

# Manhattan Community Board 4

(All Fields Must Be Completed)

## Liquor License Stipulations Application

<b>CORPORATION NAME</b>		<b>DOING BUSINESS AS (DBA)</b>	
SNRP WEST 37 LLC & BALLINTEER CORP		Hilton Garden Inn New York/Times Square South	
<b>STREET ADDRESS</b>		<b>CROSS STREETS</b>	<b>ZIP CODE</b>
326 West 37th Street, New York, NY 10018		8th & 9th Avenue	11018
<b>OWNER</b> <small>(Attach a list of all the people that will be associated/listed with the license)</small>	<b>NAME:</b> Samir R. Gandhi	<b>ATTORNEY/ REPRESENTATIVE</b>	<b>NAME:</b> Stacy L. Weiss
	<b>PHONE:</b> (732) 548-7512		<b>PHONE:</b> (212) 521-0828
	<b>EMAIL:</b> sgandhi@gandhilaw.com		<b>EMAIL:</b> slweissattorney@aol.com
<b>MANAGER</b>	<b>NAME:</b> N/A	<b>LANDLORD</b>	<b>NAME:</b> N/A
	<b>PHONE:</b>		<b>PHONE:</b>
	<b>EMAIL:</b>		<b>EMAIL:</b>
<b>APPLICATION TYPE (Check One)</b>			
<input checked="" type="radio"/> <b>New</b>	Has applicant owned or managed a similar business?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
	What is/was the name and address of establishment?	See Attached	
	What were the dates applicant was involved with this former premise?	See Attached	
<input type="radio"/> <b>Transfer</b>	What is the prior license # and expiration date?		
	Is applicant making any alterations or operational changes?	<input type="radio"/> YES	<input type="radio"/> NO
	<i>If alterations or operational changes are being made, please describe/list all changes.</i>		
<input type="radio"/> <b>Alteration</b>	What is the current license # and expiration date?		
	<i>Please list/describe the nature of all the changes and attach the plans:</i>		
<b>METHOD OF OPERATION</b>			
<b>TYPE OF ALCOHOL</b>	<input checked="" type="radio"/> Liquor/Wine/Beer <input type="radio"/> Beer <input type="radio"/> Wine & Beer		
<b>ESTABLISHMENT TYPE</b>	<input type="radio"/> Restaurant <input type="radio"/> Cabaret <input type="radio"/> Night Club <input checked="" type="radio"/> Hotel <input type="radio"/> Bar/Tavern <input type="radio"/> Catering Establishment <input type="radio"/> Adult Entertainment <input type="radio"/> Wine Bar <input type="radio"/> Dance Club <input type="radio"/> Sports Bar <input type="radio"/> Club (Fraternal Organization – Members Only)		
Has applicant/owner filed with the SLA? If yes, when? If no, when do you plan to file?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	We will submit when application is complete
Is the 500 Foot Rule applicable? If yes, please attach a diagram of the On-Premise liquor license establishments within a 500 ft. radius of your establishment and the Public Interest Statement.	<input type="radio"/> YES	<input checked="" type="radio"/> NO	See attached Lamp
Is the 200 Foot Rule applicable? If yes, please attach a diagram of the schools and houses of worship that trigger the rule.	<input type="radio"/> YES	<input checked="" type="radio"/> NO	
Has applicant/owner(s) read MCB4 Policy Regarding Concentration and Location of Alcoholic-Serving Establishments?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	



CITY OF NEW YORK

**MANHATTAN COMMUNITY BOARD No. 4**

330 West 42<sup>nd</sup> Street, 26<sup>th</sup> floor New York, NY 10036  
tel: 212-736-4536 fax: 212-947-9512  
www.nyc.gov/mcb4

**CHRISTINE BERTHET**  
Chair

**JESSE R. BODINE**  
District Manager  
February 14, 2017

Stacy L. Weiss, Esq.  
110 E. 59<sup>th</sup> Street, 2<sup>nd</sup> Floor  
New York, NY 10022

**Re: Hilton Garden Inn West 37<sup>th</sup> Street/Times Square South – 326-330 W. 37<sup>th</sup> Street**

Ms. Weiss,

Manhattan Community Board No. 4 invites you to present your application for an On-Premise Liquor License at its next Business Licenses & Permits Committee meeting scheduled for:

**Tuesday, March 14, 2017**

**6:30 pm**

**Yotel New York**

**570 10<sup>th</sup> Avenue, 4<sup>th</sup> Fl. Green Room**

Please post the enclosed public notice of this hearing in a highly visible window of your establishment. We ask that you complete and submit the following documents:

- Business License Stipulation Application via pdfFiller at <http://pdf.ac/7ECyfU> **ATTACHED**
- Floorplans (for each floor) **ATTACHED**
- Sidewalk Café plans **N/A**
- Diagram of Establishments that trigger either the 500 Foot Rule or 200 Foot Rule **N/A SEE ATTACHED LAMP**
- Menu **SEE ATTACHED**
- Photos of Exterior **SEE ATTACHED**
- 500 Foot Hearing Public Interest Statement, IF REQUIRED **SEE ATTACHED**

**Please send all supporting documents as attachments in a separate email**

All the above documents **MUST** be submitted by 11am Tuesday, February 28<sup>th</sup>, (**Absolutely No Exceptions**). Once the online application is submitted no revisions will be accepted by the office. If changes are made after your application has been submitted, you will now be required to announce the changes at the March 14<sup>th</sup> meeting. Applicants with a rooftop/rear yard/terrace/patio **MUST** call me by 1pm Wednesday, March 1<sup>st</sup> to make arrangements for committee members to see the location.

**In addition, failure to comply by February 28<sup>th</sup> will result in a request to postpone to the following month's meeting of April 11, 2017 or a denial recommendation from the committee.**

If you wish to **POSTPONE** your application, please contact us. We will **REQUIRE** a letter stating that you will **NOT APPLY** to the **SLA UNTIL AFTER** appearing at our **NEXT MEETING**. If you do appear before the Committee with insufficient or questionable information, you may be requested to postpone and return to a new hearing. In this case you must also submit a postponement letter.

Please feel free to contact me if you have any questions. Thank you for your cooperation.

Sincerely,

Nelly Gonzalez  
Assistant District Manager

# Samir Gandhi Licenses

Hotel	Issue Date	Expires	Number
<b>MRT 58 RESTAURANT LLC</b> BAR 58 538 W 58TH ST NEW YORK, NY 10019 (ON-PREMISES LIQUOR)	10/14/2016	09/30/2018	#1295337
<b>HI DELANCEY RESTAURANT LLC 1</b> 148-150 DELANCEY ST NEW YORK, NY 10002 (ON-PREMISES LIQUOR)	05/16/2016	12/31/2017	#1275363
<b>IMDN Holdings LLC and EDJD Properties INC</b> HOLIDAY INN NYC TIMES SQUARE SOUTH 585 8TH AVE NEW YORK, NY 10018 (HOTEL LIQUOR)	11/12/2015	10/31/2017	#1287122
<b>HI 290 RESTAURANT LLC</b> LILLIES 290 WILD AVE STATEN ISLAND, NY 10314 (ON-PREMISES LIQUOR)	05/26/2016	04/30/2017	#1282848
<b>SC DELANCEY LLC</b> HOLIDAY INN 148 DELANCEY ST NEW YORK, NY 10002 (HOTEL LIQUOR)	06/01/2015	04/30/2017	#1268637

# Proximity Report for Location:

February 22, 2017

326 W 37th St, New York, NY, 10018

\* This report is for informational purposes only in aid of identifying establishments potentially subject to 500 and 200 foot rules. Distances are approximated using industry standard GIS techniques and do not reflect actual distances between points of entry. The NYS Liquor Authority makes no representation as to the accuracy of the information and disclaims any liability for errors.

## Closest Liquor Stores

Name	Address	Approx. Distance
SHILORI INC	486 9TH AVENUE	490 ft
474 9TH AVE INC	474 9TH AVENUE	510 ft
39TH STREET WINE INC	354 W 39TH ST	525 ft
CAMBRIDGE WINES & LIQUORS INC	594 8TH AVENUE	645 ft
36TH STREET WINE & LIQUOR INC	270 W 36TH STREET	695 ft
GM & M RETAIL LIQUOR INC	302 W 40TH STREET	845 ft
BARRELMORE WINE & SPIRITS INC	488 7TH AVE	1245 ft

## Churches within 500 Feet

Name	Approx. Distance
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## Schools within 500 Feet

Name	Address	Approx. Distance
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## On-Premise Licenses within 750 Feet

Name	Address	Approx. Distance
324 37TH STREET LLC	320-324 WEST 37TH ST	85 ft
CM 36 LLC CM 36 OPERATOR LLC CM 36 MANAGEMENT LLC	341 343 W 36TH ST	220 ft
SBCO NYC LLC & 365 MANAGEMENT COMPANY LLC	307 W 37TH ST	275 ft
BACI DA ROMA LLC	331 W 38TH STREET	335 ft
STAG HORN STEAKHOUSE LLC	315 W 36TH STREET	340 ft
CASA NONNA NYC LLC	310 W 38TH ST	340 ft
PISCES BAR & TAVERN INC	543 8TH AVE	380 ft
PROJECT X VENTURES LTD	339 W 38TH ST	390 ft
EVEN HOTEL 35 LLC & IHJ MANAGEMENT MARYLAND LLC	321 W 35TH ST	425 ft
MANGANARO'S HERO BOY LLC	492 9TH AVE	470 ft
520 HAPPY TIMES INC	520 8TH AVENUE	475 ft
520 ASIAN RESTAURANT CORP	520 8TH AVENUE	475 ft
EROS MGMNT & REALTY LLC & WYNDHAM HOTEL MGMNT INC	345 W 35TH ST	495 ft
476 9TH AVENUE RESTAURANT LLC	476 9TH AVE	505 ft

Name	Address	Approx. Distance
EDJD PROPERTIES INC	585 8TH AVE	515 ft
IMDN HOLDINGS LLC AND EDJD PROPERTIES INC	585 8TH AVE	515 ft
TAMBURI TRATTORIA LTD	352 W 39TH STREET	520 ft
FARO CORP	496 NINTH AVENUE	520 ft
99 NOODLE CORP	472 9TH AVE	540 ft
NORA ON 9TH INC	460 9TH AVE	565 ft
ZZ 460 INC	460 9TH AVE	565 ft
TNN ENTERPRISES LLC	315 WEST 39TH ST	590 ft
MANGITALIA LLC	506 9TH AVE	590 ft
MIX 2 CORP	506 9TH AVE	595 ft
WALKINSTOWN INC	508 9TH AVE	610 ft
WWUPD INC	252 W 37TH ST	645 ft
IL PUNTO RISTORANTE LLC	507 509 9TH AVE	650 ft
511 9TH COMERCIAL LLC	511 9TH AVE	665 ft
STHK LLC	522 9TH AVE	730 ft
542 TACO LLC	524 9TH AVE	735 ft
523 9TH AVENUE INC	523 9TH AVE	745 ft

### Pending Licenses within 750 Feet

Name	Address	Approx. Distance
MIDTOWN CONVENIENCE STORE INC	454 9TH AVE	640 ft
39 & 9TH GROCERY INC	526 9TH AVE	750 ft

### Unmapped licenses within zipcode of report location

Name	Address
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**OPERATIONAL DETAILS (\*Closing time will be when establishment is vacated of all patrons )**

		MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	SUNDAY
HOURS*	Room Service Food	24 hrs	24 hrs	24 hrs	24 hrs	24 hrs	24 hrs	24 hrs
	Restaurant & Music	<b>REFER TO BALLINTEER CORP APPLICATION</b>						
(Indoor Only)	Room Service Alcohol	8am-4am	8am-4am	8am-4am	8am-4am	8am-4am	8am-4am	10am-4am
If you plan to have music, what type(s)? (Circle all that apply)			<input checked="" type="checkbox"/> BACKGROUND	<input type="checkbox"/> LIVE MUSIC	<input type="checkbox"/> DJ	<input type="checkbox"/> JUKE BOX	<input type="checkbox"/> KARAOKE	

**REFER TO BALLINTEER CORP APPLICATION OCCUPANCY**

	Capacity (Certificate of Occupancy)	Maximum # of Persons You Anticipate Occupying Premises (Including Employees)	Number of Tables	Number of Seats	Number of Service Only Bars	Number of Stand-Up Bars	Number of Seats at Stand-Up Bar
INSIDE	139	139	30	106	0	1	10
OUTSIDE <i>(Other than sidewalk café)</i>	60	60	14	56	0	0	0
SIDEWALK CAFÉ	N/A						

How many floors are there? What is the capacity for each floor? 22 Stories, Capacity: 498

How frequently will the owner(s) be at the establishment? Weekly

Will you be applying or intending to apply for a cabaret license with DCA? If yes, will there be dancing?	YES	<input checked="" type="radio"/> NO	No
Will applicant have bottle or table service for beverage alcohol?	YES	<input checked="" type="radio"/> NO	No
Will you be hosting private; promotional or corporate events?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes
Will outside promoters be used on a regular basis? If yes please describe.	YES	<input checked="" type="radio"/> NO	No
Will you have a security plan? If, yes please attach.	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes
Will security plan be implemented?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes
Will State certified security personnel be used?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes
Will New York Nightlife Association and NYPD Best Practices be followed?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes
Will applicant be using delivery bicycles? If yes, how many?	YES	<input type="radio"/> NO	N/A
Will delivery bicycles be clearly marked with the name of the restaurant and will staff wear attire clearly noting name as described by NYC Law?	YES	<input type="radio"/> NO	N/A
Where will delivery bicycles be stored during the day when not in use?	N/A		

LOCATION & ZONING			
Is this a Special District? If yes, is it Clinton, West Chelsea or Hudson Yards?	YES	<input checked="" type="radio"/> NO	
Does the building have a Certificate of Occupancy ("C of O") or a letter of no objection?	YES	<input checked="" type="radio"/> NO	New Construction
Is a Public Assembly permit required?	<input checked="" type="radio"/> YES	NO	Yes
Are your plans filed with DOB?	<input checked="" type="radio"/> YES	NO	Yes

Community Notification/Relations			
<b>NOTIFICATION:</b> List all block associations; tenant associations, co-op boards or condo boards of residential buildings; and community groups that applicant has notified regarding its application. For each please list both the organization and individual you contacted	# 1	Kathleen Treat from HKNA (Please see attached Email)	
	# 2	Ellen Celnik from The Aura (Please see attached Email)	
	# 3	Sarah Desmond from Housing Conservation Coordinators (Please see attached Email)	
	# 4	Frank Strock from West 36th Street (hasn't yet responded)	
	# 5	Joe Restuccia from CHDC (hasn't yet responded)	
Please provide dates when applicant met with the groups listed above.		No groups have requested a meeting as of yet.	
Who was your contact person at each group you met with?		None of them.	
When did applicant post the notice that was provided?		February 17, 2017	
Where did applicant post the notice that was provided?		The exterior of the building	
Will applicant provide owner cell phone number to neighbors and respond to complaints that arise? Please provide number in space provided.		<input checked="" type="radio"/> YES	NO
Will applicant inform the Community Board office of its job openings and/or provide a hyperlink to applicants jobs webpage?		<input checked="" type="radio"/> YES	NO

Subj: **SNRP WEST 37, LLC located at 326 West 37th Street**  
Date: 2/22/2017 2:43:23 P.M. Eastern Standard Time  
From: [NCantavelaw@aol.com](mailto:NCantavelaw@aol.com)  
To: [kathleentreat123@gmail.com](mailto:kathleentreat123@gmail.com), [mcgee79@aol.com](mailto:mcgee79@aol.com), [eduardozeiger@compuserve.com](mailto:eduardozeiger@compuserve.com),  
[mpta@mptenants.com](mailto:mpta@mptenants.com), [ashleyil@aol.com](mailto:ashleyil@aol.com), [twocatsltd@worldnet.att.net](mailto:twocatsltd@worldnet.att.net),  
[rudi\\_papiri@timemagazine.com](mailto:rudi_papiri@timemagazine.com), [tangotanner@gmail.com](mailto:tangotanner@gmail.com), [chanawid@gmail.com](mailto:chanawid@gmail.com),  
[allisontupper@verizon.net](mailto:allisontupper@verizon.net), [stephenfanto@gmail.com](mailto:stephenfanto@gmail.com), [aefearshk@earthlink.net](mailto:aefearshk@earthlink.net),  
[larrymichaelroberts@gmail.com](mailto:larrymichaelroberts@gmail.com), [jamesboques@gmail.com](mailto:jamesboques@gmail.com), [chasmv@hotmail.com](mailto:chasmv@hotmail.com),  
[chluderernyc@yahoo.com](mailto:chluderernyc@yahoo.com), [nancyroylance@ymail.com](mailto:nancyroylance@ymail.com), [mariagnys@aol.com](mailto:mariagnys@aol.com),  
[ecelnik@actorsfund.org](mailto:ecelnik@actorsfund.org), [rpimentel@commonground.org](mailto:rpimentel@commonground.org), [buzany@rcn.com](mailto:buzany@rcn.com),  
[nkyriacou@yahoo.com](mailto:nkyriacou@yahoo.com), [gdclay@att.net](mailto:gdclay@att.net), [bill@midtownsouthhcc.org](mailto:bill@midtownsouthhcc.org), [sdesmond@hcc-nyc.org](mailto:sdesmond@hcc-nyc.org),  
[ploeb315@aol.com](mailto:ploeb315@aol.com), [west55ba@gmail.com](mailto:west55ba@gmail.com), [hk5051@gmail.com](mailto:hk5051@gmail.com), [rlarios@hotmail.com](mailto:rlarios@hotmail.com),  
[acernitz@gmail.com](mailto:acernitz@gmail.com), [awm3333@me.com](mailto:awm3333@me.com), [jessbondy@aol.com](mailto:jessbondy@aol.com)  
CC: [slweissattorney@aol.com](mailto:slweissattorney@aol.com), [ncantavelaw@aol.com](mailto:ncantavelaw@aol.com)

Hello everyone,

I am reaching out on behalf of a client, SNRP WEST 37, LLC., which will be located at 326 West 37th Street. This will be a hotel requesting a liquor license. Our client has several other Hotel Liquor Licenses and has had no issues with the New York State Liquor Authority or the Communities in which his hotels are in. Please call our office so that we can arrange for you to speak with the client and/or see the space. We can discuss the hours and menu with you at that time.

\*\*\*PLEASE ACKNOWLEDGE RECEIPT OF THIS EMAIL\*\*\*

Sincerely,

Nadia Cantave  
Paralegal  
The Law Office of Stacy L. Weiss  
110 East 59th Street, 23rd Floor  
New York, New York 10022  
212-521-0828  
[NCantavelaw@aol.com](mailto:NCantavelaw@aol.com)  
[www.stacyweisslaw.com](http://www.stacyweisslaw.com)

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Subj: **Re: SNRP WEST 37, LLC located at 326 West 37th Street**  
Date: 2/22/2017 2:49:18 P.M. Eastern Standard Time  
From: [kathleentreat123@gmail.com](mailto:kathleentreat123@gmail.com)  
To: [NCantavelaw@aol.com](mailto:NCantavelaw@aol.com)

No problem.  
Kathleen Treat, Chair  
Hell's Kitchen Neighborhood Ass'n

Sent from my iPhone

On Feb 22, 2017, at 2:43 PM, [NCantavelaw@aol.com](mailto:NCantavelaw@aol.com) wrote:

Hello everyone,

I am reaching out on behalf of a client, SNRP WEST 37, LLC., which will be located at 326 West 37th Street. This will be a hotel requesting a liquor license. Our client has several other Hotel Liquor Licenses and has had no issues with the New York State Liquor Authority or the Communities in which his hotels are in. Please call our office so that we can arrange for you to speak with the client and/or see the space. We can discuss the hours and menu with you at that time.

\*\*\*PLEASE ACKNOWLEDGE RECEIPT OF THIS EMAIL\*\*\*

Sincerely,

Nadia Cantave  
Paralegal  
The Law Office of Stacy L. Weiss  
110 East 59th Street, 23rd Floor  
New York, New York 10022  
212-521-0828  
[NCantavelaw@aol.com](mailto:NCantavelaw@aol.com)  
[www.stacyweisslaw.com](http://www.stacyweisslaw.com)

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Subj: **Automatic reply: SNRP WEST 37, LLC located at 326 West 37th Street**  
Date: 2/22/2017 2:58:04 P.M. Eastern Standard Time  
From: [ecelnik@actorsfund.org](mailto:ecelnik@actorsfund.org)  
To: [NCantavelaw@aol.com](mailto:NCantavelaw@aol.com)

Ellen Celnik no longer works at the Friedman. For questions or inquiries about Housing services, you can call Anna de la Rosa at 212-489-2020, ext. 105 or email her at [adelarosa@actorsfund.org](mailto:adelarosa@actorsfund.org)<<mailto:adelarosa@actorsfund.org>>

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Subj: **Automatic reply: SNRP WEST 37, LLC located at 326 West 37th Street**  
Date: 2/22/2017 2:43:31 P.M. Eastern Standard Time  
From: [sdesmond@hcc-nyc.org](mailto:sdesmond@hcc-nyc.org)  
To: [NCantavelaw@aol.com](mailto:NCantavelaw@aol.com)

I am currently out of the office, returning on March 6th. I will not have access to email or phone while I am away. If you need assistance, please contact Ana LoBiondo at [alobiondo@hcc-nyc.org](mailto:alobiondo@hcc-nyc.org) or by phone at 212-541-5996 x30.  
Best,

Best,  
Sarah Desmond  
Executive Director  
Housing Conservation Coordinators, Inc.

<b>BUILDING DESIGN</b>			
State the name and type of business previously located in the space.	New Construction		
Has a liquor-licensed establishment previously occupied this space at any time? If yes, please provide the name of the business.	<input type="checkbox"/> YES	<input type="checkbox"/> NO	Unknown
Do you plan any changes to the existing façade? If yes, please describe.	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	No
Will applicant have a vestibule within the establishment?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Yes
Will applicant use a storm enclosure?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	No
Will applicant not place any items or obstructions on the sidewalk, for example, sandwich boards, sidewalk signs, freestanding menus and plants, as per the law?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Yes
Will applicant comply with the NYC noise code?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Yes
Will the establishment have any of the following: (circle all that apply) N/A	<input type="checkbox"/> FRENCH DOORS	<input type="checkbox"/> GARAGE DOORS	<input type="checkbox"/> WINDOWS THAT CAN BE OPENED
Will applicant close all windows, French doors, garage doors when any music or amplified sound (including televisions) is played inside the establishment?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Yes
Will applicant close all windows, French doors, garage doors by 11 PM Friday and Saturday and 10 PM on all other days even if no music or amplified sound is played inside the establishment?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Yes
Has applicant obtained an acoustical report from a certified sound engineer to assess potential noise disturbance to the neighboring residents and buildings?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	No
Will applicant follow the recommendations of a certified sound engineer to mitigate potential noise disturbance to the neighboring residents and buildings, including placing speakers on the floor of the establishment?	<input type="checkbox"/> YES	<input type="checkbox"/> NO	N/A
Will the kitchen exhaust system extend to the roof?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Yes
Will the establishment have an illuminated sign?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Yes
Will the establishment have a canopy extending over the sidewalk?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Yes
Where will the air conditioner be located? What type is it?	Central A/C		
When was the air conditioner installed?	2017		

### OUTDOOR ITEMS - OTHER THEN SIDEWALK CAFÉ

Has the applicant/owner(s) read MCB 4 Rear Yard Rooftop Policy?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	<del>Yes</del> <sup>A</sup>
Will applicant use any outdoor spaces: rooftop, rear yard, patio, porch, balcony, pavilion, tents, deck or gazebo? If yes, which one(s)?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes, Rear Court Yard
Are the floorplans for the outdoor space(s) included?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes
Will applicant close and vacate the outdoor space(s) by 11PM on Friday & Saturday and 10 PM on all other days?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes
Will the service and consumption of alcohol in any outdoor space only be via seated food service?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes
Will applicant not allow standing space for patrons to drink or smoke in any outdoor space(s)?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes
Will there be no amplified music, as per the law?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes
If amplified sound is played inside the establishment, will windows and doors be closed?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes
Will applicant agree to post signs outside asking customers to respect the neighbors'?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes
Will applicant agree to train staff to encourage a peaceful environment?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes
Will applicant provide effective sound control (landscaping enclosure, soundproofing tenants apartments)	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes
Will there be a lighting plan that allows safe usage of the outdoor space without disrupting neighbors?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Yes

<b>OUTDOOR ITEMS – SIDEWALK CAFÉ</b>			
Has the applicant/owner(s) read MCB4 Sidewalk Café Policy?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will applicant be applying for a sidewalk café now or in the future?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	No
Is applicant in this application seeking to include a sidewalk café in its liquor license?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	No
If yes, has applicant submitted an application and plans to NYC Dept. of Consumer Affairs? Please attach application and plans.	<input type="radio"/> YES	<input checked="" type="radio"/> NO	No
Will applicant close and vacate the sidewalk café by 11 PM on Friday & Saturday and 10 PM on all other days?	<input type="radio"/> YES	<input type="radio"/> NO	N/A
Will applicant be serving alcohol in the sidewalk café? If so, will you have waiter service?	<input type="radio"/> YES	<input type="radio"/> NO	N/A
Will the café have a 3 ft. wide serving aisle running the entire length of the sidewalk cafe?	<input type="radio"/> YES	<input type="radio"/> NO	N/A
Will applicant mark the perimeter of the café on the sidewalk?	<input type="radio"/> YES	<input type="radio"/> NO	N/A
Will the service and consumption of alcohol in the sidewalk café only be via seated food service?	<input type="radio"/> YES	<input type="radio"/> NO	N/A
Will the sidewalk café not provide standing space for drinking or smoking?	<input type="radio"/> YES	<input type="radio"/> NO	N/A
Will applicant use any portable natural gas heaters? If so, do you have the requisite approvals from DOB & the Fire Department?	<input type="radio"/> YES	<input type="radio"/> NO	N/A
Will applicant have a lighting plan that will allow safe usage of the outdoor space without disrupting neighbors?	<input type="radio"/> YES	<input type="radio"/> NO	N/A
Will all furniture, plants and barricades be stored inside between the evening closing hours and the morning opening hours?	<input type="radio"/> YES	<input type="radio"/> NO	N/A
Will all furniture be stored inside between December 21 <sup>st</sup> and March 21 <sup>st</sup> , and any other day when it rains or snows?	<input type="radio"/> YES	<input type="radio"/> NO	N/A
Will applicant use umbrellas?	<input type="radio"/> YES	<input type="radio"/> NO	N/A
If construction or construction protection has reduced the sidewalk width, will applicant always maintain an 8 foot clear path of sidewalk between the perimeter of the café and the closes obstruction including construction barricades?	<input type="radio"/> YES	<input type="radio"/> NO	N/A



**ADDITIONAL STIPULATIONS: (Office Use Only)**

- Restaurant and outdoor space are included in separate application by Ballinteer Corp and not included in this application

***To the extent any additional stipulation on pages 7 and 8 of this application conflicts with any response on pages 1 – 6 of this application, the stipulations on pages 7 and 8 control.***



**ADDITIONAL STIPULATIONS: (Office Use Only), *Continued***

To the extent any additional stipulation on pages 7 and 8 of this application conflicts with any response on pages 1 – 6 of this application, the stipulations on pages 7 and 8 control.

ADDITIONAL STIPULATIONS: (Office Use Only)

- RESTAURANT AND OVERSEER  
SPACE ARE INCLUDED  
IN SEPARATE APPLICATION  
BY VOLUNTEER LEAD &  
NOT INCLUDED IN  
THIS APPLICATION,

To the extent any additional stipulation on pages 7 and 8 of this application conflicts with any response on pages 1 - 6 of this application, the stipulations on pages 7 and 8 control.

Manhattan Community Board 4 (MCB4) recommends:

Denial unless all stipulations agreed to by applicant/owner are part of the method of operation

Denial  Approval

**CB4 REPRESENTATIVES**

 <b>Nelly Gonzalez</b> CB4 Assistant District Manager	 <b>Frank Holozubiec</b> CB4 BLP Committee Co-Chair	 <b>Burt Lazarin</b> CB4 BLP Committee Co-Chair
---	--	--

**APPLICANT AGREEMENT WITH THE COMMUNITY**

Applicant agrees to these stipulations as the basis for the community support of this application and acknowledges that all of these stipulations are essential prerequisites to the MCB4 recommendation regarding this application. Applicant agrees to have these stipulations incorporated in the method of operation of its liquor license. The stipulations in this application constitute the entire agreement between MCB4 and applicant and may only be altered in writing signed by MCB4 and applicant. These stipulations supersede any oral statements or representations in connection with this application.

**SIGN HERE**



  
**PRINT NAME OF APPLICANT**

  
**SIGNATURE OF APPLICANT**

**DATE**

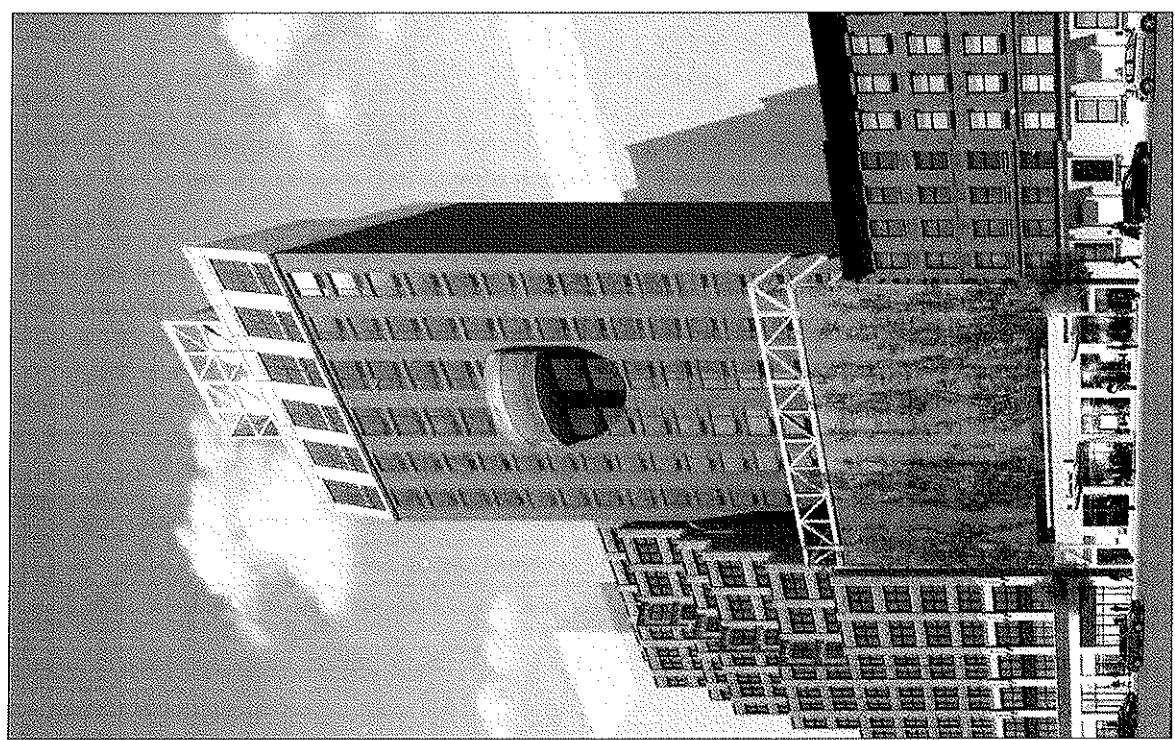
3/21/17

**PROJECT:**

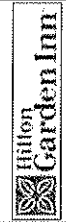
**326 West 37th Street  
PROPOSED HILTON GARDEN INN  
HOTEL**

**22-STORY BUILDING WITH 250 KEYS**

NO.	DESCRIPTION	QTY	UNIT	AMOUNT
1.0000	CONCRETE	1000	CU YD	10000
1.0001	STEEL	5000	LB	50000
1.0002	BRICK	200000	BR	2000000
1.0003	GLASS	10000	SQ FT	1000000
1.0004	MECHANICAL	500	HR	50000
1.0005	ELECTRICAL	1000	HR	100000
1.0006	PLUMBING	1000	HR	100000
1.0007	PAINT	1000	SQ YD	100000
1.0008	LANDSCAPE	1000	SQ YD	100000
1.0009	INTERIOR	1000	SQ YD	100000
1.0010	EXTERIOR	1000	SQ YD	100000
1.0011	MECHANICAL	1000	HR	100000
1.0012	ELECTRICAL	1000	HR	100000
1.0013	PLUMBING	1000	HR	100000
1.0014	PAINT	1000	SQ YD	100000
1.0015	LANDSCAPE	1000	SQ YD	100000
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1.0017	EXTERIOR	1000	SQ YD	100000
1.0018	MECHANICAL	1000	HR	100000
1.0019	ELECTRICAL	1000	HR	100000
1.0020	PLUMBING	1000	HR	100000
1.0021	PAINT	1000	SQ YD	100000
1.0022	LANDSCAPE	1000	SQ YD	100000
1.0023	INTERIOR	1000	SQ YD	100000
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1.0026	ELECTRICAL	1000	HR	100000
1.0027	PLUMBING	1000	HR	100000
1.0028	PAINT	1000	SQ YD	100000
1.0029	LANDSCAPE	1000	SQ YD	100000
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1.0045	EXTERIOR	1000	SQ YD	100000
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1.0099	LANDSCAPE	1000	SQ YD	100000
1.0100	INTERIOR	1000	SQ YD	100000



WE HEREBY CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT AND THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED FOR THE PROJECT DESCRIBED HEREIN. THE DRAWING SHALL NOT BE USED FOR ANY OTHER PURPOSES UNLESS SO NOTED BY THE ARCHITECT.



NO.	DATE	DESCRIPTION
1	11/15/11	ISSUED FOR PERMITTING
2	11/15/11	ISSUED FOR PERMITTING
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19	11/15/11	ISSUED FOR PERMITTING
20	11/15/11	ISSUED FOR PERMITTING

Shahid Shaikh  
*Shahid Shaikh*  
 APPROVED  
 1/20/12 DIRECTOR OF DPW  
 PERMITTING DIVISION  
 CITY OF NEW YORK  
 STAMPEDE UNIT 12/01/12 - 12/14/12  
 NYC Development Hub

NO.	DATE	DESCRIPTION
1	11/15/11	ISSUED FOR PERMITTING
2	11/15/11	ISSUED FOR PERMITTING
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20	11/15/11	ISSUED FOR PERMITTING



SEE LUNDA CONSULTING PC  
 625 HUDSON YAN YONG, NY, 10017  
 TEL: (212) 693-8200 FAX: (212) 693-8867

PROJECT:  
**326 WEST 37 STREET**  
 NEW YORK, NY

TITLE SHEET

DATE: 08.18.2013  
 SCALE: AS NOTED  
 DRAWING NUMBER:



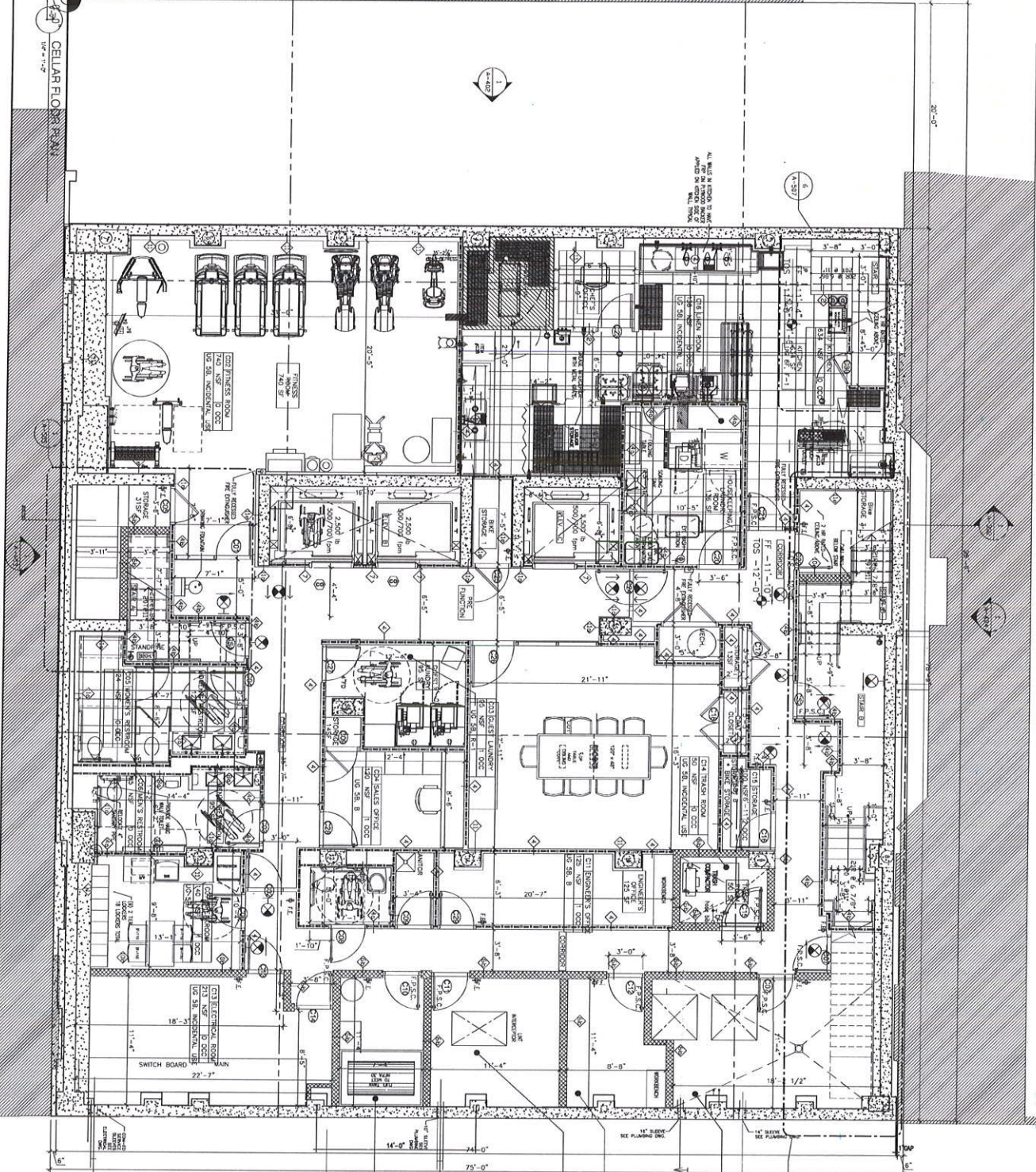
T-100.01  
 PAGE 17 OF 57

LOCATION:  
 326 West 37th Street (Block 760) Lot 58, 59, 60 New York, NY



PROJECT 0.0

CELLAR FLOOR PLAN



37TH STREET

**37th Street**

326 WEST 37 STREET  
NEW YORK, NY.

CELLAR PLAN

SCALE & SOURCE: DATE SET: 10.2013  
SCALE: AS SHOWN  
DRAWING NUMBER: A-200.01  
PAGE: 14 OF 51

THE SEATTLE CONVENTION CENTER, 1000 4TH AVENUE, SEATTLE, WA 98101  
ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. THE DRAWING SHALL NOT BE SCALE FOR CONSTRUCTION PURPOSES UNLESS SHOWN BY THE ARCHITECT.

NO.	DATE	DESCRIPTION
1	10-26-14	ISSUED FOR PERMITS
2	11-10-14	REVISION #1 AS PER PERMITS
3	11-10-14	REVISION #2
4	11-10-14	REVISION #3
5	11-10-14	REVISION #4
6	11-10-14	REVISION #5 AS PER PERMITS
7	11-10-14	REVISION #6
8	11-10-14	REVISION #7
9	11-10-14	REVISION #8
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16	11-10-14	REVISION #15
17	11-10-14	REVISION #16
18	11-10-14	REVISION #17
19	11-10-14	REVISION #18
20	11-10-14	REVISION #19
21	11-10-14	REVISION #20

DEPT OF BLDGS/21164331 Job Number:

ESS59133371

ISSUE: 10/10/10  
 DATE: 10/10/10  
 BY: [Signature]  
 CHECKED: [Signature]  
 APPROVED: [Signature]

**EGRESS SUMMARY**

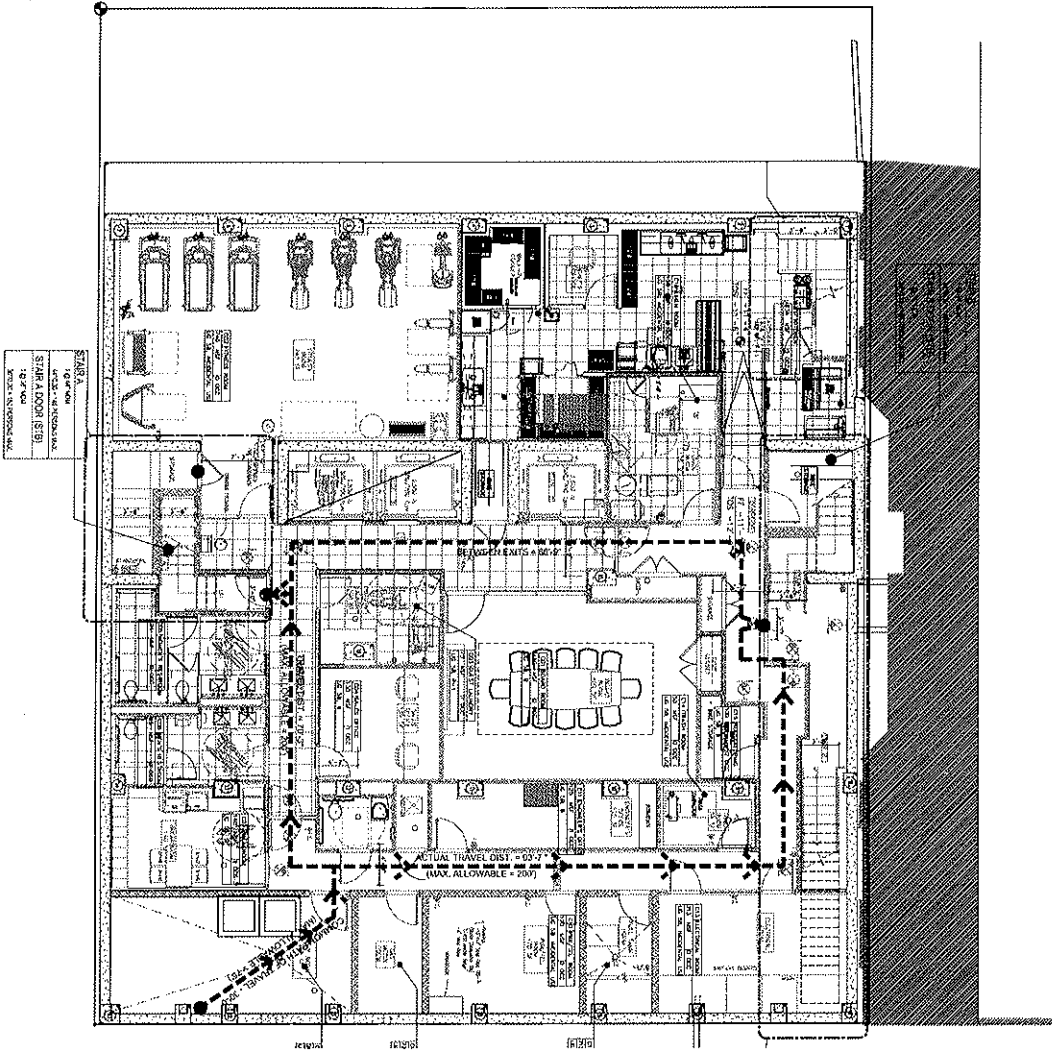
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STAIR A	146	DOOR STCO1 (Stair A)	180
STAIR B	146	DOOR STCO2 (Stair B)	180
<b>SUBTOTAL - STAIR</b> 292		<b>SUBTOTAL - DOORS</b> 360	
<b>CAPACITY TOTAL:</b> 292		<b>CAPACITY TOTAL:</b> 360	
<b>OCCUPANCY TOTAL:</b> 23		<b>OCCUPANCY TOTAL:</b> 23	

**OCCUPANCY LOAD ANALYSIS**

USE	OCCUPANCY	AREA	S.F. PERSON	OCCUPANTS
ACCESSORY TO HOTEL (BUSINESS)	B	379 SF	100	4
STORAGE	S-2	100 SF	300	1
ACCESSORY TO RESTAURANT (KITCHEN)	F-1	790 SF	200/occ.	4
GYM	R-1	740 SF	200/occ.	4
BUSINESS (BOARD / MEETING ROOM)	B	480 SF	100	5
INCIDENTAL USE AREAS* PER TABLE 608.3	B	1627 SF	300 gross	6
<b>OCCUPANCY TOTAL =</b> 23				

USE	INCIDENTAL USE AREAS	AREA (SF)
ELECTRICAL RM.	259 SF	
GAS METER RM.	90 SF	
PUMP RM.	379 SF	
LAUNDRY ROOM	419 SF	
LINEN RM.	242 SF	
FUEL TANK ROOM	108 SF	
PBX / TEL	130 SF	
	1627 SF	

1 CELLAR FLOOR PLAN



**EC-10101**  
 PAGE: 14 OF 27

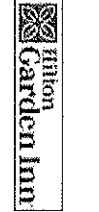
DATE: DEC 16, 2013  
 SCALE: AS NOTED  
 PROJECT NUMBER: [Number]

**CELLAR EGRESS & OCCUPANCY PLAN**  
 326 WEST 37 STREET  
 NEW YORK, NY

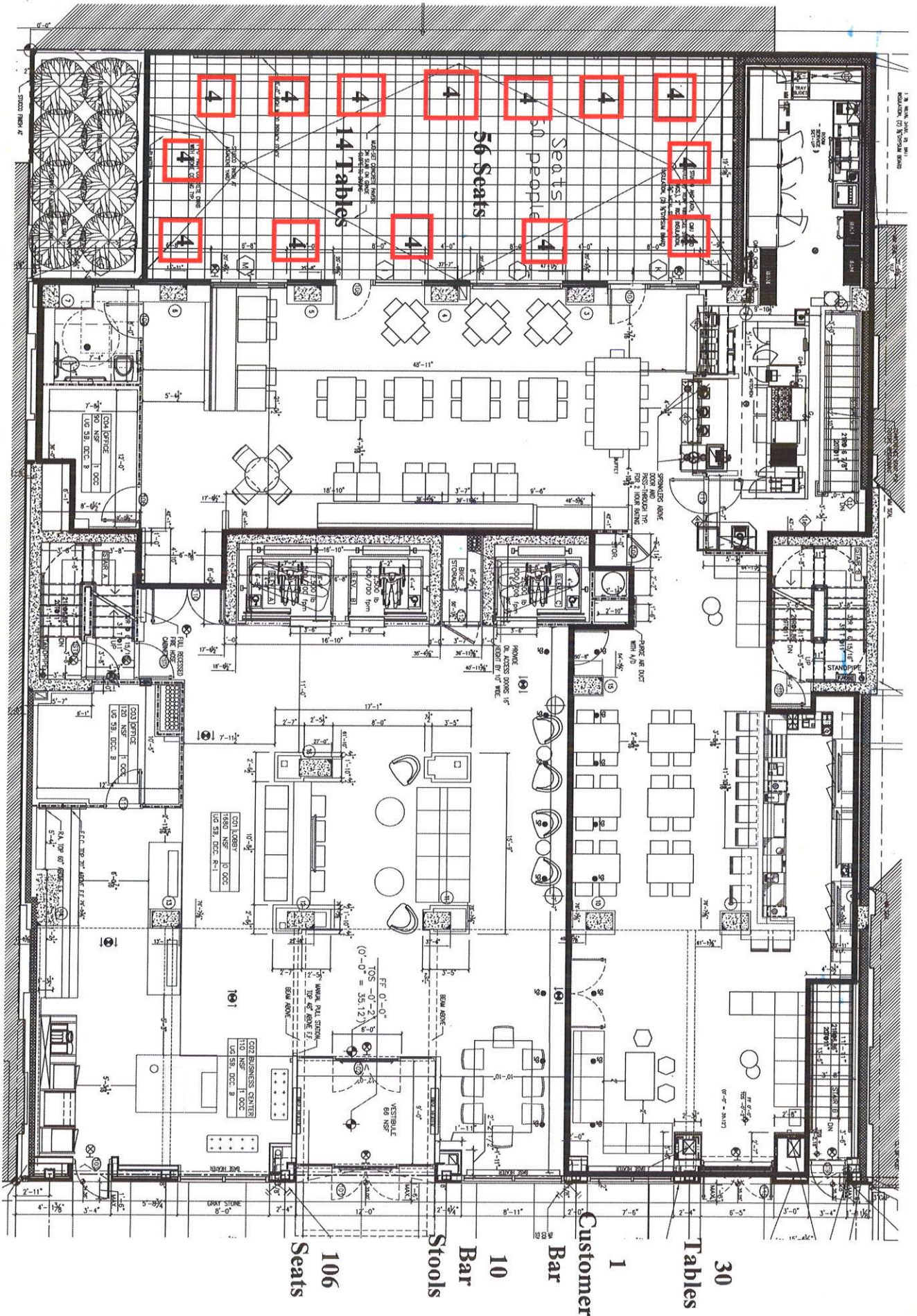
**SHE GARDEN ARCHITECT PC**  
 650 THIRD AVENUE, 12TH FLOOR  
 NEW YORK, NY 10016  
 TEL: 212 693-3000 FAX: 212 693-3883

NO.	DESCRIPTION	DATE	BY	CHKD.
01	ISSUED FOR PERMIT	10/10/10	[Signature]	[Signature]
02	ISSUED FOR CONSTRUCTION	10/10/10	[Signature]	[Signature]
03	ISSUED FOR RECORD	10/10/10	[Signature]	[Signature]
04	ISSUED FOR ARCHIVE	10/10/10	[Signature]	[Signature]
05	ISSUED FOR PROJECT CLOSEOUT	10/10/10	[Signature]	[Signature]
06	ISSUED FOR PROJECT CLOSEOUT	10/10/10	[Signature]	[Signature]
07	ISSUED FOR PROJECT CLOSEOUT	10/10/10	[Signature]	[Signature]
08	ISSUED FOR PROJECT CLOSEOUT	10/10/10	[Signature]	[Signature]
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12	ISSUED FOR PROJECT CLOSEOUT	10/10/10	[Signature]	[Signature]

**Shauqat Shaikh**  
 Project Architect  
 10/10/10  
 10/10/10  
 10/10/10  
 10/10/10

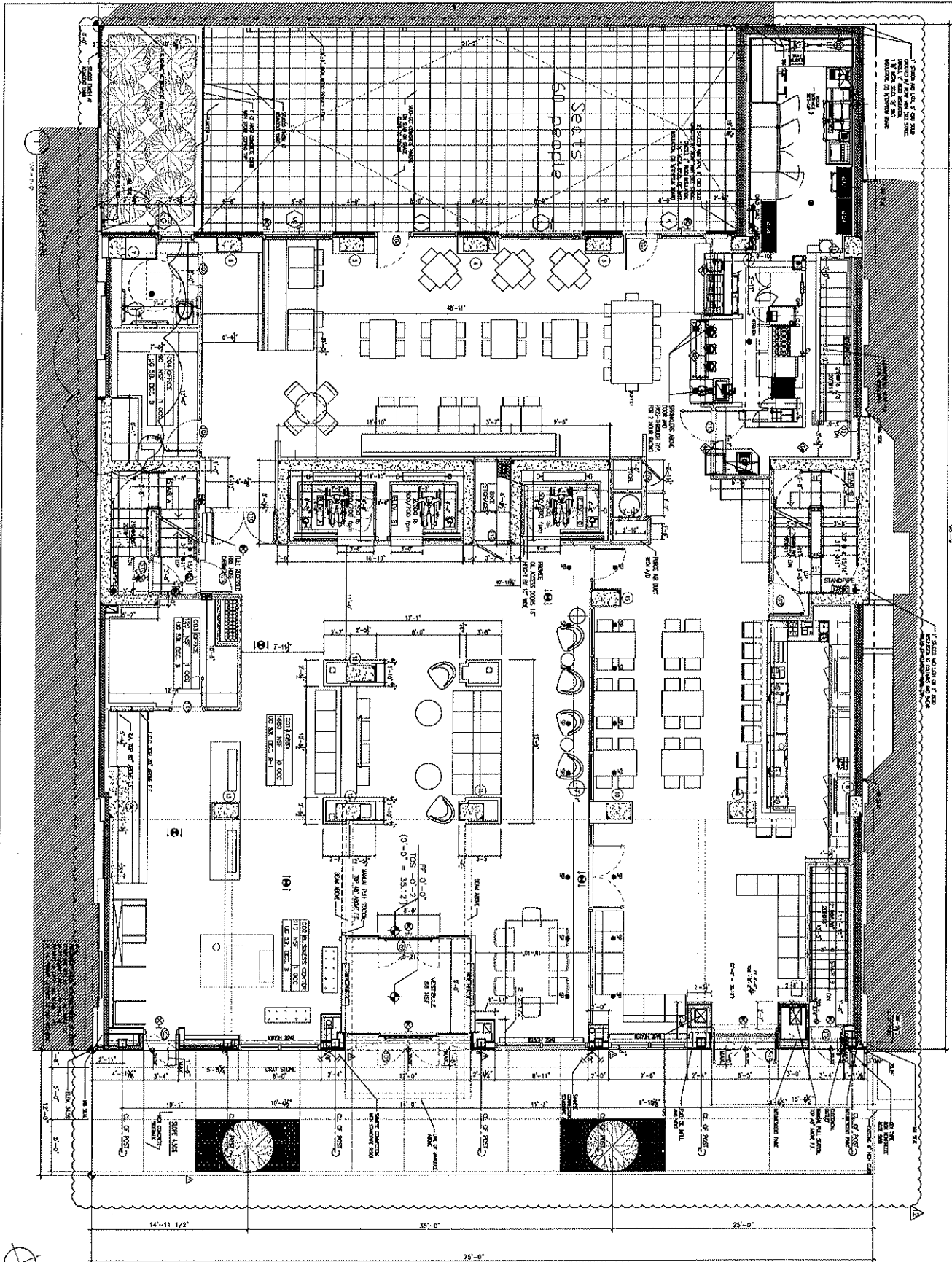






REFER TO BALLINTEER CORP APPLICATION





37TH STREET

SCALE & QUANTITIES: DATE: SEP. 16, 2013
   
 SCALE: AS SHOWN
   
 DRAWING NUMBER:
   
 PROJECT:
   
 536 GARDEN CITY PLAZA, NEW YORK, NY 10017
   
 TITLE: 1ST FLOOR PLAN
   
 SHEET NO. 1 OF 51
   
 A-201.01
   
 PROJECT:
   
 FIRST FLOOR PLAN
   
 SHEET NO. 1 OF 51

**GREG REYNOLDS ARCHITECTS PC**
  
 536 GARDEN CITY PLAZA, NEW YORK, NY 10017
   
 TEL: 212 261-4000 FAX: 212 261-4000

NO.	DATE	DESCRIPTION
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THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN UNLESS SPECIFICALLY NOTED OTHERWISE. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED HEREIN UNLESS SPECIFICALLY NOTED OTHERWISE. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED HEREIN UNLESS SPECIFICALLY NOTED OTHERWISE.

DEPT OF BUDGET 12184331 Job Number

ES873153384

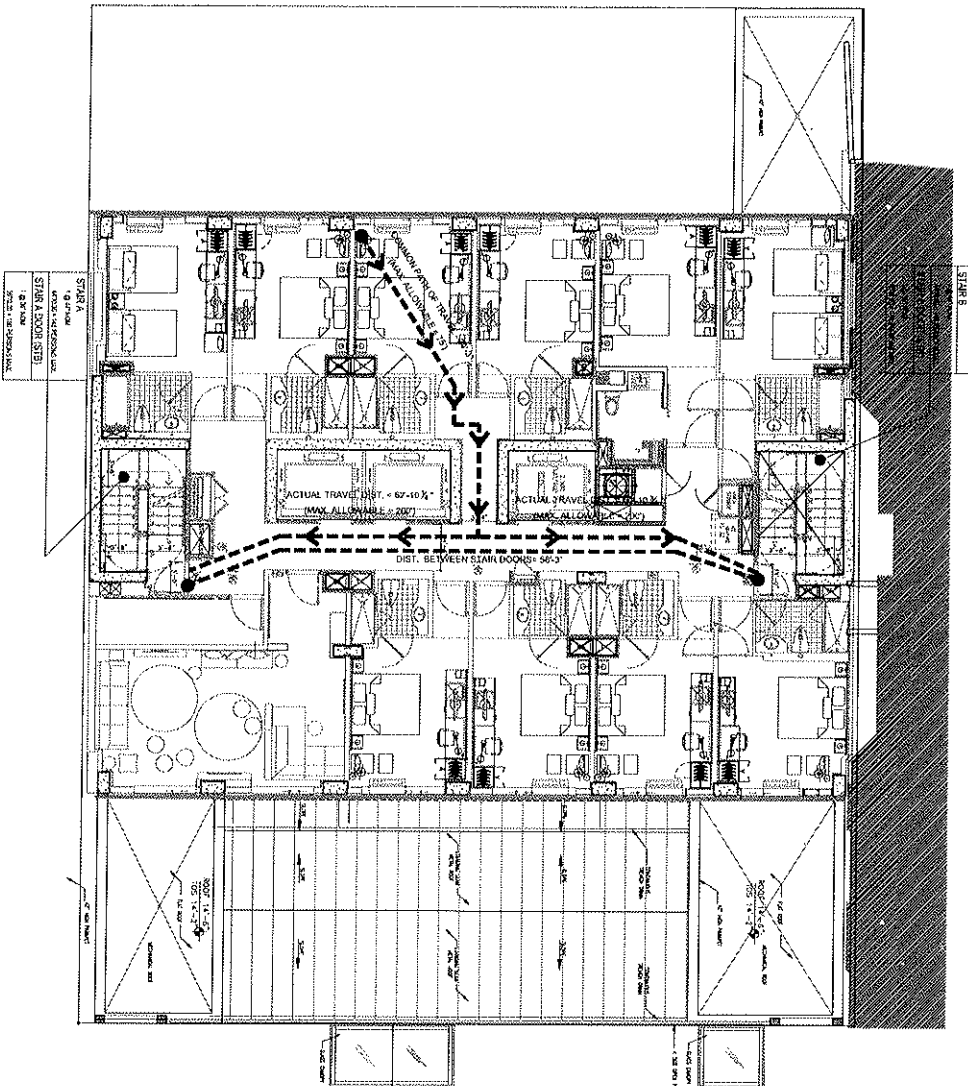
FOR THE STATE OF NEW YORK  
 DEPT OF BUDGET 12184331  
 JOB NUMBER  
 ES873153384

**EGRESS SUMMARY**

STAIR	CAPACITY	DOOR	CAPACITY
STAIR A	146	DOOR ST001 (Stair A)	180
STAIR B	146	DOOR ST002 (Stair B)	180
SUBTOTAL - STAIR	292	SUBTOTAL - DOORS	360
CAPACITY TOTAL	292	CAPACITY TOTAL	360
OCCUPANCY TOTAL	17	OCCUPANCY TOTAL	17

**OCCUPANCY LOAD ANALYSIS**

USE	OCCUPANCY	AREA	S.F./PERSON	OCCUPANTS
HOTEL	R-1	3256 SF	200/occ	17
				OCCUPANCY TOTAL = 17

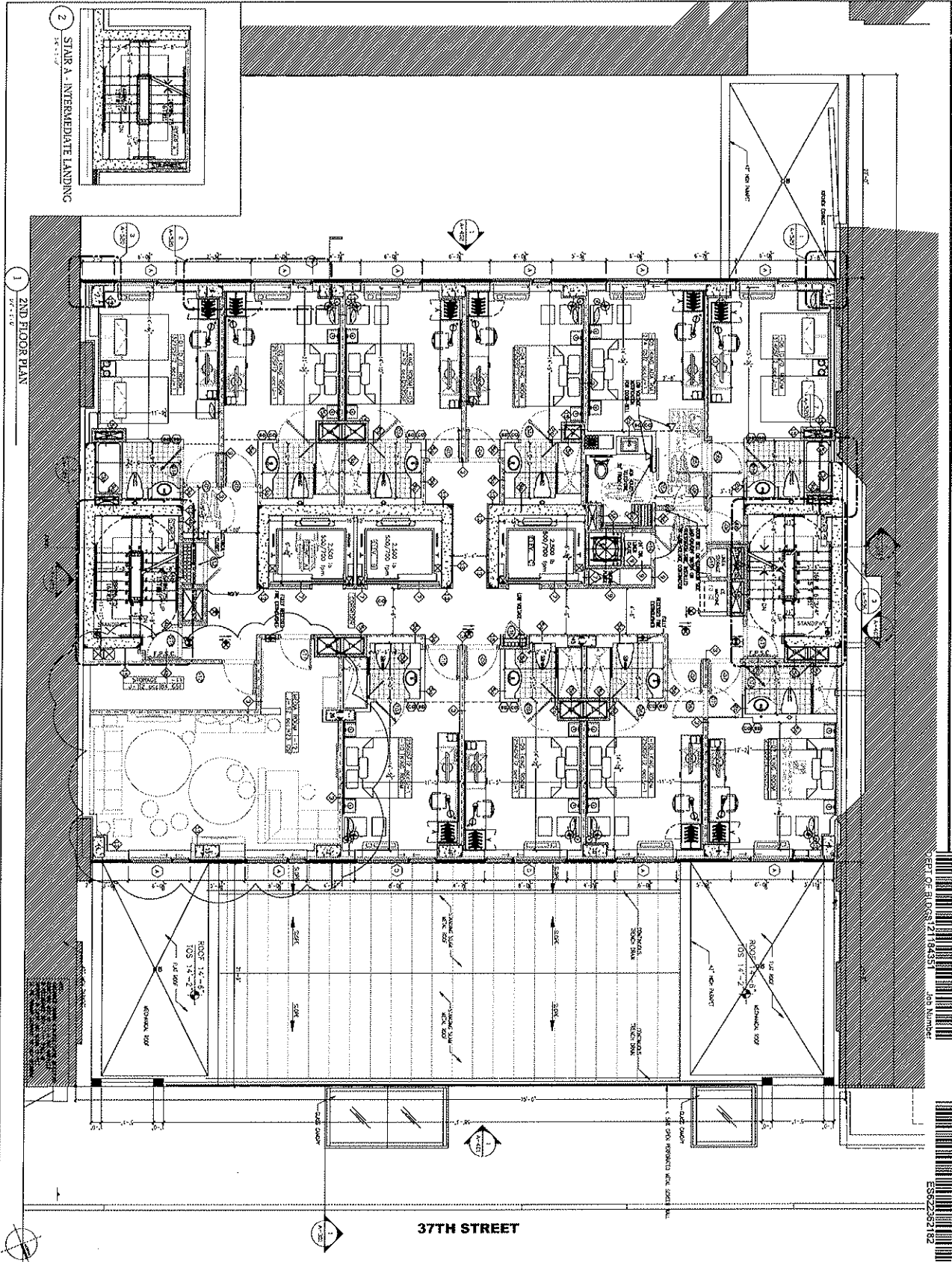


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APPROVED  
 SHEAUQAT SHAHDI  
 PROJECT MANAGER  
 DATE: 12/21/11  
 NYJC Development Corp.

PROJECT:  
 2ND FLOOR EGRESS & OCCUPANCY PLAN  
 326 WEST 37 STREET  
 NEW YORK, NY

DATE: DEC 16, 2011  
 SCALE: AS SHOWN  
 DRAWING NUMBER:  
 EC-103.01  
 PAGE: 3 OF 27




  
 SEAL & SIGNATURE  
 DATE: 02/20/12  
 PROJECT NUMBER:  
 PROJECT:  
 326 WEST 37 STREET  
 NEW YORK, NY  
 2ND FLOOR PLAN  
 DATE: DEC. 16, 2011  
 A-202.01  
 PAGE: 13 OF 57

**SITE DESIGN REPORT #**  
 557  
 326 WEST 37 STREET  
 NEW YORK, NY  
 2ND FLOOR PLAN

NO.	DATE	DESCRIPTION
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2	02-25-11	ISSUED FOR PERMITS
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19	11-17-11	ISSUED FOR PERMITS
20	11-17-11	ISSUED FOR PERMITS

Approved:  
 Architect:  
 Date: Dec 17, 2011 11:55 AM  
 NYC Development Dept.

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**Fulton**  
**Garden Inn**

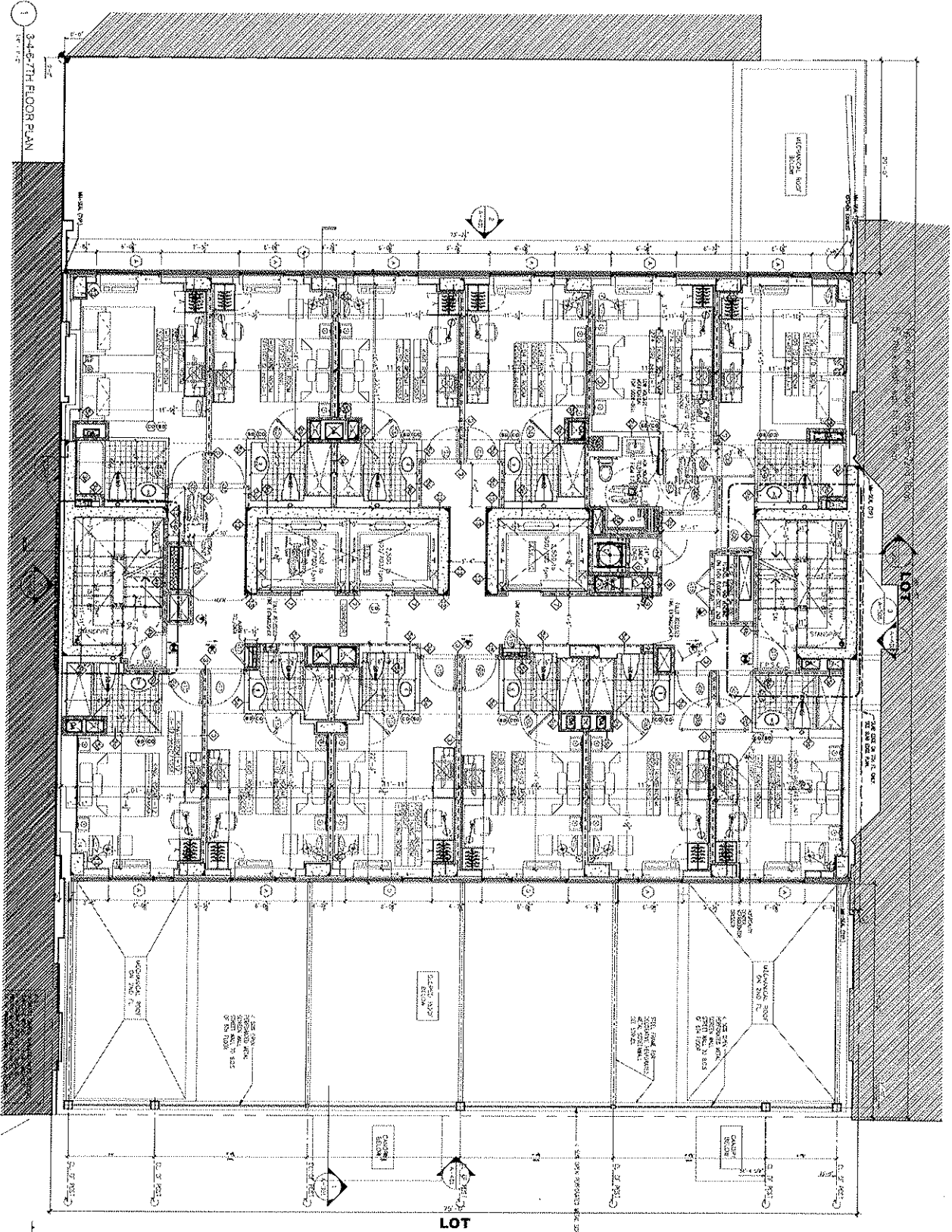
THE STATE OF NEW YORK  
 STATE OF NEW YORK  
 COUNTY OF NEW YORK  
 CITY OF NEW YORK  
 OFFICE OF THE DEPUTY CLERK  
 120 NASSAU ST., 12TH FLOOR  
 NEW YORK, NY 10038  
 TEL: (212) 312-1000  
 FAX: (212) 312-1001  
 WWW.STATE.NY.GOV

SECT. OF BLDGS. 21184357 Job Number:  
 E5822352182



DEPT OF BLDGS 121 184351 Job Number

ES204486785 Scan Code



1 3rd-7th FLOOR PLAN

**Fillion Garden Inn**

123 BROADWAY, NEW YORK, NY 10014  
TEL: 212 512 1234 FAX: 212 512 1234

**SHAUGHT SHAHIN**  
Architect

**NYC Development Hub**

APPROVED

12/15/2011

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	12/15/2011	SS
2	ISSUED FOR PERMIT	12/15/2011	SS
3	ISSUED FOR PERMIT	12/15/2011	SS
4	ISSUED FOR PERMIT	12/15/2011	SS
5	ISSUED FOR PERMIT	12/15/2011	SS
6	ISSUED FOR PERMIT	12/15/2011	SS
7	ISSUED FOR PERMIT	12/15/2011	SS

**SEAL**

DATE: 12/15/2011

SCALE: AS SHOWN

PROJECT: 326 WEST 37 STREET

3rd-7th FLOOR PLAN

123 BROADWAY, NEW YORK, NY 10014  
TEL: 212 512 1234 FAX: 212 512 1234

**SEAL**

DATE: 12/15/2011

SCALE: AS SHOWN

PROJECT: 326 WEST 37 STREET

3rd-7th FLOOR PLAN

123 BROADWAY, NEW YORK, NY 10014  
TEL: 212 512 1234 FAX: 212 512 1234

**SEAL**

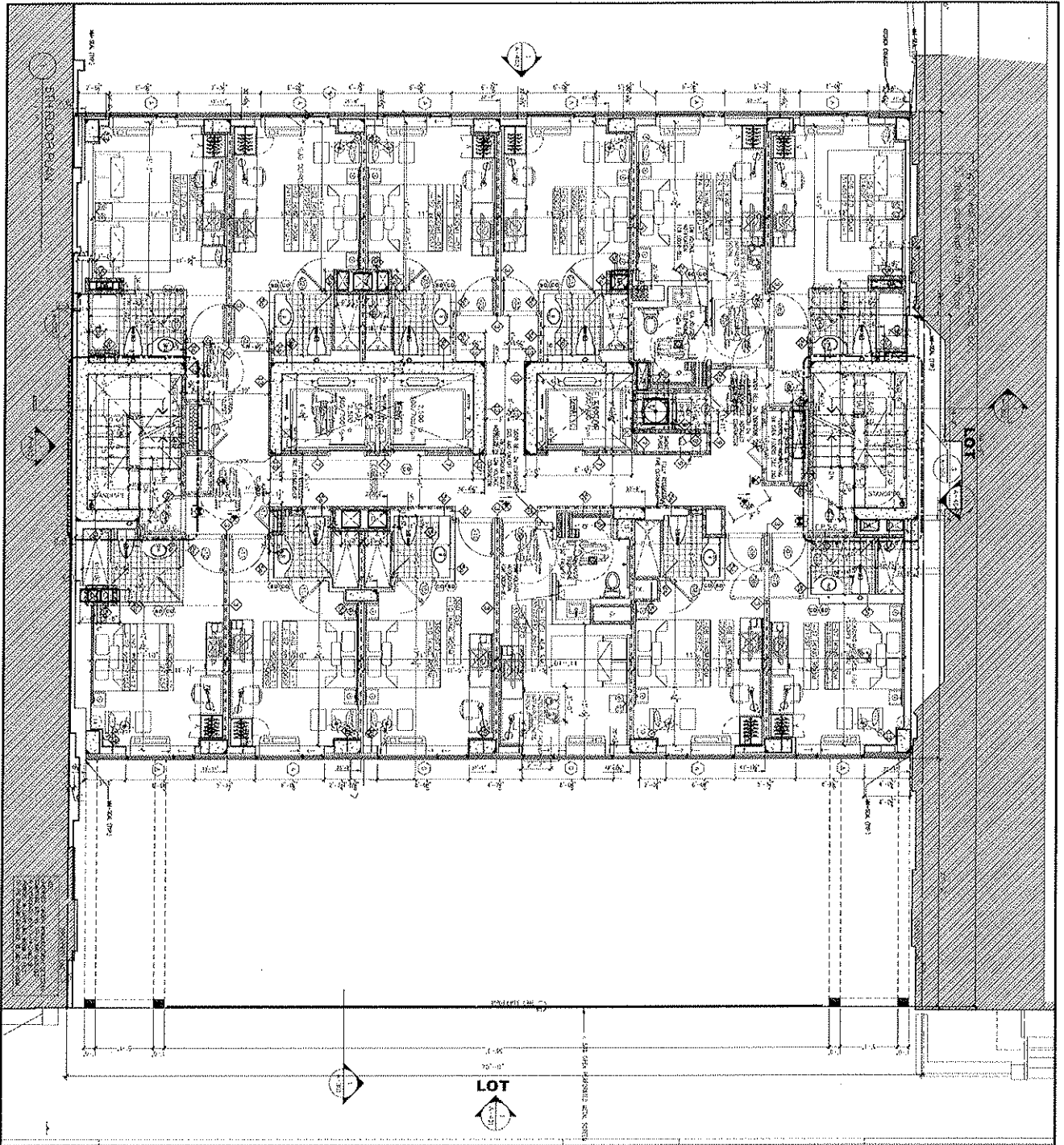
DATE: 12/15/2011

SCALE: AS SHOWN

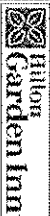
PROJECT: 326 WEST 37 STREET

3rd-7th FLOOR PLAN

123 BROADWAY, NEW YORK, NY 10014  
TEL: 212 512 1234 FAX: 212 512 1234



37TH STREET



APPROVED  
 Shaugat Shaikh  
 Director of Design  
 NYC Development Hub

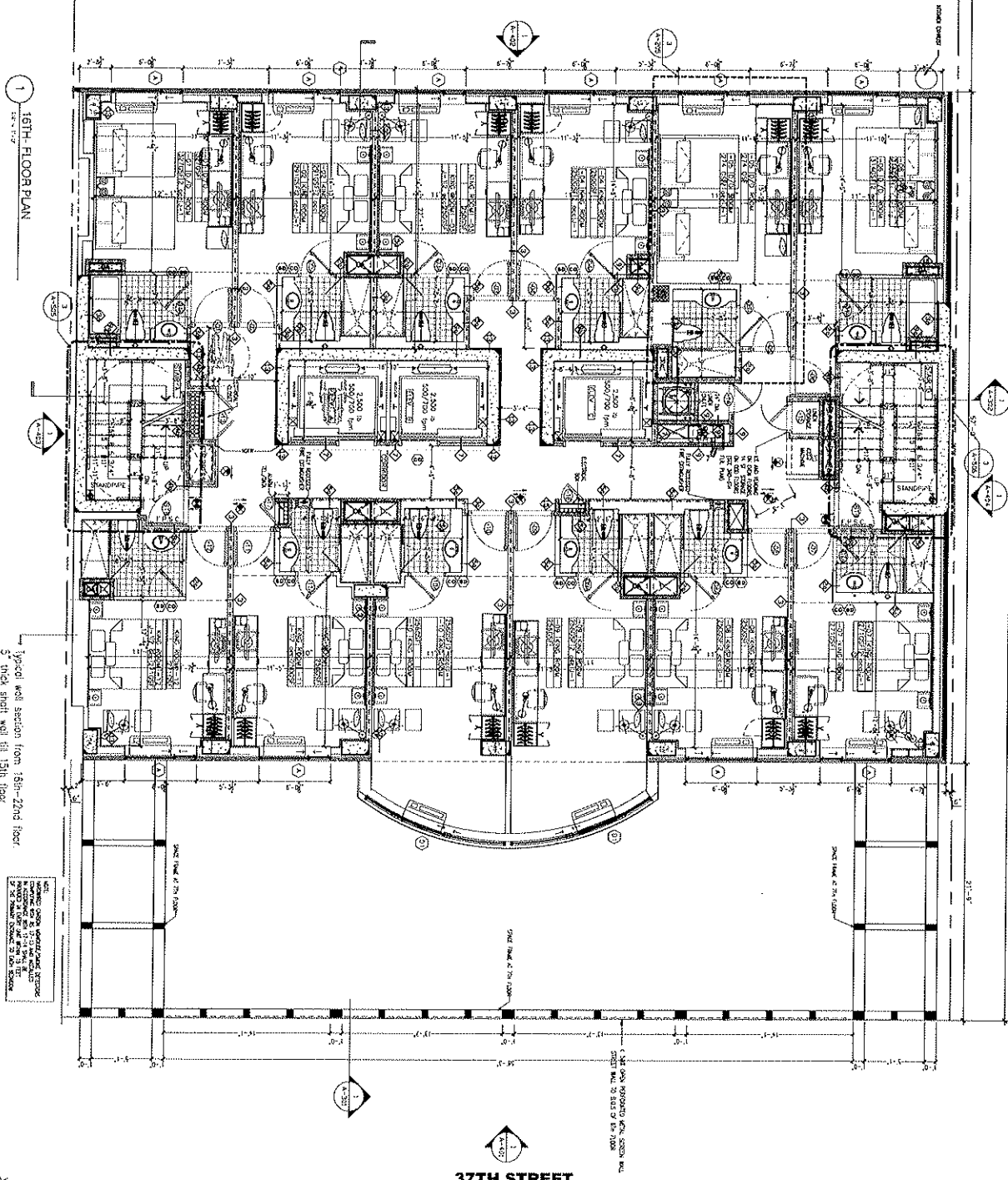
5TH FLOOR PLAN  
 DATE: 02.16.2013  
 DRAWING NUMBER: A-2034.01  
 PAGE: 1 OF 2

ENG. ANURAG KUMAR  
 326 WEST 37 STREET  
 NEW YORK, NY

NO.	DESCRIPTION	DATE	BY	CHECKED
01	5TH FLOOR PLAN	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
02	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
03	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
04	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
05	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
06	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
07	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
08	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
09	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
10	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
11	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
12	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
13	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
14	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
15	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
16	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
17	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
18	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
19	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH
20	REVISED	02.16.2013	ANURAG KUMAR	SHAUGAT SHAIKH

DEPT OF BLDGS 121184351  
 Job Number

ES417354628  
 Scan Code



15TH-FLOOR PLAN

TYPICAL WALL SECTION FROM 18th-22nd FLOOR  
3" THICK SHEET WALL FILL 15th FLOOR

NOTE: THIS FLOOR OPERATIONAL PLAN IS FOR THE 15TH FLOOR ONLY. IT DOES NOT INCLUDE THE 16TH FLOOR. SEE THE 16TH FLOOR OPERATIONAL PLAN FOR THE 16TH FLOOR.

37TH STREET



SCALE & SCHEDULE: DATE: DEC 18, 2013  
SCALE: AS SHOWN  
DRAWING NUMBER: A-2039A.01  
DATE: 10/27/13

PROJECT: 520 WEST 37 STREET  
NEW YORK, NY

320 BROADWAY, NEW YORK, NY 10013  
TEL: (212) 693-1100 FAX: (212) 693-1107

15TH-FLOOR PLAN

NO.	DATE	DESCRIPTION
1	10-24-13	ISSUED FOR PERMITS
2	11-15-13	ISSUED FOR PERMITS
3	11-15-13	ISSUED FOR PERMITS
4	11-15-13	ISSUED FOR PERMITS
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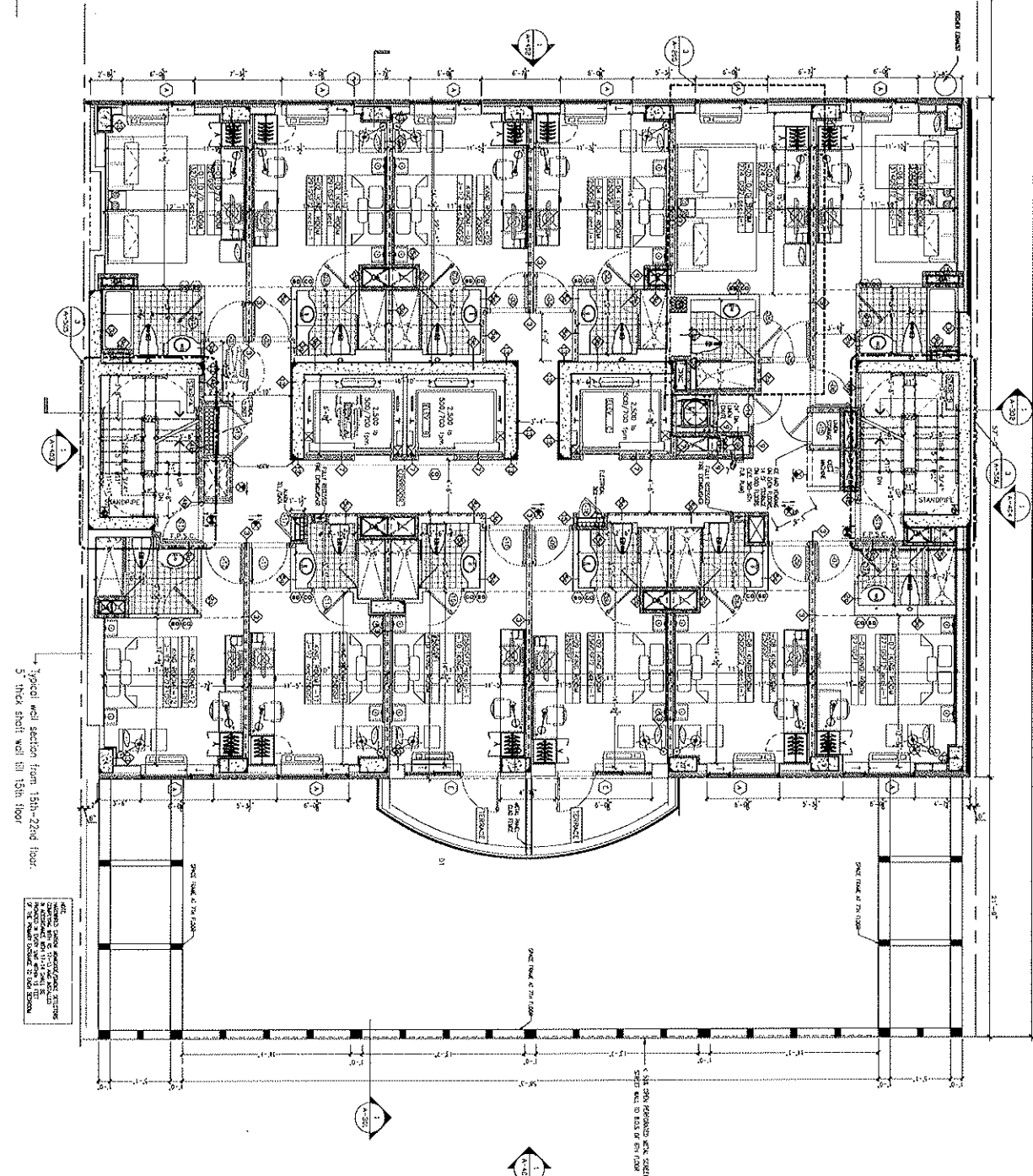
APPROVED: *Shauqat Shahk*  
DATE: DEC 12, 2013  
PROJECT: 520 WEST 37 STREET  
NEW YORK, NY

**Fullon Garden Inn**

100% GREEN BUILDING  
LEED GOLD CERTIFICATION

DESIGNED BY: SHAWQAT SHAHK  
ARCHITECT: SHAWQAT SHAHK ARCHITECTS  
100 WEST 37 STREET, NEW YORK, NY 10018  
TEL: (212) 693-1100 FAX: (212) 693-1107

1 17TH FLOOR PLAN



Typical wall section from 15th-22nd floor,  
3" thick shaft wall @ 15th floor

171. GENERAL NOTES: 1. REFER TO ALL DRAWINGS FOR THE PROJECT, INCLUDING ALL SUPPLEMENTALS. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND MATERIALS. 3. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE SHOWN. 4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT. 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. 6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. 8. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE SHOWN. 9. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

37TH STREET

**Hilton Garden Inn**

**NYC Development Hub**

326 WEST 37 STREET  
NEW YORK, NY

NO.	REVISION	DATE	DESCRIPTION

**Shauqat Shaikh**  
Architect

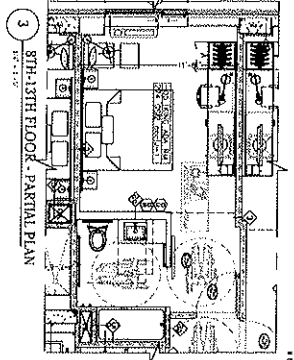
**NYC Development Hub**  
326 West 37 Street  
New York, NY 10018  
Tel: 212-431-1111

**GRS ARCHITECTS INC.**  
326 BROADWAY, NEW YORK, NY 10012  
TEL: 212-259-7100 FAX: 212-684-5607

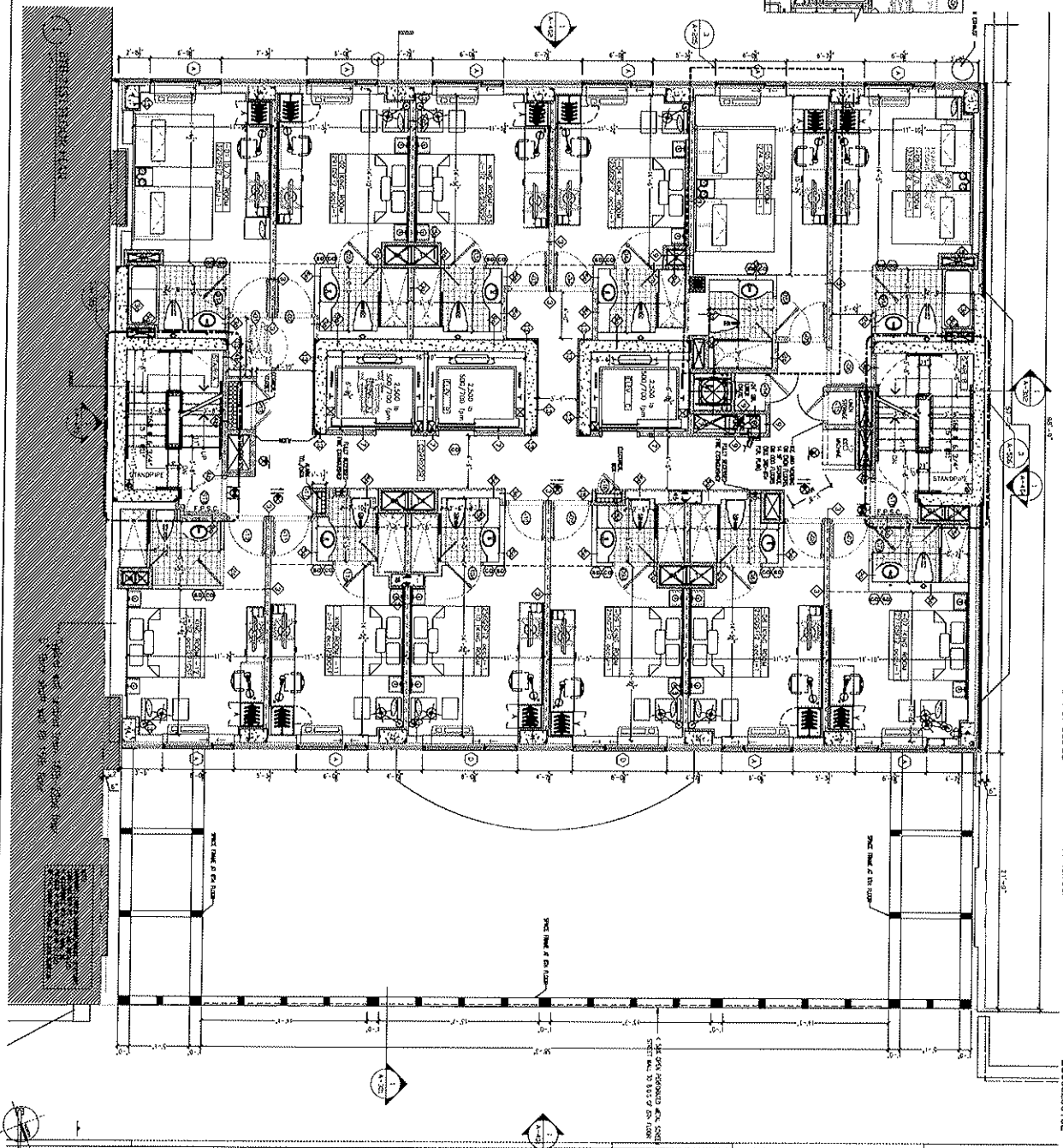
**PROJECT:**  
326 WEST 37 STREET  
NEW YORK, NY

**17TH FLOOR PLAN**

DATE: DEC 16, 2013  
SCALE: AS SHOWN  
DRAWING NUMBER: A-204.01  
PAGE: 10 OF 12



3 8TH-13TH FLOOR, PARTIAL PLAN



DEPT OF BLDGS 2184351 Job Number

ESS8623102

FOR YOUR INFORMATION: THIS PLAN AND SPECIFICATIONS ARE SUBJECT TO THE APPROVAL OF THE DEPT. OF BLDGS. AND THE DEPT. OF ENVIRONMENTAL CONSERVATION. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY THE DEPT. OF BLDGS. AND THE DEPT. OF ENVIRONMENTAL CONSERVATION.



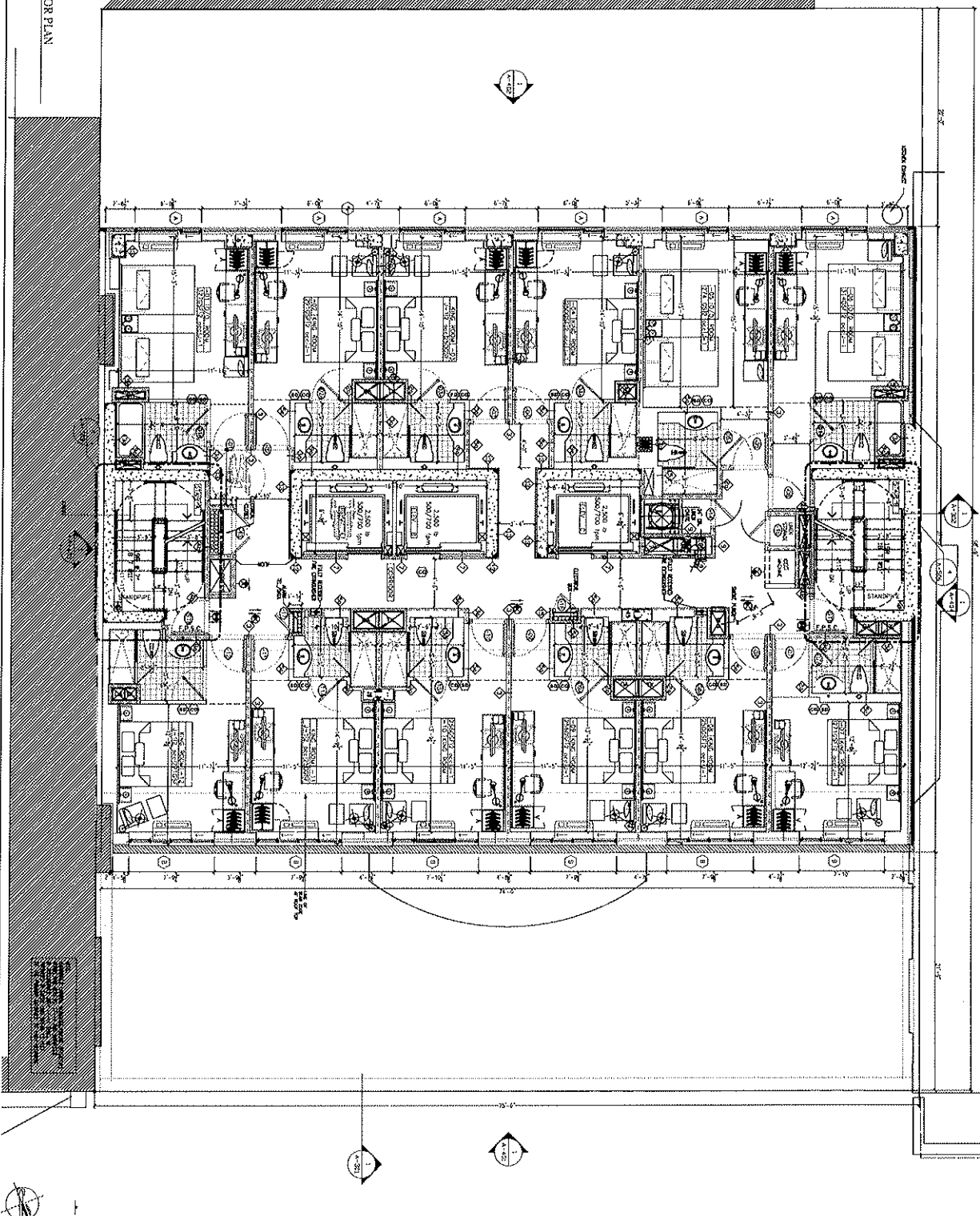
Shreyas Shankh  
 APPROVED  
 DATE: 12/12/13  
 NYCC Development, Inc.

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606 LINDEN AVENUE, #2  
 NEW YORK, NY 10012  
 PROJECT: 326 WEST 37 STREET  
 NEW YORK, NY  
 8TH - 13TH FLOOR PLAN  
 DATE: 12/12/13  
 SCALE: AS SHOWN  
 DRAWING NUMBER: A-205.01  
 SHEET: 3 OF 3



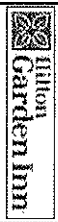
1 22ND FLOOR PLAN



DEPT OF BLDGS 2184351 Job Number:

EST:15527436

REVISION SHEET  
 SHEET NO. 2184351-01  
 SHEET TITLE: 22ND FLOOR PLAN  
 SHEET DATE: 01/11/01  
 SHEET SCALE: AS SHOWN



Shauqat Shahid  
 Project Manager  
 326 West 37 Street  
 New York, NY 10018  
 Tel: 212-692-4000  
 Fax: 212-692-4001  
 Email: shahid@hilton.com

NO.	DATE	DESCRIPTION
1	01/11/01	ISSUED FOR PERMIT
2	01/11/01	ISSUED FOR CONSTRUCTION
3	01/11/01	ISSUED FOR CONSTRUCTION
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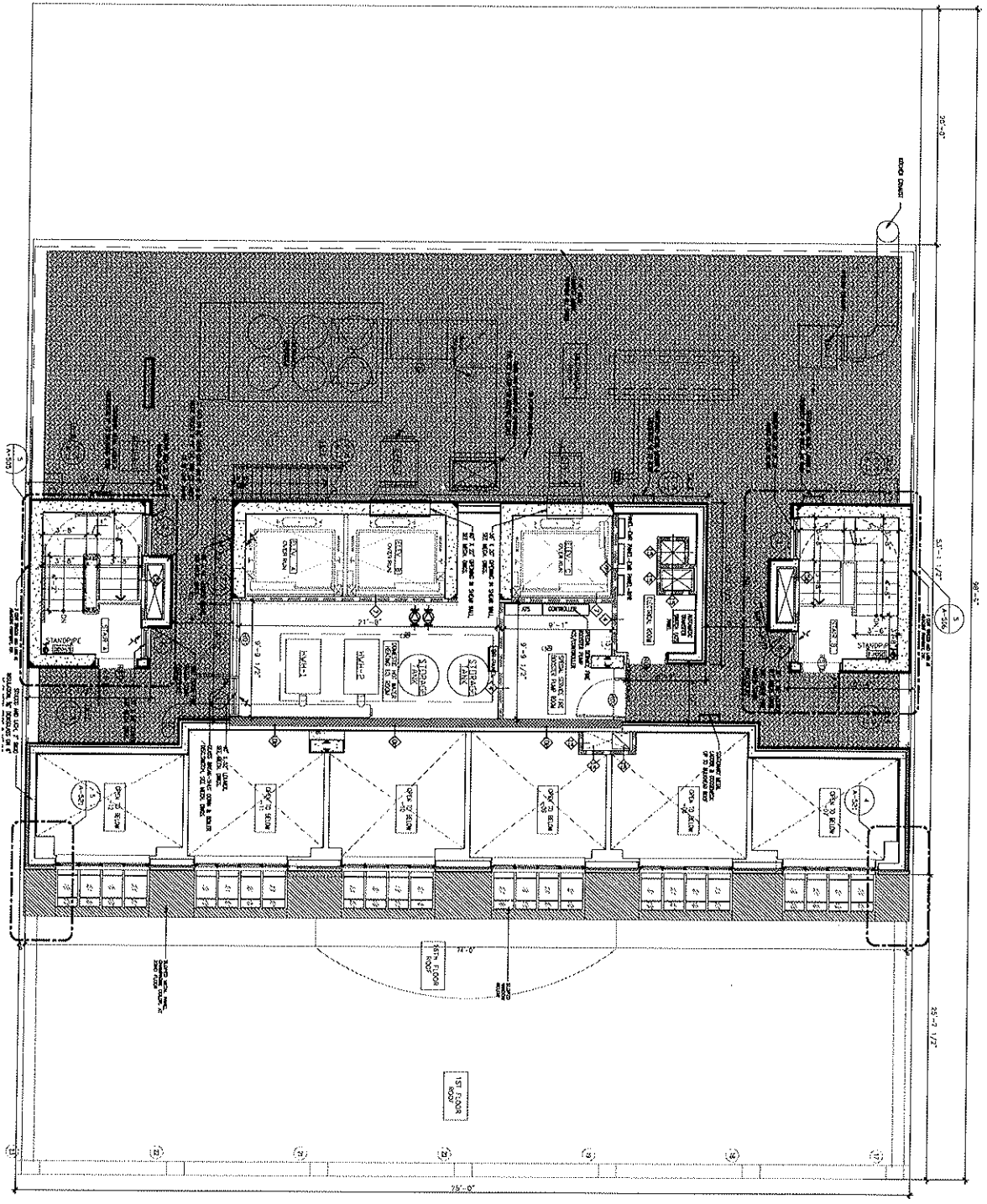
326 WEST 37 STREET  
 NEW YORK, NY 10018  
 TEL: 212-692-4000  
 FAX: 212-692-4001  
 WWW.HILTONGARDENINN.COM

DATE: 01/11/01  
 SCALE: AS SHOWN  
 SHEET NO. 2184351-01  
 SHEET TITLE: 22ND FLOOR PLAN  
 SHEET SCALE: AS SHOWN

A-206.01  
 PAGE 11 OF 57



1 ROOF LEVEL PLAN  
15'-11/2"



**Shaoyang Shaikh**  
 REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 10012  
 STATE OF NEW YORK

**PROJECT:**  
 326 WEST 37 STREET  
 NEW YORK, NY

**SCALE & SCHEDULE:**  
 DATE: 08/18/15  
 SCALE: AS SHOWN  
 DRAWING NUMBER:  
 A-207.01



**SHI LUO ARCHITECT P.C.**  
 322 MADISON AVENUE, 10th FLOOR  
 NEW YORK, NY 10017  
 TEL: 212 693 8888 FAX: 212 693 8887

NO.	DATE	DESCRIPTION
01	08/18/15	ISSUED FOR PERMITS
02	08/18/15	ISSUED FOR PERMITS
03	08/18/15	ISSUED FOR PERMITS
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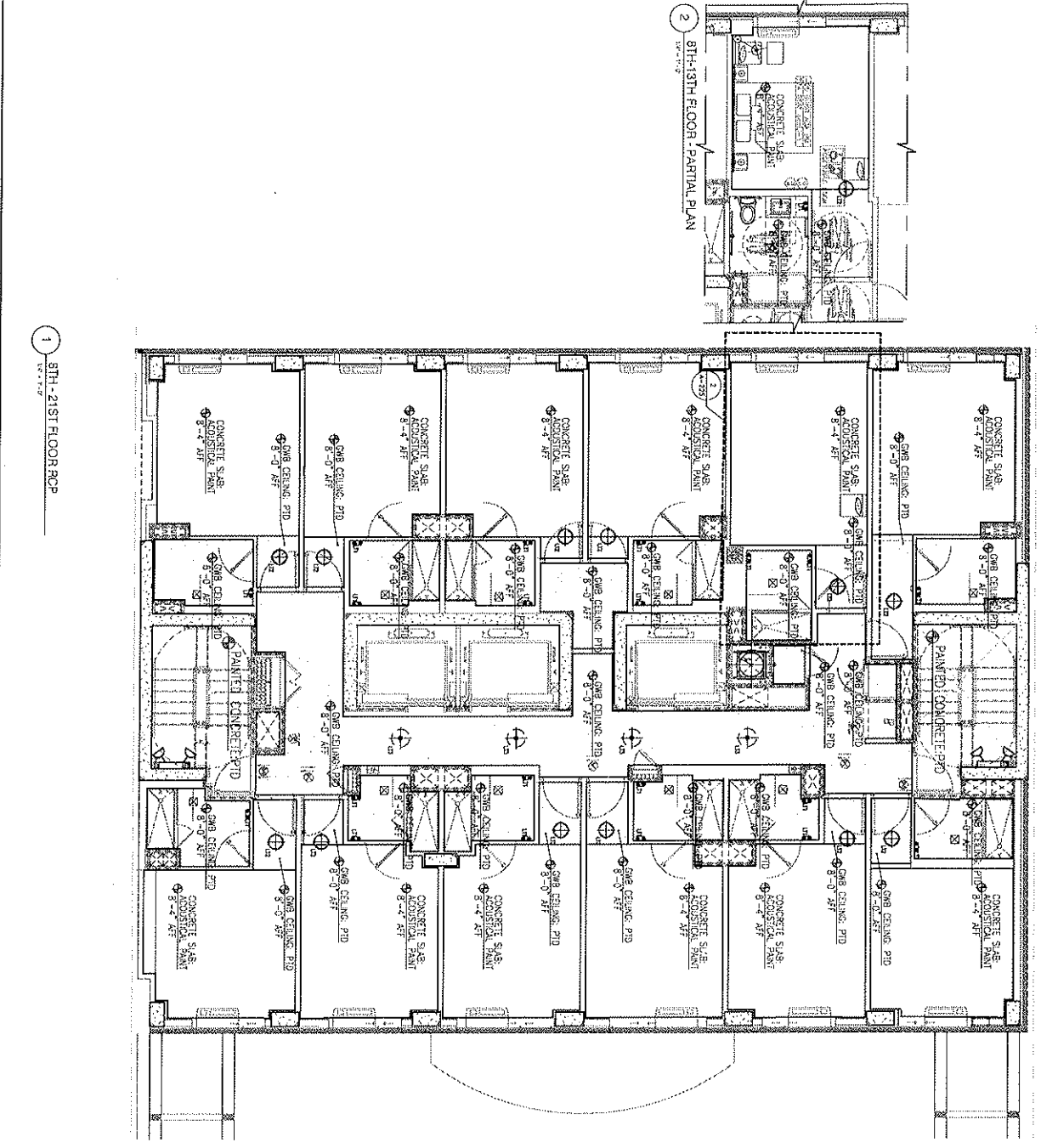
**APPROVED:**  
 Shaoyang Shaikh  
 REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 10012  
 STATE OF NEW YORK

**CONTRACTOR:**  
 SHI LUO ARCHITECT P.C.  
 322 MADISON AVENUE, 10th FLOOR  
 NEW YORK, NY 10017

NO.	DATE	DESCRIPTION
01	08/18/15	ISSUED FOR PERMITS
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19	08/18/15	ISSUED FOR PERMITS
20	08/18/15	ISSUED FOR PERMITS

**Hilton**  
**Garden Inn**

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL INFORMATION TO BE ACCURATE, TO NOT BE IN CONFLICT WITH ANY APPLICABLE CODES, ORDINANCES, REGULATIONS, AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



1 8TH-21ST FLOOR RCP

2 8TH-13TH FLOOR - PARTIAL PLAN

LEVEL NO.

	BATHROOM LIGHT
	CEILING ACCESSED DOWN LIGHT
	CEILING ACCESSED DOWN LIGHT
	RECESSED LIGHT WITH LENS COVER
	EMERGENCY LIGHT WITH LENS COVER
	SURFACE MOUNTED FLUORESCENT LIGHT
	EXTERIOR WALL SCONCE AT TERRACE AND ROOF WALL SCONCE
	WALL SCONCE

**Hilton Garden Inn**

326 WEST 37 STREET  
NEW YORK, NY 10018

DATE: 11/13/14  
SCALE: AS SHOWN  
DRAWING NUMBER: A-226-01

Shauraj Shah  
Project Manager

APPROVED  
DATE: 11/13/14  
SCALE: AS SHOWN  
DRAWING NUMBER: A-226-01

NYE Development LLC

**SHAW-WALKER ARCHITECT PC**  
326 WEST 37 STREET  
NEW YORK, NY 10018

DATE: 11/13/14  
SCALE: AS SHOWN  
DRAWING NUMBER: A-226-01

8TH-21ST FLOOR RCP

326 WEST 37 STREET  
NEW YORK, NY 10018

DATE: 11/13/14  
SCALE: AS SHOWN  
DRAWING NUMBER: A-226-01

## **Lunch/Dinner Menu:**

### **Starters:**

#### **Fried Calamari:**

Fresh Calamari in a Light Crisp Batter served with a Spicy Marinara Sauce \$14

#### **Potato Skins:**

Loaded with Cheddar Cheese and Bacon Bits, Sour Cream on the side \$10

#### **Nachos:**

Tortilla Chips topped with Salsa Verde, Cheddar Cheese and Mozzarella, Sour Cream and Guacamole \$12

Add Chicken \$3

#### **Our Famous Wings:**

8 Juicy Jumbo Wings. With a choice of Sauce, Sweet Chili, Honey Garlic, Honey BBQ, Teriyaki, Buffalo, Sriracha Lime \$14

#### **Beef Sliders:**

4 Mini Burgers, Tomato, Lettuce and Pickle served on Pretzel Bread \$14 add Cheese \$1

#### **Chicken Fingers:**

Crispy Fried Chicken Fingers served with a side of Honey Mustard and BBQ Sauce \$12

#### **Mac & Cheese:**

Cheddar and Mozzarella Cheese topped with Bread Crumbs \$13 add Chicken \$3 add dShrimp \$4

#### **Spinach & Artichoke Dip:**

Served with Warm Pita Bread \$13

#### **Mozzarella Sticks:**

Crispy Fried Mozzarella served with Homemade Marinara Sauce \$10

#### **Pretzel Nuggets:**

Warm Pretzel Bites served with Warm Cheese Sauce and Dijon Mustard Sauce \$12

#### **Homemade Hummus:**

Served with Black Olives, Roasted Red Peppers and Warm Pitta Bread

\*Please note: Consuming raw or uncooked meats, poultry, seafood, shellfish or eggs may increase your risk of foodborne illness, especially if you have certain medical conditions.

Sample Menu for Ballinteer Inc.

Fillet Mignon:

Toasted Garlic Muffin topped with Finely Sliced  
Fillet Mignon, Horseradish served on the side  
\$15

**Salads:**

Classic Caesar:

Crisp Romaine Lettuce, Tossed in Caesar Dressing,  
Garlic Croutons and Shaved Parmesan. \$12

Add Chicken \$3 Add Shrimp \$4 Add Steak \$5

Cobb Salad:

Market Mixed Greens, Grilled Chicken, Avocado,  
Bacon Bits, Crumbled Blue Cheese, Red Onion,  
Tomato, Boiled Egg and Homemade Blue Cheese  
Dressing \$16

Steak Salad

Sliced Sirloin Steak served on a Bed of Arugula,  
Goat Cheese Crumbs, Cherry Tomatoes, Red Onion,  
Cucumbers and Reduced Balsamic Dressing  
\$17

Hell's Kitchen Salad:

Romaine Lettuce, Corn, Cherry Tomatoes, Black  
Beans, Avocado, Jalapenos, Cheddar Cheese and  
Sliced Tortilla Chips with Lemon and Olive Oil  
Dressing \$12

Add Chicken \$3 Add Shrimp \$4 Add  
Steak \$5

Greek Salad:

Romaine Lettuce, Black, Olives, Feta Cheese, Red  
Onion, Corn, Chickpeas, Cilantro with a Lemon,  
Garlic and Olive Oil Dressing. Served with Warm  
Pitta Bread. \$12

\*Please note: Consuming raw or uncooked meats, poultry, seafood, shellfish or eggs may increase your risk of foodborne illness, especially if you have certain medical conditions.

## **Burgers & Sandwiches**

<u>House Burger:</u>	8oz Ground Beef Burger, served with Bacon & Caramelized Onions, Lettuce Tomato on a Brioche Bun \$16 Add Cheese \$1
<u>Turkey Burger:</u>	Topped with Avocado, Lettuce, Tomato, Onion and Roasted Lemon Aioli Sauce served on a Brioche Bun \$15 Add Cheese \$1
<u>Veggie Burger:</u>	Carrot, Peas, Zucchini and Herb Patty Topped with Herb Roasted Garlic Aioli, Lettuce, Tomato and Onion served on a Brioche Bun \$14 Add Cheese \$1
<u>Four Cheese Grilled Cheese:</u>	Cheddar, Mozzarella, Gruyere and Muenster Cheese, Crispy Bacon and Tomato \$13
<u>Buffalo Chicken Wrap:</u>	Grilled Chicken Wrap, Romaine Lettuce, Tomatoes, Onion and Ranch Dressing \$13
<u>Chicken BLT:</u>	Grilled Chicken, Lettuce, Tomato, Bacon, Mayo served on Toasted Sourdough \$14 Add Cheese \$1
<u>Cheesesteak:</u>	Sliced Sirloin with Sautéed Onions, Mushrooms and Melted American Cheese on Hero Bread \$16
<u>Hot Corned Beef:</u>	Served on Rye Bread, Homemade Coleslaw \$13

**All Burgers and Sandwiches are served with French Fries and a side of Coleslaw**

\*Please note: Consuming raw or uncooked meats, poultry, seafood, shellfish or eggs may increase your risk of foodborne illness, especially if you have certain medical conditions.

Sample Menu for Ballinteer Inc.

**Entrees:**

NY Steak Sizzler:

12oz Sirloin Steak cooked to your liking Smothered with Sautéed Onions and Mushrooms served with Mashed Potato and Vegetables. \$28

Shepherd's Pie:

Our Signature Shepherd's Pie, Simmered in our Homemade Herb Infused Gravy, topped with Roasted Creamy Mashed Potato. \$18

Fish & Chips:

Fillet of Cod lightly fried in our Homemade Beer Batter to Perfection served with French Fries and a side of Tartar Sauce \$20

Grilled Salmon:

Served with Roasted or Baked Potato, Vegetables topped with Herb and Lemon Butter Sauce \$25

Our Famous Chicken Curry:

Grilled Chicken, Red & Green Peppers, Onions in our Homemade Irish Curry Sauce served with French Fries and Rice \$20

Penne ala Vodka:

Penne Pasta in a made to order Vodka Cream Pink Sauce with Chili Pepper Flakes and Fresh Garlic \$17

Add Chicken \$3 Add Shrimp \$4 Add Steak \$5

Fantastic Fajita's:

Build your own: Sautéed Onions, Mushrooms, Peppers, Tomatoes served with a Flour Tortilla Wrap, Sour Cream and Guacamole on the side

Chicken \$20 Steak \$22

\*Please note: Consuming raw or uncooked meats, poultry, seafood, shellfish or eggs may increase your risk of foodborne illness, especially if you have certain medical conditions.

Sample Menu for Ballinteer Inc.

**Sides:**

Sweet Potato Fries	\$8
Onion Rings	\$8
Mashed Potato	\$6
Baked Potato	\$8
Vegetables	\$8

**Deserts:**

Dub's Desert	Peach Slices, Ice Cream topped with our Secret Sweet Sauce
Granny's Apple Crumble	Served with Vanilla Ice Cream
Homemade Bread & Butter Pudding	Served with Warm Custard
Hot Chocolate Fudge Brownie	Served with Vanilla Ice Cream
NY Style Cheesecake	Served with Whipped Cream

**All deserts are \$10 and come with a choice of tea or coffee**

**\$5 service charge and 18% gratuity will be added to all room service orders. 18% will be added**

**to any parties of 6 or more. Thank you!**

\*Please note: Consuming raw or uncooked meats, poultry, seafood, shellfish or eggs may increase your risk of foodborne illness, especially if you have certain medical conditions.



# Ballinteer Late Night Menu

11:00 pm until 3:30 a.m.

## ROOM SERVICE

### Soup & Salads

**Greek Salad** \$16.00

Romaine Lettuce, Black, Olives, Feta Cheese, Red Onion, Corn, Chickpeas, Cilantro with a Lemon, Garlic and Olive Oil Dressing. Served with Warm Pitta Bread.

**Classic Caesar** \$16.00

Crisp Romaine Lettuce, Tossed in Caesar Dressing, Garlic Croutons and Shaved Parmesan

**Velvety Vegetable Soup** \$9.00

Chicken, Spinach, Ditalini pasta

### Sandwiches & Entrees

**B.E.L.T.** \$18.00

Smoked Bacon, Fried Egg, Lettuce, Tomato and Roasted Garlic Aioli Served on French Bread

**Turkey Wrap** \$18.00

Shaved Turkey, Chopped Lettuce, Cherry Tomato, Muenster Cheese and Mayo

**Spaghetti** \$21.00

San Marzano Tomato Sauce, Basil, Parmesan

add meatballs - 5 add chicken - 6

**Chicken Fingers** \$25.00

With Fries and Honey Custard

### GENERAL PUBLIC STATEMENT

The Hilton Garden Inn hotel at 326 West 37th Street, New York will help alleviate the high demand in the Times Square area for hotel rooms imposed by tourist, business, and leisure travelers. The hotel's offering of liquor is an essential amenity for the guests staying at the 250-room hotel.

The applicant hotel will have a restaurant serving guests and transient clients with breakfast and dinner 7 days a week along with beer, wine and liquor at reasonable hours. The hotel also has an outdoor courtyard open to the public as well hotel guests where patrons can enjoy a drink with their meal or work outdoors. The hotel is located within walking distance from Times Square and expects to have a constant flow of guests checking in and out throughout the day and well into the evening all year round.

The Hilton Garden Inn hotel will be a huge asset to the community by contributing the area's growth and commercial stability. It will promote tourism, shopping, dining, and travel in an area that is undersupplied by hotel rooms. It will also provide employment opportunities to the local community.





326 West 37th Street  
New York, NY 10018  
SNRP West 37, LLC  
For more information, please visit [www.snrp.com](http://www.snrp.com)

NO PARKING  
EXCEPT AS  
INDICATED  
BY SIGNS  
OR PAINTED  
MARKINGS  
ON THE  
SURFACE  
OF THE  
STREET  
OR  
CROSSWALKS  
OR  
CROSSING  
SIGNALS  
OR  
TRAFFIC  
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TRAFFIC  
SIGNALS  
OR  
TRAFFIC  
SIGNALS

Under Progress

DATA

DATA





DELORES RUBIN  
Chair

JESSE BOONIE  
District Manager

CITY OF NEW YORK

MANHATTAN COMMUNITY BOARD No. 4

230 West 42<sup>nd</sup> Street, 28<sup>th</sup> floor New York, NY 10036  
tel: 212-736-4536 fax: 212-947-9512  
www.nyc.gov/mcb4

## PUBLIC NOTICE

Business Licenses and Permits Committee  
will discuss an application submitted by

**SNRP West 37 LLC**  
**d/b/a Hilton Garden Inn New**  
**York/Times Square South**  
**326-330 W. 37<sup>th</sup> Street**

An application for an On-Premise Liquor License

<b>DATE:</b>	Tuesday, March 21, 2017
<b>TIME:</b>	6:30 PM
<b>PLACE:</b>	Yotel New York – 570 10 <sup>th</sup> Avenue, 4 <sup>th</sup> Floor The Green Room

We invite you to attend this meeting and give your comments on this application.  
Alternately, you may mail, fax or email us at the address listed above.  
For more information, please call 212-736-4536.



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 OFFICE OF THE CLERK  
 100 CITY HALL  
 NEW YORK, NY 10007

CITY OF NEW YORK  
 MANHATTAN COMMUNITY BOARD No. 4  
 300 West 42<sup>nd</sup> Street, 2<sup>nd</sup> Floor, New York, NY 10018  
 Tel: 212-312-4239 Fax: 212-312-4247  
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