

Manhattan Community Board 4

(All Fields Must Be Completed)

NYS Liquor License/DOT Dining Out Stipulations Application

CORPORATION NAME 174 EIGHTH REST CORP		DOING BUSINESS AS (DBA) JUNGLE BIRD	
STREET ADDRESS 174 8TH AVENUE		CROSS STREETS W 18TH / W 19TH	ZIP CODE 10011
Applicant <small>(Attach a list of all individuals that will be listed/associated with the license)</small>	NAME: THOMAS O BYRNE	APPROVED REPRESENTATIVE	NAME: MICHAEL KELLY
	PHONE: 917-716-4590		PHONE: 917-632-6036
	EMAIL: TDMOBYRNE@GMAIL.COM		EMAIL: KELLYMLK136@GMAIL.COM
MANAGER	NAME: KRISSEY HARRIS	LANDLORD	NAME: ALEXANDRA KALIONTZAKIS
	PHONE: 347-342-7698		PHONE: 212-956-1377
	EMAIL:		EMAIL:
APPLICATION TYPE (<input type="checkbox"/> New York State Liquor License <input checked="" type="checkbox"/> Dept. of Transportation Dining Out)			
<input type="radio"/> New	Has applicant owned or managed a similar business?		YES NO
	What is/was the name and address of establishment?		
	What were the dates applicant was involved with this former premise?		
<input type="radio"/> Corp Change/Class Change/Method of Operation (Change/Removal)	What is the license # and expiration date?		
	Is applicant making any alterations or operational changes?		YES NO
	If alterations or operational changes are being made, please describe/list all changes.		
<input checked="" type="radio"/> Alteration	What is the current license # and expiration date?		# 0340-23-136825 EXP: 3/31/2025
	Please list/describe the nature of all the changes and attach the plans: ROADWAY ADDING SIDEWALK SEATING TO EXISTING LIQUOR LICENSE.		
METHOD OF OPERATION			
TYPE OF ALCOHOL	<input checked="" type="radio"/> Liquor/Wine/Beer & Cider <input type="radio"/> Beer & Cider <input type="radio"/> Wine/Beer & Cider		
ESTABLISHMENT TYPE	<input checked="" type="radio"/> Restaurant <input type="radio"/> Cabaret <input type="radio"/> Night Club <input type="radio"/> Hotel <input type="radio"/> Bar/Tavern <input type="radio"/> Catering Establishment <input type="radio"/> Adult Entertainment <input type="radio"/> Wine Bar <input type="radio"/> Dance Club <input type="radio"/> Sports Bar <input type="radio"/> Club (Fraternal Organization - Members Only)		
Has applicant filed with the SLA? If yes, when? If no, when does applicant plan to file?		YES	<input checked="" type="radio"/> NO
Is the 500 Foot Rule applicable? If yes, please attach a diagram of the On-Premise liquor license establishments within a 500 foot radius of the establishment and the Public Interest Statement.		YES	<input checked="" type="radio"/> NO
Is the 200 Foot Rule applicable? If yes, please attach a diagram of the schools and houses of worship within a 200 foot radius of the establishment.		YES	<input checked="" type="radio"/> NO
Has applicant/owner(s) read MCB4 Policy Regarding Concentration and Location of Alcoholic-Serving Establishments?		<input checked="" type="radio"/> YES	NO

OPERATIONAL DETAILS (*Closing time will be when establishment is vacated of all patrons)

HOURS of Operation		MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	SUNDAY
	Indoors	11AM - 2AM	11AM - 2AM	11AM - 2AM	11AM - 3AM	11AM - 3AM	11AM - 3AM	11AM - 2AM
	Outdoors	11AM - 10PM	11AM - 10PM	11AM - 10PM	11AM - 10PM	11AM - 11PM	11AM - 11PM	11AM - 10PM
	Kitchen	11AM - 2AM	11AM - 2AM	11AM - 2AM	11AM - 3AM	11AM - 3AM	11AM - 3AM	11AM - 2AM
	Music (indoors)	11AM - 2AM	11AM - 2AM	11AM - 2AM	11AM - 3AM	11AM - 3AM	11AM - 3AM	11AM - 2AM

If yes, what type(s)?
(Circle all that apply)

BACKGROUND

LIVE MUSIC

DJ

JUKE BOX

KARAOKE

OCCUPANCY

	Capacity Pursuant to Certificate of Occupancy	Maximum Occupancy (Including Employees)	Number of Tables	Number of Seats	Number of Service-Only Bars	Number of Stand-Up Bars	Number of Seats at Stand-Up Bar
INSIDE	196	196	30	135	0	2	18
OUTSIDE <i>(Roofing/Rear Yard/Patio/Terrace /Garden; within the premises)</i>	N/A						
DOT Dining Out: Sidewalk Cafe	N/A	8	4	8			
DOT Dining Out: Roadway	N/A	18	9	18			

How frequently will the owner(s) be at the establishment? **DAILY**

Will there be dancing?

YES

NO

Will applicant have bottle or table service for alcohol beverages other than wine?

YES

NO

Will applicant be hosting private promotional or corporate events?

YES

NO

Will outside promoters be used on a regular basis? If yes, please describe.

YES

NO

Will applicant have a security plan? If yes, please attach.

YES

NO

Will security plan be implemented?

YES

NO

Will State certified security personnel be used?

YES

NO

Will New York Nightlife Association and NYPD Best Practices be followed?

YES

NO

Does applicant agree to notify MCH4 prior to making changes to its method of operation?

YES

NO

Will applicant be using delivery bicycles? If yes, how many? Please describe where delivery bicycles will be parked when picking up deliveries?

YES

NO

Will delivery bicycles be clearly marked with the name of the restaurant and will staff wear attire clearly marked with the name as described by NYC Law?	YES	NO	N/A
Where will applicants' own delivery bicycles be parked when not making deliveries?	N/A		
If applicant is using third party delivery service, where will third party delivery bicycles park?	N/A		
Where will applicant store its garbage containers when not in use?	IN BASEMENT STORAGE AREA		
Where will applicant lay out garbage containers and at what time?	ON SIDEWALK AFTER 8PM		

LOCATION & ZONING

Is this a Special District? If yes, is it Clinton, West Chelsea or Hudson Yards?	YES	<input checked="" type="radio"/> NO	
Does the building have a Certificate of Occupancy ("C of O") or a Letter of No Objection?	<input checked="" type="radio"/> YES	NO	
Is a Public Assembly permit required?	<input checked="" type="radio"/> YES	NO	
Are your plans filed with DOB?	YES	<input checked="" type="radio"/> NO	
What is the zoning designation for this location?	C1-6A		

Community Notification/Relations

NOTIFICATION: List all block associations; tenant associations, co-op boards or condo boards of residential buildings; and community groups that applicant has notified regarding its application. For each, please list both the organization and individual you contacted.	# 1		
	# 2		
	# 3		
	# 4		
	# 5		
When did applicant post the notice that was provided?			
Where did applicant post the notice that was provided?			
Please provide dates when applicant met with the groups listed above.			
Who was your contact person at each group you met with?			
Will applicant provide a cell phone number to neighbors and respond to complaints that arise? If yes, please provide.	<input checked="" type="radio"/> YES	NO	Thomas O'Byrne (917) 716-4590
Will applicant inform the Community Board office of its job openings and/or provide a hyperlink to applicant's jobs webpage?	<input checked="" type="radio"/> YES	NO	

MULTIPLE SPACES/FLOORS BREAKDOWN

Space/Floor	Description/ Use of Space	Capacity	Hours	# of Tables	# of Seats	# of Service- Only Bars	# of Stand-Up Bars/Seats at Bar	Music
MAIN FLOOR	EATING DRINKING EST.	118	ALL OPERATIONAL HOURS	17	58	Ø	1 w/ 15 SEATS	ALL HOURS BACKGROUND
SECOND FLOOR	EATING DRINKING EST.	73	ALL OPERATIONAL HOURS	14	36	Ø	1 w/9 SEATS	ALL HOURS BACKGROUND
BASEMENT	OFFICE STORAGE REFRIGERATION	5	ALL HOURS	Ø	Ø	Ø	Ø	N/A

BUILDING DESIGN			
State the name and type of business previously located in the space.	SUGAR + SPICE, EATING + DRINKING ESTABLISHMENT		
Has a liquor-licensed establishment previously occupied this space at any time? If yes, please provide the name of the business.	<input checked="" type="radio"/> YES	<input type="radio"/> NO	SUGAR + SPICE
Do you plan any changes to the existing façade? If yes, please describe.	YES	<input checked="" type="radio"/> NO	
Has the applicant/owner(s) read MCB4 ADA Guidelines Memo?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Is the entrance ADA Compliant?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Do you plan any changes to the existing façade? If yes, please describe.	YES	<input checked="" type="radio"/> NO	
Will applicant have a vestibule within the establishment?	YES	<input checked="" type="radio"/> NO	
Will applicant use a storm enclosure?	YES	<input type="radio"/> NO	POSSIBLY DURING WINTER MONTHS
Does applicant agree to keep the sidewalk clear of all items or obstructions, such as sandwich boards, sidewalk signs, freestanding menus and plants, as per the law?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will applicant comply with the NYC noise code?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will the establishment have any of the following: (circle all that apply)	FRENCH DOORS	GARAGE DOORS	WINDOWS THAT CAN BE OPENED
Will applicant close all windows, French doors, garage doors when any music or amplified sound (including televisions) is played inside the establishment?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will applicant close all windows, French doors, garage doors by 11 p.m. Friday and Saturday and 10 p.m. on all other days even if no music or amplified sound is played inside the establishment?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Has applicant obtained an acoustical report from a certified sound engineer to assess potential noise disturbance to the neighboring residents and buildings?	YES	<input checked="" type="radio"/> NO	
Will applicant follow the recommendations of a certified sound engineer to mitigate potential noise disturbance to the neighboring residents and buildings, including placing speakers on the floor of the establishment?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will the kitchen exhaust system extend to the roof?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will the establishment have an illuminated sign?	YES	<input checked="" type="radio"/> NO	
Will the establishment have a pole-supporting canopy extending over the sidewalk?	YES	<input checked="" type="radio"/> NO	
Where will the air conditioner be located? What type is it?	EXISTING, ABOVE 2ND FLOOR ROOF OF BUILDING		
When was the air conditioner installed?	2008		

OUTDOOR PRIVATE PROPERTY – ROOFTOP, REAR YARD, TERRACE

Has the applicant/owner(s) read MCB4 Rear Yard Rooftop Policy?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will applicant use any outdoor spaces: rooftop, rear yard, patio, porch, balcony, pavilion, tents, deck, gazebo? If yes, which one(s)?	YES	<input checked="" type="radio"/> NO	
Are the floorplans for the outdoor space(s) included?	YES	NO	N/A
Will applicant close and vacate the outdoor space(s) by 11 p.m. on Friday & Saturday and 10 p.m. on all other days?	YES	NO	N/A
Will the service and consumption of alcohol in any outdoor space only be via seated food service?	YES	NO	N/A
Will applicant prohibit patrons from drinking in any outdoor space(s)?	YES	NO	N/A
Will there be no amplified music, as per the law?	YES	NO	N/A
If amplified sound is played inside the establishment, will windows and doors be closed?	YES	NO	N/A
Will applicant agree to post signs outside asking customers to respect the neighbors?	YES	NO	N/A
Will applicant agree to train staff to encourage a peaceful environment?	YES	NO	N/A
Will applicant provide effective sound control (landscaping enclosure, soundproofing tenants; apartments)	YES	NO	N/A
Will there be a lighting plan that allows safe usage of the outdoor space without disrupting neighbors?	YES	NO	N/A

DEPARTMENT OF TRANSPORTATION DINING OUT: SIDEWALK

Has the applicant read MCB4 Sidewalk Cafe Policy?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant be applying for sidewalk seating now or in the future?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
If you answered no to the question above, jump to the next page		
Did applicant submit an application and dimension site plan at scale to NYC Dept. of Transportation? Please attach a copy of application and plans.	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant close and vacate the sidewalk and roadway seating by 11 p.m. on Friday & Saturday and 10 p.m. on all other days?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant respect trees and tree pits and insure the health of the tree?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will the service and consumption of alcohol in any outdoor space only be via seated food service?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant prohibit patrons from drinking in any outdoor space(s) or adjacent sidewalk?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant permit NO wait lines or smoking outside?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will there be no amplified music, as per the law?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
If amplified sound is played inside the establishment, will windows and doors be closed?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will there be a staff person responsible to ensure no loitering, noise or crowds outside?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant agree not to use propane heaters?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant agree to abide by all applicable fire codes, including not blocking fire escapes?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will the outdoor dining deposit its garbage in a container on the parking lane?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will the cafe have a 3 foot-wide serving aisle running the entire length of the sidewalk seating?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will the sidewalk seating have a platform?	<input type="radio"/> YES	<input checked="" type="radio"/> NO
Does applicant agree to keep the sidewalk clear of all items or obstructions, such as sandwich boards, sidewalk signs, freestanding menus and plants, as per the law?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will there be a lighting plan that allows safe usage of the outdoor space without disrupting neighbors?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will the sidewalk seating block subway grate, utility hardware or Siamese water connection?	<input type="radio"/> YES	<input checked="" type="radio"/> NO
If construction or construction protection has reduced the sidewalk width, will applicant always maintain an 8-foot clear path of sidewalk between the perimeter of the cafe and the closes obstruction including construction barricades?	<input checked="" type="radio"/> YES	

DEPARTMENT OF TRANSPORTATION DINING OUT: ROADWAY

Did applicant submit an application and dimension site plan at scale to NYC Dept. of Transportation? Please attach a copy of application and plans.	<input checked="" type="radio"/> YES	<input type="radio"/> NO
If you answered no to the question above, jump to the next page		
Will the roadway structure extend on top of the curb or pedestrian refuge? By how much?	<input type="radio"/> YES	<input checked="" type="radio"/> NO
Will the roadway structure have an ADA compliant ramp (not in the bike lane)?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will the roadway structure extend in the striped zone along the bike lane? By how much?	<input type="radio"/> YES	<input checked="" type="radio"/> NO
Will the electric wires be brought over at the roof level?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant dismantle and dispose of a shed that is no longer in use, along with its furniture?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will there be no music or amplifies sound in any outdoor seating, as per law?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant have a lighting plan that will allow safe usage of the outdoor space without disrupting neighbors?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant close and vacate the sidewalk and roadway seating by 11 p.m. on Friday & Saturday and 10 p.m. on all other days?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will the Outdoor Dining Sidewalk & Roadway provide no standing space for drinking or smoking?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will the service and consumption of alcohol in the Outdoor Dining Sidewalk/Roadway only be via seated food service?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant prohibit patrons from drinking in any outdoor space(s) or adjacent sidewalk?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
If amplified sound is played inside the establishment, will windows and doors be closed?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant permit NO wait lines or smoking outside?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Does applicant agree to keep the sidewalk clear of all items or obstructions, such as sandwich boards, sidewalk signs, freestanding menus and plants, as per the law?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant respect trees and tree pits and insure the health of the tree?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant permit NO wait lines or smoking outside?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will there be a staff person responsible to ensure no loitering, noise or crowds outside?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant agree not to use propane heaters?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will the outdoor dining deposit its garbage in a container on the parking lane?	<input checked="" type="radio"/> YES	<input type="radio"/> NO

ADDITIONAL STIPULATIONS: (Office Use Only)

- Applicant will not use the roof in any way, and roof will not be accessible to patrons or staff (excluding public safety emergency). Sliding doors to the roof will be closed at all times. CB4 recommendation is conditioned on applicant committing not to use the roof now or in the future.
- Any storm enclosure shall extend no further than 18" from building facade



To the extent any additional stipulation on pages 9 and 10 of this application conflicts with any response on pages 1 – 11 of this application, the stipulations on pages 9 and 10 control.

ADDITIONAL STIPULATIONS: (Office Use Only), *Continued*

To the extent any additional stipulation on pages 9 and 10 of this application conflicts with any response on pages 1 – 11 of this application, the stipulations on pages 9 and 10 control.


Manhattan Community Board 4 (MCB4) recommends <i>(MCB4's recommendation is based on a vote taken at its</i> March 5, 2025 <i>tall board meeting with</i> 42 <i>members voting</i> <i>in favor of the recommendation.</i> 0 <i>members opposed</i> 0 <i>members abstaining and</i> 0 <i>present but not eligible</i>	<input checked="" type="checkbox"/> Denial unless all stipulations agreed to by applicant owner are part of the method of operation <input type="checkbox"/> Denial <input type="checkbox"/> Approval
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MCB4 REPRESENTATIVES

 Sally Gonzalez <small>MCB4 Representative</small>	 Frank Holmberg <small>MCB4 Representative</small>	 Bart L. Smith <small>MCB4 Representative</small>
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APPLICANT AGREEMENT WITH THE COMMUNITY

Applicant agrees to these stipulations as the basis for the community support of this application and acknowledges that all of these stipulations are essential prerequisites to the MCB4 recommendation regarding this application. Applicant agrees to have these stipulations incorporated in the method of operation of its liquor license. The stipulations in this application constitute the entire agreement between MCB4 and applicant and may only be altered in writing signed by MCB4 representatives and applicant. These stipulations supersede any oral statements, representations, or prior iterations in connection with this application.

SIGN HERE →	Thomas O'Byrne <small>PRINT NAME OF APPLICANT</small>	 <small>SIGNATURE OF APPLICANT</small>	01/16/2025 <small>DATE</small>
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Look Up Place

Look Up Place



Look Up Place

Thursday • Jan 16, 2025 • 11:46 AM

Adjust

IMG_3187

Thursday • Jan 16, 2025 • 11:44 AM

Adjust

IMG_3186

Apple iPhone 13

Wide Camera — 26 mm f1.6
12 MP • 3024 x 4032 • 2.1 MS

ISO 50 26 mm 0 ev f1.6 1/527 s



Apple iPhone 13

Look Up

Adjust

Wide Camera — 26 mm f1.6
12 MP • 3024 x 4032 • 2.1 MS

ISO 50 26 mm 0 ev f1.6 1/527 s







PHOTOGRAPHED BY



Lock Un Place

Thursday • Jan 16, 2025 • 11:40 AM

[Adjust](#)

IMG_3179

Apple iPhone 13



Wide Camera — 26 mm f/1.5

12 MP • 3024 x 4032 • 2.5 MB

ISO 50 — 35 mm — 0 ev — f/1.5 — 1.00A V







Look Up

Look Up



Look Up Place

Thursday • Jan 16, 2025 • 11:51AM

[Adjust](#)

IMG_2112

Thursday • Jan 16, 2025 • 11:49AM

[Adjust](#)

IMG_2109

Apple iPhone 13

Wide Camera — 26 mm f/1.6

12 MP • 3024 x 4032 • 2.6 MB

100.50 26 mm 0.44 f/1.6 1/1562 s



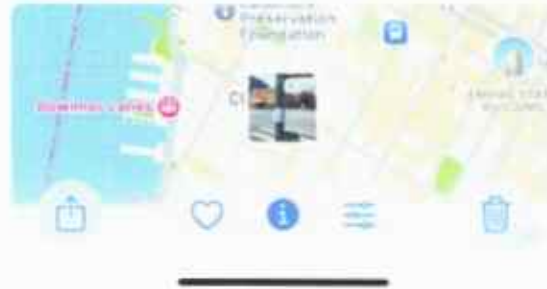
Apple iPhone 13

HEIC 10

Wide Camera — 26 mm f/1.6

12 MP • 3024 x 4032 • 2.6 MB

100.50 26 mm 0.44 f/1.6 1/1562 s



Jungle Bird



SNACKS

Crunchy Chickpeas - Thai Sweet Chili (v) - 7

Grilled Shishito Peppers - Sesame Oil, Maldon Salt, Lime (v, gf) - 9

Jungle Bird French Fries - Just Real Nice JB Seasoned Fries with Citrus Chipotle Aioli (veg) - 9

Pork Belly Bao - Boston Lettuce, Red Cabbage, Pineapple, Cilantro Aioli (2pcs) - 12 Extra Bun +6

Fried Chicken Bao - Grilled Pineapple, Hot Honey Chili Crisp, Red Onion, Scallion, Cilantro, Spicy Aioli (2pcs) - 12 Extra Bun +6

Chickpea Crispy Rice - Chickpea Tartare, Sushi Rice, Chipotle Aioli, Pickled Red Onion (4pcs) (veg) - 16

DUMPLINGS & SKEWERS

Image 12 junglebird.com.au/food-menu

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Image 12 junglebird.com.au/food-menu

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12/05/24 10:12 AM

Print — Jungle Bird

Jungle Bird

Sesame Chicken Noodle - Japanese style chicken, sesame, spicy, vinegar (v, gf) - 13

JB Caesar Salad - Cashew Dressing, Sesame Crumble, Watermelon Radish (Veg) - 16

Add Chicken Cutlet - 5 Grilled Shrimp - 6 Chicken Satay - 6

Scallion Pancake Caesar Wrap - Chicken Cutlet, Cashew Caesar, Sesame Crumble - 19

Smash Burger - Double Smash Burger, Milk Bun, Shishito Aioli, Crispy Onions, Pickled Daikon, Jalapeño - 19

Add Fries - 5

Image 12 junglebird.com.au/food-menu

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Jungle Bird

(GF) - 12

Kimchi & Carrot Dumplings - Shiitake Mushroom, Sweet Potato Noodles, Gochujang (df) (contains fish sauce) - 15

Chicken Satay - Yogurt Marinated Chicken Breast, Cumin, Fennel, Coriander, Peanut Dip (gf) - 15

Mongolian BBQ Pork Skewers - Spicy Thai Dip (df) - 15

Shrimp Skewers - Coconut, Lemongrass, Galangal, Cilantro Crema (gf, df) - 16

PLATES & SHARES

Hummus & Market Vegetables - Roasted Garlic, Lemon, Makrut Lime (v, gf) - 15 Add Naan Bread +4

Cucumber Salad - Sesame Soy Vinaigrette, Red Onion, Cilantro Peanuts (Veg) - 10

Charred Broccoli - Ginger Dressing, Chili Crisp, Fried Shallots (V) - 14

Crispy Spring Rolls - Vermicelli Noodles, Zucchini, Red Cabbage, Carrots, Spicy Aioli (df) - 15

Image 12 junglebird.com.au/food-menu

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Certificate of Occupancy

CO Number: 120389695F

This certifies that the premises described herein conforms substantially to the approved plans and specifications and to the requirements of all applicable laws, rules and regulations for the uses and occupancies specified. No change of use or occupancy shall be made unless a new Certificate of Occupancy is issued. *This document or a copy shall be available for inspection at the building at all reasonable times.*

A.	Borough: Manhattan	Block Number: 00768	Certificate Type: Final
	Address: 174 EIGHTH AVENUE	Lot Number(s): 81	Effective Date: 08/28/2013
	Building Identification Number (BIN): 1013891	Building Type: Altered	
This building is subject to this Building Code: Prior to 1968 Code			
For zoning lot metes & bounds, please see BISWeb.			
B.	Construction classification: 3	(Prior to 1968 Code designation)	
	Building Occupancy Group classification: A-2	(2008 Code)	
	Multiple Dwelling Law Classification: CAA		
	No. of stories: 2	Height in feet: 30	No. of dwelling units: 0
C.	Fire Protection Equipment: None associated with this filing.		
D.	Type and number of open spaces: None associated with this filing.		
E.	This Certificate is issued with the following legal limitations: None		
Borough Comments: None			



Borough Commissioner



Commissioner

Certificate of Occupancy

CO Number: 120389695F


Permissible Use and Occupancy

All Building Code occupancy group designations below are 2008 designations.

Floor From To	Maximum persons permitted	Live load lbs per sq. ft.	Building Code occupancy group	Dwelling or Rooming Units	Zoning use group	Description of use
CEL	5	OG			6	FOOD PREPARATION, STORAGE, ACCESSORY OFFICE.
001	118	100	A-2		6	EATING AND DRINKING ESTABLISHMENT, KITCHEN
002	73	60	A-2		6	EATING AND DRINKING ESTABLISHMENT
BUILDING OCCUPIED BY ONE TENANT						
END OF SECTION						



Borough Commissioner



Commissioner

END OF DOCUMENT

This report is for informational purposes only in aid of identifying establishments potentially subject to 500 and 200 foot rules. Distances are approximated using industry standard GIS techniques and do not reflect actual distances between points of entry. The NYS Liquor Authority makes no representation as to the accuracy of the information and disclaims any liability for errors.

Proximity Report For:	
Location	174 8th Ave, New York, New York, 10011
Geocode	Latitude: 40.74262 longitude: -74.00022
Report Generated On	10/29/2024

8 Closest Liquor Stores		
Name	Address	Distance
CHELSEA WINE CELLAR INC License ID: 0100-22-118138 Legacy Serial No.: 1023564	200 W 21ST STREET NEW YORK, New York 10011	979 ft
SUEBOB LIQUOR INC License ID: 0100-21-114461 Legacy Serial No.: 1023574	312 W 23RD STREET NEW YORK, New York 10011	1,068 ft
HOME OF CHEERS CORP License ID: 0100-23-123566 Legacy Serial No.: 1272694	188 90 8TH AVE NEW YORK, New York 10011	1,083 ft
CHELSEA WINE COUNTRY INC License ID: 0100-22-116784 Legacy Serial No.: 1196366	86 7TH AVENUE 15TH ST. & 16TH STS. NEW YORK, New York 10011	1,175 ft
MIDTOWN SPIRITS INC License ID: 0100-21-113776 Legacy Serial No.: 1329094	191 9TH AVE NEW YORK, New York 10011	1,212 ft
MAHADEV INC License ID: 0100-21-113685 Legacy Serial No.: 1265163	242 W 14TH ST NEW YORK, New York 10011	1,303 ft
LANDMARK WINE & SPIRITS INC License ID: 0100-23-126154 Legacy Serial No.: 1356279	208 W 23RD ST NEW YORK, New York 10011	1,306 ft
SKM HOLDINGS LLC License ID: 0100-22-116987 Legacy Serial No.: 1280102	185 GREENWICH ST STORE#LL2370 UPPR LEVEL WALL ST NEW YORK, New York 10007	1,422 ft

Schools within 500 feet

Name	Address	Distance
LIBERTY HIGH SCHOOL ACADEMY FOR NEWCOMERS	250 W 18TH ST NEW YORK, NY 10011	261 ft

Churches within 500 feet

Name	Distance
Congregation Beth Elohim	160 ft

Pending On Premises Liquor Licenses within 750 feet

Name	Address	Distance
H 18 & 8th LLC Application ID: NA-0370-24-138993	161 8th Ave New York, NY 10011.0	176 ft
Konban Chelsea LLC Application ID: NA-0340-24-140430	311 W 17th St New York, New York 10011.0	448 ft
Metro Cinema 2 LLC Application ID: NA-0340-24-130706	131 8th Ave New York, New York 10011.0	578 ft

Active On Premises Liquor Licenses within 750 feet

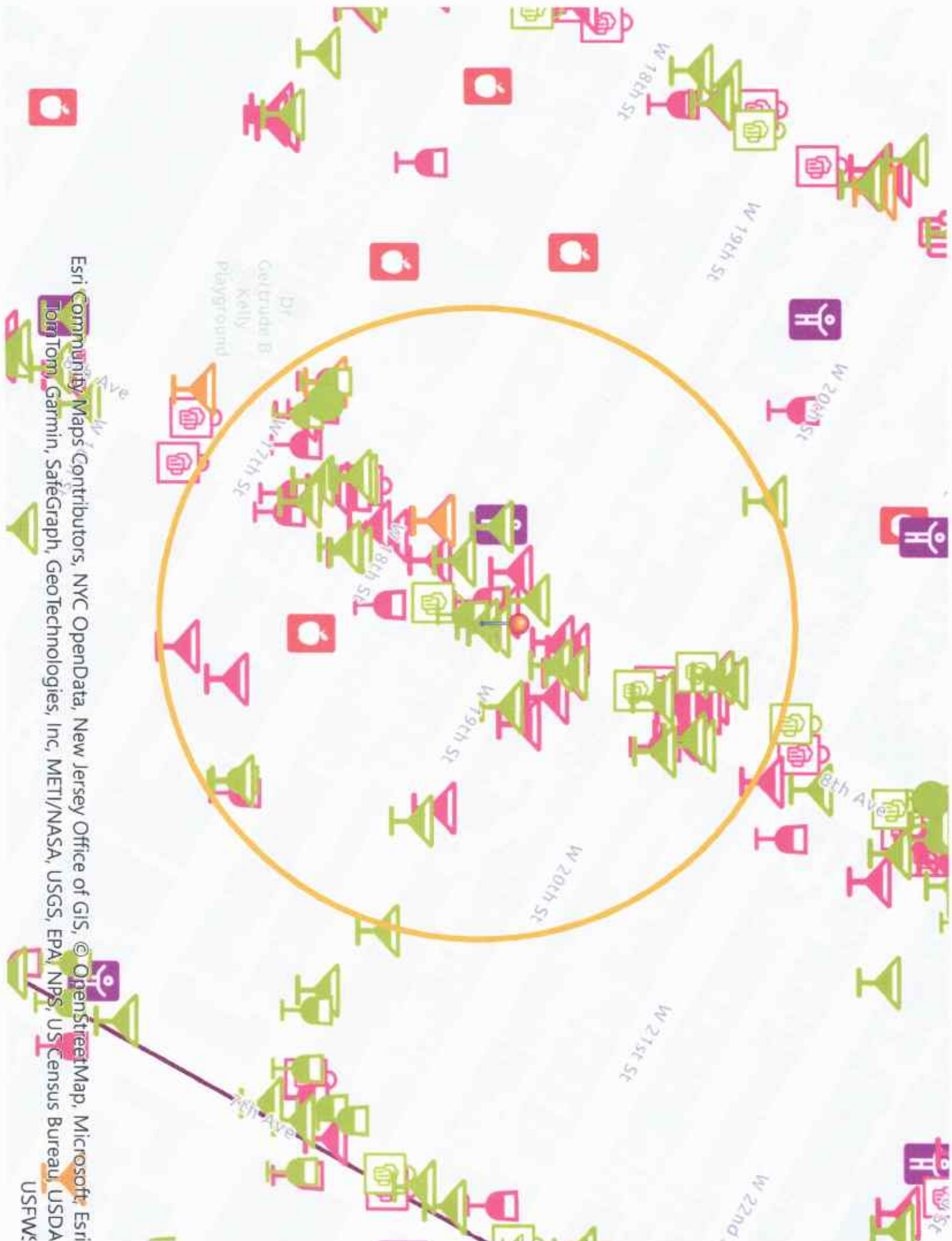
Name	Address	Distance
174 EIGHTH REST CORP License ID: 0340-23-136825 Legacy Serial No.: 1310305	174 8TH AVE NEW YORK, New York 10011	2 ft
MVLH HOSPITALITY GROUP LLC License ID: 0340-22-114050 Legacy Serial No.: 1318652	176 8TH AVE NEW YORK, New York 10011	21 ft
ELGIN THEATRE FOUNDATION INC License ID: 0340-22-108939 Legacy Serial No.: 1024878	175 8TH AVE NEW YORK, New York 10011	88 ft
TEAM MWB LLC License ID: 0340-23-131850 Legacy Serial No.: 1161532	167 8TH AVENUE NEW YORK, New York 10001	106 ft
NEW HK 2 LLC License ID: 0340-21-120783 Legacy Serial No.: 1319713	182 8TH AVE NEW YORK, New York 10011	132 ft
CKBA LLC License ID: 0340-22-107668 Legacy Serial No.: 1326556	263 W 19TH ST NEW YORK, New York 10011	135 ft
169 EIGHTH RESTAURANT CORP License ID: 0340-22-103045 Legacy Serial No.: 1279926	169 8TH AVE NEW YORK, NY 10011	155 ft

Active On Premises Liquor Licenses within 750 feet

Name	Address	Distance
FOUR PROVINCES LLC License ID: 0370-24-110991 Legacy Serial No.: 6019149	184 8TH AVE NEW YORK, New York 10011	158 ft
Andreas CH LLC License ID: 0340-24-124148 Legacy Serial No.: 6032648	160 8th Ave New York, New York 10011	226 ft
RANGOON RESTAURANT CONCEPTS LLC License ID: 0340-22-111119 Legacy Serial No.: 1339352	158 8TH AVE UNIT1 NEW YORK, New York 10011	246 ft
8BELLES LLC License ID: 0340-23-130306 Legacy Serial No.: 1332890	151 8TH AVE NEW YORK, New York 10011	296 ft
EISEN & SON INC License ID: 0340-23-131900 Legacy Serial No.: 1160605	196 8TH AVE AKA 258 W 20TH ST 19TH & 20TH STREETS NEW YORK, New York 10011	299 ft
MAD FOR CHICKEN CHELSEA LLC License ID: 0340-22-110939 Legacy Serial No.: 1339161	153 8TH AVE NEW YORK, New York 10011	305 ft
MEJO LLC License ID: 0340-22-114100 Legacy Serial No.: 1264824	259 W 19TH ST NEW YORK, New York 10011	328 ft
SILOM THAI INC License ID: 0340-22-104458 Legacy Serial No.: 1291524	150 8TH AVE NEW YORK, New York 10011	337 ft
CHIPOTLE MEXICAN GRILL OF COLORADO LLC License ID: 0340-21-119529 Legacy Serial No.: 1221368	149 8TH AVE NEW YORK, New York 10011	342 ft
BE TEMERARIO GROUP LLC License ID: 0340-23-132328 Legacy Serial No.: 1285964	198 8TH AVE AKA 265 W 20TH ST NEW YORK, NY 10011	342 ft
ARIYASAP INC License ID: 0340-24-100104 Legacy Serial No.: 6008011	200 8TH AVE NEW YORK, NY 10011	371 ft
GREEN ROLL NYC INC, THE License ID: 0340-23-136024 Legacy Serial No.: 1347567	199 8TH AVE NEW YORK, New York 10011	380 ft
8TH AVE RESTAURANT CORP License ID: 0340-22-114036 Legacy Serial No.: 1320440	202 8TH AVE NEW YORK, New York 10011	390 ft
OC 8TH AVE LLC License ID: 0340-23-139112 Legacy Serial No.: 1341374	201 8TH AVE NEW YORK, New York 10011	400 ft
VALDEYAN CORP License ID: 0340-24-127245 Legacy Serial No.: 6035825	228 W 18th St New York, NY 10011	459 ft
SWEET HOSPITALITY GROUP License ID: 0340-23-138436	336 W 20TH ST ATLANTIC THEATER	494 ft

Active On Premises Liquor Licenses within 750 feet

Name	Address	Distance
Legacy Serial No.: 1271967	NEW YORK, New York 10011	
223 WEST CORP License ID: 0370-23-162512 Legacy Serial No.: 6004882	223 W 19TH ST NEW YORK, NY 10011	511 ft
BAR 21 LTD License ID: 0340-23-130786 Legacy Serial No.: 1332047	218 8TH AVE STORE 3 AKA 261 W 21ST STREET NEW YORK, New York 10011	583 ft
223 WEST CORP License ID: 0340-21-117873 Legacy Serial No.: 1025012	223 W 19TH ST NEW YORK, New York 10011	636 ft
GAUTENG LLC License ID: 0340-22-109044 Legacy Serial No.: 1309686	116 8TH AVE A/K/A 260 W 16TH ST NEW YORK, New York 10011	713 ft
GREY DOG CHELSEA INC License ID: 0340-23-130574 Legacy Serial No.: 1335306	242 244 W 16TH ST NEW YORK, New York 10011	740 ft
JOY LOVE GROUP CORP License ID: 0340-22-108117 Legacy Serial No.: 1339878	232 8TH AVE NEW YORK, New York 10011	743 ft



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TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA

USFW

SECTION 1: Site Plan

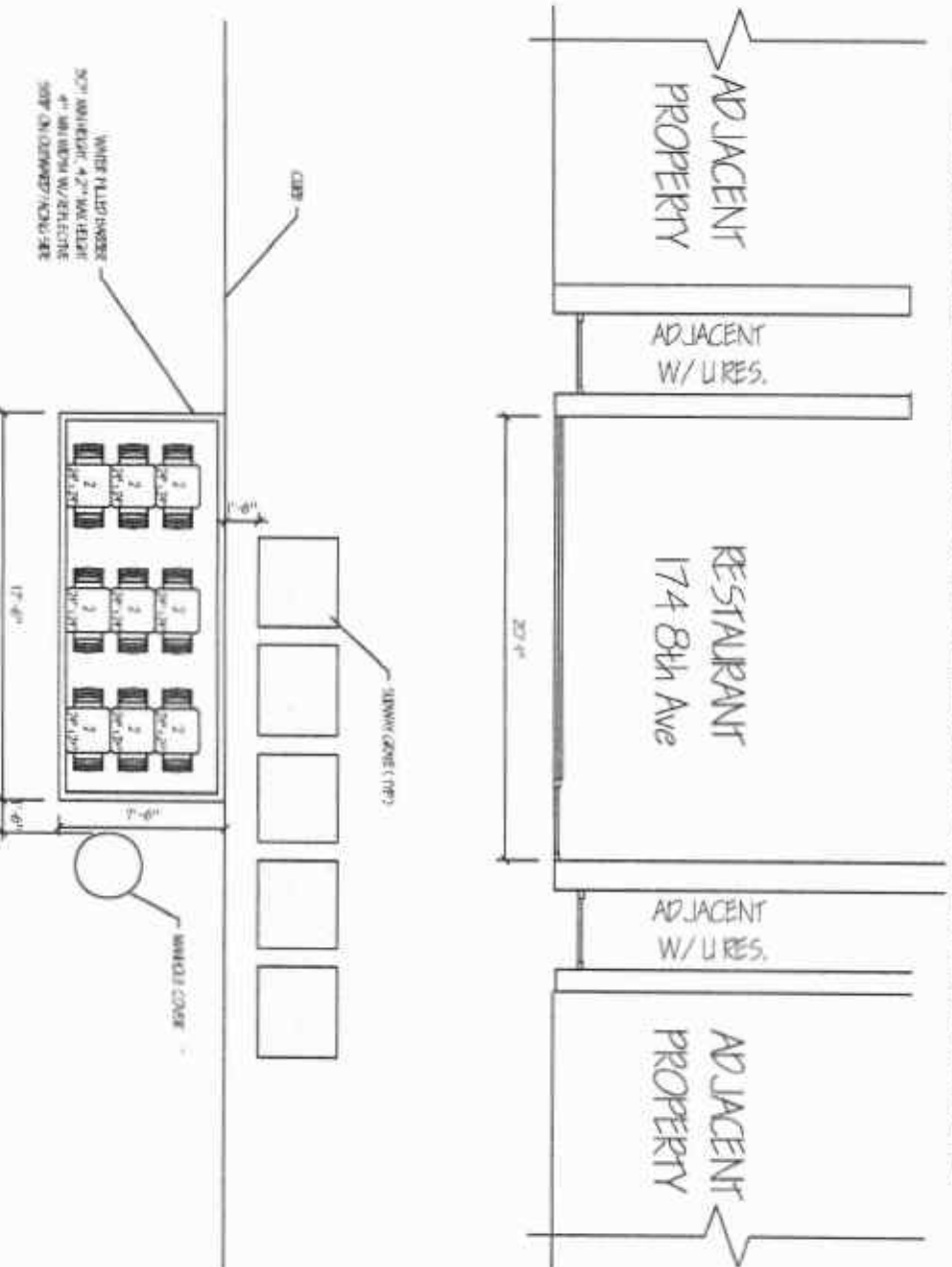
- This Site Plan form is required to be uploaded in the "Roadway Site Plan" field of your online application.
- Refer to the [How to Apply](#) page in the Dining Out NYC website for more information about the application process.

Identify Permitted Parking Location:

- Identify the Parking Sign in front of or around the area where your roadway setup would be located.
- Roadway cafes can only be placed in:
 - Parking spaces, which include: metered and non-metered spaces, commercial parking, alternate side parking, angled parking, and seasonally restricted parking.
 - Loading areas, including loading only, truck loading, hotel loading, and no parking zones.
 - Floating Parking Lane- a parking lane that is separated from the curb by a protected bicycle lane that is adjacent to the curb.

- ☒ P1- Parking Space
☐ P2- Loading Area
☐ P3- Floating Parking Lane

Use the space below to draw or upload your Site Plan representing your cafe perimeters, furniture, and clearances.



Length of roadway cafe: 17 1/2 feet

Width of roadway cafe: 7' 6" feet



Roadway Cafe Site Plan Form

Applicant Name: 174 EIGHTH REST COOP

Restaurant Name: JUNGLE BIRD

FSEP Number: 50105067

Drawing Requirements

Food service establishment frontage shown as:

- Line representing the establishment's space facing the sidewalk
- Length
- Label

Street names:

- Labels on each street

Sidewalk shown as:

- Line representing street curb

Roadway shown as:

- Width of curbside lane

Cafe perimeter shown as:

- Lines indicating perimeter
- Length and width

Set-up furniture (tables, chairs, etc.) shown as:

- Lines or symbols at approximate location within setup

Elements (in Section 2 of this form) within 15 feet of cafe perimeter, shown as:

- Lines or symbols
- Distance from cafe perimeter
- Labels

Utility coverings (water/gas valves, and pull boxes) shown as:

- Symbols representing the location within the setup

North arrow

SECTION 2: Required Clearances

- Please provide distances from the following objects.

- Only provide a distance if the listed object is within 15 feet of your proposed setup.
- Refer to the [Setup Guides](#) in the Dining Out NYC website for more information regarding clearances.

Elements with minimum 15 feet clearance from roadway cafe:

☐ R01- Subway Stair- Open End _____ feet ☐ R02- Fire Hydrant _____ feet

Elements with minimum 10 feet clearance from roadway cafe:

☐ R03- Subway Elevator Entrance _____ feet ☐ R05- MTA Curb Cut _____ feet
☐ R04- FIDNY Curb Cut _____ feet

Elements with minimum 5 feet clearance from roadway cafe:

☐ R06- Curb Cut _____ feet ☐ R11- CitiBike/Bike Share Station _____ feet
☐ R07- Emergency Exit Hatch _____ feet ☐ R12- Bike Corral _____ feet
☐ R08- Subway Stair- Closed End _____ feet ☐ R13- Micromobility Station _____ feet
☐ R09- Subway Elevator- Non-Entry _____ feet ☐ R14- Drainage Infrastructure _____ feet
☐ R10- Bus Stop Pole:
 Non- Approaching Side _____ feet

Elements with minimum 3 feet clearance from roadway cafe:

☐ R15- Elevated Train Infrastructure _____ feet ☐ R16- Transformer Vault _____ feet

Elements with minimum 1 foot and 6 inches clearance from roadway cafe:

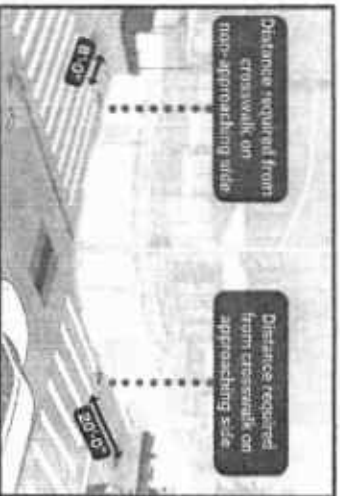
☐ R17- Vent Infrastructure: _____ feet ☐ R18- Manholes _____ feet
 utility vent poles, vent grates, subway grates

Elements with minimum 6 inches clearance from roadway cafe:

☐ R19- Thermoplastic Marking _____ feet

Roadway cafe distance from crosswalks:

☐ R20- Adjacent to non-approaching side of crosswalk (min. 8 foot distance) _____ feet
☐ R21- Adjacent to approaching (stopping) side of crosswalk (min. 20 foot distance) _____ feet
☐ R22- No crosswalk present (maintain 20 feet from curb line of intersecting street) _____ feet



☐ Check this box if none of the objects listed above are within 15 feet of the proposed setup.

SECTION 3: Material Requirements

- Please indicate which of the following materials will be part of your roadway cafe by checking the box next to the category. If applicable, please confirm the materials comply with the Dining Out NYC requirements.
- Refer to the [Setup Guides](#) in the Dining Out NYC website for more information regarding materials.

Materials Checklist:

Required

Barriers (All of the following must be met)

- ☐ Maintained on all sides of the cafe except the side fronting the ground floor restaurant.
- ☐ Not permanently affixed to the roadway.
- ☐ 30-42 inches tall (excluding planting), and at least 4 inches in width.
- ☐ Barriers are interconnected with each other.
- ☐ Any cladding over the barriers is securely fastened or affixed.
- ☐ Minimum 4 inches wide reflective strip on each barrier on the outward facing side.
- ☐ Water-filled with a minimum of 150 pounds per linear foot of barrier length.

Optional - Only check the material categories you intend to use in your roadway cafe

Flooding (If using, all of the following must be met)

- ☐ Durable, lightweight, easily removable, mold-resistant, elevated from the ground level to allow for drainage, and removable to allow for cleaning.
- ☐ Flush with the curb line (except if located on a slope, be flush to the greatest extent feasible), and compliant with applicable accessibility requirements.
- ☐ Maintains a 6 inch covered channel between curb and base of flooring to allow for drainage.

Furnishings (If using, all of the following must be met)

- ☐ Lightweight and easily movable.

Vertical Screenings (If using, all of the following must be met)

- ☐ Located between the barrier and 6 feet above the cafe base or floor.
- ☐ Located on the roadway facing side, does not extend the beyond the perimeter of the roadway cafe, and is not affixed to the outward facing side of barriers.
- ☐ Easily removable, comprised of non-opaque, fire-grade, and wind resistant materials.
- ☐ If within 50 feet of any regulatory or warning signs, does not exceed 46 inches in height.

Overhead Coverings/ Umbrellas (If using, all of the following must be met)

- ☐ Minimum of 7 feet and maximum of 10 feet from the base or floor of the roadway cafe.
- ☐ Has a weighted base and any support structures are not affixed to the outward facing side of barriers, are of sufficient size and strength, made of durable materials, and free of defects.
- ☐ Easily removable, comprised of fire-grade and wind resistant materials.
- ☐ If within 50 feet of any regulatory or warning signs, does not exceed 46 inches in height.

Lighting and Electrical Connections (If using, all of the following must be met)

- ☐ Any lighting is outdoor rated, properly secured, and lightweight.
- ☐ At least 14 feet above sidewalk, and 18 feet above roadway.
- ☐ Not attached to any City property, including street trees.
- ☐ Electrical work complies with the applicable requirements set forth in DOT's rules and the New York City Electrical Code. Please note that this may require additional permits from DOB or FIDNY, and/or approval from the Landmarks Preservation Commission (LPC) as applicable.

SECTION 1: Site Plan

- This Site Plan form is required to be uploaded in the "Sidewalk Site Plan" field of your online application.
- Refer to the [How to Apply](#) page in the Dining Out NYC website for more information about the application process.

Identify Clear Path Requirements:

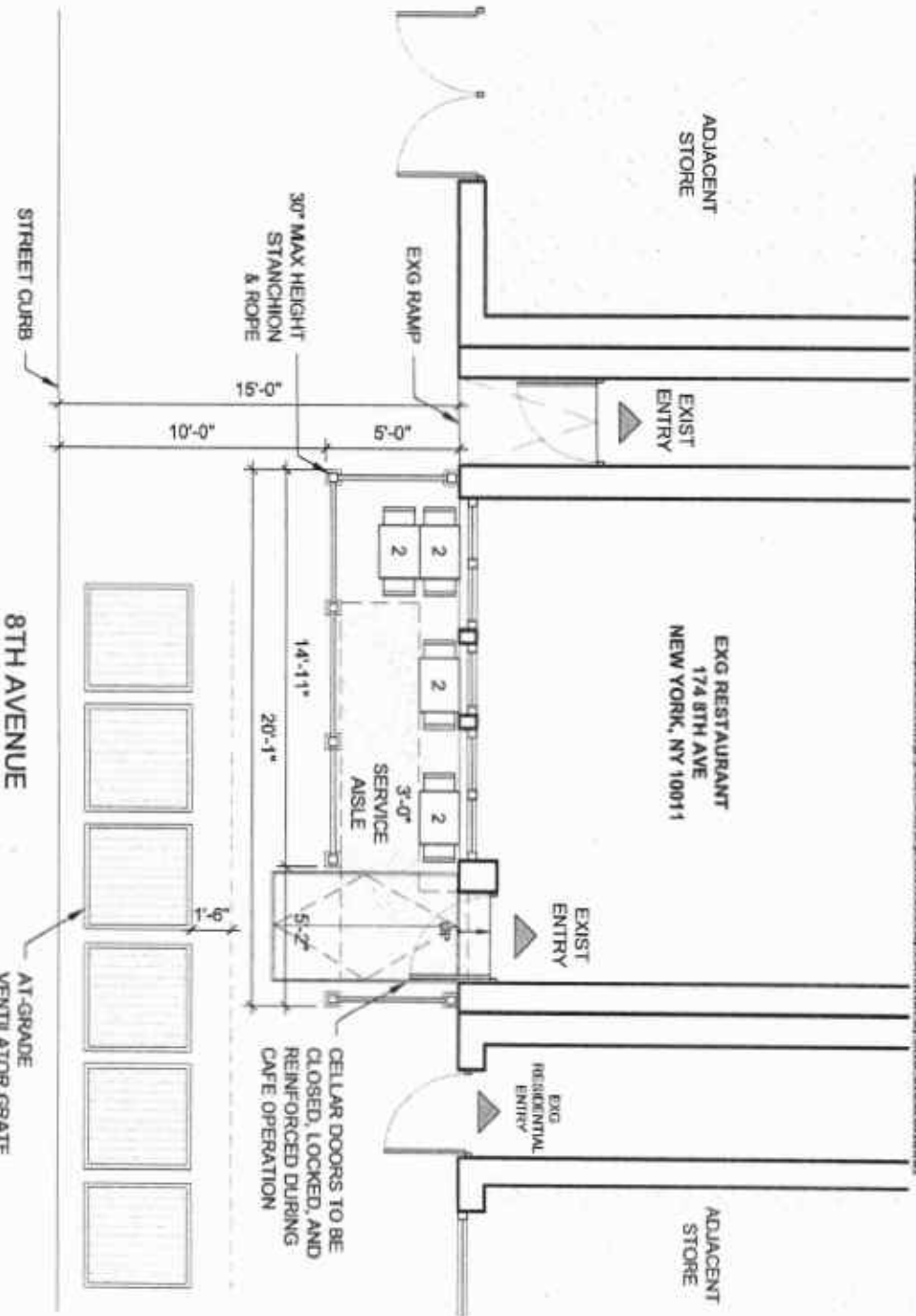
- Clear path requirement for your sidewalk cafe can be found by identifying your corridor type on the DOT's Pedestrian Mobility Plan Pedestrian Demand Map on Open Data.

- ☐ C1- Global Corridor (12 feet Clear Path)
- ☐ C2- Regional Corridor (10 feet Clear Path)
- ☐ C3- Neighborhood Corridor (8 feet Clear Path)
- ☐ C4- Community Connector (8 feet Clear Path)
- ☐ C5- Baseline Street (8 feet Clear Path)

Setup Area Identification:

- ☐ Please check this box if you plan to have outdoor dining located within private property. If so, indicate the property line in the site plan drawing below.
- ☐ Please check this box if all or part of your sidewalk cafe is in a sidewalk widening area, developed pursuant to the NYC Zoning Resolution. If so, indicate the property line in the site plan drawing below.

Use the space below to draw or upload your Site Plan representing your cafe perimeters, furniture, and clearances.



Length of sidewalk cafe: 20'-11" feet

Width of sidewalk cafe: 5 feet



Sidewalk Cafe

Site Plan Form

Applicant Name: 174 E 8th St Restaurant

Restaurant Name: Jungle Bird

FSEP Number: 50105067

Drawing Requirements

Food service establishment footprint shown by:

- Line representing space occupied in building
- Labels

Street names:

- Labels on each street

Sidewalk shown as:

- Line representing street curb
- Width measured from building line to curb line

Primary building entrance shown as:

- Label
- Distance from proposed setup

Cafe perimeter shown as:

- Line
- Length and width
- (Dashed line) representing Private Property Line

Set-up furniture (tables, chairs, etc.) shown as:

- Lines or symbols at approximate location within setup

Sidewalk elements or objects shown as:

- Lines or symbols
- Labels
- Distance from cafe perimeter

Utility coverings shown as:

- Symbols representing the approximate shape of the covering within the setup

- ☐ MANHOLE COVER
- ☒ UTILITY COVERING

SECTION 2: Required Clearances

- Please provide distances from the following objects.
- Only provide a distance if the listed object is within 15 feet of your proposed setup.
- Leave box blank if not applicable.
- Refer to the *Setup Guides* in the Dining Out NYC website for more information regarding clearances.

Elements with minimum 15 feet clearance from sidewalk cafe:

☐ S01 - Subway Stair: Open End _____ feet

Elements with minimum 10 feet clearance from sidewalk cafe:

☐ S02 - Subway Elevator Entrance _____ feet ☐ S04 - MTA Curb Cut _____ feet

☐ S03 - Exhaust Duct _____ feet ☐ S05 - FDNY Curb Cut _____ feet

Elements with minimum 8 feet clearance from sidewalk cafe:

☐ S06 - Street Tree Bed _____ feet ☐ S13 - Newsstand _____ feet

☐ S07 - Mailbox _____ feet ☐ S14 - Streetlight _____ feet

☐ S08 - LinkNYC Kiosk _____ feet ☐ S15 - Bus Stop Pole _____ feet

☐ S09 - Wayfinding Kiosk _____ feet ☐ S16 - Fire Hydrant _____ feet

☐ S10 - E-Charging Station _____ feet ☐ S17 - Bus Stop Shelter _____ feet

☐ S11 - Parking Meter _____ feet ☐ S18 - Traffic Signal _____ feet

☐ S12 - Select Bus Service Fare Machine _____ feet

Elements with minimum 5 feet clearance from sidewalk cafe:

☐ S19 - CHiBike/Bike Share Station _____ feet ☐ S24 - Emergency Exit Hatch _____ feet

☐ S20 - Bike Corral _____ feet ☐ S25 - Subway Stair: Closed End _____ feet

☐ S21 - Micromobility Station _____ feet ☐ S26 - Subway Elevator: Non-Entry _____ feet

☐ S22 - Primary Building Entrance _____ feet ☐ S27 - Staircase Connection _____ feet

☐ S23 - Curb Cut _____ feet

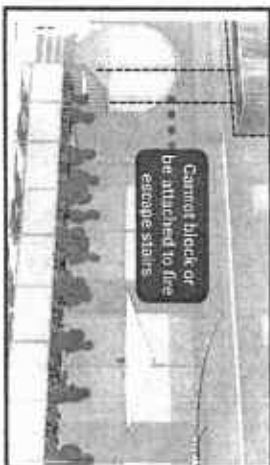
Elements with minimum 3 feet clearance from sidewalk cafe:

☐ S28 - Elevated Train Infrastructure _____ feet

☐ S29 - Transformer Vault _____ feet

Elements with minimum 1 foot 6 inches clearance from sidewalk cafe elements:

☐ S30 - Vent Infrastructure _____ 18 inches



SECTION 3: Material Requirements

- Please indicate which of the following materials will be part of your sidewalk cafe by checking the box next to the category. If applicable, please confirm the materials comply with the Dining Out NYC requirements by checking the box next to the associated requirement.
- Refer to the *Setup Guides* in the Dining Out NYC website for more information regarding materials.

Materials Checklist:

Required

☐ Perimeter Demarcation

☐ Perimeter demarcation must be clear and visible by using a lightweight and removable self-supporting base wall, railing, planter, fence, or stanchion and rope.

☐ Maximum height is 2 feet 6 inches (excluding planting(s)).

☐ Not affixed to the sidewalk.

Optional: Only check the material categories you intend to use in your sidewalk cafe.

☐ Furnishings

☐ Lightweight and easily movable.

☐ Not affixed to the sidewalk.

☐ Awnings (Physically attached to the building)

☐ Minimum 8 feet height from the ground and does not exceed 10 feet height.

☐ Easily removable, comprised of fire-grade and wind resistant materials.

☐ Does not extend beyond the perimeter of the sidewalk cafe.

☐ Complies with the New York City Building Code and the requirements of the Landmarks Preservation Commission, as applicable.

☐ Overhead Coverings/Umbrellas

☐ Minimum 7 feet height from the ground and does not exceed 10 feet height.

☐ Easily removable, comprised of fire-grade and wind resistant materials.

☐ Does not extend beyond the perimeter of the sidewalk cafe.

☐ The umbrella/overhead covering has a weighted base and any supports are not affixed to the sidewalk.

☐ Any support structures are of sufficient size and strength, made of durable materials, and free of defects.

☐ Lighting and Electrical Connections

☐ Any lighting is outdoor rated, properly secured, and lightweight.

☐ Connection is directly connected to ground floor restaurant's power source and within the perimeter of the cafe.

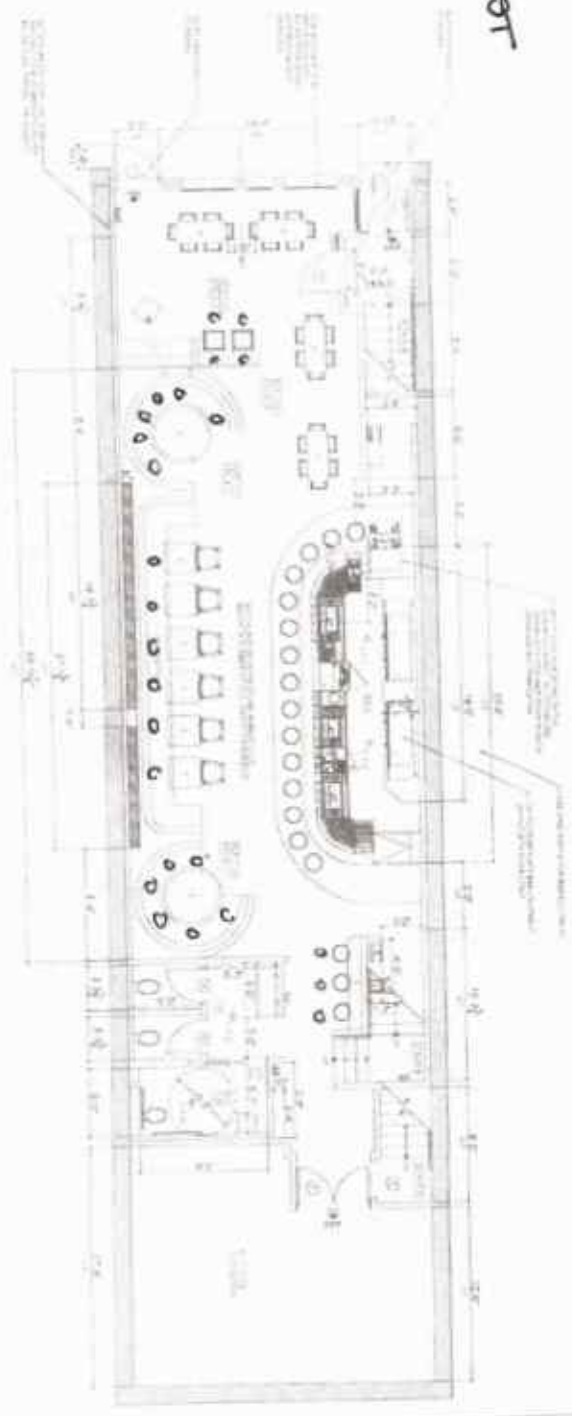
☐ Does not extend beyond the perimeter of the sidewalk cafe.

☐ Does not exceed 10 feet in height.

☐ Not attached to any City property, including street trees.

☐ Electrical work complies with the applicable requirements set forth in the DOT's rules and the New York City Electrical Code.

☐ Please check this box if you are submitting additional documents for review. Documents may include technical drawings prepared by a licensed professional.



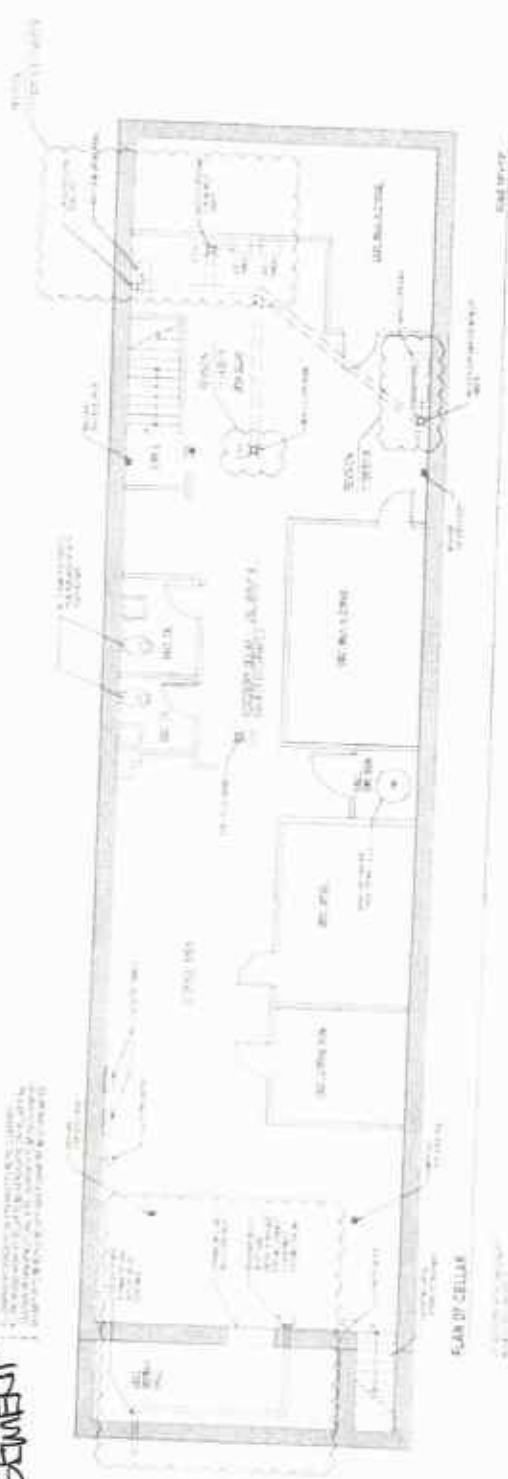
101



2nd

BASMENT

AREA 101
 1. IN THE EVENT OF A FIRE, THE FOLLOWING ARE THE
 2. EVACUATION ROUTES AND THE LOCATION OF THE
 3. EXIT DOOR TO THE STAIRS AND THE EXIT DOOR TO THE
 4. EXIT DOOR TO THE STAIRS AND THE EXIT DOOR TO THE



PLAN OF CELLAR



Eric Adams
Mayor

Ydanis Rodriguez
Commissioner

COMMUNITY BOARD FEEDBACK PACKAGE

Please review this application and provide the required feedback.

Manhattan Community Board 4's (MCB4) recommendation is based on a voted at its March 5, 2025 Full Board Meeting with 41 members in favor of the recommendation, 2 member opposed, 0 members abstaining and 0 present but not eligible.

DINING OUT NYC

COMMUNITY BOARD RECOMMENDATION FORM

This form is to be used by community boards during the cafe review process. Any comments from the community board should be recorded on this form and submitted to NYC DOT. For information pertaining to specific cafe design requirements, visit the Dining Out NYC website for program legislation, rules, and Setup Guides.

Business Name: JUNGLE BIRD

Cafe Location: 174 8TH AVE, NEW YORK, NY, 10011

Application Number: 20240816010006

CB Feedback Deadline (on date or next business day): 02-12-2025

NYCDOT Internal Use Only

Roadway Cafe Setup Comments:

Comments related to the cafe's physical footprint and dimensions:

Comments related to pedestrian flow (i.e., visibility, safety , potential crowding):


Comments related to potential conflicts with existing curb use (i.e., planters, bike racks, bus stops):

Overall recommendation for the cafe setup:

MCB4 recommends approval

Suggested modifications related to the above referenced application:

Nelly Gonzalez



2/12/25

Community Board Authorizing Name

Date

On 2/11/25 the Business Licenses & Permits Committee voted to recommend approval. This application is subject to ratification by MCB4 Full Board on Wednesday, March 5, 2025.

RESTAURANT DETAILS

Food Service Establishment Permit(FSEP)

FSEP#: 50105067

Expiration Date: 06/30/2025

DOHMH Status: CURRENT

Business Legal Name: 174 EIGHTH REST CORP.

Assumed Name: JUNGLE BIRD

Business Address: 174 8TH AVE, NEW YORK, NY 10011

Venue Type: Restaurant (with bar)

Last updated from DOHMH: 01/08/2025

Restaurant Information

Entity Type: Corporation

Phone: (212) 354-2950

Email Address: kellymlk136@GMAIL.COM

Secondary Email Address: TOMOBYRNE@GMAIL.COM

DOS Information

DOS ID#: 5293047

Process Name: DUNNINGTON, BARTHOLOW, & MILLER LLP

DOS Address: 250 PARK AVENUE, 11TH FLOOR, NEW YORK, New York 10177

NYS Liquor Authority Information

NYSLA Serial No: 034023136825

License Type: On-Premises

Name of License: THOMAS OBYRNE

Title of Representative: PRESIDENT

Name of Certificate Holder: 174 EIGHTH REST CORP

User Information

Created By: Michael Kelly

Created On: 7/11/2024 6:59:24 PM

Modified By: Michael Kelly

Modified On: 7/11/2024 6:59:24 PM

Business hours

Sun:12:00 PM- 4:00 AM

Mon:2:00 PM- 4:00 AM

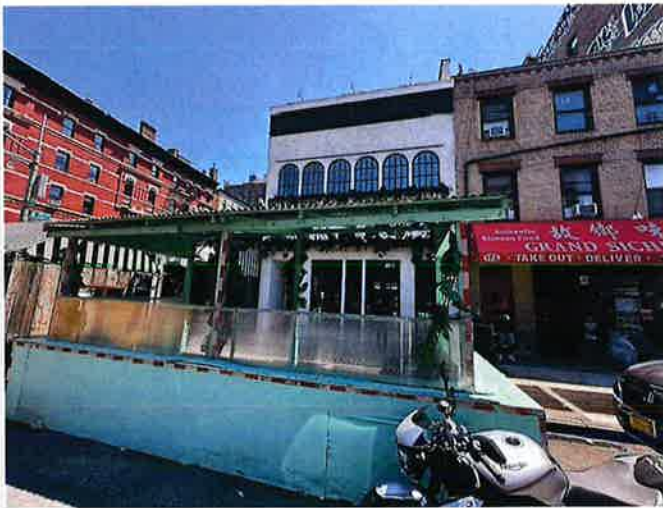
Tues:2:00 PM- 4:00 AM

Wed:12:00 PM- 4:00 AM

Thurs:12:00 PM- 4:00 AM

Fri:12:00 PM- 4:00 AM

Sat:12:00 PM- 4:00 AM



SECTION 1: Site Plan

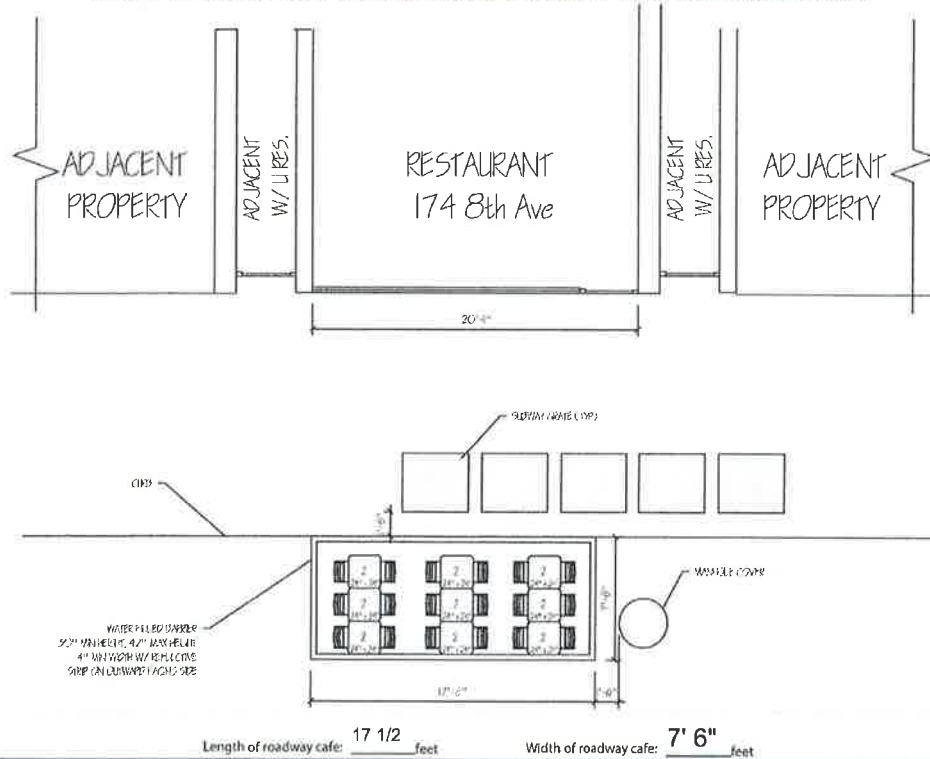
- This Site Plan form is required to be uploaded in the "Roadway Site Plan" field of your online application.
- Refer to the [How to Apply](#) page in the Dining Out NYC website for more information about the application process.

Identify Permitted Parking Location:

- Identify the Parking Sign in front of or around the area where your roadway setup would be located.
- Roadway cafes can only be placed in:
 - Parking spaces, which include: metered and non-metered spaces, commercial parking, alternate side parking, angled parking, and seasonally restricted parking.
 - Loading areas, including loading only, truck loading, hotel loading, and no parking zones.
 - Floating Parking Lane- a parking lane that is separated from the curb by a protected bicycle lane that is adjacent to the curb.

- ☒ P1- Parking Space
- ☐ P2- Loading Area
- ☐ P3- Floating Parking Lane

Use the space below to draw or upload your Site Plan representing your cafe perimeters, furniture, and clearances.



Roadway Cafe Site Plan Form

Applicant Name: 174 EIGHTH REST CORP
 Restaurant Name: JUNGLE BIRD
 FSEP Number: 50105067

Drawing Requirements

- Food service establishment frontage shown as:**
 - Line representing the establishment's space facing the sidewalk
 - Length
 - Label
- Street names:**
 - Labels on each street
- Sidewalk shown as:**
 - Line representing street curb
- Roadway shown as:**
 - Width of curbside lane
- Cafe perimeter shown as:**
 - Lines indicating perimeter
 - Length and width
- Set-up furniture (tables, chairs, etc.) shown as:**
 - Lines or symbols at approximate location within setup
- Elements (In Section 2 of this form) within 15 feet of cafe perimeter, shown as:**
 - Lines or symbols
 - Distance from cafe perimeter
 - Labels
- Utility coverings (water/gas valves, and pull boxes) shown as:**
 - Symbols representing the location within the setup
- North arrow

SECTION 2: Required Clearances

- Please provide distances from the following objects.
- Only provide a distance if the listed object is within 15 feet of your proposed setup.
- Refer to the [Setup Guides](#) in the Dining Out NYC website for more information regarding clearances.

Elements with minimum 15 feet clearance from roadway cafe:

- ☐ R01- Subway Stair: Open End _____ feet ☐ R02- Fire Hydrant _____ feet

Elements with minimum 10 feet clearance from roadway cafe:

- ☐ R03- Subway Elevator Entrance _____ feet ☐ R05- MTA Curb Cut _____ feet
☐ R04- FDNY Curb Cut _____ feet

Elements with minimum 5 feet clearance from roadway cafe:

- ☐ R06- Curb Cut _____ feet ☐ R11- CitiBike/Bike Share Station _____ feet
☐ R07- Emergency Exit Hatch _____ feet ☐ R12- Bike Corral _____ feet
☐ R08- Subway Stair: Closed End _____ feet ☐ R13- Micromobility Station _____ feet
☐ R09- Subway Elevator: Non-Entry _____ feet ☐ R14- Drainage Infrastructure _____ feet
☐ R10- Bus Stop Pole: _____ feet
Non- Approaching Side

Elements with minimum 3 feet clearance from roadway cafe:

- ☐ R15- Elevated Train Infrastructure _____ feet ☐ R16- Transformer Vault _____ feet

Elements with minimum 1 foot and 6 inches clearance from roadway cafe:

- ☒ R17- Vent Infrastructure: _____ 1.5 feet ☒ R18- Manholes _____ 18 inches
utility vent poles, vent
grates, subway grates

Elements with minimum 6 inches clearance from roadway cafe:

- ☐ R19- Thermoplastic Marking _____ feet

Roadway cafe distance from crosswalks:

- ☐ R20- Adjacent to
non-approaching side of
crosswalk
(min. 8 foot distance) _____ feet
☐ R21- Adjacent to
approaching (stopping)
side of crosswalk
(min. 20 foot distance) _____ feet
☐ R22- No crosswalk present
(maintain 20 feet from
curb line of intersecting
street) _____ feet



☐ Check this box if none of the objects listed above are within 15 feet of the proposed setup.

SECTION 3: Material Requirements

- Please indicate which of the following materials will be part of your roadway cafe by checking the box next to the category. If applicable, please confirm the materials comply with the Dining Out NYC requirements.
- Refer to the [Setup Guides](#) in the Dining Out NYC website for more information regarding materials.

Materials Checklist:

Required

☒ Barriers (All of the following must be met)

- ☒ Maintained on all sides of the cafe except the side fronting the ground floor restaurant.
- ☒ Not permanently affixed to the roadway.
- ☒ 30-42 inches tall (excluding planting), and at least 4 inches in width.
- ☒ Barriers are interconnected with each other.
- ☒ Any cladding over the barriers is securely fastened or affixed.
- ☒ Minimum 4 inches wide reflective strip on each barrier on the outward facing side.
- ☒ Water-filled with a minimum of 150 pounds per linear foot of barrier length.

Optional - Only check the material categories you intend to use in your roadway cafe

☒ Flooring (if using, all of the following must be met)

- ☒ Durable, lightweight, easily removable, mold-resistant, elevated from the ground level to allow for drainage, and removable to allow for cleaning.
- ☒ Flush with the curb line (except if located on a slope, be flush to the greatest extent feasible), and compliant with applicable accessibility requirements.
- ☒ Maintains a 6 inch covered channel between curb and base of flooring to allow for drainage.

☒ Furnishings (if using, all of the following must be met)

- ☒ Lightweight and easily movable.

☐ Vertical Screenings (if using, all of the following must be met)

- ☐ Located between the barrier and 6 feet above the cafe base or floor.
- ☐ Located on the roadway facing side, does not extend beyond the perimeter of the roadway cafe, and is not affixed to the outward facing side of barriers.
- ☐ Easily removable, comprised of non-opaque, fire-grade, and wind resistant materials.
- ☐ If within 50 feet of any regulatory or warning signs, does not exceed 46 inches in height.

☒ Overhead Coverings/ Umbrellas (if using, all of the following must be met)

- ☒ Minimum of 7 feet and maximum of 10 feet from the base or floor of the roadway cafe.
- ☒ Has a weighted base and any support structures are not affixed to the outward facing side of barriers, are of sufficient size and strength, made of durable materials, and free of defects.
- ☒ Easily removable, comprised of fire-grade and wind resistant materials.
- ☐ If within 50 feet of any regulatory or warning signs, does not exceed 46 inches in height.

☒ Lighting and Electrical Connections (if using, all of the following must be met)

- ☒ Any lighting is outdoor rated, properly secured, and lightweight.
- ☒ At least 14 feet above sidewalk, and 18 feet above roadway.
- ☒ Not attached to any City property, including street trees.
- ☒ Electrical work complies with the applicable requirements set forth in DOT's rules and the New York City Electrical Code. Please note that this may require additional permits from DOB or FDNY, and/or approval from the Landmarks Preservation Commission (LPC) as applicable.



Eric Adams
Mayor

Ydanis Rodriguez
Commissioner

COMMUNITY BOARD FEEDBACK PACKAGE

Please review this application and provide the required feedback.

DINING OUT NYC

COMMUNITY BOARD RECOMMENDATION FORM

This form is to be used by community boards during the cafe review process. Any comments from the community board should be recorded on this form and submitted to NYC DOT. For information pertaining to specific cafe design requirements, visit the Dining Out NYC website for program legislation, rules, and Setup Guides.

Business Name: JUNGLE BIRD

Cafe Address: 174 8TH AVE, NEW YORK, NY, 10011

Application Number: 20240711010023

CB Review Deadline (on date or next business day): 03-15-2025

NYCDOT Internal Use Only

Sidewalk Cafe Setup Feedback:

☐ Community Board chooses to **WAIVE** review

Comments related to the cafe's **physical footprint and dimensions**:

Comments related to **pedestrian flow** (i.e., visibility, safety, potential crowding):

Comments related to potential conflicts with **existing curb use** (i.e., planters, bike racks, bus stops):

Please check one of the recommendations below, either **approval**, **denial**, or **approval with modifications** relating to the above application:

☒ Community Board recommends **approval**

☐ Community Board recommends **denial**

☐ Community Board recommends **approval w/ modifications**

Recommended modifications (**only if approved w/ modifications**):

☐ Applicant acknowledges and agrees to modifications relating to the above referenced application

☐ Applicant acknowledges **BUT** does **NOT** agree with modifications relating to the above referenced application. If this box is checked, please provide NYC DOT with documentation of such agreement for NYC DOT's consideration.

Nelly Gonzalez

Community Board Authorizing Name

Community Board Authorizing Signature

3/14/25

Date

Manhattan Community Board 4's (MCB4) recommendation is based on a voted at its March 5, 2025 Full Board Meeting with 42 members in favor of the recommendation, 1 member opposed, 0 members abstaining and 0 present but not eligible.

RESTAURANT DETAILS

Food Service Establishment Permit(FSEP)

FSEP#: 50105067

Expiration Date: 06/30/2025

DOHMH Status: CURRENT

Business Legal Name: 174 EIGHTH REST CORP.

Assumed Name: JUNGLE BIRD

Business Address: 174 8TH AVE, NEW YORK, NY 10011

Venue Type: Restaurant (with bar)

Last updated from DOHMH: 01/31/2025

Restaurant Information

Entity Type: Corporation

Phone: (212) 354-2950

Email Address: kellymlk136@GMAIL.COM

Secondary Email Address: TOMOBYRNE@GMAIL.COM

DOS Information

DOS ID#: 5293047

Process Name: DUNNINGTON, BARTHOLOW, & MILLER LLP

DOS Address: 250 PARK AVENUE, 11TH FLOOR, NEW YORK, New York 10177

NYS Liquor Authority Information

NYSLA Serial No: 034023136825

License Type: On-Premises

Name of License: THOMAS OBYRNE

Title of Representative: PRESIDENT

Name of Certificate Holder: 174 EIGHTH REST CORP

User Information

Created By: Michael Kelly

Created On: 7/11/2024 6:59:24 PM

Modified By: Michael Kelly

Modified On: 7/11/2024 6:59:24 PM

Business hours

Sun:12:00 PM- 4:00 AM

Mon:2:00 PM- 4:00 AM

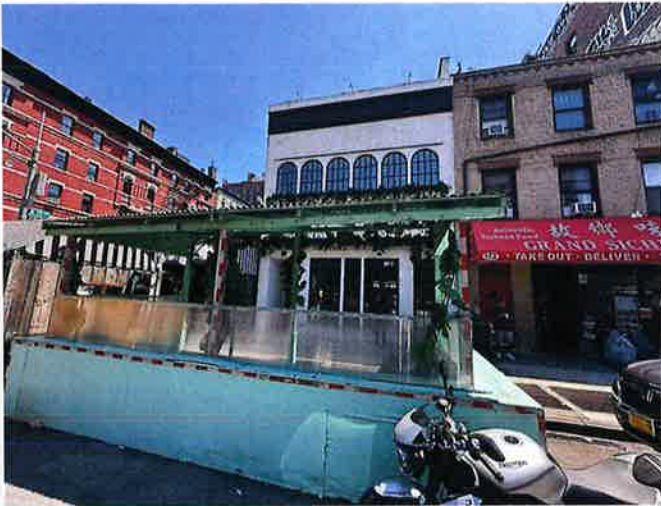
Tues:2:00 PM- 4:00 AM

Wed:12:00 PM- 4:00 AM

Thurs:12:00 PM- 4:00 AM

Fri:12:00 PM- 4:00 AM

Sat:12:00 PM- 4:00 AM



SECTION 1: Site Plan

- This Site Plan form is required to be uploaded in the "Sidewalk Site Plan" field of your online application.
- Refer to the [How to Apply](#) page in the Dining Out NYC website for more information about the application process.

Identify Clear Path Requirements:

- Clear path requirement for your sidewalk cafe can be found by identifying your corridor type on the DOT's Pedestrian Mobility Plan [Pedestrian Demand Map](#) on Open Data.

- ☐ C1- Global Corridor (12 feet Clear Path)
- ☐ C2- Regional Corridor (10 feet Clear Path)
- ☐ C3- Neighborhood Corridor (8 feet Clear Path)
- ☐ C4- Community Connector (8 feet Clear Path)
- ☐ C5- Baseline Street (8 feet Clear Path)

Setup Area Identification:

- ☐ Please check this box if you plan to have outdoor dining located within private property. If so, indicate the property line in the site plan drawing below.
- ☐ Please check this box if all or part of your sidewalk cafe is in a sidewalk widening area, developed pursuant to the NYC Zoning Resolution. If so, indicate the property line in the site plan drawing below.

Use the space below to draw or upload your Site Plan representing your cafe perimeters, furniture, and clearances.

Length of sidewalk cafe: 26' 11" feet Width of sidewalk cafe: 5 feet



Sidewalk Cafe Site Plan Form

174 Eighth Rest Corp
 Applicant Name: Jungle Bird
 Restaurant Name: 50105067
 FSEP Number:

Drawing Requirements

- Food service establishment frontage shown by:**
- Line representing space occupied in building
 - Labels

- Street names:**
- Labels on each street

- Sidewalk shown as:**
- Line representing street curb
 - Width measured from building line to curb line

- Primary building entrance shown as:**
- Label
 - Distance from proposed setup

- Cafe perimeter shown as:**
- Line
 - Length and width
 - (Dashed line) representing Private Property Line

- Set-up furniture (tables, chairs, etc.) shown as:**
- Lines or symbols at approximate location within setup

- Sidewalk elements or objects shown as:**
- Lines or symbols
 - Labels
 - Distance from cafe perimeter

- Utility coverings shown as:**
- Symbols representing the approximate shape of the covering within the setup
 - ☐ MANHOLE COVER
 - ☒ UTILITY COVERING

SECTION 2: Required Clearances

- Please provide distances from the following objects.
- Only provide a distance if the listed object is within 15 feet of your proposed setup.
- Leave box blank if not applicable.
- Refer to the [Setup Guides](#) in the Dining Out NYC website for more information regarding clearances.

Elements with minimum 15 feet clearance from sidewalk cafe:

☐ S01- Subway Stair: Open End _____ feet

Elements with minimum 10 feet clearance from sidewalk cafe:

☐ S02- Subway Elevator Entrance _____ feet ☐ S04- MTA Curb Cut _____ feet
☐ S03- Exhaust Duct _____ feet ☐ S05- FDNY Curb Cut _____ feet

Elements with minimum 8 feet clearance from sidewalk cafe:

☐ S06- Street Tree Bed _____ feet ☐ S13- Newsstand _____ feet
☐ S07- Mailbox _____ feet ☐ S14- Streetlight _____ feet
☐ S08- LinkNYC Kiosk _____ feet ☐ S15- Bus Stop Pole _____ feet
☐ S09- Wayfinding Kiosk _____ feet ☐ S16- Fire Hydrant _____ feet
☐ S10- E-charging Station _____ feet ☐ S17- Bus Stop Shelter _____ feet
☐ S11- Parking Meter _____ feet ☐ S18- Traffic Signal _____ feet
☐ S12- Select Bus Service Fare Machine _____ feet

Elements with minimum 5 feet clearance from sidewalk cafe:

☐ S19- CitiBike/Bike Share Station _____ feet ☐ S24- Emergency Exit Hatch _____ feet
☐ S20- Bike Corral _____ feet ☐ S25- Subway Stair: Closed End _____ feet
☐ S21- Micromobility Station _____ feet ☐ S26- Subway Elevator: Non-Entry _____ feet
☐ S22- Primary Building Entrance _____ feet ☐ S27- Slamese Connection _____ feet
☐ S23- Curb Cut _____ feet

Elements with minimum 3 feet clearance from sidewalk cafe:

☐ S28- Elevated Train Infrastructure _____ feet
☐ S29- Transformer Vault _____ feet

Elements with minimum 1 foot 6 inches clearance from sidewalk cafe elements:

☒ S30- Vent Infrastructure _____ 18 _____ inches



SECTION 3: Material Requirements

- Please indicate which of the following materials will be part of your sidewalk cafe by checking the box next to the category. If applicable, please confirm the materials comply with the Dining Out NYC requirements by checking the box next to the associated requirement.
- Refer to the [Setup Guides](#) in the Dining Out NYC website for more information regarding materials.

Materials Checklist:

Required

☒ Perimeter Demarcation

- ☒ Perimeter demarcation must be clear and visible by using a lightweight and removable self-supporting base wall, railing, planter, fence, or stanchion and rope.
- ☒ Maximum height is 2 feet 6 inches (excluding planting(s)).
- ☒ Not affixed to the sidewalk.

Optional: Only check the material categories you intend to use in your sidewalk cafe

☒ Furnishings

- ☒ Lightweight and easily movable.
- ☒ Not affixed to the sidewalk.

☒ Awnings (Physically attached to the building)

- ☒ Minimum 8 feet height from the ground and does not exceed 10 feet height.
- ☒ Easily removable, comprised of fire-grade and wind resistant materials.
- ☒ Does not extend beyond the perimeter of the sidewalk cafe.
- ☒ Complies with the New York City Building Code and the requirements of the Landmarks Preservation Commission, as applicable.

☐ Overhead Coverings/ Umbrellas

- ☐ Minimum 7 feet height from the ground and does not exceed 10 feet height.
- ☐ Easily removable, comprised of fire-grade and wind resistant materials.
- ☐ Does not extend beyond the perimeter of the sidewalk cafe.
- ☐ The umbrella/overhead covering has a weighted base and any supports are not affixed to the sidewalk.
- ☐ Any support structures are of sufficient size and strength, made of durable materials, and free of defects.

☐ Lighting and Electrical Connections

- ☐ Any lighting is outdoor rated, properly secured, and lightweight.
- ☐ Connection is directly connected to ground floor restaurant's power source and within the perimeter of the cafe.
- ☐ Does not extend beyond the perimeter of the sidewalk cafe.
- ☐ Does not exceed 10 feet in height.
- ☐ Not attached to any City property, including street trees.
- ☐ Electrical work complies with the applicable requirements set forth in the DOT's rules and the New York City Electrical Code.

☐ Please check this box if you are submitting additional documents for review. Documents may include technical drawings prepared by a licensed professional.