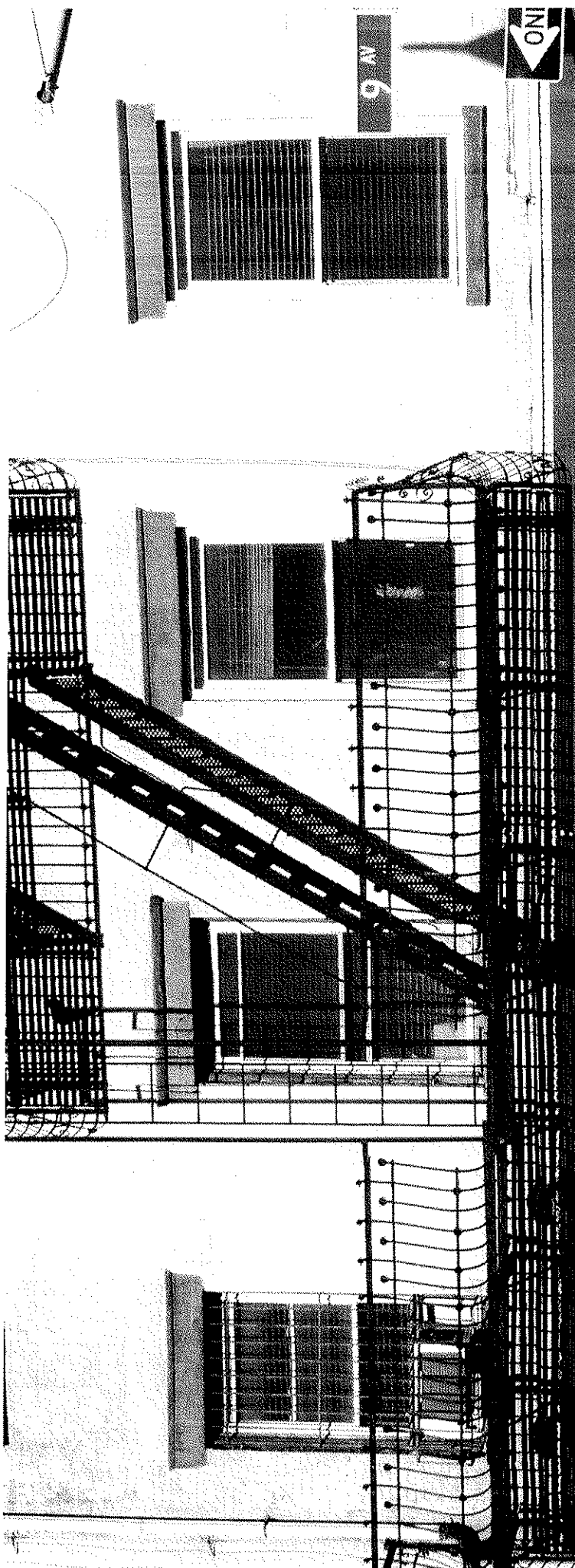
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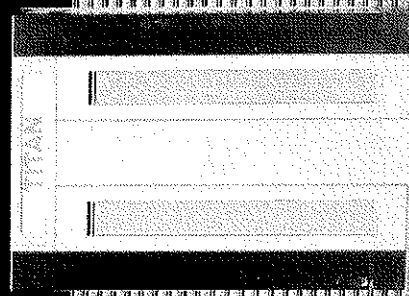


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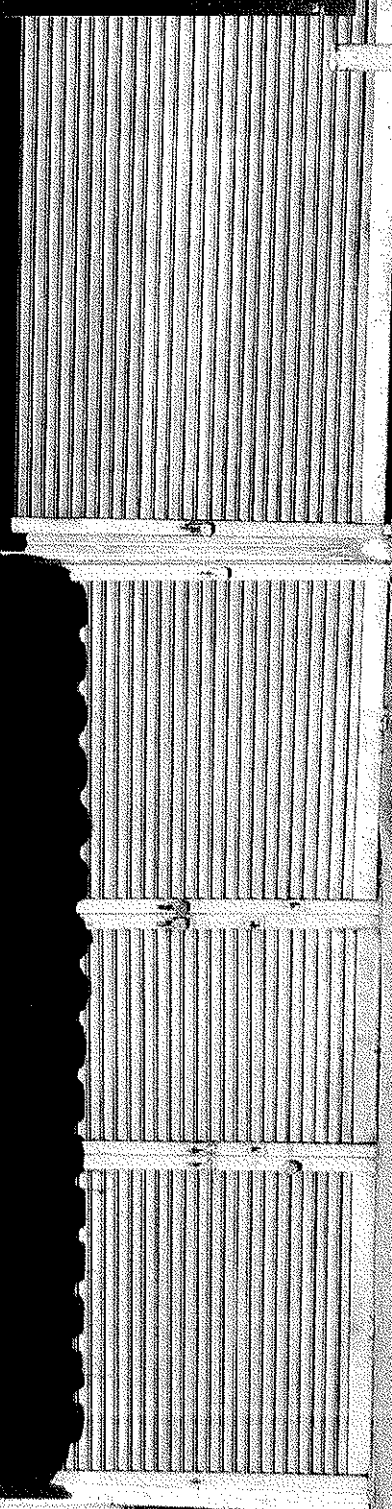
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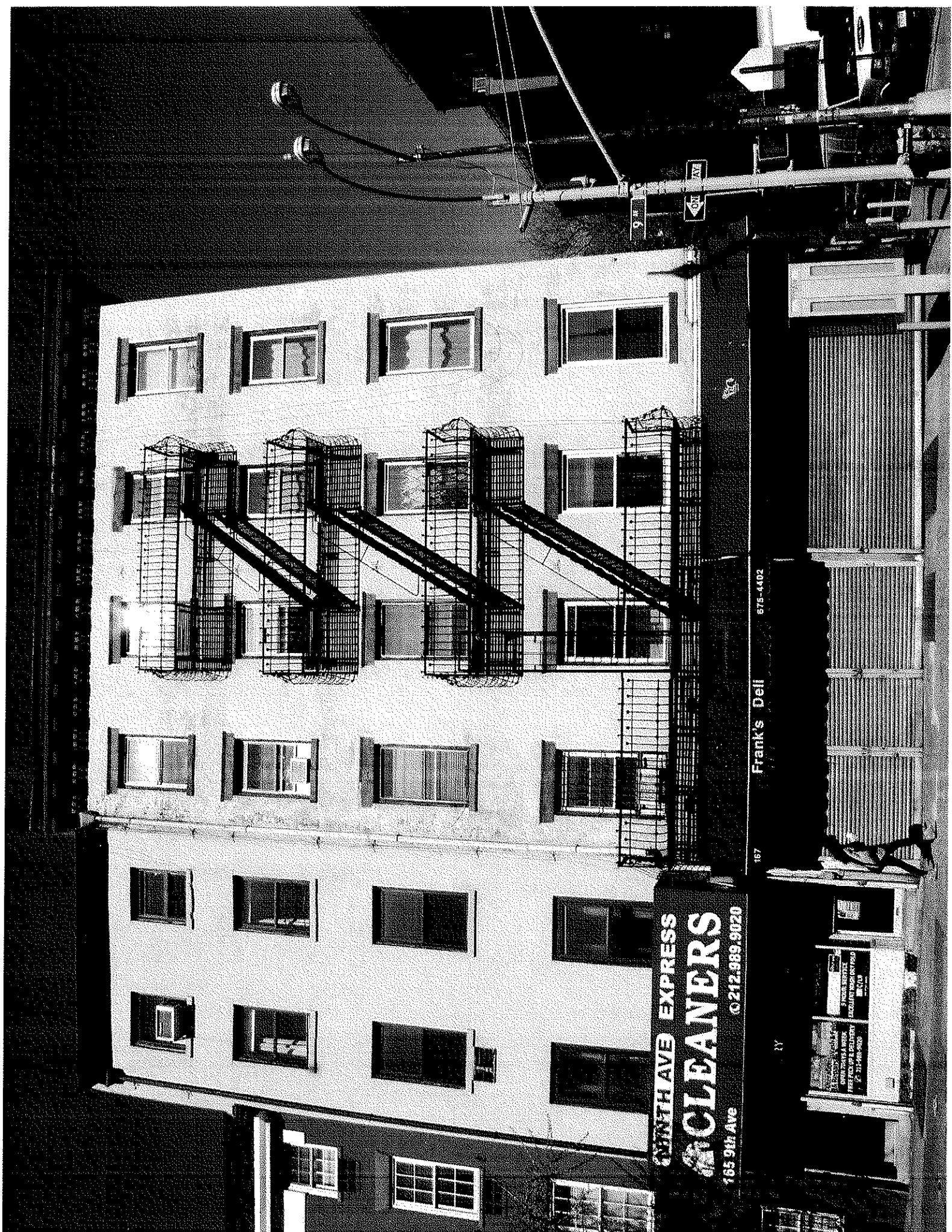


Frank's Deli  
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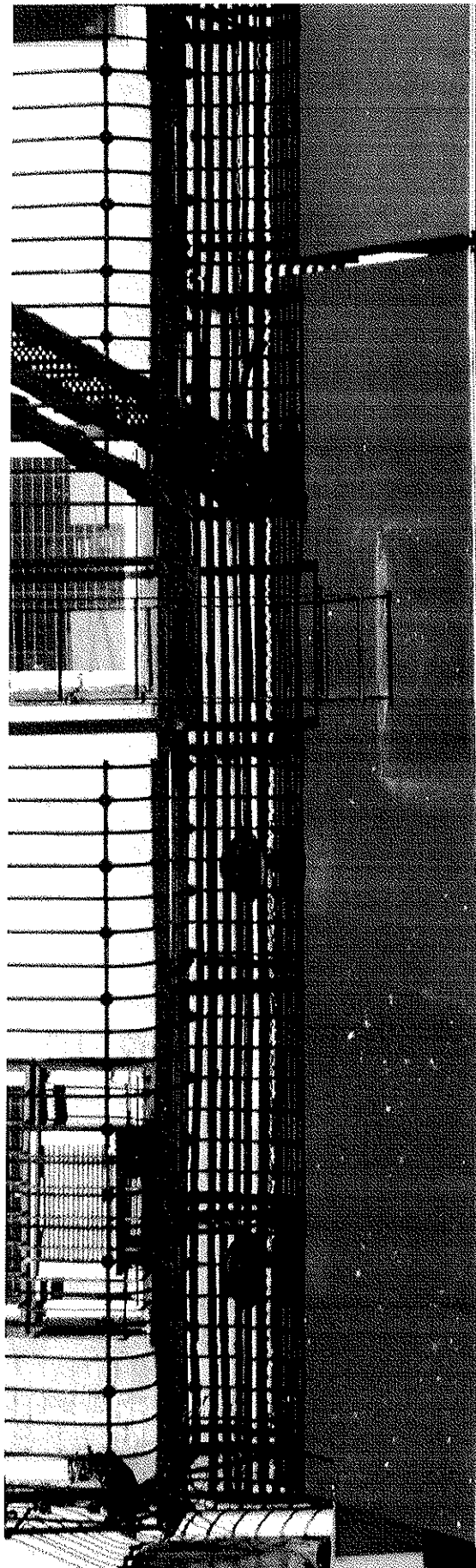
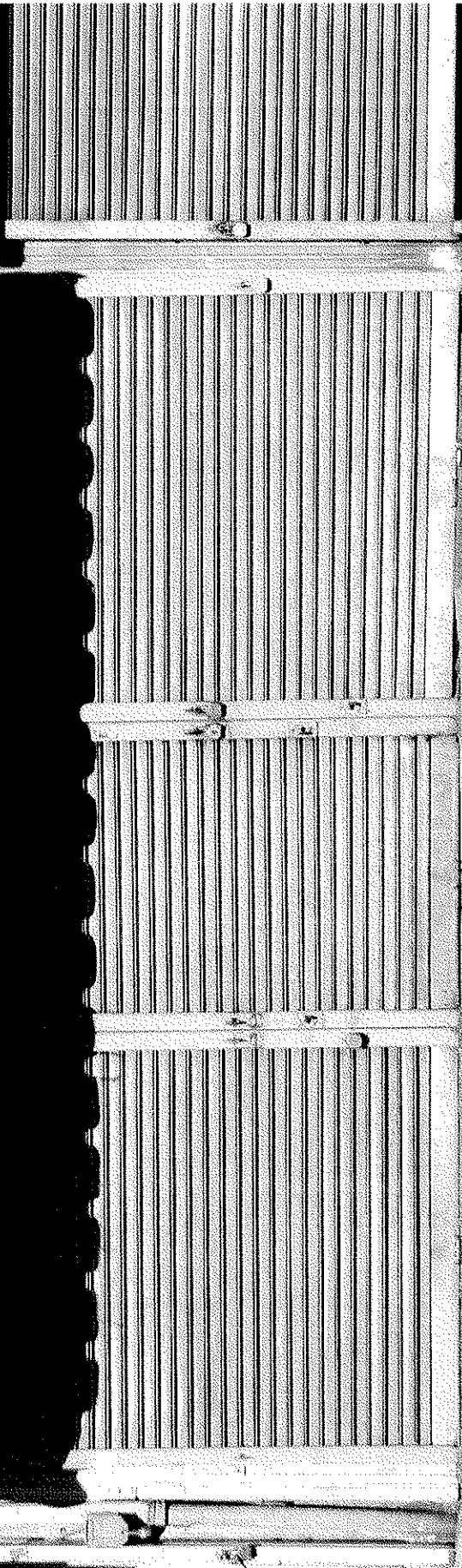
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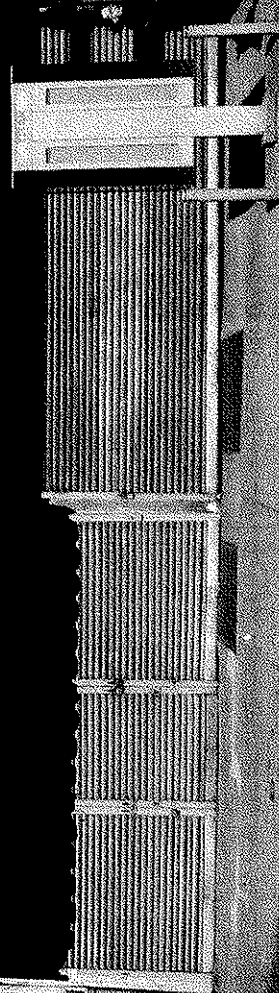
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OVER 10 YEARS OF SERVICE  
OVER 1000 CUSTOMERS  
SERVING THE BEST SERVICE  
IN THE AREA



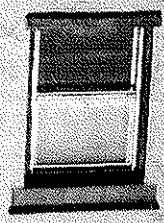
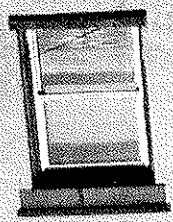
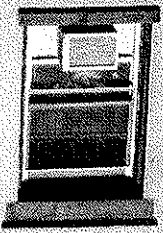
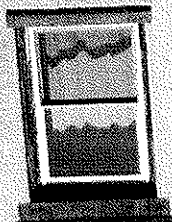
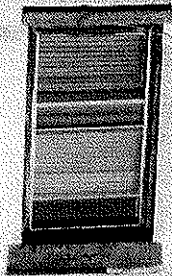
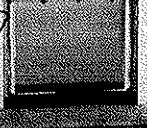
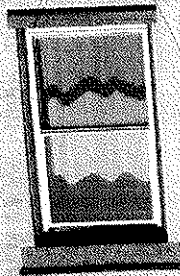
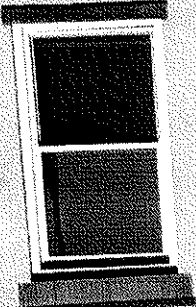
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Franks Dell

167

NO

AV 6





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## NYC Department of Buildings

## Work Permit Data

Premises: 167 9 AVENUE MANHATTAN  
BIN: 1012580 Block: 717 Lot: 43

Filed At: 400 WEST 20 STREET MANHATTAN  
Job Type: A2 - ALTERATION TYPE 2

|            |                    |                     |                    |
|------------|--------------------|---------------------|--------------------|
| Job No:    | <u>120978834</u>   | Fee:                | STANDARD           |
| Permit No: | 120978834-02-EW-MH | Issued:             | 02/24/2012         |
| Seq. No.:  | 01                 | Expires:            | 03/29/2012         |
| Work:      |                    | Filing Date:        | 02/23/2012 INITIAL |
|            |                    | Proposed Job Start: | 02/24/2012         |
|            |                    | Status:             | ISSUED             |
|            |                    | Work Approved:      | 02/14/2012         |

ALTERATION TYPE 2 - MECH/HVAC  
INSTALLATION OF PLUMBING FIXTURES AND RELATED MECHANICAL WORK AS PER PLANS  
SUBMITTED.

Use: COM - COMMERCIAL BUILDINGS - OLD CODE      Landmark: YES      Stories: 5  
Site Fill: NOT APPLICABLE  
Review is requested under Building Code: Prior-to-1968

Issued to: GOWKARRAN BUDHU

GENERAL  
CONTRACTOR - NON- 0603690-GC  
REGISTERED:

Business: THERMO TECH MECHANICAL IN  
528 LELAND AVENUE BRONX NY 10473

Phone: 917-292-1707



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NYC Department of Buildings

Work Permit Data

Premises: 167 9 AVENUE MANHATTAN

Filed At: 400 WEST 20 STREET MANHATTAN

BIN: 1012580 Block: 717 Lot: 43

Job Type: A2 - ALTERATION TYPE 2

CONCRETE WORK NOT AUTHORIZED - CONCRETE PLACEMENT, FORMWORK, STEEL REINFORCING NOT PERMITTED

|            |                    |                     |                    |
|------------|--------------------|---------------------|--------------------|
| Job No:    | <u>120978834</u>   | Fee:                | STANDARD           |
| Permit No: | 120978834-01-EW-OT | Issued:             | 02/24/2012         |
| Seq. No.:  | 01                 | Filing Date:        | 02/23/2012 INITIAL |
| Work:      |                    | Proposed Job Start: | 02/24/2012         |
|            |                    | Expires:            | 03/29/2012         |
|            |                    | Status:             | ISSUED             |
|            |                    | Work Approved:      | 02/14/2012         |

ALTERATION TYPE 2 - GEN. CONSTR.

GENERAL CONSTRUCTION WORK, INCLUDING THE REMOVAL AND INSTALLATION OF WALLS, CEILINGS, FINISHED FLOORS, NEW CABINETRY WORK AS PER PLANS SUBMITTED.

Use: COM - COMMERCIAL BUILDINGS - OLD CODE Landmark: YES Stories: 5

Site Fill: NOT APPLICABLE

Review is requested under Building Code: Prior-to-1968

Adding more than three stories: No

Removing one or more stories: No

Performing work in 50% or more of the area of the building: No

Demolishing 50% or more of the area of the building: No

Performing a vertical or horizontal enlargement adding more than 25% of the area of the building: No

Mechanical equipment other than handheld devices to be used for demolition or removal of debris to be used: No

Approved work includes concrete: No

Concrete work has been completed: No

Work includes 2,000 cubic yards or more of concrete: No

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If you have any questions please review these [Frequently Asked Questions](#), the [Glossary](#), or call the 311 Citizen Service Center by dialing 311 or (212) NEW YORK outside of New York City.

# **NYC**<sup>TM</sup> Buildings



## Work Permit Department of Buildings

Permit Number: 121031310-01-EW-OT

Issued: 04/06/2012

Expires: 06/11/2012

Address: MANHATTAN 400 WEST 20 STREET

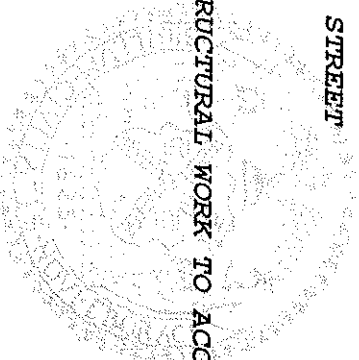
Issued to: LORENZO DEVARDO

Business: VARDO CONSTRUCTION CORP

Contractor No: GC-2362

**Description of Work:**

ALTERATION TYPE 2 - STRUCTURAL STRUCTURAL WORK TO ACCOMMODATE NEW STAIRS AS PER PLANS SUBMITTED.



Review is requested under Building Code: Prior-to-1968

SITE FILL: NOT APPLICABLE

To see a Zoning Diagram (ZD1) or to challenge a zoning approval filed as part of a New Building application or Alteration application filed after 7/13/2009, please use "My Community" on the Buildings Department web site at [www.nyc.gov/buildings](http://www.nyc.gov/buildings).

Emergency Telephone Day or Night: 311

Borough Commissioner:

Commissioner of Buildings:

Tampering with or knowingly making a false entry in or falsely altering this permit is a crime that is punishable by a fine, imprisonment or both.





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NYC Department of Buildings  
C of O PDF Listing for Property

Premises: 167 9 AVENUE MANHATTAN

BIN: 1012580 Block: 717 Lot: 43

Download the [Adobe Acrobat Reader](#) if you are unable to open the PDF files

To report a problem with any of these images, please use the [CO Image Problem Form](#)

**THERE ARE NO CERTIFICATES OF OCCUPANCY ON FILE FOR THIS ADDRESS**

[Back](#)

If you have any questions please review these [Frequently Asked Questions](#), the [Glossary](#), or call the 311 Citizen Service Center by dialing 311 or (212) NEW YORK outside of New York City.



CITY OF NEW YORK

MANHATTAN COMMUNITY BOARD FOUR

330 West 42<sup>nd</sup> Street, 26<sup>th</sup> floor New York, NY 10036  
tel: 212-736-4536 fax: 212-947-9512  
www.nyc.gov/mcb4

JOHN WEIS  
Chair

ROBERT J. BENFATTO, JR., ESQ.  
District Manager

February 18, 2010

Dennis Rosen  
Chairman  
New York State Liquor Authority  
80 S. Swan Street, 9<sup>th</sup> Floor  
Albany, New York 12210

**Re: Speak Integrated Corp**  
*167 Ninth Avenue (corner of W20th Street)*

Dear Chairman Rosen:

Manhattan Community Board 4 recommends denial of the application of Speak Integrated Corp for a new On Premises liquor license unless the following stipulations, agreed to by the applicant, are part of this establishment's method of operation:

- 1) Hours of operation will be from no earlier than noon to no later than 12 am seven days a week.
- 2) This establishment will have a capacity of no more than 60 people with no more than 20 tables seating no more than 50 people and one bar seating no more than eight people.
- 3) They will play no music other than soft background music not audible from outside the establishment and the music will cease by 10 pm.
- 4) They will serve only cold food.
- 5) French doors and sliding windows will be closed whenever amplified music is played inside as per law; in all events they will be closed by 11 pm Friday and Saturday and by 10 pm on all other days.
- 6) Riders of delivery bicycles will wear identifying clothing and bikes when not in use will be stored off the street.

A signed copy of the stipulations is enclosed. This is a new establishment.

Sincerely,

John Weis  
Chair  
Manhattan Community Board  
4

[Signed 2/17/11]  
Burt Lazarin  
Co-Chair  
Business License & Permits  
Committee – South

[Signed 2/17/11]  
Hugh Weinburg  
Co-Chair  
Business License & Permits  
Committee – South

# Manhattan Community Board 4

# Liquor License Application Questionnaire

|                       |                        |                          |                       |
|-----------------------|------------------------|--------------------------|-----------------------|
| APPLICANT             |                        | OWNING BUSINESS AS (OBA) |                       |
| SPEAK Integrated corp |                        |                          |                       |
| STREET ADDRESS        |                        | STREET ADDRESS           |                       |
| 167 9th AVENUE E      |                        | 20th ST                  |                       |
| OWNER                 | NAME: kristin sollenne | OWNER                    | NAME: Warren Resetsky |
|                       | PHONE: 212-932-2256    |                          | PHONE: 212-513-1988   |
|                       | PHONE: 212-449-1447    |                          | PHONE: 212-385-0564   |
| MANAGER               | NAME: Same as above    | MANAGER                  |                       |
|                       | PHONE: above           |                          |                       |
|                       |                        |                          |                       |

Please describe the nature of your proposed venue: **Fully Restaurant Food**

License Type

Restaurant Wine & Beer
  On-Premises Liquor
  Eating Place Beer
  Hotel Beer
  Club Beer
  Cabaret Liquor
  Club Wine & Beer
  Tavern Wine
  Catering Establishment
  Hotel Wine & Beer

APPLICATION TYPE (check one)

New

Has applicant owned or managed a similar business? **YES**

What was the name of former premises? **N/A**

What was the address of the former premises?

What were the dates the applicant was involved with this former premise?

Transfer

What is the prior license #?

What is the expiration date on the prior license?

Are you making any alterations or operational changes? **YES**

*If alterations or operational changes are being made, please attach the plans to this form.*

Alteration

What is the current license #? **N/A**

What is the expiration date on the current license?

*Please describe the nature of the alterations and attach the plans*

Is the 500 Foot Rule Triggered? **YES**

Is the 200 Foot Rule Triggered? **YES**

Are your plans filed with DOB? **YES**

Is a Public Assembly permit required? **YES**

|   |                                     | MONDAY     | TUESDAY | WEDNESDAY | THURSDAY | FRIDAY | SATURDAY | SUNDAY  |
|---|-------------------------------------|------------|---------|-----------|----------|--------|----------|---------|
| HOURS   | Operation                           | 12-12      | 12-12   | 12-12     | 12-12    | 12-12  | 12-12    | 12-12   |
|   | Music                               | 1-10       | 1-10    | 1-10      | 1-10     | 1-10   | 1-10     | 1-10    |
|   | Keypad                              | 11-12      | 11-12   | 11-12     | 11-12    | 11-12  | 11-12    | 11-12   |
| OCCUPANCY   | Capacity (Certificate of Occupancy) | 60         | 50      | 20        | 0        | 0      | 8        | N/A/N/A |
|   | Number of Employees                 |            |         |           |          |        |          |         |
| Will you be applying or intending to apply for a cabaret license? |                                     | YES        | NO      | NO        | NO       | NO     | NO       | NO      |
| Will you be hosting private parties and promotional events?       |                                     | YES        | NO      | NO        | NO       | NO     | NO       | NO      |
| Will outside promoters be used?                                   |                                     | YES        | NO      | NO        | NO       | NO     | NO       | NO      |
| Will the security plan submitted be implemented?                  |                                     | YES        | NO      | NO        | NO       | NO     | NO       | NO      |
| Will State certified security personnel(s) be used?               |                                     | YES        | NO      | NO        | NO       | NO     | NO       | NO      |
| Will New York Nightlife Association recommendations be followed?  |                                     | YES        | NO      | NO        | NO       | NO     | NO       | NO      |
| Will the applicant be using delivery bicycles?                    |                                     | YES        | NO      | NO        | NO       | NO     | NO       | NO      |
| Will applicant have music?  |                                     | YES        | NO      | NO        | NO       | NO     | NO       | NO      |
| If you plan to have music, what type(s)?                          |                                     | LIVE MUSIC |         |           |          |        |          |         |

|   |     |    |    |
|---|-----|----|----|
| French doors and sliding windows will be closed when any amplified music is played (per law) and in the event of no amplified sound, will be closed by 11 PM Friday and Saturday and 10 PM on all other days.             | YES | NO | NA |
| Will the kitchen exhaust system be designed to be compliant with NYC building codes and be constructed to not disturb neighboring tenants?  | YES | NO | NA |
| Will applicant follow the recommendations of a certified sound engineer to mitigate potential noise disturbance to the neighboring residents and buildings, including placing speakers on the floor of the establishment? | YES | NO | NA |
| Do you agree to comply with DOB rules concerning a storm enclosure? Storm enclosures can be used between November 15 and April 15, but they may NOT project more than 18 inches from the store front.)                    | YES | NO | NA |
| If applicant decides to apply for alterations, as defined by SLA or DCA (as applicable), he/she will reappear before CB4 to describe these alterations.   | YES | NO | NA |

|  |   |
|--|---|
| Will applicant use the rooftop or rear yard?   | <input type="radio"/> YES <input checked="" type="radio"/> NO <input type="radio"/> N/A |
| The rear yard, rooftop, and any outdoor space will be closed and vacated by 11 PM on Friday & Saturday and 10 PM on all other days.  | <input checked="" type="radio"/> YES <input type="radio"/> NO <input type="radio"/> N/A |
| The service and consumption of alcohol in the rear yard, on the rooftop, or in any other outdoor space will be only via seated food service.   | <input checked="" type="radio"/> YES <input type="radio"/> NO <input type="radio"/> N/A |
| The rear yard, rooftop, and any other outdoor space will not allow standing space for patrons to drink or smoke.   | <input checked="" type="radio"/> YES <input type="radio"/> NO <input type="radio"/> N/A |
| Will applicant do everything in their power to provide an effective sound baffling or sound controlled environment through landscaping or some type of enclosure, where possible; provided they do not violate any fire or building code regulations? This includes possibly working with landlords for soundproofing tenants apartments (such as installing soundproofing windows, acoustical tiles, etc.).   | <input checked="" type="radio"/> YES <input type="radio"/> NO <input type="radio"/> N/A |
| Will applicant enforce a quiet environment in the outdoor space, so as not to disturb nearby residents (e.g. there will be no amplified music, as per the law, and windows and doors to areas that play amplified music shall be closed). The applicant will make every effort possible to limit the noise emanating from diners by posting signs outside and also on menus asking for respect of the neighbor's privacy and peace. The staff will also encourage a peaceful environment amongst the outdoor diners. | <input checked="" type="radio"/> YES <input type="radio"/> NO <input type="radio"/> N/A |
| Will applicant have a lighting plan that will allow safe usage of the outdoor space without disrupting neighbors?  | <input checked="" type="radio"/> YES <input type="radio"/> NO <input type="radio"/> N/A |

|  |  |                             |  |
|--|--|-----------------------------|--|
| Primary Zoning District:   |  | Overlay (If Applicable):    |  |
| Does the building have a Certificate of Occupancy ("C of O")?  | <input checked="" type="radio"/> YES <input type="radio"/> NO <input type="radio"/> N/A  |                             |  |
| If the building has a "C of O" is the proposed occupancy permitted?                                  | <input checked="" type="radio"/> YES <input type="radio"/> NO <input type="radio"/> N/A  |                             |  |
| Building Type  | <input type="radio"/> Residential <input type="radio"/> Commercial <input checked="" type="radio"/> Mixed Use <input type="radio"/> Other, describe: _____ |                             |  |
| Adjacent Buildings   | <input type="radio"/> Residential <input type="radio"/> Commercial <input checked="" type="radio"/> Mixed Use <input type="radio"/> Other, describe: _____ |                             |  |
| NOTIFICATION:<br>What organizations / community groups have you notified regarding your application? | # 1  | Manhattan Community Board 4 |  |
|  | # 2  |                             |  |
|  | # 3  |                             |  |
|  | # 4  |                             |  |

Coco Kitchen  
No Hot Food  
use of  
No part near space

Nelly Gonzalez  
CB4 Community Associate

  
CB4 BLP Committee Co-Chair

  
CB4 BLP Committee Co-Chair

Pursuant to these stipulations, this applicant agrees to have these provisions incorporated in the method of operation of their liquor license. Additionally, the applicant agrees to the community agreements as the basis for the community supporting this application.

  
SIGNATURE OF APPLICANT OR ATTORNEY

DATE

12/29/16