Manhattan Community Board 4 (All Fields Must Be Completed)

NYS Liquor License/DOT Dining Out Stipulations Application

CORPORATION NAME		DOING BUSINESS AS (DBA)							
SC Hospitali			Kochi						
Clare 4-1 A sec- 25	ly LLC								
STREET ADDRESS	CROSS STREETS			ZIP COD					
652 10th Av	е					10	0036		
Applicant	NAME:	Sungchul Shim		NAME:	Virgo	o Lee			
(Attach a list of all individuals that will be listed associated	PHONE:	646-578-4516	ATTORNEY/ REPRESENTATIVE	PHONE:	646-998-3659				
with the license)	EMAIL:	sung@kochinyc.com		EMAIL:	vlee	vleere@gmail.com			
	NAME:	Tteur Chun		NAME:	Aaro	n Kitaeff,	Maxwell-Kates Inc.		
MANAGER	PHONE:	201-220-1747	LANDLORD	PHONE:	212-545-6672				
	EMAIL:	tteur@kochinyc.com		EMAIL:	AKitaeff@maxwellkates.com				
APPLICATIO	ON TYP	E (New York State Liqu	or License	✓ De	ept. of T	Transportati	ion Dining Out)		
	Has applic	cant owned or managed a similar business?		X	ES	NO			
New	What is/w	as the name and address of establishment?		Mari	Hospita	lity NYC Inc.	YC Inc.		
	What were	e the dates applicant was involved with this for	ner premise?	ise? Nov. 2021					
O Corp	What is th	e license # and expiration date?							
Change/Class Change/Method of	Is applica	nt making any alterations or operational change	s?	1	ES	NO			
Operation Change/Removal	If alteration	ons or operational changes are being made, plea	se describe/list all change	es.					
	What is th	e current license # and expiration date?							
Alteration	Please list	/describe the nature of all the changes and attac	h the plans:						
METHOD OI	OPER	RATION							
TYPE OF ALCOH	OL	Liquor/Wine/Beer & Cider	O Beer &	Cider		O Wine	s/Beer & Cider		
		Restaurant O Cabaret O	Night Club O Ho	otel O	Bar/Tave	m O	Catering Establishment		
ESTABLISHMEN' TYPE	Bar O Dance Clu	b Os	ports Bar	O Club (Frate	emal Organization - Members Only)				
Has applicant filed applicant plan to f	S VES NO	rer	newed	03/01/20	24, expiry 2/28/2026				
Is the 500 Foot Ru of the On-Premise radius of the estab	ot YES NO)	No.	14-1					
radius of the establishment and the Public Interest Statement. Is the 200 Foot Rule applicable? If yes, please attach a diagram of the schools and houses of worship within a 200 foot radius of the establishment.			YES NO)					
the establishment. Has applicant/owner(s) read MCB4 Policy Regarding Concentration and Location of Alcoholic-Serving Establishments?			YES NO)					

		MONDAY	MONDAY TUESDAY WEDNESDAY		THURSDAY			FRIDAY		SATURDAY		UNDAY		
HOURS Indoors		5pm - 9: 30PM	5pm - 9:30PM		5pm - 9:30PM		5pm - 9:30PM	٨	5pm - 10PM		5pm - 10PM 5pm - 9:30PM		PM	
of	Outdoors	5pm - 9:30PM	5pm -9:30P	М	5pm - 9:3	M	5pm - 9:30PM	Λ	5pr	n - 10PM	5pm	- 10PM	5pm 9:30	PM
Operation	Kitchen	5pm - 9:30PM	5pm - 9:30	РМ	5PM - 9:30	PM	5PM - 9:30PM		51	PM -	5PM	- 10PM	5PM - 9:30PM	
4.4	Music indoors)	5PM - 9:30PM	5pm - 9:30F	PM	5pm - 9:3	PM			5pr	n - 10PM	5pm - 10PM 5pm -		- 9:30PN	
If yes, what type((Circle all that ap			BACKGR	DUND	LIVE MU	SIC	D	J		JUKE BOX		KA	RAOKI	z ·
					OCCUPAN	CY				F-0000000				
	Pu Ce	apacity irsuant to ertificate of ecupancy	Maximum Occupancy (Including Employees)	Num of Ta	The second of th		Nun Service-	nber of Only Be	IIS A	Number Stand-Up		Number of at Stand-U		e de la companya de l
INSIDE	74 pe	ersons		11	26		N/A			N/A		N/A		
OUTSIDE (Rooftop/Rear Yard/Patio/Terro /Garden; within the premises)	ace													
DOT Dining Out: Sidewall Cafe				12	2 24		N/A	Λ.						
DOT Dining O	out:													
How frequently	y will the ov	wner(s) be at the	ne establishmen	it?			6 d	ays i	/ we	eek				
Will there be d	lancing?						YES	60						
Will applicant	have bottle	or table servic	e for alcohol be	verages	other than		(ES)	NO						
wine? Will applicant be hosting private promotional or corporate events?					Œ	NO								
Will outside promoters be used on a regular basis? If yes, please describe.				YES	60									
Will applicant have a security plan? If yes, please attach.				YES	100									
Will security plan be implemented?				YES	60)								
Will State certified security personnel be used?				YES	100	4								
Will New Yor	k Nightlife	Association an	d NYPD Best F	ractice	s be followed	d?	YES	60)					
Does applican operation?	t agree to no	otify MCB4 pr	ior to making cl	hanges	to its metho	d of	ES	NO		en) av				
Will applicant be using delivery bicycles? If yes, how many? Please describe where delivery bicycles will be parked when picking up deliveries?				YES	6)	We do	not h	nave deliv	very se	ervice			

Will delivery bicycles be clearly marked with the name of the restaurant and will staff wear attire clearly marked with the name as described by NYC Law?	We do not have delivery service
Where will applicants' own delivery bicycles be parked when not making deliveries?	N/A
If applicant is using third party delivery service, where will third party delivery bicycles park?	N/A
Where will applicant store its garbage containers when not in use?	Basement
Where will applicant lay out garbage containers and at what time?	end of sidewalk on 46th St everyday at 11pm

LOCATION & ZONING						
Is this a Special District? If yes, is it Clinton, West Chelsea or Hudson Yards?	YES	<u>NO</u>				
Does the building have a Certificate of Occupancy ("C of O") or a Letter of No Objection?	(E)	NO	LNO			
Is a Public Assembly permit required?	YES	χ ^{io}	Maries			
Are your plans filed with DOB?	vXs	NO				
What is the zoning designation for this location?		C2-5, R8				

Community Notification/Relat	tions							
NOTIFICATION:	# 1	see attached CB4 list						
List all block associations; tenant associations, co-op boards or	# 2							
condo boards of residential buildings; and community groups that applicant has notified regarding its application. For each, please list both the organization and individual you contacted.	#3							
	# 4							
•	# 5							
When did applicant post the notice that	t was prov	vided?	11/27/2024					
Where did applicant post the notice that	at was pro	vided?	front window					
Please provide dates when applicant m above.	et with th	e groups listed	email sent to all groups on CB4 list					
Who was your contact person at each g	group you	met with?						
Will applicant provide a cell phone number to neighbors and respond to complaints that arise? If yes, please provide.				YES X	NO	201-220-1747		
Will applicant inform the Community and/or provide a hyperlink to applicant	Board off t's jobs w	ice of its job opening ebpage?	s	YES X	NO			

pace/Floor	Description/ Use of Space	Capacity	Hours	# of Tables	# of Seats	# of Service- Only Bars	# of Stand-Up Bars/Seats at Bar	Music
Indoor	Kitchen / Dining Room	74 persons	Sun-Thurs 5pm-9:30pm Fri&Sat 5pm - 10pm	11	26	N/A	N/A	Background
Outdoor	Sit Down Dine-In	24	Sun-Thurs 5pm-9:30pm Fri&Sat 5pm - 10pm	12	24	N/A	N/A	N/A

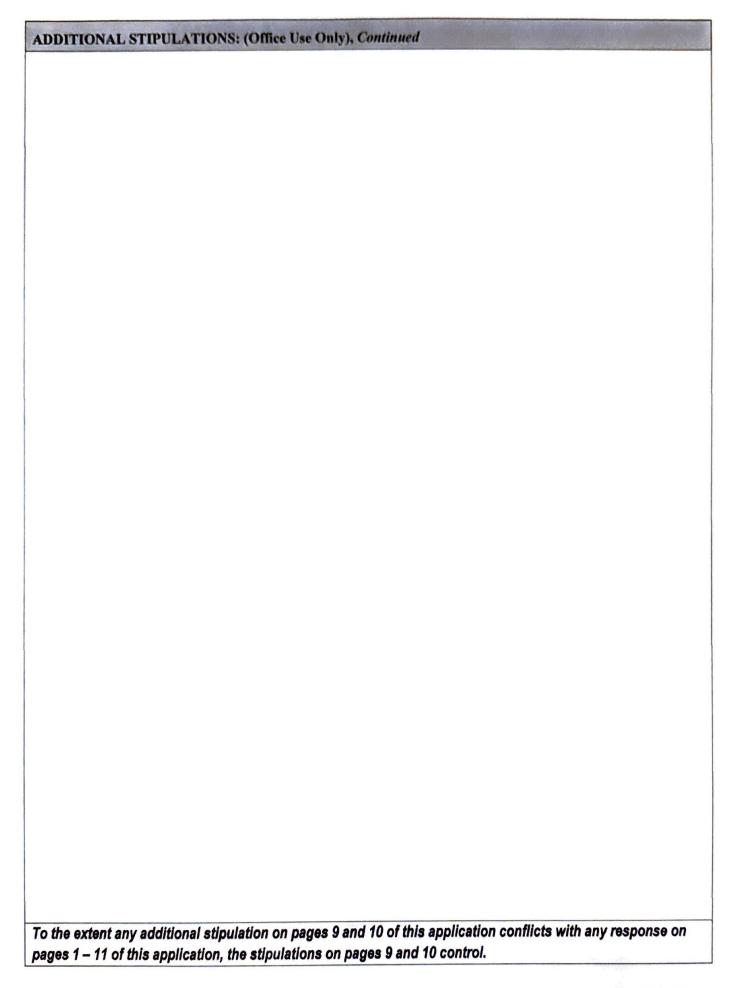
BUILDING DESIGN							
State the name and type of business previously located in the space.	gourmet deli						
Has a liquor-licensed establishment previously occupied this space at any time? If yes, please provide the name of the business.	YES X	NO					
Do you plan any changes to the existing façade? If yes, please describe.	YES	Xio					
Has the applicant/owner(s) read MCB4 ADA Guidelines Memo?	YES	NO					
s the entrance ADA Compliant?	YES	NO					
Do you plan any changes to the existing façade? If yes, please describe.	YES	NO					
Will applicant have a vestibule within the establishment?	YES	NO					
Will applicant use a storm enclosure?	YES	NO					
Does applicant agree to keep the sidewalk clear of all items or obstructions, such as sandwich boards, sidewalk signs, freestanding menus and plants, as per the law?	(VES)	NO					
Will applicant comply with the NYC noise code?	VES	NO					
Will the establishment have any of the following: (circle all that apply)	ENELLOWS.	CHOORS	GARAGE DOORS	WINDOWS THAT CAN BE OPENED			
Will applicant close all windows, French doors, garage doors when any music or amplified sound (including televisions) is played inside the establishment?	(ES)	NO					
Will applicant close all windows, French doors, garage doors by 11 p.m. Friday and Saturday and 10 p.m. on all other days even if no music or amplified sound is played inside the establishment?	(FES)	NO					
Has applicant obtained an acoustical report from a certified sound engineer to assess potential noise disturbance to the neighboring residents and buildings?	YES	©					
Will applicant follow the recommendations of a certified sound engineer to mitigate potential noise disturbance to the neighboring residents and buildings, including placing speakers on the floor of the establishment?	YES	NO	N/A				
Will the kitchen exhaust system extend to the roof?	YES	NO					
Will the establishment have an illuminated sign?	YES	NO					
Will the establishment have a pole-supporting canopy extending over the sidewalk?	VES	NO					
Where will the air conditioner be located? What type is it?	indoor only - 2 wall-mounted and centra			inted and central			
When was the air conditioner installed?	more than 10 years ago, rooftop compre			roofton compress			

OUTDOOR PRIVATE PROPERTY - ROOFTOP, REAR	YARL), TERRACE	The state of the s
Has the applicant/owner(s) read MCB4 Rear Yard Rooftop Policy?	YES	NO	
Will applicant use any outdoor spaces: rooftop, rear yard, patio, porch, balcony, pavilion, tents, deck, gazebo? If yes, which one(s)?	YES	NO	
Are the floorplans for the outdoor space(s) included?	YES	NO	
Will applicant close and vacate the outdoor space(s) by 11 p.m. on Friday & Saturday and 10 p.m. on all other days?	YES	NO	
Will the service and consumption of alcohol in any outdoor space only be via seated food service?	YES	NO	
Will applicant prohibit patrons from drinking in any outdoor space(s)?	YES	NO	
Will there be no amplified music, as per the law?	YES	NO	
If amplified sound is played inside the establishment, will windows and doors be closed?	YES	NO	
Will applicant agree to post signs outside asking customers to respect the neighbors?	YES	NO	
Will applicant agree to train staff to encourage a peaceful environment?	YES	NO	
Will applicant provide effective sound control (landscaping enclosure, soundproofing tenants; apartments)	YES	NO	
Will there be a lighting plan that allows safe usage of the outdoor space without disrupting neighbors?	YES	NO	

Has the applicant read MCB4 Sidewalk Café Policy?	VES	NO	
Will applicant be applying for sidewalk seating now or in the future?	(ES)	NO	
If you answered no to the question above, jump to the next page			
Did applicant submit an application and dimension site plan at scale to NYC Dept. of Transportation? Please attach a copy of application and plans.	Œ	NO	
Will applicant close and vacate the sidewalk and roadway seating by 11 p.m. on Friday & Saturday and 10 p.m. on all other days?	ES	NO	
Will applicant respect trees and tree pits and insure the health of the tree?	(ES)	NO	
Will the service and consumption of alcohol in any outdoor space only be via seated food service?	(ES)	NO	
Will applicant prohibit patrons from drinking in any outdoor space(s) or adjacent sidewalk?	ES	NO	
Will applicant permit NO wait lines or smoking outside?	ES	NO	
Will there be no amplified music, as per the law?	(ES)	NO	
If amplified sound is played inside the establishment, will windows and doors be closed?	(ES)	NO	
Will there be a staff person responsible to ensure no loitering, noise or crowds outside?	(YES)	NO	
Will applicant agree not to use propane heaters?	(VE)	NO	
Will applicant agree to abide by all applicable fire codes, including not blocking fire escapes?	(ES)	NO	
Will the outdoor dining deposit its garbage in a container on the parking lane?	(ES)	NO	
Will the café have a 3 foot-wide serving aisle running the entire length of the sidewalk seating?	(ES)	NO	
Will the sidewalk seating have a platform?	YES	0	
oes applicant agree to keep the sidewalk clear of all items or obstructions, such a sandwich boards, sidewalk signs, freestanding menus and plants, as per the w?	0	NO	
/ill there be a lighting plan that allows safe usage of the outdoor space without isrupting neighbors?	ES	NO	
Will the sidewalk seating block subway grate, utility hardware or Siamese water connection?	YES	0	
construction or construction protection has reduced the sidewalk width, will pplicant always maintain an 8-foot clear path of sidewalk between the erimeter of the café and the closes obstruction including construction arricades?			N/A

DEPARTMENT OF TRANSPORATION DINING OUT: RO	ADW	AY	
Did applicant submit an application and dimension site plan at scale to NYC Dept. of Transportation? Please attach a copy of application and plans.	YES	NO	
you answered no to the question above, jump to the next page			
Vill the roadway structure extend on top of the curb or pedestrian refuge? By ow much?	YES	NO	
Will the roadway structure have an ADA compliant ramp (not in the bike lane)?	YES	NO	
Will the roadway structure extend in the striped zone along the bike lane? By how much?	YES	NO	
Will the electric wires be brought over at the roof level?	YES	NO	
Will applicant dismantle and dispose of a shed that is no longer in use, along with its furniture?	YES	NO	
Will there be no music or amplifies sound in any outdoor seating, as per law?	YES	NO P	
Will applicant have a lighting plan that will allow safe usage of the outdoor space without disrupting neighbors?	YES	NO	
Will applicant close and vacate the sidewalk and roadway seating by 11 p.m. on Friday & Saturday and 10 p.m. on all other days?	YES	NO	
Will the Outdoor Dining Sidewalk & Roadway provide no standing space for drinking or smoking?	YES	NO	
Will the service and consumption of alcohol in the Outdoor Dining Sidewalk/Roadway only be via seated food service?	YES	NO	
/ill applicant prohibit patrons from drinking in any outdoor space(s) or adjacent dewalk?	YES	NO	
amplified sound is played inside the establishment, will windows and doors be osed?	YES	NO	
Will applicant permit NO wait lines or smoking outside?	YES	NO	
ooes applicant agree to keep the sidewalk clear of all items or obstructions, such s sandwich boards, sidewalk signs, freestanding menus and plants, as per the aw?	YES	NO	
Will applicant respect trees and tree pits and insure the health of the tree?	YES	NO	
Will applicant permit NO wait lines or smoking outside?	YES	NO	
Will there be a staff person responsible to ensure no loitering, noise or crowds outside?	YES	NO	
Will applicant agree not to use propane heaters?	YES	NO	
Will the outdoor dining deposit its garbage in a container on the parking lane?	YES	NO	

- Sidewalk cafe will not be enclosed in any way	ADDITIONAL STIPULATIONS: (Office Use Only)
	- All temporary walls will be removed by 12/17/24
	- Sidewalk cafe will not be enclosed in any way
o the extent any additional stipulation on pages 9 and 10 of this application conflicts with any response on pages 1 – 11 of this application, the stipulations on pages 9 and 10 control.	To the extent any additional stipulation on pages 9 and 10 of this application conflicts with any response on pages 1 – 11 of this application, the stipulations on pages 9 and 10 control.



Manhattan Community Board 4 (MCB4) recommends:

(MCB4's recommendation is based on a vote taken at its January 6, 2025 full board meeting, with 40 members voting in favor of the recommendation, 0 members opposed, 0 members abstaining and 0 present but not eligible)

Denial unless all stipulations agreed to by applicant/owner are part of the method of operation

O Denial O Approval

MCB4 REPRESENTATIVES

MCB4 Assistant District Manager

MCB4 BLP Committee Co-Chair

Burt Lazarin

MCB4 BLP Committee Co-Chair

APPLICANT AGREEMENT WITH THE COMMUNITY

Applicant agrees to these stipulations as the basis for the community support of this application and acknowledges that all of these stipulations are essential prerequisites to the MCB4 recommendation regarding this application. Applicant agrees to have these stipulations incorporated in the method of operation of its liquor license. The stipulations in this application constitute the entire agreement between MCB4 and applicant and may only be altered in writing signed by MCB4 representatives and applicant. These stipulations supersede any oral statements, representations, or prior iterations in connection with this application.

SIGN HERE

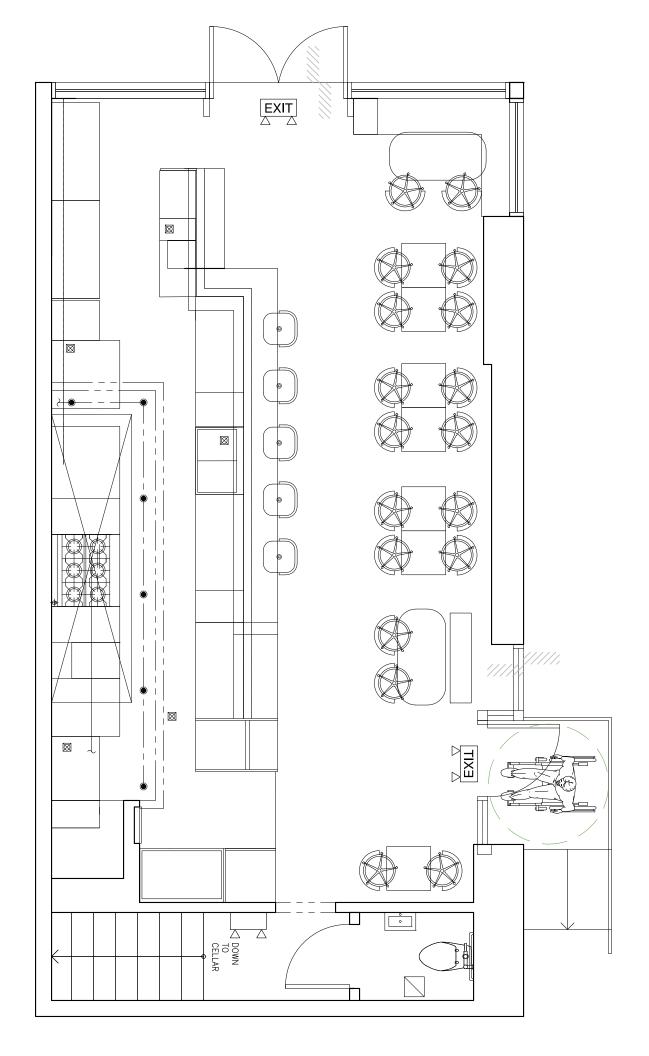
Sungehul Shim

PRINT NAME OF APPLICANT

SIGNATURE OF APPLICANT

12/02/2024

DATE



10th Avenue Frontage

SECTION 1: Site Plan

- This Site Plan form is required to be uploaded in the "Sidewalk Site Plan" field of your online application.
- Refer to the How to Apply page in the Dining Out NYC website for more information about the application process.

Identify Clear Path Regulrements: Gear path requirement for your sidewalk cafe can be found by identifying your corridor type on the DOT's Pedestrian Mobility Plan Padestrian Demand Map

C1- Global Corridor (12 feet Clear Path) C2- Regional Corridor (10 feet Clear Path)

C3- Neighborhood Corridor, Community Connector, or Baseline Street (8 feet Clear Path)

Setup Area Identification:

- Please check this box if you plan to have outdoor dining located partially within private property. If you are uncertain, please request records from your property owner/manager.
- Please check this box if all or part of your sidewalk cafe is in a sidewalk widening area, developed pursuant to the NYC Zoning Resolution. If so, indicate the property line in the site plan drawing below.





tos octaler

Sidewalk Cafe Site Plan Form

Applicant Name: Sung Chul

Restaurant Name:

FSEP Number:

Drawing Requirements

Food service establishment frontage shown by:

- · Line representing the establishment's space facing the sidewalk
- Length
- Labels

Private Property shown as:

Dashed line

Street names:

· Labels on each street

Sidewalk shown as:

- · Line representing street curb
- Width measured from building line to curb line

Building entrances shown as:

Label

Cafe perimeter shown as:

 Lines indicating perimeter Length and width

Set-up furniture (tables, chairs, etc.) shown as:

Lines or symbols at approximate location within setup

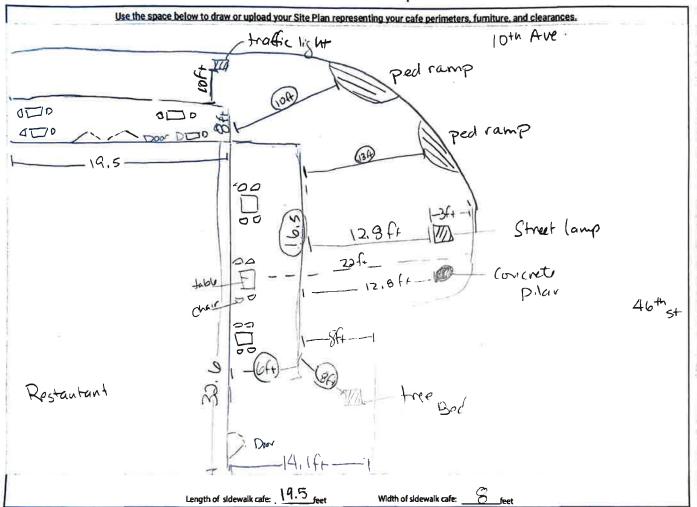
Elements (In Section 2 of this form) within 15 feet of cafe perimeter, shown

- Lines or symbols
- Distance from cafe perimeter
- Labels

Utility coverings (water/gas valves, and pull boxes) shown as:

Symbols representing the location within the setup

North arrow



ECTION 2: Required Cleara	nces		
	isted object is wit	ects. thin 15 feet of your proposed setup. website for more information rega	
Hements with minimum 15 feet	clearance from si	idewalk cafe:	The state of
S01- Subway Stair: Open End	feet		
:lements with minimum 10 feet	clearance from si	dewalk cafe;	TO WAR
S02- Subway Elevator Entrance	feet	S04- MTA Curb Cut	feet
S03- Exhaust Duct	feet	S05- FDNY Curb Cut	feet
Elements with minimum 8 feet cl	earance from sid	lewalk cafe:	
√ S06- Street Tree Bed	feet	S13- Newsstand	feet
S07- Mailbox	feet	S14- Streetlight	eet
508- LinkNYC Kiosk	feet	S15- Bus Stop Pole	feet
S09- Wayfinding Kiosk	feet	S16- Fire Hydrant	feet
S10- E-charging Station	feet	S17- Bus Stop Shelter	feet
S11- Parking Meter	feet	S18- Traffic Signal	10 feet
S12- SBS Fare Machine	feet		9
:lements with minimum 5 feet cl	earance from sid	lewalk cafe:	
S19- CitiBike/Bike Share Station	feet	S24- Emergency Exit Hatch	feet
S20- Blke Corral	feet	S25- Subway Stair: Closed End	feet
S21- Micromobility Station	feet	S26- Subway Elevator: Non-Entry	feet
S22- Primary Building Entrance	feet	S27- Siamese Connection	feet
₹ 523- Curb Cut	feet		
Hements with minimum 3 feet cl	earance from sid	lewalk cafe:	
328- Elevated Train Infrastructure	feet	S29- Transformer Vault	feet
Hements with minimum 1 foot 6	inches clearance	from sidewalk cafe elements:	
530-Vent Infrastructure: utility vent poles, vent grates, subway grates	inches	S31- Manholes	Inches
Check this box if none of the obje	ects listed above a	re within 15 feet of the proposed setu	1p.
Count Mark accord	Ti I	7/6	





- Please Indicate which of the following materials will be part of your sidewalk cafe by checking their
 to the category. If applicable, please confirm the materials comply with the Dining Out NYC recurrence
 checking the box next to the associated requirement.
- Refer to the Setup Guides in the Dining Out NYC website for more information regarding make falls.

Materials Checklist:

Required

Perimeter Demarcation	(All of the following must be met)
-----------------------	------------------------------------

- Perimeter demarcation must be clear and visible by using a lightweight and removable self-supporting base wall, railing, planter, fence, or stanchion and rope.
- Maximum height is 2 feet 6 inches (excluding planting(s)).
- Not affixed to the sidewalk.

Optional- Only check the material categories you intend to use in your sidewalk cafe

Furnishings (if using, the first two below must be met)

- Lightweight and easily movable
- Not affixed to the sidewalk.
- Check here if you plan to place tables/chairs on top of a cellar or basement door. If so, please Complete the or Basement Door Certification

Awnings Physically Attached to the Building (if using, all of the following must be met)

- Minimum 8 feet height from the ground and does not exceed 10 feet height.
- Easily removable, comprised of fire-grade and wind resistant materials.
- Does not extend beyond the perimeter of the sidewalk cafe.
- Complies with the New York City Building Code, Please note that this may require additional permits from DOB, and/or approval from the Landmarks Preservation Commission (LPC) as applicable.

Overhead Coverings/ Umbrellas (if using, all of the following must be met)

- Minimum 7 feet height from the ground and does not exceed 10 feet height.
- Easily removable, comprised of fire-grade and wind resistant materials.
- Does not extend beyond the perimeter of the sidewalk cafe.
- The umbrella/overhead covering has a weighted base and any supports are not affixed to the sidewalk.
- Any support structures are of sufficient size and strength, made of durable materials, and free of defects

∠ Lighting and Electrical Connections (if using, all of the following must be met)

- Any lighting is outdoor rated, properly secured, and lightweight.
- Connection is directly connected to ground floor restaurant's power source and within the perimeter of the cafe.
- Does not extend beyond the perimeter of the sidewalk cafe,
- Does not exceed 10 feet in height.
- Not attached to any City property, including street trees.
- Electrical work complies with the applicable requirements set forth in DOT's rules and the New York City
 Electrical Code, Please note that this may require additional permits from DOB or FDNY, and/or approval from the
 Landmarks Preservation Commission (LPC) as applicable.

46th St Frontage

SECTION 1: Site Plan

- This Site Plan form is required to be uploaded in the "Sidewalk Site Plan" field of your online application.
- Refer to the How to Apply page in the Dining Out NYC website for more information about the application process.

Identify Clear Path Requirements:

Gear path requirement for your sidewalk cafe can be found by Identifying your corridor type on the DOT's Redestrian Mobility Plan Pedestrian Demand Map.

C1- Global Corridor (12 feet Clear Path)

C2- Regional Corridor (10 feet Clear Path)

C3- Neighborhood Corridor, Community Connector, or Baseline Street (8 feet Clear Path)

Setup Area Identification:

- Please check this box if you plan to have outdoor dining located partially within private property. If you are uncertain, please request records from your property owner/manager.
- Please check this box if all or part of your sidewalk cafe is in a sidewalk widening area, developed pursuant to the NYC Zoning Resolution. If so, indicate the property line in the site plan drawing below.



Sidewalk Cafe Site Plan Form

Applicant Name: Suna Chul

Restaurant Name:

Drawing Requirements

Food service establishment frontage shown by:

- Line representing the establishment's space facing the sidewalk
- Length
- Labels

Private Property shown as: Dashed line

Street names:

Labels on each street

Sidewalk shown as:

- Line representing street curb
- Width measured from building line to curb line

Building entrances shown as:

Label

Cafe perimeter shown as:

- Lines indicating perimeter
- Length and width

Set-up furniture (tables, chairs, etc.)

Lines or symbols at approximate location within setup

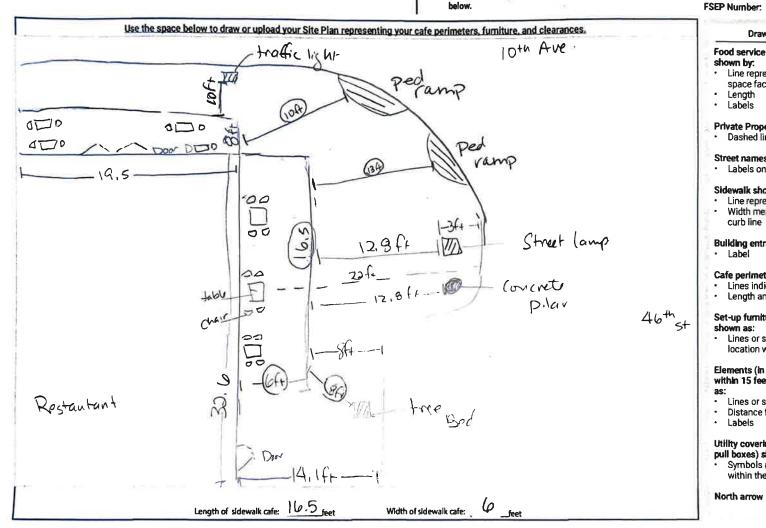
Elements (in Section 2 of this form) within 15 feet of cafe perimeter, shown

- Lines or symbols
- · Distance from cafe perimeter
- Labels

Utility coverings (water/gas valves, and pull boxes) shown as:

Symbols representing the location within the setup

North arrow



ECTION 2: Required Cleara	nces		
	listed object is wit	jects. thin 15 feet of your proposed setup. Cwebsite for more information rega	
Elements with minimum 15 feet	clearance from s	idewalk cafe;	Times and
S01- Subway Stair: Open End	feet		
:lements with minimum 10 feet	clearance from s	ldewalk cafe:	Total Line
302- Subway Elevator Entrance	feet	S04- MTA Curb Cut	feet
S03- Exhaust Duct	feet	S05- FDNY Curb Cut	feet
:lements with minimum 8 feet c	learance from sid	iewalk cafe:	THE CHIEF
▼ S06- Street Tree Bed	6 feet	S13- Newsstand	feet
S07- Mailbox	feet	X S14- Streetlight	12.9 feet
508- LinkNYC Kiosk	feet	S15- Bus Stop Pole	feet
S09- Wayfinding Kiosk	feet	S16- Fire Hydrant	feet
S10- E-charging Station	feet	S17- Bus Stop Shelter	feet
S11- Parking Meter	feet	∑ 518- Traffic Signal	feet
S12- SBS Fare Machine	feet		~ ~
Elements with minimum 5 feet c	learance from sid	lewalk cafe;	STATE WE SE
319- CitlBike/Bike Share Station	feet	S24- Emergency Exit Hatch	feet
S20- Blke Corral	feet	S25- Subway Stair: Closed End	feet
S21- Micromobility Station	feet	S26- Subway Elevator: Non-Entry	feet
S22- Primary Building Entrance	feet	S27- Siamese Connection	feet
S23- Curb Cut	feet	_	
Hements with minimum 3 feet c	learance from sid	lewalk cafe:	
328- Elevated Train Infrastructure	feet	S29- Transformer Vault	feet
Hements with minimum 1 foot 6	inches clearance	from sidewalk cafe elements:	
S30- Vent Infrastructure: utility vent poles, vent grates, subway grates	inches	S31- Manholes	inches
Check this box if none of the obj	ects listed above a	re within 15 feet of the proposed setu	лр.
Cannot block access		Green bloker	N. T. Wall
to building		Cannot block or be attached to fire	





- Please Indicate which of the following materials will be part of your sidewalk cafe by checking to the category. If applicable, please confirm the materials comply with the Dining Out NYC requirement.
- Refer to the <u>Setup Guides</u> in the Dining Out NYC website for more information regarding materials.

Materials Checklist:

Required

N Perimeter	Demarcation	(All of the	following	must be met)

- Perimeter demarcation must be clear and visible by using a lightweight and removable self-supporting base wall, railing, planter, fence, or stanchion and rope.
- Maximum height is 2 feet 6 inches (excluding planting(s)).
- Not affixed to the sidewalk.

Optional- Only check the material categories you intend to use in your sidewalk cafe

Furnishings (if using, the first two below must be met)

- Lightweight and easily movable
- Not affixed to the sidewalk.
- Check here if you plan to place tables/chairs on top of a cellar or basement door. If so, please complete the or Basement Door Certification

Awnings Physically Attached to the Building (if using, all of the following must be met)

- Minimum 8 feet height from the ground and does not exceed 10 feet height.
- Easily removable, comprised of fire-grade and wind resistant materials.
- Does not extend beyond the perimeter of the sidewalk cafe.
- Complies with the New York City Building Code. Please note that this may require additional permits from DOB, and/or approval from the Landmarks Preservation Commission (LPC) as applicable

Overhead Coverings/ Umbrellas (if using, all of the following must be met)

- Minimum 7 feet height from the ground and does not exceed 10 feet height.
- Easily removable, comprised of fire-grade and wind resistant materials.
- Does not extend beyond the perimeter of the sidewalk cafe.
- The umbrella/overhead covering has a weighted base and any supports are not affixed to the sidewalk.
- Any support structures are of sufficient size and strength, made of durable materials, and free of defects.

X Lighting and Electrical Connections (if using, all of the following must be met)

- Any lighting is outdoor rated, properly secured, and lightweight.
- Connection is directly connected to ground floor restaurant's power source and within the perimeter of the cafe.
- Does not extend beyond the perimeter of the sidewalk cafe.
- Does not exceed 10 feet in height.
- Not attached to any City property, including street trees.
- Electrical work complies with the applicable requirements set forth in DOT's rules and the New York City
 Electrical Code. Please note that this may require additional permits from DOB or FDNY, and/or approval from the
 Landmarks Preservation Commission (LPC) as applicable.



Melanie La Rocca Commissioner

John Raine, RA
Dep. Borough Commissioner
insine@buildings.nyc.gov

July 25, 2019

Dana E. Christian, Director Licensing Issuance Division New York State Liquor Authority 317 Lenox Avenue, 4th floor New York, NY 10027

Re: 652 10th Avenue

BLOCK: 1055 LOT: 61

ZONING DISTRICT: R8, C2-5, CL

Manhattan

To Whom It May Concern:

This is in response to your request dated July 18, 2019 for a Letter of No Objection for 652 10th Avenue, for an Eating and Drinking Establishment, Use Group 6. Department Records indicates Store, Use Group 6 as the use on the First (1st) floor.

The Department has No Objection to an Eating and Drinking Establishment, Use Group 6, on the First (1st) floor, for less than 75 persons, at the above referenced premises.

If this building is hereafter altered or its use changes, an application for such alteration work or change of use must be filed and a certificate of occupancy shall be issued pursuant to Article 22 of Sub-Chapter 1 of the Administrative Code of the City of New York

Please contact me if you have any additional questions or concerns regarding this matter. For more specific property information, please visit the "Building Information System" on our web site: www.nyc.gov/buildings.

Sincerely

John Raine, RA

Deputy Borough Commissioner

Manhattan

JR/

Cc: Martin Rebholz, R.A., Borough Commissioner Moammar Sanchez, Plan Examiner Premises File LNO Files

build safe | live safe

Restaurant License ID: 0340-22-111144 County: New York Legacy Serial #: 1321466



Effective Date: 03/01/2024 Expiration Date: 02/28/2026

THE LICENSEE DESIGNATED BELOW IS HEREBY GRANTED PERMISSION, UNDER THE ALCOHOLIC BEVERAGE CONTROL LAW TO TRAFFIC IN ALCOHOLIC BEVERAGE PURSUANT TO THE TYPE OF LICENSE INDICATED IN THE UPPER LEFT HAND CORNER OF THIS CERTIFICATE AND ACCORDING TO THE STATUTES AND REGULATIONS PERTAINING THERETO.

THIS LICENSE SHALL NOT BE TRANSFERABLE TO ANY OTHER PERSON OR TO ANY OTHER PREMISES OR TO ANY OTHER PART OF THE BUILDING CONTAINING SUCH LICENSED PREMISES: IT SHALL NOT BE DEEMED A PROPERTY OR VESTED RIGHT AND MAY BE REVOKED AT ANY TIME PURSUANT TO LAW

METHOD OF OPERATION; Restaurant Serving Liquor, Beer, Wine, and Cider

SC HOSPITALITY LLC KOCHI 652 10TH AVE NEW YORK, New York 10036

Lily M. Fan

Certificate No. 0340-22-111144

Licenses issued under this chapter shall contain, in addition to any further information or material to be prescribed by the rules of the liquor authority, the following information: (a) Name of person to whom license is issued; (b) kind of license and what kind of traffic in alcoholic beverages is thereby permitted; (c) description by street and number, or otherwise, of licensed premises; (d) a statement in substance that such license shall not be deemed a property or vested right, and that it may be revoked at any time pursuant to law.







Mayor Ydanis Rodriguez Commissioner

Eric Adams

COMMUNITY BOARD FEEDBACK PACKAGE

Please review this application and provide the required feedback.

Manhattan Community Board 4's (MCB4) recommendation is based on a vote at its January 6, 2025 Full Board Meeting with 40 members in favor of the recommendation, 0 member opposed, 0 members abstaining and 0 present but not eligible.

DINING OUT NYC

COMMUNITY BOARD RECOMMENDATION FORM

This form is to be used by community boards during the cafe review process. Any comments from the community board should be recorded on this form and submitted to NYC DOT. For information pertaining to specific cafe design requirements, visit the Dining Out NYC website for program legislation, rules, and Setup Guides.

Business Name:	KOCHI	
Cafe Address:	652 10TH AVE, NEW YOR	RK, NY, 10036
Application Num	nber: 20240618010007	
CB Review Perio		pplication- due on business days
Sidewalk Cafe Se	etup Feedback:	Community Board chooses to WAIVE review
On the West 46t 8 foot pedestriar required clear pa	clear path between the cafe	proposed Site Plan does not provide for the required perimeter and the street tree bed. To provide for the to reduce the West 46th Street cafe to 3 tables with 2
Although applica		ifety , potential crowding): (not an enclosed sidewalk cafe), applicant has s which obstructs visibility and add to sidewalk
	the recommendations below, eithe	curb use (i.e., planters, bike racks, bus stops): er approval, denial, or approval with modifications relating to
Community Boar	rd recommends approval	Community Board recommends denial
Recommended mode To provide for the the West 46th Structure to 3 tables we recommendation removing all canvers Applicant acknools.	eet cafe. Applicant has agreed ith 2 seats each, and has provoled of approval is conditioned on the as walls enclosing the cafe, would will be and agrees to modification will be agree with the cafe.	

Nelly Gonzalez Community Board Authorizing Name Community Board Authorizing Signature

1/3/25

Date

RESTAURANT DETAILS

Food Service Establishment Permit(FSEP)

FSEP#: 50099805

Expiration Date: 10/31/2025 DOHMH Status: CURRENT

Business Legal Name: SC HOSPITALITY LLC

Assumed Name: KOCHI

Business Address: 652 10TH AVE, NEW YORK, NY 10036

Venue Type: Restaurant (no bar)

Last updated from DOHMH: 11/22/2024

Restaurant Information

Entity Type: Limited Liability Corporation (LLC) 4953513

Phone: (646) 478-7308

Email Address: admin@kochinyc.com

Secondary Email Address: sung@kochinyc.com

DOS Information DOS ID#: 5524662

Process Name: SC Hospitality

DOS Address: 652 10th ave, New York, New York 10036

NYS Liquor Authority Information NYSLA Serial No: 034022111144

License Type: On-Premises Name of License: SC Hospitality Title of Representative: Chef Owner

Name of Certificate Holder: Sungchul Shim

User Information

Created By: Sungchul Shim

Created On: 6/4/2024 2:03:56 PM Modified By: Sungchul Shim

Modified On: 6/18/2024 10:12:54 AM

Business hours

Sun: 5:00 PM- 9:30 PM Mon: 5:00 PM- 9:30 PM Tues: 5:00 PM- 9:30 PM Wed: 5:00 PM- 9:30 PM Thurs: 5:00 PM- 9:30 PM Fri: 5:00 PM- 10:00 PM Sat: 5:00 PM- 10:00 PM



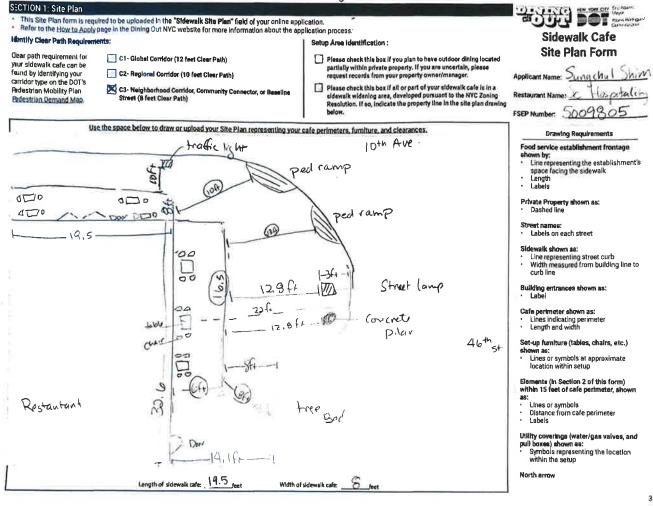








Avenue Frontage 10 th



Please provide distances from the Only provide a distance if the liste Refer to the Setup Guides in the D	d object is w	ithin 15 feet of your proposed setup C website for more information rega	arding clearances.
Haments with minimum 15 feet cle	erance from e	oldewilk cafe:	
S01- Subway Stair: Open End	feet		
:lements with minimum 10 feet cle	arance from s	idewalk cafe;	Company of the last
502- Subway Elevator Entrance	feet	504- MTA Curb Cut	- feet
S03- Exhaust Duct	feet	SOS FONY Curb Cut	feet
:lements with minimum 8 feet clear	ence from sk		The same of the sa
SD6- Street Tree Bed	feet	513-Newsstand	Cont
S07- Mailbox	feet	S14- Streetlight	feet
S08- LinkNYC Kiosk	feet	S15- Bus Stop Pole	leet
309- Wayfinding Krosk	leet	S16- Fire Hydrant	feet
S10- E-charging Station	feet	S17- Bus Stop Shelter	feet
S11- Parking Meter	leet	S18 Traffic Signal	feet
S12- SBS Fare Machine	feet	Z sie nam signa	
:lements with minimum 5 feet clean	ance from sic	iewalk cafe:	T. But BOAY
319- CitlBike/Bike Share Station	feet	524- Emergency Exit Halch	feet
S20 Blke Corral	feet	S25- Subway Stair: Closed End	feet
S21- Micromobility Station	feet	S26- Subway Elevator: Non-Entry	feet
522- Primary Building Entrance	feet	S27- Siamese Connection	feet
₹ 523- Curb Cut	feet		
Sements with minimum 3 feet clears	ance from sid	lewalk cafe:	
S28- Elevated Train Infrastructure	feet	529- Transformer Vault	feet
ilements with minimum 1 foot 6 inch	es ciserance	from eldewalk cafe elements:	
\$30- Vent Infrastructure: utility vent poles, vent grates, subway grates	inches	S31- Manholes	Inches
Check this box if none of the objects	listed above a	re within 15 feet of the proposed setu	p.
	-		
Cannol block access to building		Cannot block or be attached to fire escape stalrs	One Sur

- Please Indicate which of the following materials will be part of your sidewalk cofe by stream to the category. If applicable, please confirm the materials comply with the Direct Out has checking the box next to the associated requirement.
- Refer to the <u>Setup Guides</u> in the Dining Out NYC website for more information legicing in the

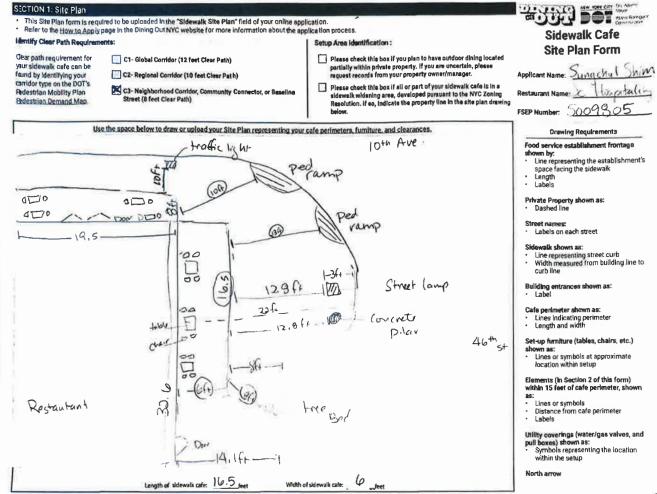
Materiala Checklist:

Required

- Perimeter Demarcation (All of the following must be met)
 - Perimeter demarcation must be clear and visible by using a lightweight and removable self supporting base wall, railing, planter, fence, or stanchion and rope.
 - Maximum height is 2 feet 6 inches (excluding planting(s))
 - Not affixed to the sidewalk.
 - *Optional- Only check the material categories you intend to use in your sidewalk cafe.
- Furnishings (if using, the first two below must be met)
 - Lightweight and easily movable
 - Not affixed to the sidewalk
 - ☑ Check here if you plan to place tables/chairs on top of a cellar or basement door. If supplease complete the or Basement Door Certification.
- X Awnings Physically Attached to the Bullding (if using, all of the following must be met)
 - Minimum 8 feet height from the ground and does not exceed 10 feet height
 - Easily removable, comprised of fire-grade and wind resistant materials
 - Does not extend beyond the perimeter of the sidewalk cale
 - Complies with the New York City Building Code, Please note that this may require additional permits from DOB and/or approval from the Landmarks Preservation Commission (LPC) as applicable
- Overhead Coverings/ Umbrellag (If using all of the following must be met)
 - Minimum 7 feet height from the ground and does not exceed 10 feet height
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 - Does not extend beyond the perimeter of the sidewalk cafe
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 - Electrical work compiles with the applicable requirements set forth in DOT's rules and the New York City Electrical Code. Please note that this may require additional permits from DOB or FDNY, and/or approval from the Landmarks Preservation Commission (LPC) as applicable

*SUPERSEDED

46th St Frontage



ECTION 2: Required Clears			
Please provide distances from Only provide a distance if the Refer to the Setup Guides in the	isted object is w	ojects ithin 15 feet of your proposed setup. C website for more information regal	rding clearances.
Sements with minimum 15 feet	clearance from I	idewalk cafe;	Washing.
S01- Subway Stair: Open End	feet		
:lements with minimum 10 feet	clearance from a	idewalk cafe;	
302- Subway Elevator Entrance	feet	S04- MTA Curb Cur	feet
S03-Exhaust Duct	feet	S05= FDNY Curb Cut	feet
ilements with minimum 8 feet of	learance from sid		- Peer
√ SO6- Street Tree Bed	6 feet		
S07- Mailbox	feet	S13- Newsstand	feet
SOB- LinkNYC Kipsk	feet	S14- Streetlight	12.8 feet
		S15- Bus Stop Pole	feet
S09- Wayfinding Klosk	leet	516 Fire Hydrant	feet
S10- E-charging Station	feet	S17- Bus Stop Shelter	feet
S11-Parking Meter	feet		feet
512- SB5 Fare Machine			
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] S19- CitlBike/Bike Share Station	feet	S24- Emergency Exit Hatch	feet
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lements with minimum 3 feet ck	arance from sid	lewalk cafe:	
S28- Elevated Train Infrastructure	feet	529- Transformer Vault	feet
lemente with minimum 1 foot 6 i	nehes clearance	from sidewalk cafe elements:	ed the
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			SWEET
Cannot block access (Torres on
to building		Cannot block or be attached to fire	Pinne
	-	escape stairs	
		The same of the sa	diam'r.
	9		A LIEU SEA
THE RESERVE TO SHARE WAS A	A STATE OF THE REAL PROPERTY.		100

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Materiala Cheokilat:

Regulred

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*REVISED SITE PLANS

SECTION 1: Site Plan

- · This Site Plan form is required to be uploaded in the "Sidewalk Site Plan" field of your online application.
- · Refer to the How to Apply page in the Dining Out NYC website for more information about the application process.

Identify Clear Path Requirements:

Clear path requirement for your sidewalk cafe can be found by identifying your corridor type on the DOT's Pedestrian Mobility Plan Pedestrian Demand Map.

- C1- Global Corridor (12 feet Clear Path)
- C2- Regional Corridor (10 feet Clear Path)
- C3- Neighborhood Corridor, Community Connector, or Baseline Street (8 feet Clear Path)

Setup Area Identification:

- Please check this box if you plan to have outdoor dining located partially within private property. If you are uncertain, please request records from your property owner/manager.
- Please check this box if all or part of your sidewalk cafe is in a sidewalk widening area, developed pursuant to the NYC Zoning Resolution. If so, indicate the property line in the site plan drawing below.





Sidewalk Cafe Site Plan Form

Applicant Name: Sung chul Shim
Restaurant Name: SC Hospitality

FSEP Number:

5009805

Drawing Requirements

Food service establishment frontage shown by:

- Line representing the establishment's space facing the sidewalk
- Length
- Labels

Private Property shown as:

Dashed line

Street names:

Labels on each street

Sidewalk shown as:

- Line representing street curb
- Width measured from building line to curb line

Building entrances shown as:

Label

Cafe perimeter shown as:

- Lines indicating perimeter
- Length and width

Set-up furniture (tables, chairs, etc.) shown as:

Lines or symbols at approximate location within setup

Elements (in Section 2 of this form) within 15 feet of cafe perimeter, shown as:

- Lines or symbols
- Distance from cafe perimeter
- Labels

Utility coverings (water/gas valves, and pull boxes) shown as:

 Symbols representing the location within the setup

North arrow

