

Manhattan Community Board 4

(All Fields Must Be Completed)

NYS Liquor License/DOT Dining Out Stipulations Application

CORPORATION NAME WESTVILLE HK LLC		DOING BUSINESS AS (DBA) WESTVILLE HK	
STREET ADDRESS 809 9TH AVE		CROSS STREETS W 3RD / W 4TH ST.	ZIP CODE 10009
Applicant <small>(Attach a list of all individuals that will be listed/associated with the license)</small>	NAME: YANIV COHEN	ATTORNEY REPRESENTATIVE	NAME: MICHAEL KELLY
	PHONE: 646-342-8885		PHONE: 914-632-6036
	EMAIL: YANIV@WESTVILLE.NY.COM		EMAIL: KELLYMLK136@GMAIL.COM
MANAGER	NAME: YANIV COHEN	LANDLORD	NAME: DYE REALTY LLC
	PHONE: 646-342-8885		PHONE: 201-232-0550
	EMAIL: YANIV@WESTVILLE.NY.COM		EMAIL:
APPLICATION TYPE (<u> </u> New York State Liquor License <u> </u> <input checked="" type="checkbox"/> Dept. of Transportation Dining Out)			
<input type="radio"/> New	Has applicant owned or managed a similar business?		YES NO
	What is/was the name and address of establishment?		
	What were the dates applicant was involved with this former premise?		
<input type="radio"/> Corp Change/Class Change/Method of Operation Change/Removal	What is the license # and expiration date?		
	Is applicant making any alterations or operational changes?		YES NO
	If alterations or operational changes are being made, please describe/list all changes.		
<input checked="" type="radio"/> Alteration	What is the current license # and expiration date?		#0340-22-113728 Exp. 12/31/2026
	Please list/describe the nature of all the changes and attach the plans: ADDING OUTDOOR SEATING TO EXISTING LICENSE		
METHOD OF OPERATION Sidewalk Cafe (no roadside)			
TYPE OF ALCOHOL	<input checked="" type="radio"/> Liquor/Wine/Beer & Cider <input type="radio"/> Beer & Cider <input type="radio"/> Wine/Beer & Cider		
ESTABLISHMENT TYPE	<input checked="" type="radio"/> Restaurant <input type="radio"/> Cabaret <input type="radio"/> Night Club <input type="radio"/> Hotel <input type="radio"/> Bar/Tavern <input type="radio"/> Catering Establishment <input type="radio"/> Adult Entertainment <input type="radio"/> Wine Bar <input type="radio"/> Dance Club <input type="radio"/> Sports Bar <input type="radio"/> Club (Fraternal Organization - Members Only)		
Has applicant filed with the SLA? If yes, when? If no, when does applicant plan to file?		YES	<input checked="" type="radio"/> NO AFTER CB MEETING
Is the 500 Foot Rule applicable? If yes, please attach a diagram of the On-Premise liquor license establishments within a 500 foot radius of the establishment and the Public Interest Statement.		(yes) YES	<input checked="" type="radio"/> NO
Is the 200 Foot Rule applicable? If yes, please attach a diagram of the schools and houses of worship within a 200 foot radius of the establishment.		YES	<input checked="" type="radio"/> NO
Has applicant/owner(s) read MCB4 Policy Regarding Concentration and Location of Alcoholic-Serving Establishments?		<input checked="" type="radio"/> YES	NO

OPERATIONAL DETAILS (*Closing time will be when establishment is vacated of all patrons)

HOURS of Operation		MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	SUNDAY
	Indoors	10AM-12AM	6am-12AM	10AM-12AM	10AM-12AM	10AM-12AM	10AM-12AM	6am-12AM
	Outdoors	10AM-10PM	10AM-10PM	10AM-10PM	10AM-10PM	10AM-11PM	10AM-11PM	10AM-10PM
	Kitchen	10AM-11PM	10AM-11PM	10AM-11PM	10AM-11PM	10AM-11PM	10AM-11PM	10AM-11PM
	Music (indoors)	10AM-12AM	6AM-12AM	10AM-12AM	10AM-12AM	6AM-12AM	10AM-12AM	10AM-12AM

If yes, what type(s)?
(Circle all that apply)

BACKGROUND

LIVE MUSIC

DJ

JUKE BOX

KARAOKE

OCCUPANCY

	Capacity Pursuant to Certificate of Occupancy	Maximum Occupancy (Including Employees)	Number of Tables	Number of Seats	Number of Service-Only Bars	Number of Stand-Up Bars	Number of Seats at Stand-Up Bar
INSIDE	71	71	27	54	0	1	8
OUTSIDE <i>(Roof/Top/Rear Yard/Patio/Terrace /Garden; within the premises)</i>	NA						N/A
DOT Dining Out: Sidewalk Cafe	N/A	6	3	6			
DOT Dining Out: Roadway	N/A	N/A	N/A	N/A			

How frequently will the owner(s) be at the establishment?

DAILY

Will there be dancing?

YES

NO

Will applicant have bottle or table service for alcohol beverages other than wine?

YES

NO

Will applicant be hosting private promotional or corporate events?

YES

NO

Will outside promoters be used on a regular basis? If yes, please describe.

YES

NO

Will applicant have a security plan? If yes, please attach.

YES

NO

Will security plan be implemented?

YES

NO

Will State certified security personnel be used?

YES

NO

Will New York Nightlife Association and NYPD Best Practices be followed?

YES

NO

Does applicant agree to notify MCB4 prior to making changes to its method of operation?

YES

NO

Will applicant be using delivery bicycles? If yes, how many? Please describe where delivery bicycles will be parked when picking up deliveries?

YES

NO

Will delivery bicycles be clearly marked with the name of the restaurant and will staff wear attire clearly marked with the name as described by NYC Law?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	N/A
Where will applicants' own delivery bicycles be parked when not making deliveries?			
If applicant is using third party delivery service, where will third party delivery bicycles park?	Uber & DoorDash		
Where will applicant store its garbage containers when not in use?	IN BASEMENT		
Where will applicant lay out garbage containers and at what time?	ON THE SIDEWALK AFTER 10 PM		

LOCATION & ZONING			
Is this a Special District? If yes, is it Clinton, West Chelsea or Hudson Yards?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	
Does the building have a Certificate of Occupancy ("C of O") or a Letter of No Objection?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	
Is a Public Assembly permit required?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	
Are your plans filed with DOB?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	
What is the zoning designation for this location?	R8		

Community Notification/Relations			
NOTIFICATION: List all block associations; tenant associations, co-op boards or condo boards of residential buildings; and community groups that applicant has notified regarding its application. For each, please list both the organization and individual you contacted.	# 1		
	# 2		
	# 3		
	# 4		
	# 5		
When did applicant post the notice that was provided?			
Where did applicant post the notice that was provided?			
Please provide dates when applicant met with the groups listed above.			
Who was your contact person at each group you met with?			
Will applicant provide a cell phone number to neighbors and respond to complaints that arise? If yes, please provide.		<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO Yaniv Cohen 646 342 8885
Will applicant inform the Community Board office of its job openings and/or provide a hyperlink to applicant's jobs webpage?		<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO

MULTIPLE SPACES/FLOORS BREAKDOWN

Space/Floor	Description/ Use of Space	Capacity	Hours	# of Tables	# of Seats	# of Service- Only Bars	# of Stand-Up Bars/Seats at Bar	Music
1ST FLOOR	DINING + COOKING	71	10AM 12AM	27	54	0	1 8 BAR SEATS	ALL HOURS OF OPERATION
BASMENT	STORAGE	2	10AM 12AM	N/A	N/A	N/A	N/A	N/A

BUILDING DESIGN			
State the name and type of business previously located in the space.	WESTVILLE - Restaurant		
Has a liquor-licensed establishment previously occupied this space at any time? If yes, please provide the name of the business.	<input checked="" type="radio"/> YES	<input type="radio"/> NO	The applicant is open & operating since 2019
Do you plan any changes to the existing façade? If yes, please describe.	<input type="radio"/> YES	<input checked="" type="radio"/> NO	
Has the applicant/owner(s) read MCB4 ADA Guidelines Memo?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Is the entrance ADA Compliant?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Do you plan any changes to the existing façade? If yes, please describe.	<input type="radio"/> YES	<input checked="" type="radio"/> NO	
Will applicant have a vestibule within the establishment?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	
Will applicant use a storm enclosure?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Does applicant agree to keep the sidewalk clear of all items or obstructions, such as sandwich boards, sidewalk signs, freestanding menus and plants, as per the law?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will applicant comply with the NYC noise code?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will the establishment have any of the following: (circle all that apply)	<input checked="" type="radio"/> FRENCH DOORS	<input type="radio"/> GARAGE DOORS	<input type="radio"/> WINDOWS THAT CAN BE OPENED
Will applicant close all windows, French doors, garage doors when any music or amplified sound (including televisions) is played inside the establishment?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will applicant close all windows, French doors, garage doors by 11 p.m. Friday and Saturday and 10 p.m. on all other days even if no music or amplified sound is played inside the establishment?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Has applicant obtained an acoustical report from a certified sound engineer to assess potential noise disturbance to the neighboring residents and buildings?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	
Will applicant follow the recommendations of a certified sound engineer to mitigate potential noise disturbance to the neighboring residents and buildings, including placing speakers on the floor of the establishment?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	
Will the kitchen exhaust system extend to the roof?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	EXISTING
Will the establishment have an illuminated sign?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	
Will the establishment have a pole-supporting canopy extending over the sidewalk?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	
Where will the air conditioner be located? What type is it?	ON ROOF EXISTING		
When was the air conditioner installed?	UNKNOWN		

OUTDOOR PRIVATE PROPERTY – ROOFTOP, REAR YARD, TERRACE

Has the applicant/owner(s) read MCB4 Rear Yard Rooftop Policy?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will applicant use any outdoor spaces: rooftop, rear yard, patio, porch, balcony, pavilion, tents, deck, gazebo? If yes, which one(s)?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	
Are the floorplans for the outdoor space(s) included?	<input type="radio"/> YES	<input type="radio"/> NO	
Will applicant close and vacate the outdoor space(s) by 11 p.m. on Friday & Saturday and 10 p.m. on all other days?	<input type="radio"/> YES	<input type="radio"/> NO	
Will the service and consumption of alcohol in any outdoor space only be via seated food service?	<input type="radio"/> YES	<input type="radio"/> NO	
Will applicant prohibit patrons from drinking in any outdoor space(s)?	<input type="radio"/> YES	<input type="radio"/> NO	
Will there be no amplified music, as per the law?	<input type="radio"/> YES	<input type="radio"/> NO	
If amplified sound is played inside the establishment, will windows and doors be closed?	<input type="radio"/> YES	<input type="radio"/> NO	
Will applicant agree to post signs outside asking customers to respect the neighbors?	<input type="radio"/> YES	<input type="radio"/> NO	
Will applicant agree to train staff to encourage a peaceful environment?	<input type="radio"/> YES	<input type="radio"/> NO	
Will applicant provide effective sound control (landscaping enclosure, soundproofing tenants; apartments)	<input type="radio"/> YES	<input type="radio"/> NO	
Will there be a lighting plan that allows safe usage of the outdoor space without disrupting neighbors?	<input type="radio"/> YES	<input type="radio"/> NO	

DEPARTMENT OF TRANSPORTATION DINING OUT: SIDEWALK		
Has the applicant read MCB4 Sidewalk Café Policy?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant be applying for sidewalk seating now or in the future?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
If you answered no to the question above, jump to the next page		
Did applicant submit an application and dimension site plan at scale to NYC Dept. of Transportation? Please attach a copy of application and plans.	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant close and vacate the sidewalk and roadway seating by 11 p.m. on Friday & Saturday and 10 p.m. on all other days?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant respect trees and tree pits and insure the health of the tree?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will the service and consumption of alcohol in any outdoor space only be via seated food service?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant prohibit patrons from drinking in any outdoor space(s) or adjacent sidewalk?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant permit NO wait lines or smoking outside?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will there be no amplified music, as per the law?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
If amplified sound is played inside the establishment, will windows and doors be closed?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will there be a staff person responsible to ensure no loitering, noise or crowds outside?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant agree not to use propane heaters?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will applicant agree to abide by all applicable fire codes, including not blocking fire escapes?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will the outdoor dining deposit its garbage in a container on the parking lane?	<input type="radio"/> YES	<input checked="" type="radio"/> NO
Will the café have a 3 foot-wide serving aisle running the entire length of the sidewalk seating?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will the sidewalk seating have a platform?	<input type="radio"/> YES	<input checked="" type="radio"/> NO
Does applicant agree to keep the sidewalk clear of all items or obstructions, such as sandwich boards, sidewalk signs, freestanding menus and plants, as per the law?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will there be a lighting plan that allows safe usage of the outdoor space without disrupting neighbors?	<input checked="" type="radio"/> YES	<input type="radio"/> NO
Will the sidewalk seating block subway grate, utility hardware or Siamese water connection?	<input type="radio"/> YES	<input checked="" type="radio"/> NO
If construction or construction protection has reduced the sidewalk width, will applicant always maintain an 8-foot clear path of sidewalk between the perimeter of the café and the closest obstruction including construction barricades?	<input checked="" type="radio"/> YES	<input type="radio"/> NO

DEPARTMENT OF TRANSPORTATION DINING OUT: ROADWAY

Did applicant submit an application and dimension site plan at scale to NYC Dept. of Transportation? Please attach a copy of application and plans.	YES	NO	N/A Fire Hydrant
If you answered no to the question above, jump to the next page			
Will the roadway structure extend on top of the curb or pedestrian refuge? By how much?	YES	NO	
Will the roadway structure have an ADA compliant ramp (not in the bike lane)?	YES	NO	
Will the roadway structure extend in the striped zone along the bike lane? By how much?	YES	NO	
Will the electric wires be brought over at the roof level?	YES	NO	
Will applicant dismantle and dispose of a shed that is no longer in use, along with its furniture?	YES	NO	
Will there be no music or amplifies sound in any outdoor seating, as per law?	YES	NO	
Will applicant have a lighting plan that will allow safe usage of the outdoor space without disrupting neighbors?	YES	NO	
Will applicant close and vacate the sidewalk and roadway seating by 11 p.m. on Friday & Saturday and 10 p.m. on all other days?	YES	NO	
Will the Outdoor Dining Sidewalk & Roadway provide no standing space for drinking or smoking?	YES	NO	
Will the service and consumption of alcohol in the Outdoor Dining Sidewalk/Roadway only be via seated food service?	YES	NO	
Will applicant prohibit patrons from drinking in any outdoor space(s) or adjacent sidewalk?	YES	NO	
If amplified sound is played inside the establishment, will windows and doors be closed?	YES	NO	
Will applicant permit NO wait lines or smoking outside?	YES	NO	
Does applicant agree to keep the sidewalk clear of all items or obstructions, such as sandwich boards, sidewalk signs, freestanding menus and plants, as per the law?	YES	NO	
Will applicant respect trees and tree pits and insure the health of the tree?	YES	NO	
Will applicant permit NO wait lines or smoking outside?	YES	NO	
Will there be a staff person responsible to ensure no loitering, noise or crowds outside?	YES	NO	
Will applicant agree not to use propane heaters?	YES	NO	
Will the outdoor dining deposit its garbage in a container on the parking lane?	YES	NO	

ADDITIONAL STIPULATIONS: (Office Use Only)

To the extent any additional stipulation on pages 9 and 10 of this application conflicts with any response on pages 1 – 11 of this application, the stipulations on pages 9 and 10 control.

ADDITIONAL STIPULATIONS: (Office Use Only), *Continued*


To the extent any additional stipulation on pages 9 and 10 of this application conflicts with any response on pages 1 – 11 of this application, the stipulations on pages 9 and 10 control.


Manhattan Community Board 4 (MCB4) recommends:
(MCB4's recommendation is based on a vote taken at its
April 2, 2025 full board meeting, with 43 members voting
in favor of the recommendation, 0 members opposed, 0
members abstaining and 0 present but not eligible)


☒ Denial unless all stipulations agreed to by applicant owner are part
of the method of operation

☐ Denial ☐ Approval

MCB4 REPRESENTATIVES


Nelly Gonzalez
MCB4 Assistant District Manager


Frank Holmshieck
MCB4 BLP Committee Co-Chair


Boris Lazarin
MCB4 BLP Committee Co-Chair

APPLICANT AGREEMENT WITH THE COMMUNITY

Applicant agrees to these stipulations as the basis for the community support of this application and acknowledges that all of these stipulations are essential prerequisites to the MCB4 recommendation regarding this application. Applicant agrees to have these stipulations incorporated in the method of operation of its liquor license. The stipulations in this application constitute the entire agreement between MCB4 and applicant and may only be altered in writing signed by MCB4 representatives and applicant. These stipulations supersede any oral statements, representations, or prior iterations in connection with this application.

SIGN HERE →

Yaniv Cohen
PRINT NAME OF APPLICANT


SIGNATURE OF APPLICANT

2/19/25
DATE



Eric Adams
Mayor

Ydanis Rodriguez
Commissioner

COMMUNITY BOARD FEEDBACK PACKAGE

Please review this application and provide the required feedback.

Manhattan Community Board 4's (MCB4) recommendation is based on a voted at its April 2, 2025 Full Board Meeting with 42 members in favor of the recommendation, 0 member opposed, 0 members abstaining and 0 present but not eligible.

DINING OUT NYC

COMMUNITY BOARD RECOMMENDATION FORM

This form is to be used by community boards during the cafe review process. Any comments from the community board should be recorded on this form and submitted to NYC DOT. For information pertaining to specific cafe design requirements, visit the Dining Out NYC website for program legislation, rules, and Setup Guides.

Business Name: Westville HK

Cafe Address: 809 9TH AVE, NEW YORK, NY, 10019

Application Number: 20240725010017

CB Review Deadline (on date or next business day): 3/30/2025

NYCDOT Internal Use Only

Sidewalk Cafe Setup Feedback:

☐ Community Board chooses to **WAIVE** review

Comments related to the cafe's **physical footprint and dimensions**:

The proposed Site Plan does not provide for the required 10 foot pedestrian clear path. To provide for the required clear path, the applicant has agreed to rearrange the 3 tables with 2 chairs each in this sidewalk cafe. The applicant has provided the attached Revised Site Plan.

Comments related to **pedestrian flow** (i.e., visibility, safety, potential crowding):

Comments related to potential conflicts with **existing curb use** (i.e., planters, bike racks, bus stops):

Please check one of the recommendations below, either **approval**, **denial**, or **approval with modifications** relating to the above application:

☐ Community Board recommends **approval**

☐ Community Board recommends **denial**

☒ Community Board recommends **approval w/ modifications**

Recommended modifications (**only if approved w/ modifications**):

To provide for the required 10 foot pedestrian clear path, MCB4 requests the rearrangement of the tables and chairs in the sidewalk cafe. Applicant has agreed to this modification and has provided the attached Revised Site Plan.

☒ Applicant acknowledges and agrees to modifications relating to the above referenced application

☐ Applicant acknowledges **BUT** does **NOT** agree with modifications relating to the above referenced application. If this box is checked, please provide NYC DOT with documentation of such agreement for NYC DOT's consideration.

Nelly Gonzalez

Community Board Authorizing Name

Community Board Authorizing Signature

3/26/25

Date

On 3/11/25 the Business Licenses & Permits Committee voted to recommend approval with modifications. This application is subject to ratification by MCB4 Full Board on Wednesday, April 2, 2025.

RESTAURANT DETAILS

Food Service Establishment Permit(FSEP)

FSEP#: 50086015

Expiration Date: 11/30/2025

DOHMH Status: CURRENT

Business Legal Name: WESTVILLE HK LLC

Assumed Name: WESTVILLE HK

Business Address: 809 9TH AVE, NEW YORK, NY 10019

Venue Type: Restaurant (with bar)

Last updated from DOHMH: 02/15/2025

Restaurant Information

Entity Type: Limited Liability Corporation (LLC)

Phone: (212) 924-2202

Email Address: admin@westvillenyc.com

DOS Information

DOS ID#: 5326809

Process Name: Westville HK LLC

DOS Address: 809 9th ave, New York, New York 10019

NYS Liquor Authority Information

NYSLA Serial No: 1313037

License Type: On-Premises

Name of License: Yaniv Cohen

Title of Representative: owner

Name of Certificate Holder: Westville HK LLC

Business hours

Sun: 11:30 AM- 10:00 PM

Mon: 11:30 AM- 10:00 PM

Tues: 11:30 AM- 10:00 PM

Wed: 11:30 AM- 10:00 PM

Thurs: 11:30 AM- 10:00 PM

Fri: 11:30 AM- 10:00 PM

Sat: 11:30 AM- 10:00 PM



SUPERSEDED

SECTION 1: Site Plan

- This Site Plan form is required to be uploaded in the "Sidewalk Site Plan" field of your online application.
- Refer to the [How to Apply](#) page in the Dining Out NYC website for more information about the application process.

Identify Clear Path Requirements:

Clear path requirement for your sidewalk cafe can be found by identifying your corridor type on the DOT's Pedestrian Mobility Plan [Pedestrian Demand Map](#).

- ☐ C1 - Global Corridor (12 feet Clear Path)
- ☒ C2 - Regional Corridor (10 feet Clear Path)
- ☐ C3 - Neighborhood Corridor, Community Connector, or Baseline Street (8 feet Clear Path)

Setup Area Identification:

- ☐ Please check this box if you plan to have outdoor dining located partially within private property. If you are uncertain, please request records from your property owner/manager.
- ☐ Please check this box if all or part of your sidewalk cafe is in a sidewalk widening area, developed pursuant to the NYC Zoning Resolution. If so, indicate the property line in the site plan drawing below.



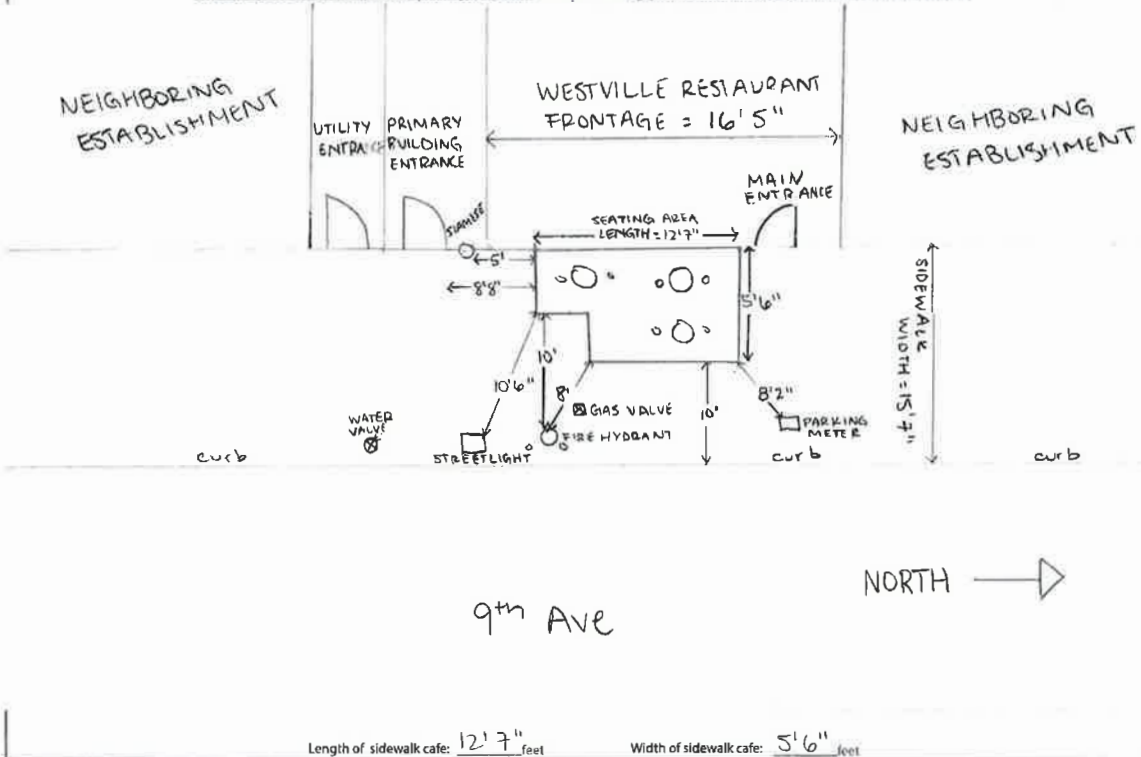
Sidewalk Cafe Site Plan Form

Applicant Name: Yaniv Cohen

Restaurant Name: Westville

FSEP Number: 50086015

Use the space below to draw or upload your Site Plan representing your cafe perimeters, furniture, and clearances.



Drawing Requirements

- Food service establishment frontage shown by:**
- Line representing the establishment's space facing the sidewalk
 - Length
 - Labels

- Private Property shown as:**
- Dashed line

- Street names:**
- Labels on each street

- Sidewalk shown as:**
- Line representing street curb
 - Width measured from building line to curb line

- Building entrances shown as:**
- Label

- Cafe perimeter shown as:**
- Lines indicating perimeter
 - Length and width

- Set-up furniture (tables, chairs, etc.) shown as:**
- Lines or symbols at approximate location within setup

- Elements (in Section 2 of this form) within 15 feet of cafe perimeter, shown as:**
- Lines or symbols
 - Distance from cafe perimeter
 - Labels

- Utility coverings (water/gas valves, and pull boxes) shown as:**
- Symbols representing the location within the setup

North arrow

HK FINAL

SECTION 2: Required Clearances

- Please provide distances from the following objects.
- Only provide a distance if the listed object is within 15 feet of your proposed setup.
- Refer to the [Setup Guides](#) in the Dining Out NYC website for more information regarding clearances.

Elements with minimum 15 feet clearance from sidewalk cafe:

☐ S01- Subway Stair: Open End _____ feet

Elements with minimum 10 feet clearance from sidewalk cafe:

☐ S02- Subway Elevator Entrance _____ feet ☐ S04- MTA Curb Cut _____ feet
☐ S03- Exhaust Duct _____ feet ☐ S05- FDNY Curb Cut _____ feet

Elements with minimum 8 feet clearance from sidewalk cafe:

☐ S06- Street Tree Bed _____ feet ☐ S13- Newsstand _____ feet
☐ S07- Mailbox _____ feet ☒ S14- Streetlight 10' 6" feet
☐ S08- LinkNYC Kiosk _____ feet ☐ S15- Bus Stop Pole _____ feet
☐ S09- Wayfinding Kiosk _____ feet ☒ S16- Fire Hydrant 10' feet
☐ S10- E-charging Station _____ feet ☐ S17- Bus Stop Shelter _____ feet
☒ S11- Parking Meter 8' 2" feet ☐ S18- Traffic Signal _____ feet
☐ S12- SBS Fare Machine _____ feet

Elements with minimum 5 feet clearance from sidewalk cafe:

☐ S19- CitiBike/Bike Share Station _____ feet ☐ S24- Emergency Exit Hatch _____ feet
☐ S20- Bike Corral _____ feet ☐ S25- Subway Stair: Closed End _____ feet
☐ S21- Micromobility Station _____ feet ☐ S26- Subway Elevator: Non-Entry _____ feet
☒ S22- Primary Building Entrance 8' 8" feet ☒ S27- Siamese Connection 5' feet
☐ S23- Curb Cut _____ feet

Elements with minimum 3 feet clearance from sidewalk cafe:

☐ S28- Elevated Train Infrastructure _____ feet ☐ S29- Transformer Vault _____ feet

Elements with minimum 1 foot 6 inches clearance from sidewalk cafe elements:

☒ S30- Vent Infrastructure: utility vent poles, vent grates, subway grates _____ inches ☐ S31- Manholes _____ inches
WATER VALVE 13' GAS VALVE 5' 5"

☐ Check this box if none of the objects listed above are within 15 feet of the proposed setup.



SECTION 3: Material Requirements

- Please indicate which of the following materials will be part of your sidewalk cafe by checking the box next to the category. If applicable, please confirm the materials comply with the Dining Out NYC requirements by checking the box next to the associated requirement.
- Refer to the [Setup Guides](#) in the Dining Out NYC website for more information regarding materials.

Materials Checklist:

Required

☒ Perimeter Demarcation (All of the following must be met)

- ☒ Perimeter demarcation must be clear and visible by using a lightweight and removable self-supporting base wall, railing, planter, fence, or stanchion and rope.
- ☒ Maximum height is 2 feet 6 inches (excluding planing(s)).
- ☒ Not affixed to the sidewalk.

Optional- Only check the material categories you intend to use in your sidewalk cafe

☒ Furnishings (if using, the first two below must be met)

- ☒ Lightweight and easily movable.
- ☒ Not affixed to the sidewalk.
- ☐ Check here if you plan to place tables/chairs on top of a cellar or basement door. If so, please complete the [Cellar or Basement Door Certification](#).

☒ Awnings Physically Attached to the Building (if using, all of the following must be met)

- ☒ Minimum 8 feet height from the ground and does not exceed 10 feet height.
- ☒ Easily removable, comprised of fire-grade and wind resistant materials.
- ☒ Does not extend beyond the perimeter of the sidewalk cafe.
- ☒ Complies with the New York City Building Code. Please note that this may require additional permits from DOB, and/or approval from the Landmarks Preservation Commission (LPC) as applicable.

☒ Overhead Coverings/ Umbrellas (if using, all of the following must be met)

- ☒ Minimum 7 feet height from the ground and does not exceed 10 feet height.
- ☒ Easily removable, comprised of fire-grade and wind resistant materials.
- ☒ Does not extend beyond the perimeter of the sidewalk cafe.
- ☒ The umbrella/overhead covering has a weighted base and any supports are not affixed to the sidewalk.
- ☒ Any support structures are of sufficient size and strength, made of durable materials, and free of defects.

☒ Lighting and Electrical Connections (if using, all of the following must be met)

- ☒ Any lighting is outdoor rated, properly secured, and lightweight.
- ☒ Connection is directly connected to ground floor restaurant's power source and within the perimeter of the cafe.
- ☒ Does not extend beyond the perimeter of the sidewalk cafe.
- ☒ Does not exceed 10 feet in height.
- ☒ Not attached to any City property, including street trees.
- ☒ Electrical work complies with the applicable requirements set forth in DOT's rules and the New York City Electrical Code. Please note that this may require additional permits from DOB or FDNY, and/or approval from the Landmarks Preservation Commission (LPC) as applicable.

REVISED PLANS

SECTION 1: Site Plan

- This Site Plan form is required to be uploaded in the "Sidewalk Site Plan" field of your online application.
- Refer to the [How to Apply](#) page in the Dining Out NYC website for more information about the application process.

Identify Clear Path Requirements:

Clear path requirement for your sidewalk cafe can be found by identifying your corridor type on the DOT's Pedestrian Mobility Plan [Pedestrian Demand Map](#).

- ☐ C1- Global Corridor (12 feet Clear Path)
- ☒ C2- Regional Corridor (10 feet Clear Path)
- ☐ C3- Neighborhood Corridor, Community Connector, or Baseline Street (8 feet Clear Path)

Setup Area Identification:

- ☐ Please check this box if you plan to have outdoor dining located partially within private property. If you are uncertain, please request records from your property owner/manager.
- ☐ Please check this box if all or part of your sidewalk cafe is in a sidewalk widening area, developed pursuant to the NYC Zoning Resolution. If so, indicate the property line in the site plan drawing below.



Sidewalk Cafe Site Plan Form

Applicant Name: Westville HK LLC

Restaurant Name: Westville

FSEP Number: 50086015

Drawing Requirements

Food service establishment frontage shown by:

- Line representing the establishment's space facing the sidewalk
- Length
- Labels

Private Property shown as:

- Dashed line

Street names:

- Labels on each street

Sidewalk shown as:

- Line representing street curb
- Width measured from building line to curb line

Building entrances shown as:

- Label

Cafe perimeter shown as:

- Lines indicating perimeter
- Length and width

Set-up furniture (tables, chairs, etc.) shown as:

- Lines or symbols at approximate location within setup

Elements (in Section 2 of this form) within 15 feet of cafe perimeter, shown as:

- Lines or symbols
- Distance from cafe perimeter
- Labels

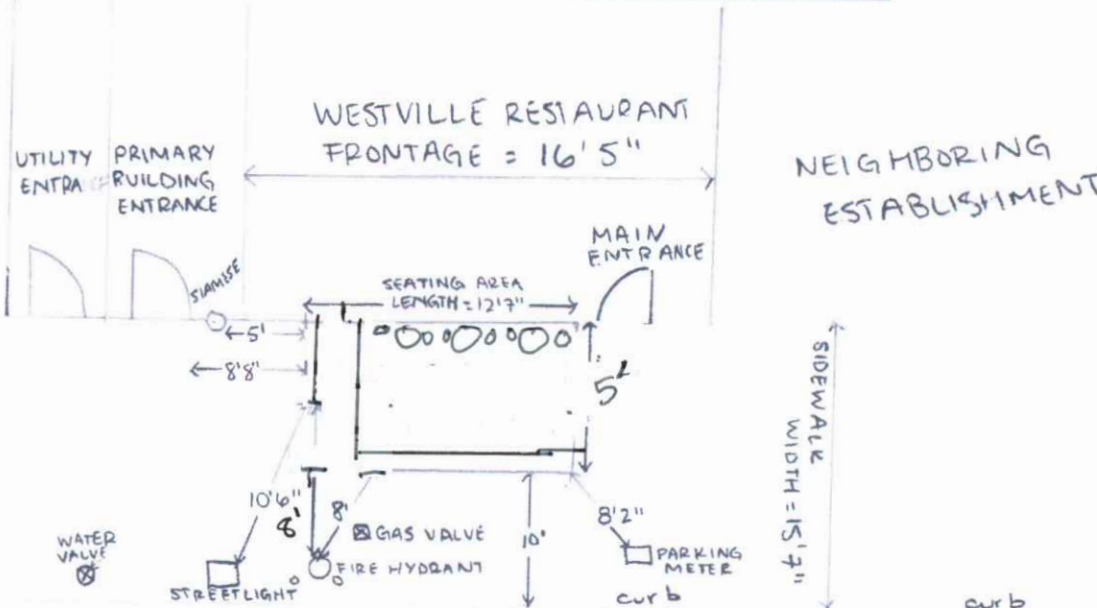
Utility coverings (water/gas valves, and pull boxes) shown as:

- Symbols representing the location within the setup

North arrow

Use the space below to draw or upload your Site Plan representing your cafe perimeters, furniture, and clearances.

NEIGHBORING ESTABLISHMENT



9th Ave

NORTH →

Length of sidewalk cafe: 12'7" feet

Width of sidewalk cafe: 5' feet

SECTION 2: Required Clearances

- Please provide distances from the following objects.
- Only provide a distance if the listed object is within 15 feet of your proposed setup.
- Refer to the [Setup Guides](#) in the Dining Out NYC website for more information regarding clearances.

Elements with minimum 15 feet clearance from sidewalk cafe:

☐ S01- Subway Stair: Open End _____ feet

Elements with minimum 10 feet clearance from sidewalk cafe:

☐ S02- Subway Elevator Entrance _____ feet

☐ S03- Exhaust Duct _____ feet

☐ S04- MTA Curb Cut _____ feet

☐ S05- FDNY Curb Cut _____ feet

Elements with minimum 8 feet clearance from sidewalk cafe:

☐ S06- Street Tree Bed _____ feet

☐ S07- Mailbox _____ feet

☐ S08- LinkNYC Kiosk _____ feet

☐ S09- Wayfinding Kiosk _____ feet

☐ S10- E-charging Station _____ feet

☒ S11- Parking Meter 8' 2" feet

☐ S12- SBS Fare Machine _____ feet

☐ S13- Newsstand _____ feet

☒ S14- Streetlight 10' 6" feet

☐ S15- Bus Stop Pole _____ feet

☒ S16- Fire Hydrant 18" feet

☐ S17- Bus Stop Shelter _____ feet

☐ S18- Traffic Signal _____ feet

Elements with minimum 5 feet clearance from sidewalk cafe:

☐ S19- CitiBike/Bike Share Station _____ feet

☐ S20- Bike Corral _____ feet

☐ S21- Micromobility Station _____ feet

☒ S22- Primary Building Entrance 8' 8" feet

☐ S23- Curb Cut _____ feet

☐ S24- Emergency Exit Hatch _____ feet

☐ S25- Subway Stair: Closed End _____ feet

☐ S26- Subway Elevator: Non-Entry _____ feet

☒ S27- Siamese Connection 5' feet

Elements with minimum 3 feet clearance from sidewalk cafe:

☐ S28- Elevated Train Infrastructure _____ feet

☐ S29- Transformer Vault _____ feet

Elements with minimum 7 foot 6 inches clearance from sidewalk cafe elements:

☒ S30- Vent Infrastructure: _____ inches

☐ S31- Manholes _____ inches

utility vent poles, vent
grates, subway grates WATER VALVE 13' Gas valve 5' 5"

☐ Check this box if none of the objects listed above are within 15 feet of the proposed setup.



SECTION 3: Material Requirements

- Please indicate which of the following materials will be part of your sidewalk cafe by checking the box next to the category. If applicable, please confirm the materials comply with the Dining Out NYC requirements by checking the box next to the associated requirement.
- Refer to the [Setup Guides](#) in the Dining Out NYC website for more information regarding materials.

Materials Checklist:

Required

☒ Perimeter Demarcation (All of the following must be met)

- ☒ Perimeter demarcation must be clear and visible by using a lightweight and removable self-supporting device with railing, planter, fence, or stanchion and rope.
- ☒ Maximum height is 2 feet 6 inches (excluding plantings).
- ☒ Not affixed to the sidewalk.

Optional- Only check the material categories you intend to use in your sidewalk cafe

☐ Furnishings (if using, the first two below must be met)

- ☐ Lightweight and easily movable.
- ☐ Not affixed to the sidewalk.
- ☐ Check here if you plan to place tables/chairs on top of a cellar or basement door. If so, please complete the [Cellar or Basement Door Certification](#).

☐ Awnings Physically Attached to the Building (if using, all of the following must be met)

- ☐ Minimum 8 feet height from the ground and does not exceed 10 feet height.
- ☐ Easily removable, comprised of fire-grade and wind resistant materials.
- ☐ Does not extend beyond the perimeter of the sidewalk cafe.
- ☐ Complies with the New York City Building Code. Please note that this may require additional permits from DOB, and/or approval from the Landmarks Preservation Commission (LPC) as applicable.

☐ Overhead Coverings/ Umbrellas (if using, all of the following must be met)

- ☐ Minimum 7 feet height from the ground and does not exceed 10 feet height.
- ☐ Easily removable, comprised of fire-grade and wind resistant materials.
- ☐ Does not extend beyond the perimeter of the sidewalk cafe.
- ☐ The umbrella/overhead covering has a weighted base and any supports are not affixed to the sidewalk.
- ☐ Any support structures are of sufficient size and strength, made of durable materials, and free of defects.

☐ Lighting and Electrical Connections (if using, all of the following must be met)

- ☐ Any lighting is outdoor rated, properly secured, and lightweight.
- ☐ Connection is directly connected to ground floor restaurant's power source and within the perimeter of the cafe.
- ☐ Does not extend beyond the perimeter of the sidewalk cafe.
- ☐ Does not exceed 10 feet in height.
- ☐ Not attached to any City property, including street trees.
- ☐ Electrical work complies with the applicable requirements set forth in DOT's rules and the New York City Electrical Code. Please note that this may require additional permits from DOB or FDNY, and/or approval from the Landmarks Preservation Commission (LPC) as applicable.

SECTION 1: Site Plan

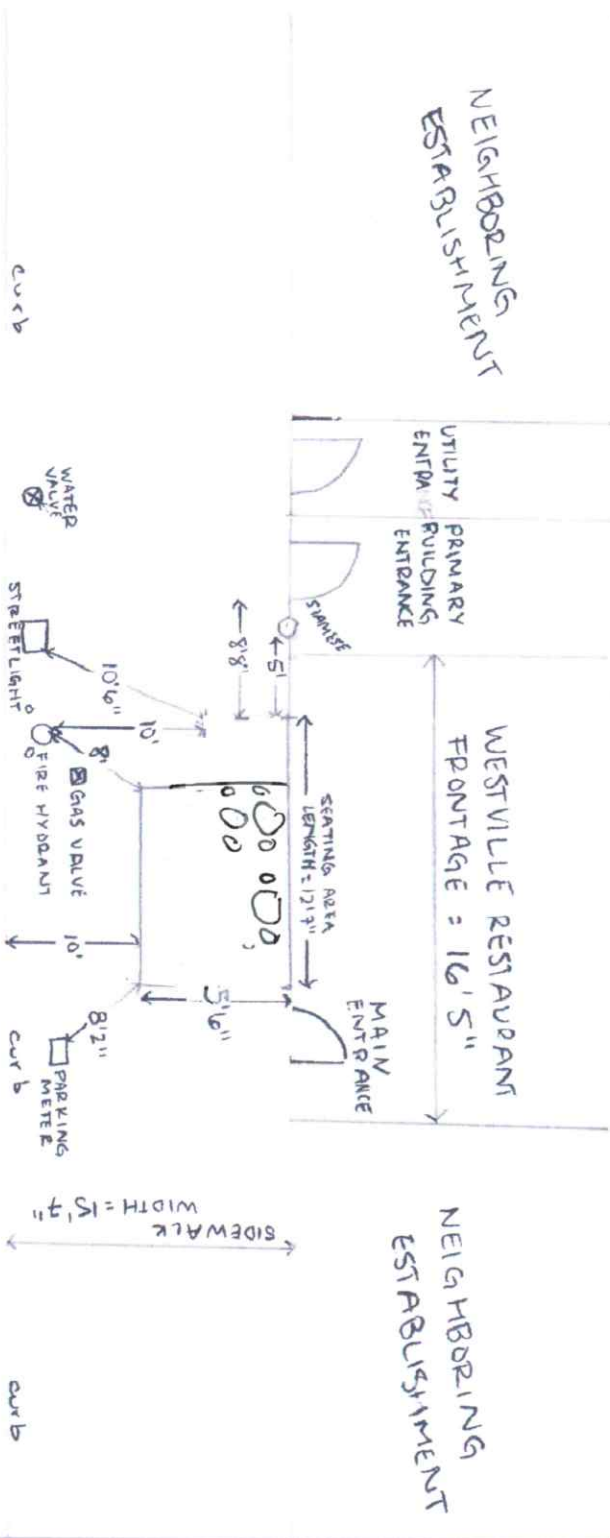
- This Site Plan form is required to be uploaded in the "Sidewalk Site Plan" field of your online application.
- Refer to the [How to Apply](#) page in the Dining Out NYC website for more information about the application process.

Identify Clear Path Requirements:

- ☐ C1 - Global Corridor (12 feet Clear Path)
- ☒ C2 - Regional Corridor (10 feet Clear Path)
- ☐ C3 - Neighborhood Corridor, Community Connector, or Baseline Street (8 feet Clear Path)

- ☐ Please check this box if you plan to have outdoor dining located partially within private property. If you are uncertain, please request records from your property owner/manager.
- ☐ Please check this box if all or part of your sidewalk cafe is in a sidewalk widening area, developed pursuant to the NYC Zoning Resolution. If so, indicate the property line in the site plan drawing below.

Use the space below to draw or upload your Site Plan representing your cafe, perimeter, furniture, and clearances.



Length of sidewalk cafe: 12'3" feet

Width of sidewalk cafe: 5'6" feet

Sidewalk Cafe Site Plan Form

Applicant Name: Yaniv Cohen

Restaurant Name: Westville

FSEP Number: 50086015

Drawing Requirements

Food service establishment frontage shown by:

- Line representing the establishment's space facing the sidewalk
- Length
- Labels

Private Property shown as:

- Dashed line

Street names:

- Labels on each street

Sidewalk shown as:

- Line representing street curb
- Width measured from building line to curb line

Building entrances shown as:

- Label

Cafe perimeter shown as:

- Lines indicating perimeter
- Length and width

Set-up furniture (tables, chairs, etc.) shown as:

- Lines or symbols at approximate location within setup

Elements (in Section 2 of this form) within 15 feet of cafe perimeter, shown as:

- Lines or symbols
- Distance from cafe perimeter
- Labels

Utility coverings (water/gas valves, and pull boxes) shown as:

- Symbols representing the location within the setup

North arrow

HL FINAL

SECTION 2: Required Clearances

- Please provide distances from the following objects.
- Only provide a distance if the listed object is within 15 feet of your proposed setup.
- Refer to the [Setup Guides](#) in the Dining Out NYC website for more information regarding clearances.

Elements with minimum 15 feet clearance from sidewalk cafe:

☐ S01- Subway Stair: Open End _____ feet

Elements with minimum 10 feet clearance from sidewalk cafe:

☐ S02- Subway Elevator Entrance _____ feet ☐ S04- MTA Curb Cut _____ feet

☐ S03- Exhaust Duct _____ feet ☐ S05- FDNY Curb Cut _____ feet

Elements with minimum 8 feet clearance from sidewalk cafe:

☐ S06- Street Tree Bed _____ feet ☐ S13- Newsstand _____ feet

☐ S07- Mailbox _____ feet ☒ S14- Streetlight _____ feet

☐ S08- LinkNYC Kiosk _____ feet ☐ S15- Bus Stop Pole _____ feet

☐ S09- Wayfinding Kiosk _____ feet ☒ S16- Fire Hydrant _____ feet

☐ S10- E-charging Station _____ feet ☐ S17- Bus Stop Shelter _____ feet

☒ S11- Parking Meter _____ feet ☐ S18- Traffic Signal _____ feet

☐ S12- SBS Fare Machine _____ feet

☐ S19- CitiBike/Bike Share Station _____ feet ☐ S24- Emergency Exit Hatch _____ feet

☐ S20- Bike Corral _____ feet ☐ S25- Subway Stair: Closed End _____ feet

☐ S21- Micromobility Station _____ feet ☐ S26- Subway Elevator: Non Entry _____ feet

☒ S22- Primary Building Entrance _____ feet ☒ S27- Samese Connection _____ feet

☐ S23- Curb Cut _____ feet

☐ S28- Elevated Train Infrastructure _____ feet ☐ S29- Transformer Vault _____ feet

Elements with minimum 7 foot 6 inches clearance from sidewalk cafe elements:

☒ S30- Vent Infrastructure: _____ inches ☐ S31- Manholes _____ inches

_____ WATER VALVE 13' GAS VALVE 5'5"

Check this box if none of the objects listed above are within 15 feet of the proposed setup.



SECTION 3: Material Requirements

- Please indicate which of the following materials will be part of your sidewalk cafe by checking the box next to the category. If applicable, please confirm the materials comply with the Dining Out NYC requirements by checking the box next to the associated requirement.
- Refer to the [Setup Guides](#) in the Dining Out NYC website for more information regarding materials.

Materials Checklist:

☐ Perimeter Demarcation (all of the following must be met)

☒ Perimeter demarcation must be clear and visible by using a lightweight and removable self-supporting

☐ Minimum height is 2 feet 6 inches (excluding plantings).

☐ Not affixed to the sidewalk.

Optional: Only check the material categories you intend to use in your sidewalk cafe.

☐ Furnishings (if using, the first two below must be met)

☐ Lightweight and easily movable.

☐ Not affixed to the sidewalk.

☐ Check here if you plan to place tables/chairs on top of a cellar or basement door. If so, please complete the

☐ or Basement Door Certification

☐ Awnings Physically Attached to the Building (if using, all of the following must be met)

☐ Minimum 8 feet height from the ground and does not exceed 10 feet height.

☐ Easily removable, comprised of fire-grade and wind resistant materials.

☐ Does not extend beyond the perimeter of the sidewalk cafe.

☐ The umbrella/overhead covering has a weighted base and any supports are not affixed to the sidewalk.

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WESTVILLE HK 809 9TH AVENUE

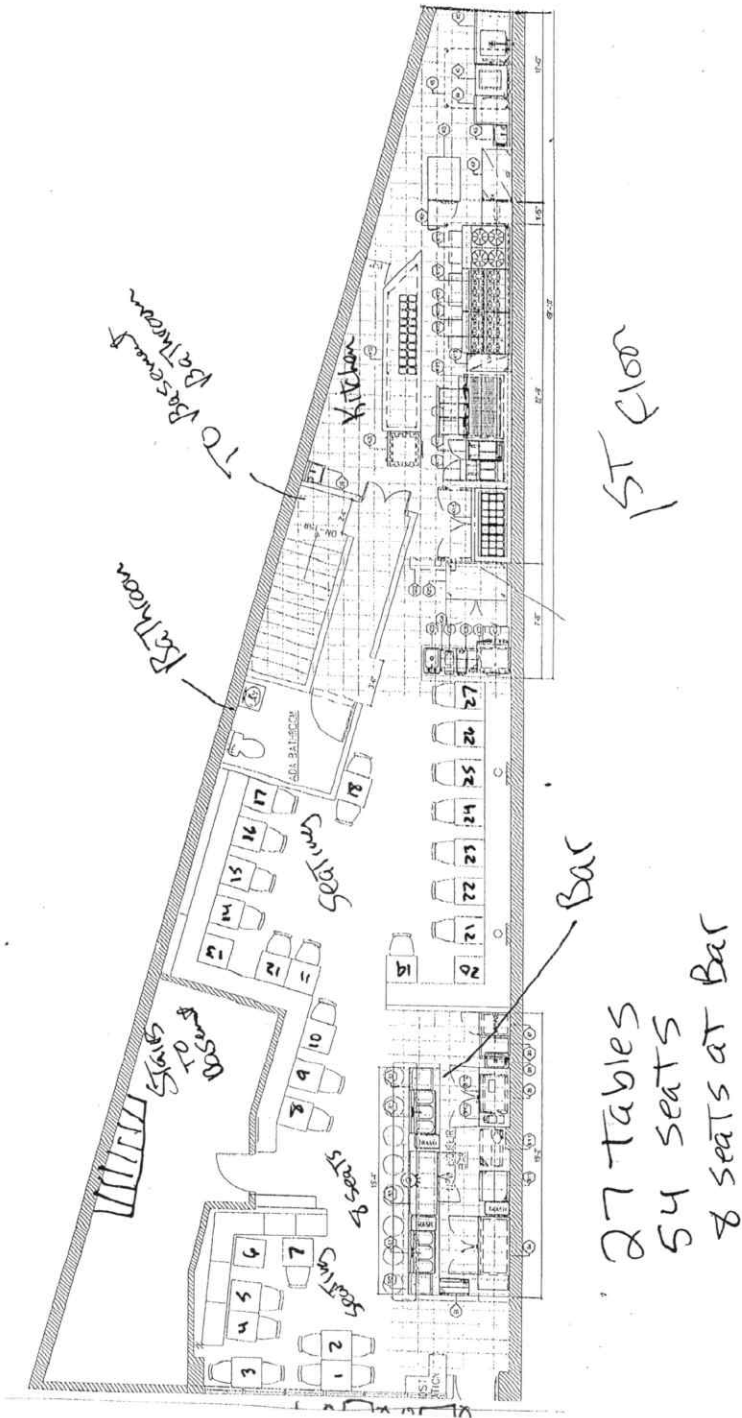
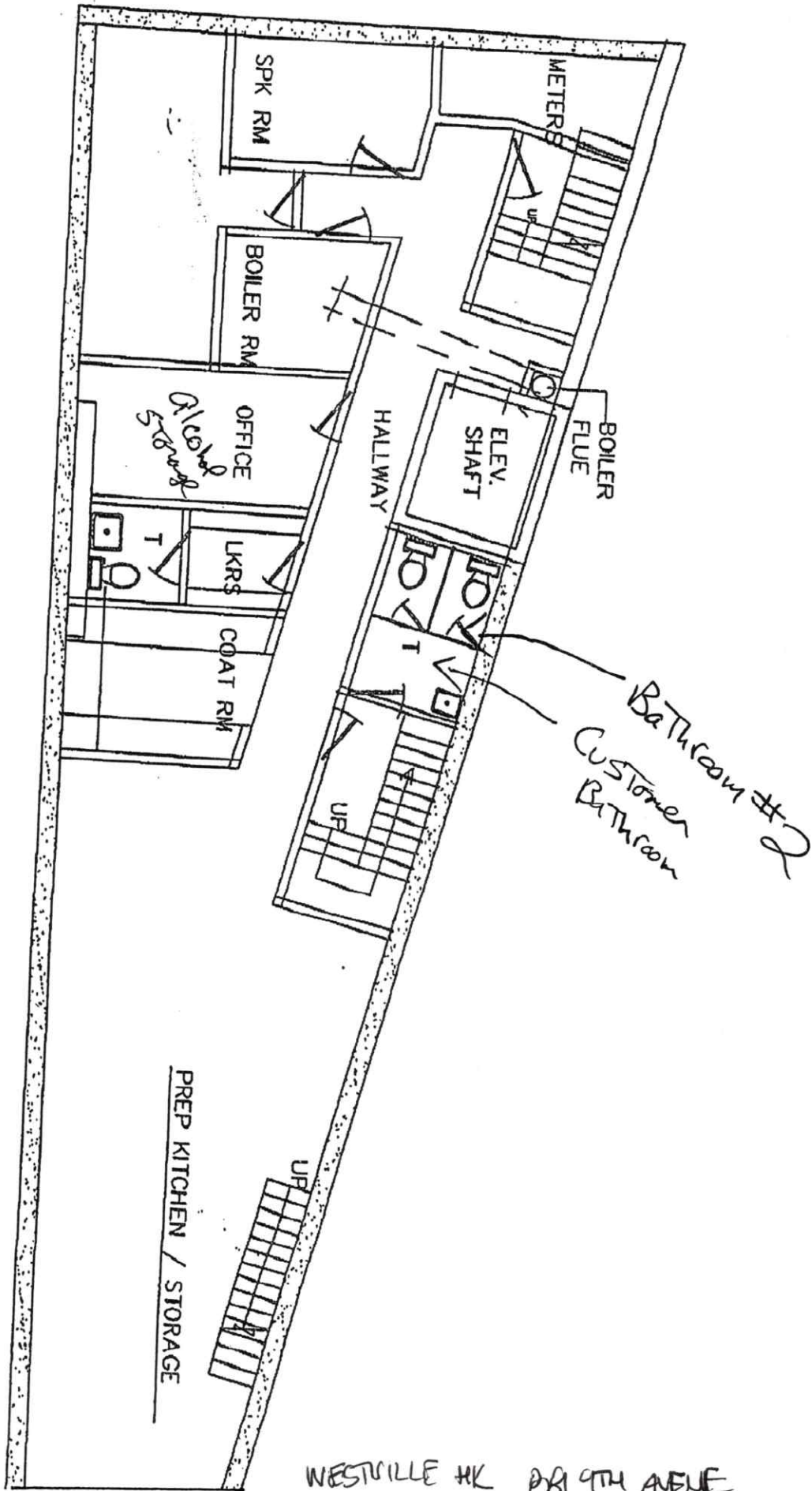


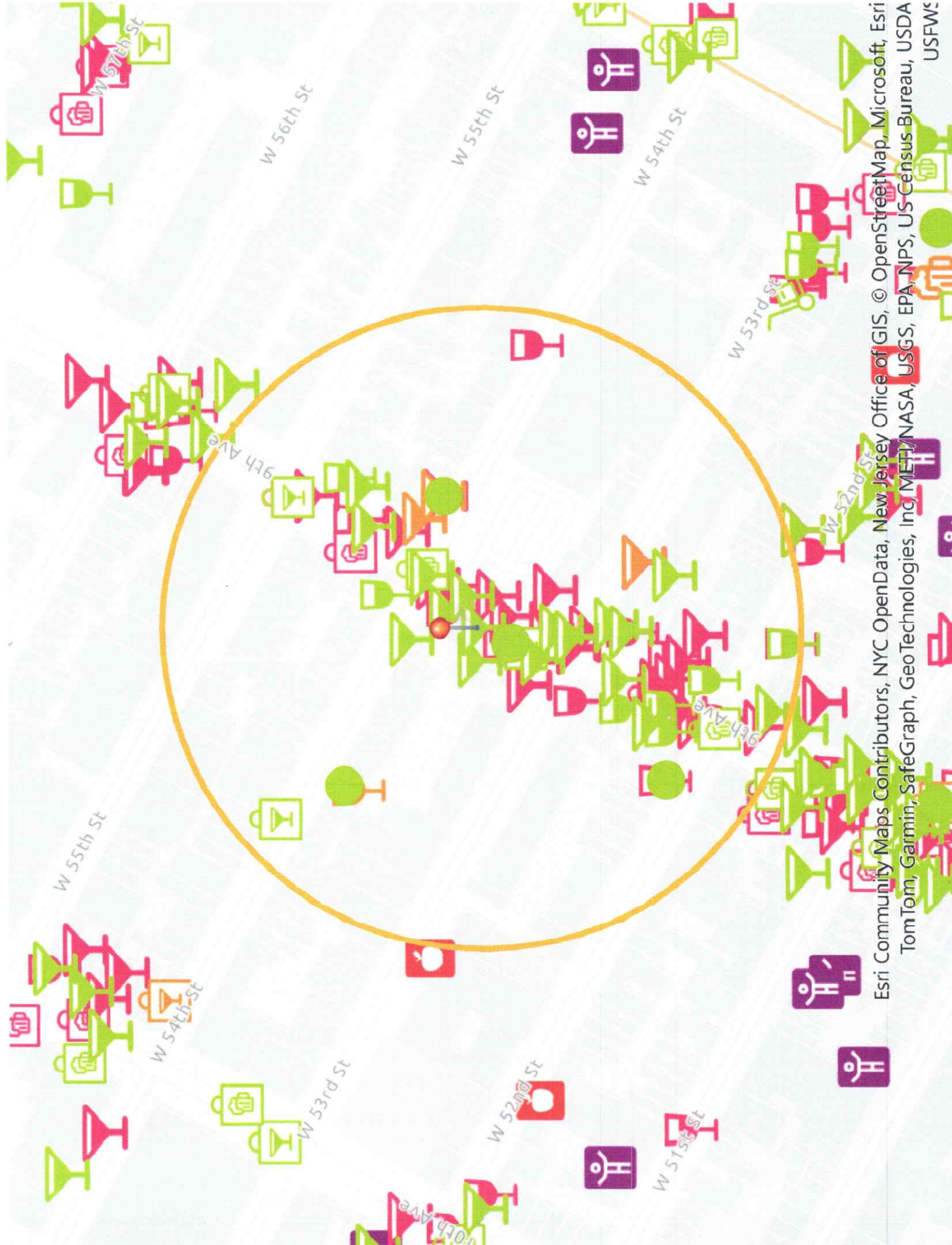
Exhibit A

CELLAR PLAN

1/8"=1'-0"



WESTVILLE HK 889 9TH AVE



Esri Community Maps Contributors, NYC OpenData, New Jersey Office of GIS, © OpenStreetMap, Microsoft, Esri
TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, MICH/NASA, USGS, EPA, NPS, US Census Bureau, USDA
USFWS

This report is for informational purposes only in aid of identifying establishments potentially subject to 500 and 200 foot rules. Distances are approximated using industry standard GIS techniques and do not reflect actual distances between points of entry. The NYS Liquor Authority makes no representation as to the accuracy of the information and disclaims any liability for errors.

Proximity Report For:

Location **809 9th Ave, New York, New York, 10019**

Geocode **Latitude: 40.76578**
longitude: -73.98751

Report Generated On **2/19/2025**

8 Closest Liquor Stores

Name	Address	Distance
ROYAL WINES & LIQUORS INC License ID: 0100-21-114132 Legacy Serial No.: 1334969	803 9TH AVENUE SOUTH STORE NEW YORK, NY 100019	71 ft
54 WINES & SPIRITS INC License ID: 0100-23-124992 Legacy Serial No.: 1297881	400 W 55TH ST AKA 839 9TH AVE NEW YORK, New York 10019	366 ft
WEST 54 LIQUORS LLC License ID: 0100-21-115348 Legacy Serial No.: 1210031	453 W 54TH ST CNR-10TH AVE NEW YORK, New York 10019	440 ft
NINTH AVENUE WINE & LIQ CORP License ID: 0100-21-114838 Legacy Serial No.: 1023639	860 9TH AVENUE NEW YORK, New York 10019	616 ft
CELLAR 53 WINE & SPIRITS INC License ID: 0100-22-116266 Legacy Serial No.: 1242982	785 10TH AVE NEW YORK, New York 10019	866 ft
921 WESTERLY LIQUOR CORP License ID: 0100-23-126659 Legacy Serial No.: 1255189	921 8TH AVE NEW YORK, New York 10019	990 ft
1843 BROADWAY LIQUORS INC License ID: 0100-21-115245 Legacy Serial No.: 1053130	344A W 57TH STREET NEW YORK, New York 10019	1,048 ft
SHON 45 LIQUORS INC License ID: 0100-21-114855 Legacy Serial No.: 1023642	840 8TH AVENUE NEW YORK, New York 10019	1,231 ft

Schools within 500 feet

Name	Address	Distance
No Schools within 500 feet		

Churches within 500 feet

Name	Distance
No Churches within 500 feet	

Pending On Premises Liquor Licenses within 750 feet

Name	Address	Distance
La Moderna Taqueria 1 LLC Application ID: NA-0340-25-104090	824 9th Ave New York, NY 10019.0	195 ft
La Boca LLC Application ID: NA-0370-24-127313	359 W 54th St New York, New York 10019.0	218 ft
The Yakitori LLC Application ID: NA-0340-25-101945	362 W 53rd St New York, New York 10019.0	276 ft

Active On Premises Liquor Licenses within 750 feet

Name	Address	Distance
WESTVILLE HK LLC License ID: 0340-22-113728 Legacy Serial No.: 1313037	809 9TH AVE NEW YORK, New York 10019	4 ft
BAR 9 ENTERTAINMENT CORP License ID: 0340-23-137997 Legacy Serial No.: 1284325	807 9TH AVE NEW YORK, New York 10019	51 ft
MEDI WINEBAR LLC License ID: 0340-23-132412 Legacy Serial No.: 1237983	811-13 9TH AVENUE W 53RD & W 54TH STREETS NEW YORK, New York 10019	53 ft
RH HOSPITALITY LLC License ID: 0340-22-110344 Legacy Serial No.: 1339804	813 9TH AVE NEW YORK, New York 10019	55 ft
SICILIAN SAGE LLC License ID: 0340-22-104996 Legacy Serial No.: 1325643	801 9TH AVE AKA 401 W 53RD ST NEW YORK, New York 10019	106 ft
GIARDINO 54 LLC License ID: 0340-22-109123 Legacy Serial No.: 1311388	400 1/2 W 54TH ST NEW YORK, New York 10019	110 ft
TPMJV BAR & REST CORP License ID: 0340-23-137588 Legacy Serial No.: 1252840	815 9TH AVE NEW YORK, New York 10019	114 ft
S SCOTTY ENTERPRISES INC License ID: 0340-23-137780 Legacy Serial No.: 1274915	802 9TH AVE NEW YORK, New York 10019	125 ft
STOKES & MCGINLEY INC License ID: 0340-22-114502 Legacy Serial No.: 1263760	800 9TH AVE NEW YORK, New York 10019	150 ft
798 NINTH RESTAURANT LLC License ID: 0340-23-134094 Legacy Serial No.: 1298456	798 9TH AVE NEW YORK, New York 10019	210 ft
BACCO 828 9TH AVE CORP License ID: 0340-23-132765 Legacy Serial No.: 1195303	828 9TH AVE NEW YORK, New York 10019	232 ft

Active On Premises Liquor Licenses within 750 feet

Name	Address	Distance
The Soiree Tea Co LLC License ID: 0370-24-122400 Legacy Serial No.: 6030835	796 9th Ave New York, NY 10019	233 ft
FLAMING SADDLES NYC 1 LLC License ID: 0340-23-134109 Legacy Serial No.: 1256033	793 9TH AVE NEW YORK, New York 10019	237 ft
CANICATTI CORP License ID: 0340-22-115454 Legacy Serial No.: 1338049	836 9TH AVE NEW YORK, New York 10019	287 ft
RETRO ON 9TH INC License ID: 0340-23-127809 Legacy Serial No.: 1347782	785 9TH AVE NEW YORK, New York 10019	307 ft
IDEALIZE INC License ID: 0340-23-133842 Legacy Serial No.: 1285439	362 W 53RD ST NEW YORK, New York 10019	314 ft
Kenso LLC License ID: 0340-24-134814 Legacy Serial No.: 6043619	776 9th Ave New York, New York 10019	480 ft
KASHKAVAL KITCHEN LLC License ID: 0340-22-112462 Legacy Serial No.: 1266444	852 9TH AVE NEW YORK, New York 10019	517 ft
355 HELL S KITCHEN GROUP LLC License ID: 0370-24-131229 Legacy Serial No.: 6039927	355 W 52ND ST BTW 8TH & 9TH AV NEW YORK, New York 10019	525 ft
Monart 3 Corp. License ID: 0340-24-131745 Legacy Serial No.: 6040448	772 9th Ave New York, NY 10019	529 ft
9TH AVE BLUE LLC License ID: 0340-23-133816 Legacy Serial No.: 1287492	856 9TH AVE NEW YORK, New York 10019	540 ft
PGNV LLC License ID: 0340-23-137723 Legacy Serial No.: 1300770	765 9TH AVE NEW YORK, New York 10019	570 ft
AGEHA JAPANESE FUSION INC License ID: 0340-22-103388 Legacy Serial No.: 1261234	767 9TH AVE NEW YORK, New York 10019	576 ft
INISTIOGE INC License ID: 0340-21-117855 Legacy Serial No.: 1026257	768 9TH AVE NEW YORK, New York 10019	576 ft
SCENIC ROUTE 66 CAFE INC License ID: 0340-23-132937 Legacy Serial No.: 1189648	858 9TH AVENUE NEW YORK, New York 10019	592 ft
RISE BAR NYC LLC License ID: 0370-23-159649 Legacy Serial No.: 6001997	859 9TH AVE NEW YORK, New York 10019	601 ft
BOXERS WASHINGTON HEIGHTS LLC License ID: 0340-22-107786 Legacy Serial No.: 1336978	348 W 52ND ST NEW YORK, New York 10019	618 ft
OVER A DRINK LLC License ID: 0340-23-139089 Legacy Serial No.: 1341373	405 W 51ST ST NEW YORK, New York 10019	634 ft
7 WASHINGTON LANE CORP License ID: 0340-23-135556	369 W 51ST ST NEW YORK, New York 10019	636 ft

Active On Premises Liquor Licenses within 750 feet		
Name	Address	Distance
Legacy Serial No.: 1298056		
VIA TOSCANA LLC License ID: 0340-24-107411 Legacy Serial No.: 6015441	344 W 52ND ST NEW YORK, NY 10019	657 ft
AGGIEPOLO INC License ID: 0340-22-103586 Legacy Serial No.: 1274213	761 9TH AVE NEW YORK, New York 10019	657 ft
ARRIBA ARRIBA MEXICAN RESTAURANTS INC License ID: 0340-21-117825 Legacy Serial No.: 1026170	762 9TH AVENUE NEW YORK, New York 10019	659 ft
PRIVY LLC License ID: 0340-22-103673 Legacy Serial No.: 1245972	346 WEST 52ND STREET NEW YORK, New York 10019	682 ft
NPD WEST 51 INC License ID: 0340-21-117523 Legacy Serial No.: 1337047	370 W 51ST ST STORE 1, 2 NEW YORK, New York 10019	705 ft
BRICIOLA CORP License ID: 0340-22-108744 Legacy Serial No.: 1319788	370 W 51ST ST NEW YORK, New York 10019	709 ft
HIGHLANDERS 756 INC License ID: 0340-22-103151 Legacy Serial No.: 1272868	756 NINTH AVE NEW YORK, New York 10019	727 ft



westville

APPETIZERS

CHICKEN NOODLE SOUP

MARKET VEGETABLE

CHICKEN TENDERS

with cool blue cheese & hot buffalo sauce

SMOKY MAC & CHEESE

add bacon +1

TURKEY CHILI

optional sour cream

add smoked gouda +2

VEGGIE CHILI

optional sour cream

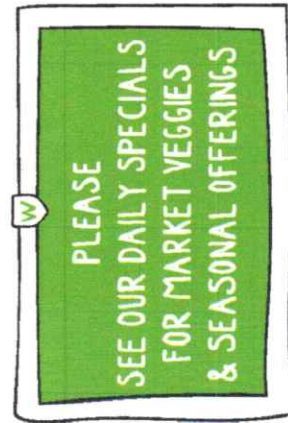
add smoked gouda +2 add vegan smoked gouda +2

FRENCH FRIES or

SWEET POTATO FRIES

add chipotle mayo +1

TRUFFLE PARM FRIES



SALADS

add farro or quinoa +3, avocado +3, diced chicken +4

ARUGULA & PARM

with lemon olive oil

KALE

kale, marinated red onions, blue cheese, dried cranberries, pumpkin seeds, candied walnuts & lemon olive oil dressing

WESTVILLE COBB

grilled chicken, bacon, avocado & blue cheese over romaine & mixed greens w/ balsamic lemon dill vinaigrette

GREEK SALAD

cherry tomatoes, cucumbers, marinated red onions, olives & feta over romaine & mixed greens w/ balsamic lemon dill vinaigrette & a grilled baguette w/ herbed goat cheese

CLASSIC CAESAR

romaine w/ homemade croutons, parmesan & caesar dressing

ADD TO SALADS OR AS A SIDE

grilled chicken 7

breaded chicken cutlet 7

grilled salmon 10

quinoa artichoke patty (vegan) 8

grilled shrimp (9 pcs) 10

grilled sirloin steak (5 oz) 11

seared tofu w/ teriyaki drizzle (2 pcs) 4

avocado 3

side of rice 4

PLATES

MARKET PLATE

choice of four market vegetables

GRILLED MARINATED

CHICKEN BREAST

served w/ two market vegetables

BREADED CHICKEN CUTLET

served w/ two market vegetables

GRILLED SALMON

served w/ two market vegetables

GRILLED MARINATED

SIRLOIN STEAK

served w/ two market vegetables

SALMON TERIYAKI

w/ fresh ginger & scallions, served w/ two market vegetables

SANDWICHES

served w/ arugula & marinated red onion salad, w/

pickle chips

sub fries +1, sub sweet potato fries +2, sub truffle parm

fries +3, add cheese +2

BUTTERMILK FRIED CHICKEN

w/ avocado, arugula & chipotle mayo

on a portuguese muffin

CRISPY FISH

w/ classic coleslaw, romaine & homemade tartar sauce on a club roll

STEAK SANDWICH

w/ caramelized onions & horseradish mayo on a club roll

BURGERS

choice of fries or arugula & marinated red onion salad served w/ pickle chips optional lettuce/tomato/onion sub sweet potato fries +1, sub truffle parm fries +2

HAMBURGER

8 oz char-grilled angus beef on a portuguese muffin

CAST IRON TURKEY BURGER

fresh ground turkey breast patty on a portuguese muffin

BEYOND BURGER (VEGAN)

vegan smoked gouda, lettuce, tomato, pickles & homemade russian sauce on a vegan bun

ADD TO BURGERS

cheddar, american, swiss, feta, gouda, mozzarella, blue & goat cheese +2

bacon, caramelized onions, avocado & mushrooms +2

HOT DOGS

served solo (1 hot dog) or special (2 hot dogs) w/ choice of market vegetable, fries, or arugula & marinated red onion salad, served w/ pickle chips

HEBREW NATIONAL

4 / 14

ADD TO HOT DOGS

raw onion, sauerkraut & relish no additional charge chili, cheese & grilled onions +50 each, per hot dog

DINNER

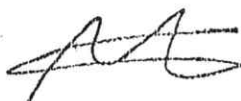
20% gratuity will be added to parties of six or more / please alert us of any allergies or dietary restrictions consuming raw or undercooked meats, seafood or eggs may increase risk of foodborne illness.

Certificate of Occupancy

CO Number: 110369351F

This certifies that the premises described herein conforms substantially to the approved plans and specifications and to the requirements of all applicable laws, rules and regulations for the uses and occupancies specified. No change of use or occupancy shall be made unless a new Certificate of Occupancy is issued. *This document or a copy shall be available for inspection at the building at all reasonable times.*

A.	Borough: Manhattan	Block Number: 01063	Certificate Type: Final
	Address: 809 NINTH AVENUE	Lot Number(s): 33	Effective Date: 12/30/2014
	Building Identification Number (BIN): 1088573	Building Type: New	
This building is subject to this Building Code: 1968 Code			
For zoning lot metes & bounds, please see BISWeb.			
B.	Construction classification: 1-B	(1968 Code designation)	
	Building Occupancy Group classification: R-2	(2008 Code)	
	Multiple Dwelling Law Classification: HAEA		
	No. of stories: 6	Height in feet: 60	No. of dwelling units: 10
C.	Fire Protection Equipment: Sprinkler system		
D.	Type and number of open spaces: None associated with this filing.		
E.	This Certificate is issued with the following legal limitations: Other Restriction: OPEN ALT TYPE 1		
Borough Comments: None			



Borough Commissioner



Commissioner

Certificate of Occupancy

CO Number:

110369351F

Permissible Use and Occupancy						
All Building Code occupancy group designations below are 2008 designations.						
Floor From To	Maximum persons permitted	Live load lbs per sq. ft.	Building Code occupancy group	Dwelling or Rooming Units	Zoning use group	Description of use
CEL	3	OG	A-2		6,2	FOOD PREPARATION (KITCHEN), BOILER RM COMPACTOR RM, OFFICE AND STORAGE
001	71	100	A-2		6	EATING AND DRINKING ESTABLISHMENT RESIDENTIAL LOBBY
002 005		40	R-2	2	2, 2	TWO (2) APARTMENTS PER FLOOR
006			R-2	1	2, 2	TWO ONE-HALF (1/2) APARTMENTS
PEN			R-2	1	2	TWO ONE-HALF (1/2) APARTMENTS
TOTAL 10 APARTMENTS						
END OF SECTION						



Borough Commissioner



Commissioner

END OF DOCUMENT

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EXIT



OFFICE OF THE CLERK
Municipal Law Enforcement Bureau No. 1
424 W. 33rd Street, Suite 100, New York, NY 10018
Tel. (212) 488-6100
Fax (212) 488-6101
Web: www.cityofwestville.org

PUBLIC NOTICE
Business Licenses and Permits Committee
will discuss an application submitted by:
Westville HK
809 9th Avenue
A Dept. Transportation Dining Out
Submittal Application:
Tables: 3, Seats: 6

DATE: Tuesday, March 11, 2025

TIME: 6:30 PM

PLACE: Hybrid Meeting



Video/Phone Conference Registration:
<https://tinyurl.com/mcb4-blp-committee>

In-Person:
MCB4 Office
424 W. 33rd Street, Suite 100

To follow public health best practices,
building protocols and due to limited
space, we encourage all members of the
public to participate remotely via Zoom. If
you would like to attend in person, please
email Assistant District Manager Nelly
Gonzalez at nelgonzalez@cityofwestville.org by
noon, Monday, March 10th.

We invite you to attend this meeting and learn more about this opportunity.
Attendance is free and open to the public. No fee. Monday, March 11th, at
6:30 PM. For more information, please contact the City of Westville Clerk's Office.

DISSEMINATION NOTICE

Printed according to the Administrative Code of the City of New York section 10-110. Please do not remove until after the above meeting date.

W



CITY OF NEW YORK
MANHATTAN COMMUNITY BOARD No. 4
434 W 33rd Street, Suite 580 New York, NY 10001
Tel: 212-738-4576
nbgonzalez@cityofnewyork.usda.net

PUBLIC NOTICE

Business Licenses and Permits Committee
will discuss an application submitted by

Westville HK
809 9th Avenue

A Dept. Transportation Dining Out
Sidewalk Application:
Tables: 3/Seats: 6

DATE:

Tuesday, March 11, 2025

TIME:

6:30 PM

PLACE:

Hybrid Meeting:

Video/Phone Conference Registration:
<https://tinyurl.com/mcb4-blp-committee>



In-Person:
MCB4 Office
424 W 33rd Street, Suite 580

To follow public health best practices,
building protocols and due to limited
space, we encourage all members of the
public to participate remotely via Zoom. If
you would like to attend in person, please
email Assistant District Manager Nelly
Gonzalez at negonzalez@cb.nyc.gov by
10am, Monday, March 10th.

We invite you to attend this meeting and learn more about this application.
Alternatively, you should email your comments by 12 p.m. Monday, March 10th or
for more information, to Assistant District Manager Nelly Gonzalez
negonzalez@cb.nyc.gov

Posted according to the Administrative Code of the City of New York section 10.
Please do not remove until after the above meeting date

Please