



CITY OF NEW YORK  
**MANHATTAN COMMUNITY BOARD FOUR**

424 West 33 Street, Suite #580  
New York, NY 10001  
tel: 212-736-4536  
[www.nyc.gov/mcb4](http://www.nyc.gov/mcb4)

**JESSICA CHAIT**  
Chair

**JESSE R. BODINE**  
District Manager

December 31, 2024

Adolfo Carrión, Jr.  
Commissioner  
Dept. of Housing Preservation and Development  
100 Gold Street  
New York, NY 10007

**Re: 622 11<sup>th</sup> Avenue Inclusionary Housing Application**

Dear Commissioner Carrión,

The Voluntary Inclusionary Housing Plan Application (the “Application”) by Eleven W46 Realty LLC, (the “Applicant”) for the development of 622 11<sup>th</sup> Avenue (the “Project”) as a proposed 14-story residential building with ground floor retail was discussed at the November 7<sup>th</sup>, 2024, meeting of Manhattan Community Board 4’s (MCB4) Housing Health and Human Services (HHHS) Committee. The Applicant presented the proposed Inclusionary Housing plan for apartment distribution, AMI bands, apartment finishes, and neighborhood impact.

At its regularly scheduled Full Board meeting on December 4<sup>th</sup>, 2024, MCB4 voted, with vote of 42 in favor, 0 opposed, 0 abstaining, and 0 present but not eligible to vote, to approve the Application with conditions.

**Background**

The 622 11<sup>th</sup> Avenue site (the “Site”), with frontage on the east side of 11<sup>th</sup> Avenue between West 45<sup>th</sup> and West 46<sup>th</sup> Streets, was formally occupied by the Metropolitan Lumberyard. The Applicant’s entity, Eleven W46 Realty, LLC purchased the 27,000-square-foot Site on March 21<sup>st</sup>, 2024. The Site is split by zoning districts and subdistricts of the Special Clinton District. A portion of the lot is in the Special Clinton Preservation Area with R8 zoning, while the 11,000-square-foot parcel is located in the C2 Western Subarea of the Special Clinton District, an R8A equivalent zoning district that is not

subject to building restrictions of the Preservation Area. The R8A area, with a Floor Area Ratio (FAR) of 6.02 (with Inclusionary Housing bonus, 7.20).

The Project, within this R8A area, is one of three buildings proposed for development on the Site; however, the Project is the only development parcel eligible for Voluntary Inclusionary Housing (VIH). Therefore, the portion of the project presented to the committee is a 14-floor, 98-unit residential building with 21 VIH units.

## **Proposed Inclusionary Housing**

### **Permanent Affordability**

The Project will consist of 21 permanently affordable housing units designated for low-income households at 80% of Area Median Income (AMI). The Board supports the proposed affordability band distribution.

### 2024 New York City AMI by Family Size

<b>Family Size</b>	<b>1 person</b>	<b>2-person</b>	<b>3-person</b>	<b>4-person</b>	<b>5-person</b>	<b>6-person</b>
<b>80% AMI</b>	\$86,960	\$99,440	\$111,840	\$124,240	\$134,160	\$144,080

### Rents Based on 2024 AMI

<b>AMI Tier</b>	<b>Studio</b>	<b>1-Bedroom</b>	<b>2-Bedroom</b>	<b>3-Bedroom</b>
<b>80% AMI</b>	\$2,174	\$2,330	\$2,796	\$3,230

### **Apartment Distribution by Floor**

The 21 permanently affordable Inclusionary apartments will be located on floors 2 through 14, 100% of the residential floors. MCB4 has consistently advocated for an equitable distribution of affordable units within Inclusionary Housing developments. The Board commends the Applicant for the distribution of units in the building as presented in their November 7 meeting but requests a floor-by-floor color coded distribution of affordable and market-rate units by floor.

### Apartment Distribution

<b>Apartment Size</b>	<b>Market Units</b>	<b>Affordable Units</b>
<b>Studio</b>	0	4
<b>One-bedroom</b>	28	4
<b>Two-bedroom</b>	48	13
<b>Three-bedroom</b>	1	0
<b>TOTAL</b>	<b>77</b>	<b>21</b>

### **Apartment Finishes**

The Applicant stated that the residential finishes for both affordable and market-rate units would be equal but did not provide a list of the finishes. MCB4 requests a list of apartment finishes for affordable residential units that are the same quality as finishes in market rate units.

### **Building Amenities**

Access to the rooftop terrace will be open and free to all residents, while access to other amenity spaces will require payment of a single annual fee. The Applicant presented details on building amenities in the cellar, including a spa and fitness center, that would only be accessible through an annual fee.

#### Amenity Fee Structure

- \$1,500 access fee for studio units
- \$2,400 access fee for one-bedroom units
- \$3,000 access fee for two-bedroom units

The Applicant stated that the amenity fees are intended to cover the operating expenses associated with certain amenities, which have high maintenance and operation costs.

Compared to other inclusionary housing projects in the past, these fees are inaccessible to residents at the income band. MCB4 requested that the Applicant provide a fee discount schedule for VIH residents, to which the Applicant agreed.

### **Public Safety**

To address safety concerns, the Applicant presented details on the perimeter lighting plan. The Applicant proposes to install street level lighting for residential and community safety.

### **Street Tree Planting**

The Applicant also included their street tree planting plan in their submission to MCB4. Per NYC Department of Buildings (DOB) regulations, 8 trees are required to be planted or protected at the site. The Applicant proposes to protect 2 existing trees and fund 6 trees into the off-site tree fund, to be planted elsewhere in the district.

### **Neighborhood Impact**

The initial renderings in the Applicant's submission were not consistent with the industrial character of the surrounding blocks. However, at the November 7<sup>th</sup> HHHS meeting, the Applicant revised and presented an updated façade rendering (see attached Exhibit A). The Board supports the façade revision that makes the building more consistent with existing neighborhood character.

### **Trash Management**

The addition of 98 residential units in the Project, coupled with the two other buildings that are not a part of this application, will produce a large degree of waste. MCB4 raised concerns about the inadequate size of the trash and recycling storage room for the volume of trash and recycling.

### **Adjacent Building Protection**

The Project is bracketed on 11<sup>th</sup> Avenue by five buildings: on the south, four (4) 4-story tenement buildings, and on the north, by the Landmark Tavern, a historic building with its exterior and interior intact. MCB4 raised concerns about the impact of Project development on the neighborhood, particularly construction impacts on the adjacent buildings, echoing broader community concerns.

### **Conditions for Approval**

MCB4 requests the applicant provide the following information and issue a commitment letter, confirming the project elements, to be attached to the executed version of this letter.

#### Apartment Distribution by Floor

MCB4 requests the Applicant submit a color-coded floor plan to indicate distribution and placement of both affordable and market-rate units.

#### Apartment Finishes

MCB4 requests the applicant submit a detailed list of residential finishes for both affordable and market-rate units.

#### Amenities

MCB4 requests the applicant submit a detailed list of amenities and a chart of amenity fee discounts for VIH residents.

#### Public Safety

MCB4 requests the Applicant agree that perimeter lighting will be focused down on the sidewalk, not out to the street or up to residential units.

#### Trash Management

MCB4 notes that the trash storage is not adequate for this size building. Given the New York City Department of Sanitation (DSNY) garbage containerization rules for residential buildings with 10 or more units, effective in 2025, MCB4 requests the Applicant propose a plan for containerization management.



### Adjacent Building Protection

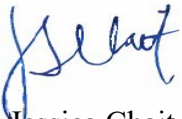
MCB4 requests submit the plan for construction protection and mitigation for the adjacent properties, detailing the specific construction protection measures that the Applicant will take.

### **Conclusion**

MCB4 commends the Applicant for a thorough presentation on the proposed development. The Applicant has shown a willingness to discuss and implement the Board's requests in a thoughtful manner. This Project will be an important addition to Hell's Kitchen to further MCB4's goal of fostering equitable, quality affordable housing that is economically integrated into our District.

MCB4 recommends approval of this VIH application provided the Applicant provides responses in writing and documents needed to satisfy the conditions raised by the Board. Those responses and commitment letter will be incorporated into MCB4's executed letter.

Sincerely,



Jessica Chait

Chair

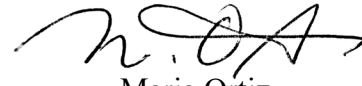
Manhattan Community Board 4



Joe Restuccia

Co-Chair

Housing, Health,  
And Human Services  
Committee



Maria Ortiz

Co-Chair

Housing, Health,  
And Human Services  
Committee

cc: Hon. Erik Bottcher, NYC Councilmember  
Trisha Dietz, Assistant Commissioner, Housing Incentives, NYC Housing  
Preservation & Development  
Chase Killebrew, Deputy Director, Inclusionary Housing Program, NYC Housing  
Preservation & Development

Exhibit A: Façade Rendering



ELEVEN W46 REALTY LLC  
59 Montrose Ave, #1, Brooklyn NY 11206

Manhattan Community Board 4  
424 W 33rd Street, Suite 580  
New York, NY 10001

Dear Members of Manhattan Community Board 4,

We are writing in response to your request for additional information regarding the 622 11<sup>th</sup> Avenue Project. Below, we have addressed the requested items:

**1. Apartment Distribution by Floor:**

Please see the attached floor plans, which are color-coded to indicate the distribution of VIH and market-rate units by floor.

**2. Apartment Finishes:**

Details on apartment finishes are included in this package under a separate letter for your review.

**3. Amenity Package Discounts for VIH Units:**

Tenants of the Voluntary Inclusionary Housing (VIH) units will benefit from a 20% discount on the amenity package. Furthermore, several amenities, including the Lounge, Terrace, Patio, and Package Locker, will be available at no additional cost. Fees will apply to select amenities, such as the Spa, Fitness Center, and Movie Theatre/Media Room, to offset their higher maintenance and operational expenses.

**4. Perimeter Lighting:**

The perimeter lighting for the building will be focused downward onto the sidewalk, ensuring it does not project outward to the street or upward toward residential units.

**5. Trash Management:**

It appears MCB4 understood the trash management plan shown was for all three buildings. However, the plan was only for the 622 11th Ave building.

**6. Adjacent Building Protection:**

Attached, you will find the site safety plans detailing the measures in place to ensure protection for adjacent buildings during construction.

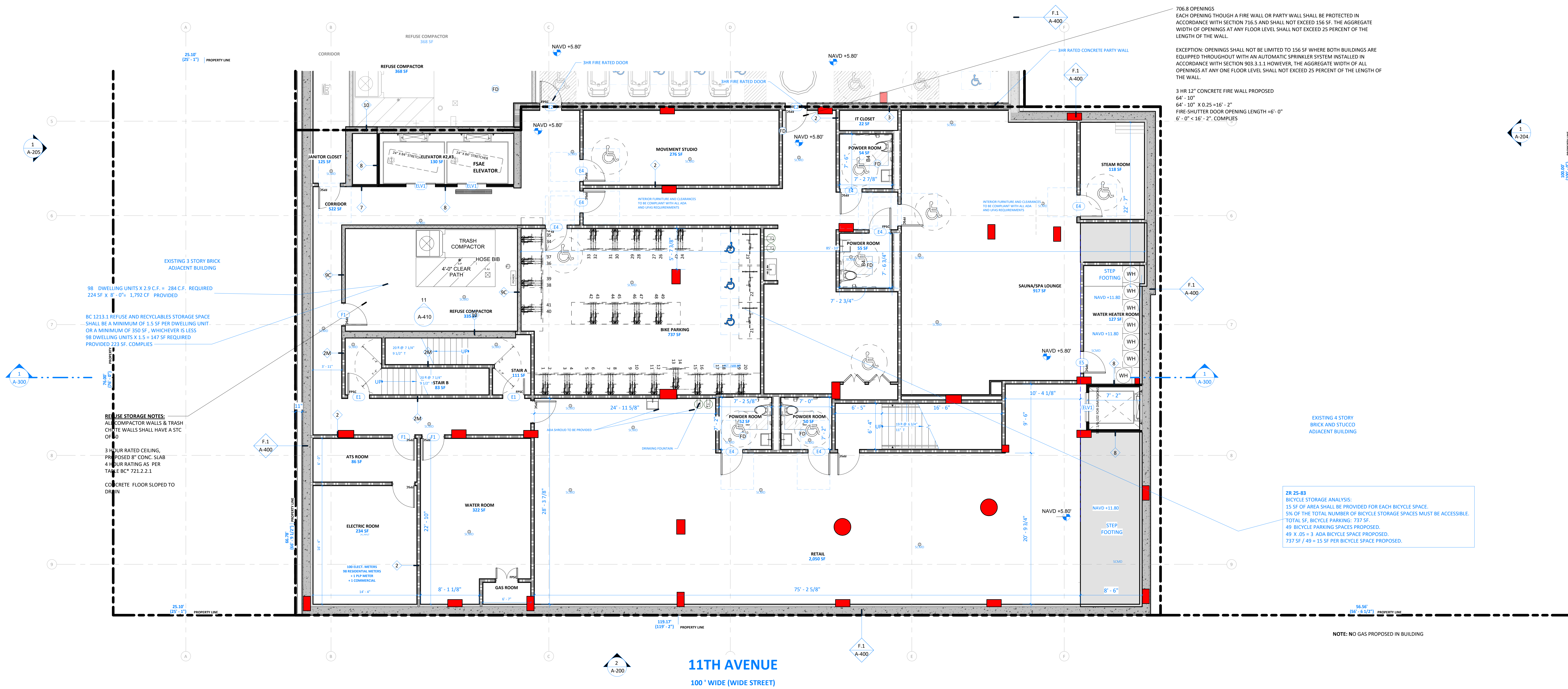
We trust that the information and attachments enclosed will address your concerns. Should you have any further questions or require additional details, please do not hesitate to contact us.



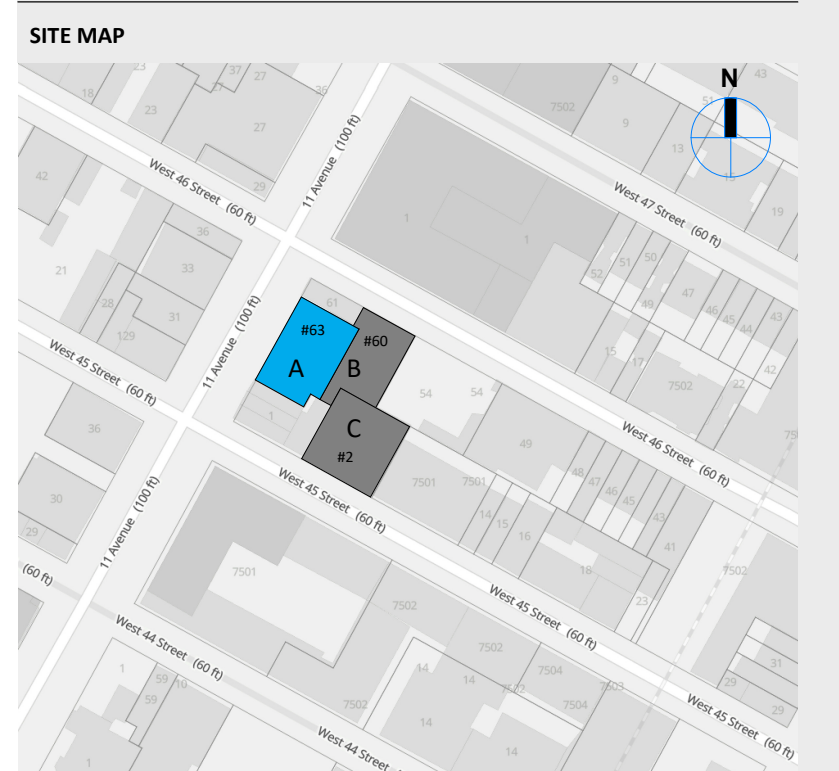
Sincerely,  
Cheskel Schwimmer,  
ELEVEN W46 REALTY LLC

# Color-coded Floor Plan





**1 CELLAR FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



LOCATION:  
**622 11TH AVE**  
**NEW YORK, NY 10036**

PROJECT:  
**PROPOSED 14 STORY MIXED-USE  
NEW BUILDING**

DRAWING TITLE:  
**VIH UNIT AREA CELLAR**

DOR #:

**#43409**

DOR BSCAN + STAMP:

DATE: 12/11/2024 4:03:01 PM

SCALE: 3/16" = 1'-0"

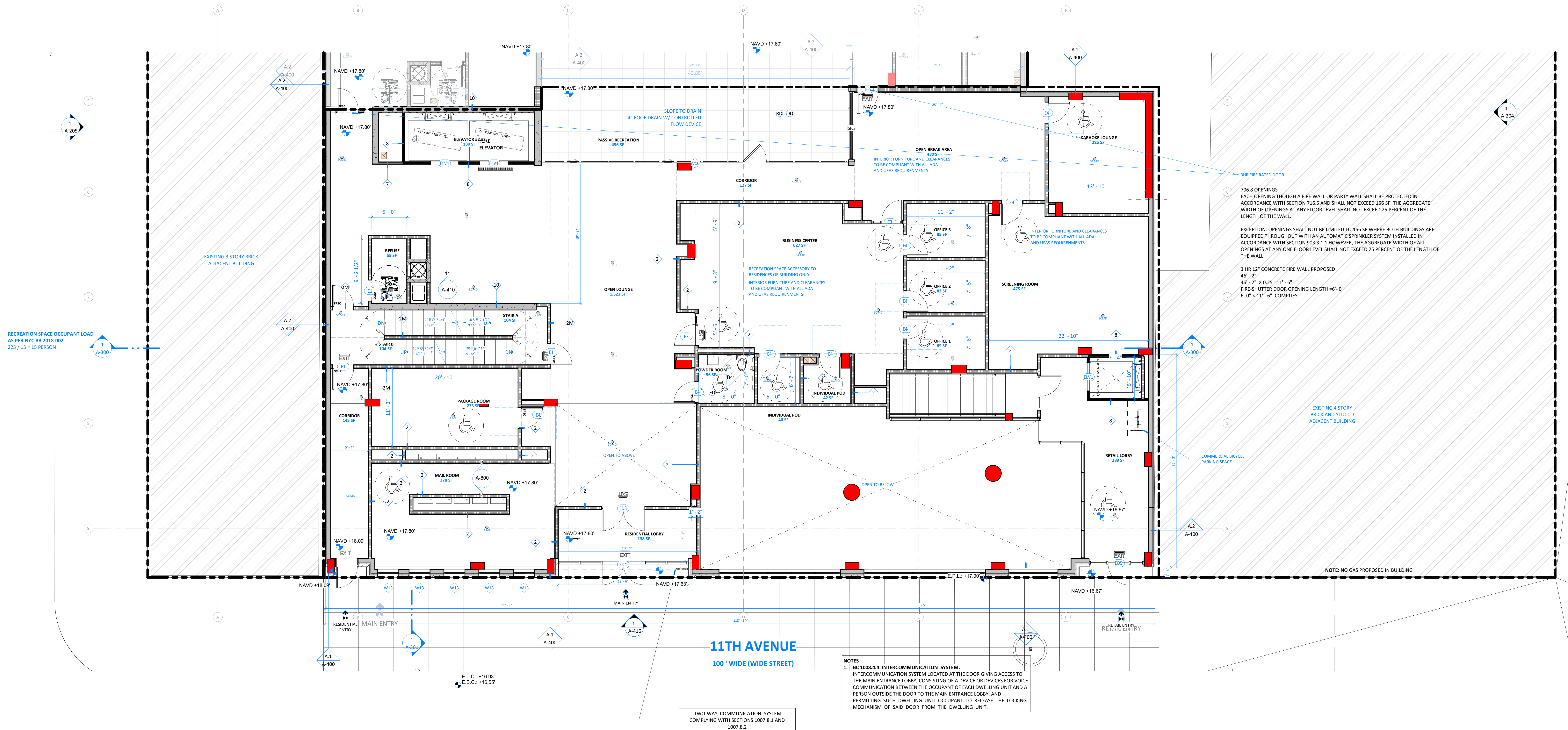
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SHEET: 32 OF 2

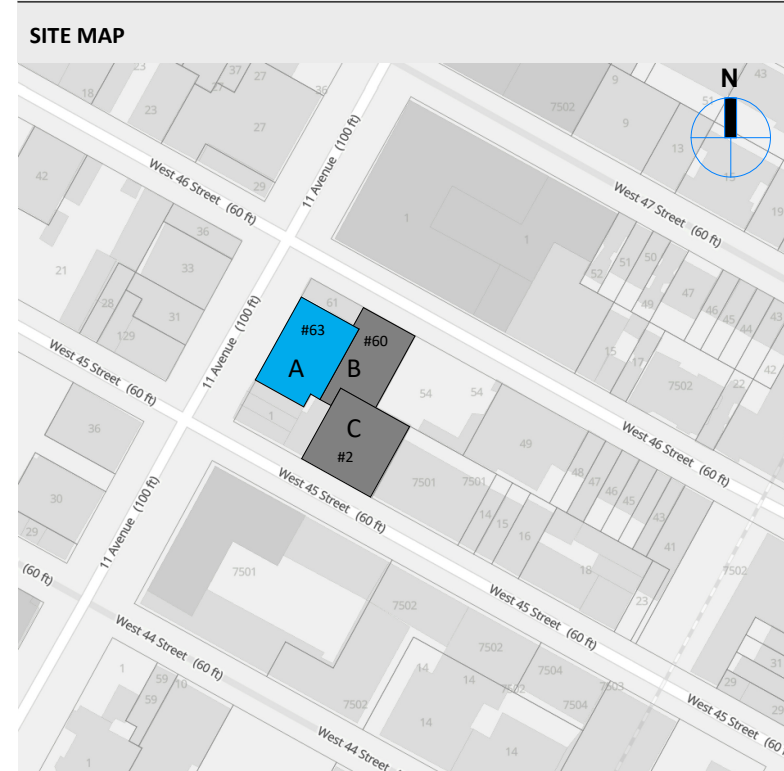
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1 1ST FLOOR PLAN  
SCALE: 3/16" = 1'-0"

NO.	DESCRIPTION	DATE
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1	DOB SET	03/22/2024
2	BID SET	XX/XX/202X
3	75% CONSTRUCTION DRAWINGS	XX/XX/202X
4	100% CONSTRUCTION DRAWINGS	XX/XX/202X



LOCATION:  
622 11TH AVE  
NEW YORK, NY 10036

PROJECT:  
PROPOSED 14 STORY MIXED-USE  
NEW BUILDING

DRAWING TITLE:  
VIH UNIT AREA 1ST FLOOR

DOB #:  
#43409

DOB SCAN + STAMP:

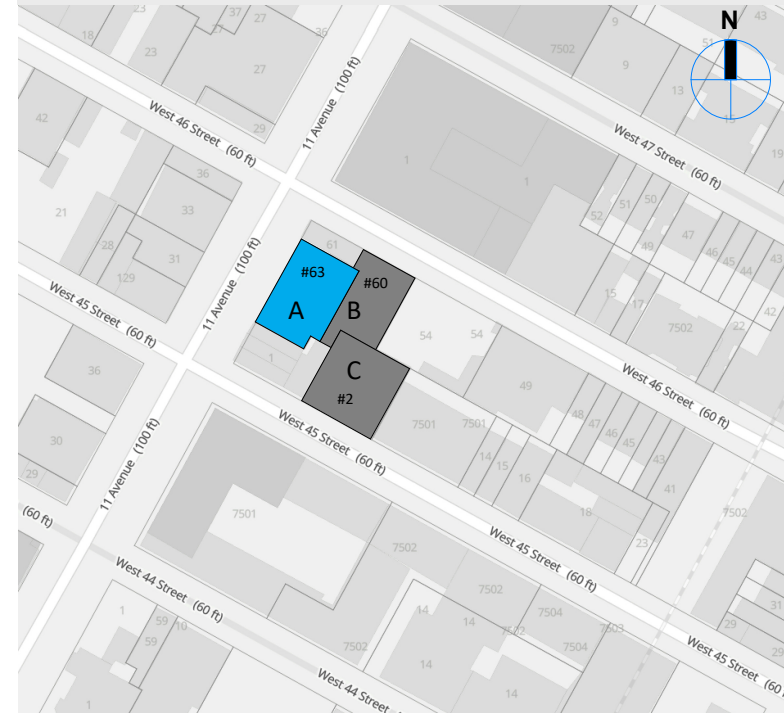
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SCALE:	3/16" = 1'-0"
DRAWN BY:	MT
SHEET:	32 OF 2
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NO.	DESCRIPTION	DATE
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2	BID SET	XX/XX/202X
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4	100% CONSTRUCTION DRAWINGS	XX/XX/202X

SITE MAP



LOCATION:  
**622 11TH AVE  
NEW YORK, NY 10036**

PROJECT:  
**PROPOSED 14 STORY MIXED-USE  
NEW BUILDING**

DRAWING TITLE:  
**VIH UNIT AREA 2ND FLOOR**

DOB #:

**#43409**

DOB BSCAN + STAMP :

DATE: 12/11/2024 4:03:07 PM

SCALE: As indicated

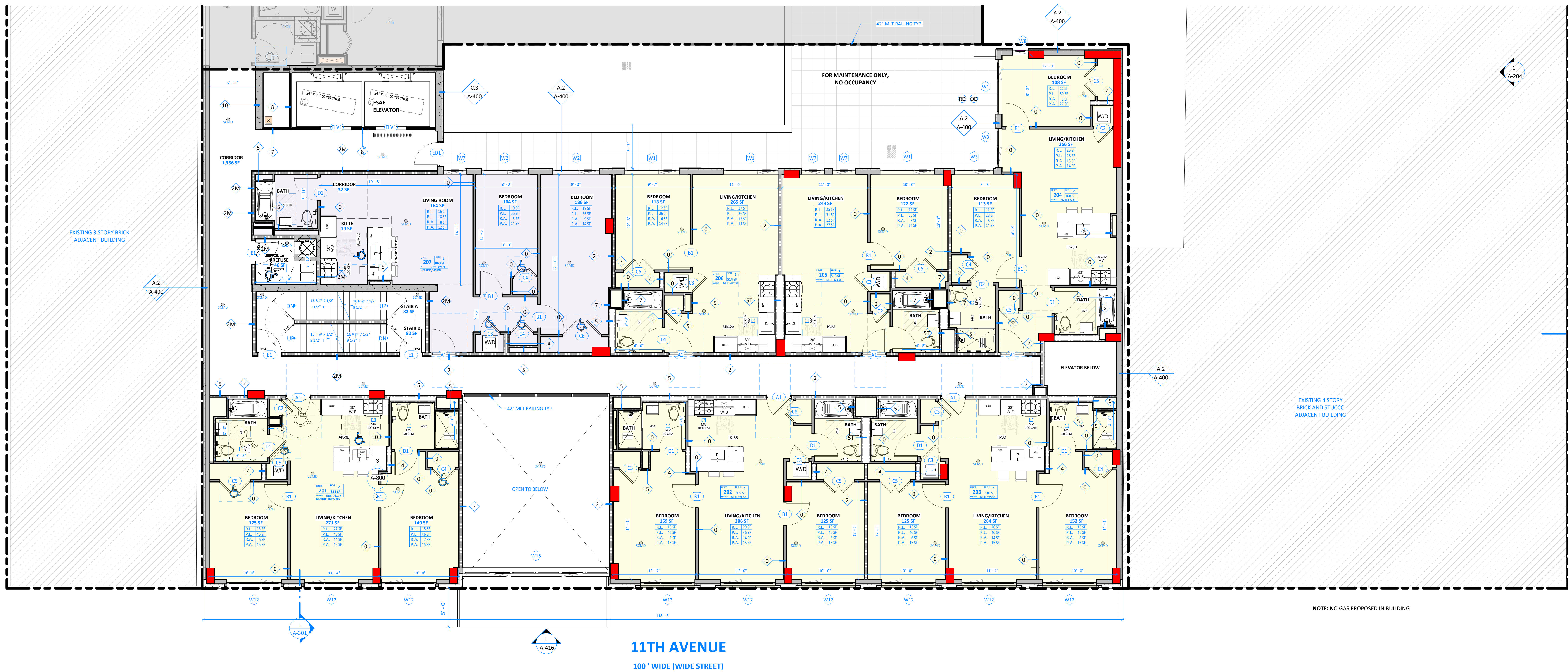
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NOTE: NO GAS PROPOSED IN BUILDING

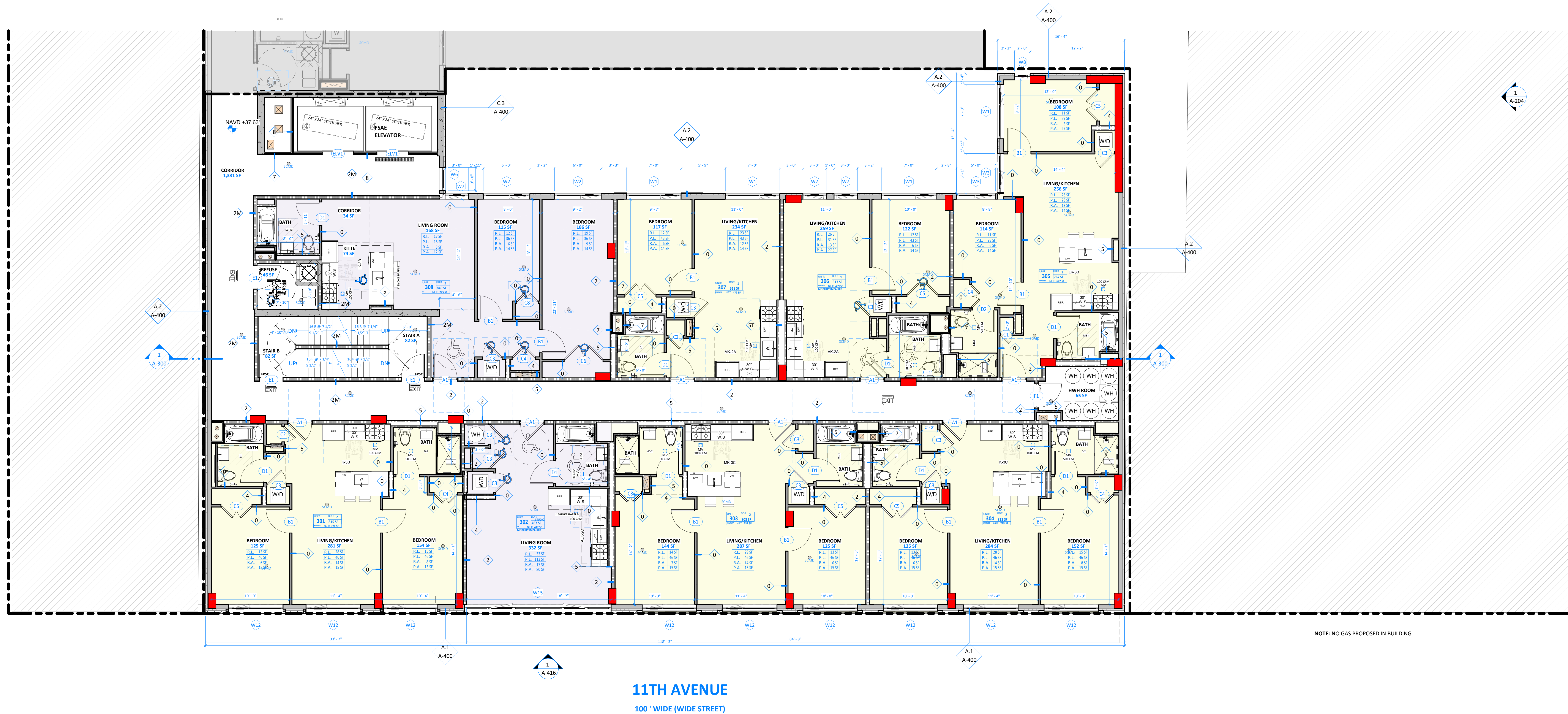
FLOOR LEGEND

- VIH UNIT
- MARKET RATE UNIT

2ND FLOOR PLAN

SCALE: 3/32" = 1'-0"





NOTE: NO GAS PROPOSED IN BUILDING

**11TH AVENUE**  
100' WIDE (WIDE STREET)

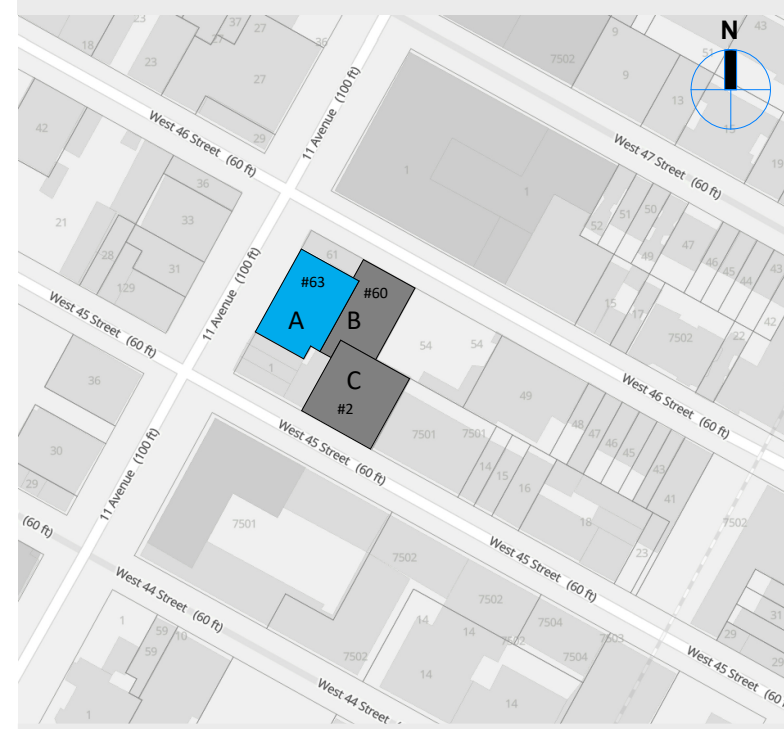
**1 3RD-6TH FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

**FLOOR LEGEND**

- VIH UNIT
- MARKET RATE UNIT

NO.	DESCRIPTION	DATE
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1	DOB SET	03/22/2024
2	BID SET	XX/XX/202X
3	75% CONSTRUCTION DRAWINGS	XX/XX/202X
4	100% CONSTRUCTION DRAWINGS	XX/XX/202X

**SITE MAP**



**LOCATION:**  
**622 11TH AVE**  
**NEW YORK, NY 10036**

**PROJECT:**  
**PROPOSED 14 STORY MIXED-USE**  
**NEW BUILDING**

**DRAWING TITLE:**  
**VIH UNIT AREA 3RD-6TH FLOOR**

**DOB #:**  
**#43409**

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SCALE: As indicated

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SHEET: 32 OF 2

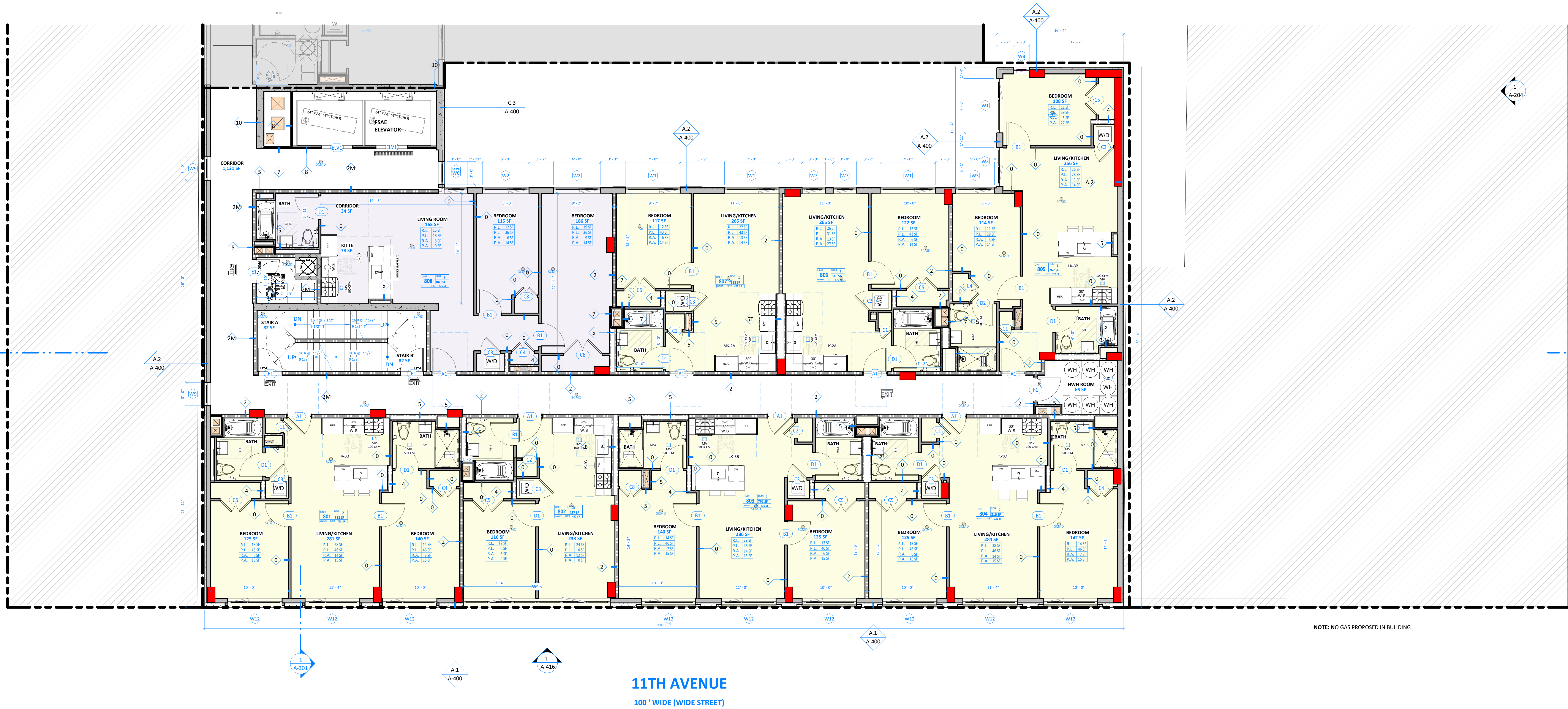
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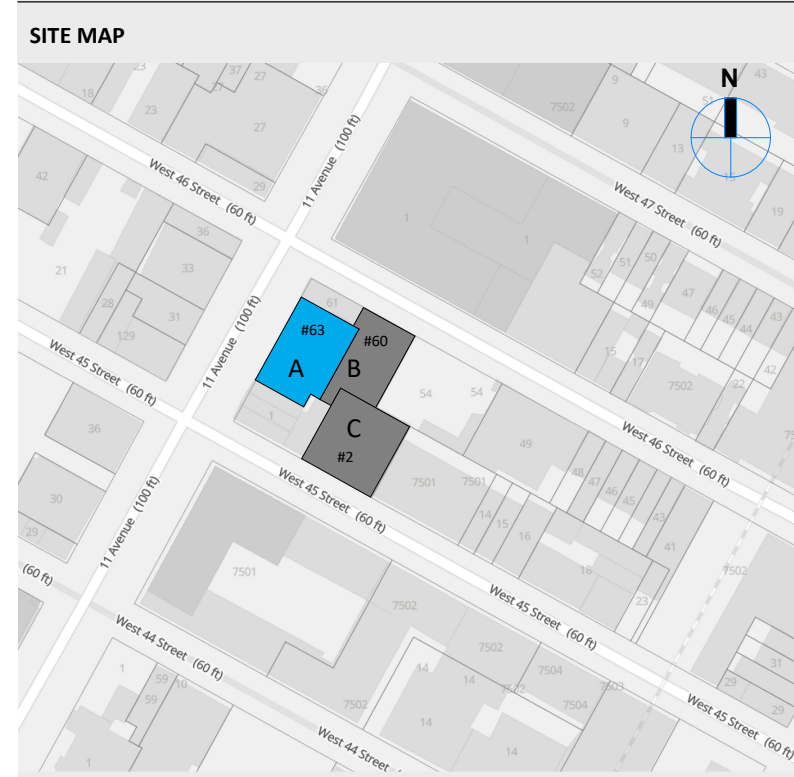


**1 8TH FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

**FLOOR LEGEND**

- VIH UNIT
- MARKET RATE UNIT

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2	BID SET	XX/XX/202X
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4	100% CONSTRUCTION DRAWINGS	XX/XX/202X



LOCATION:  
**622 11TH AVE  
NEW YORK, NY 10036**

PROJECT:  
**PROPOSED 14 STORY MIXED-USE  
NEW BUILDING**

DRAWING TITLE:  
**VIH UNIT AREA 8TH FLOOR PLAN**

DOB #:  
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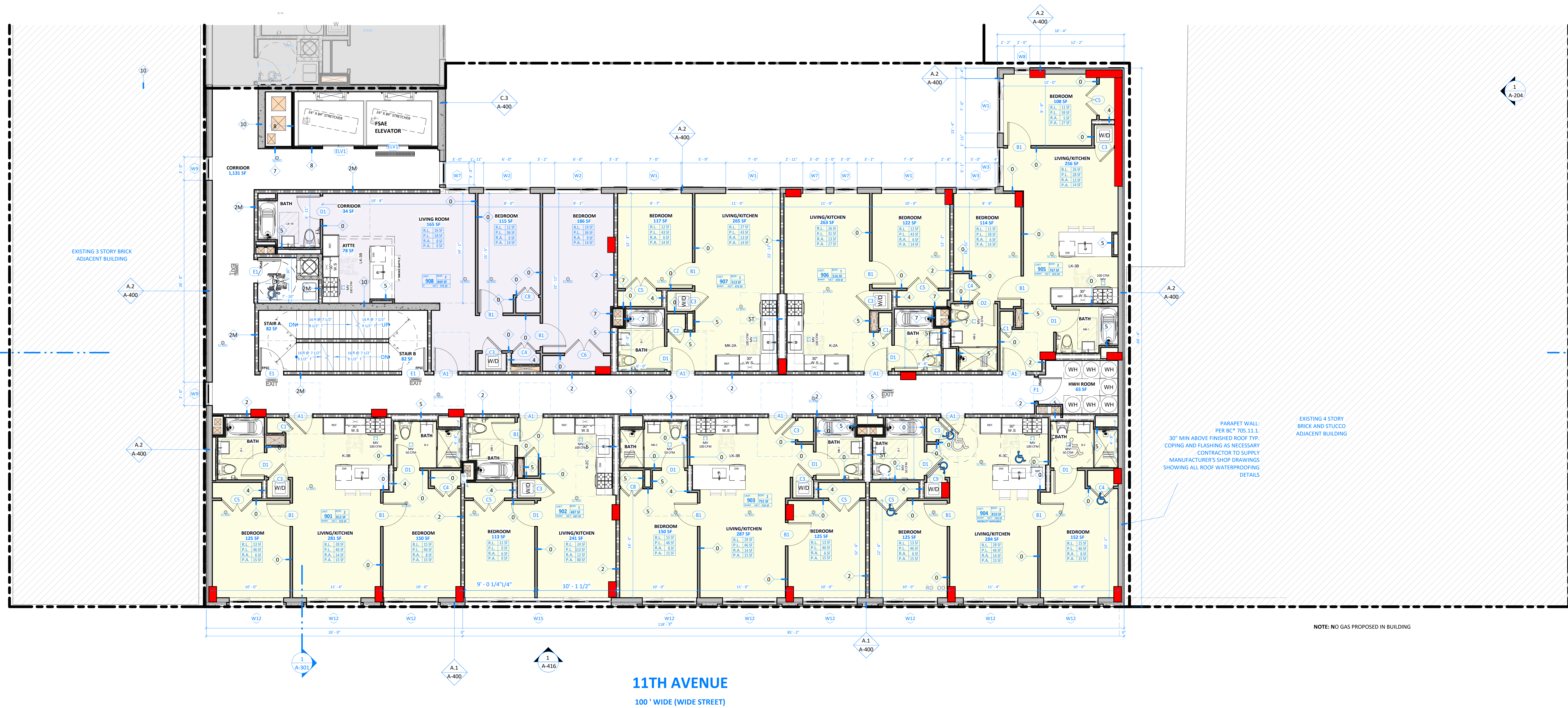
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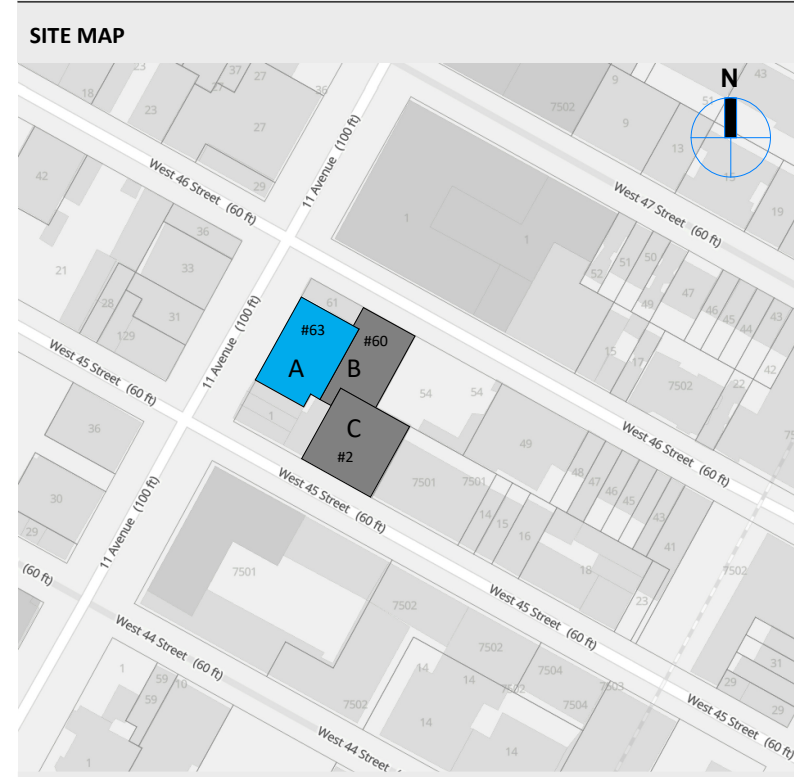
11TH AVENUE  
100' WIDE (WIDE STREET)

FLOOR LEGEND

- VIH UNIT
- MARKET RATE UNIT

1 9TH FLOOR PLAN  
SCALE: 3/16" = 1'-0"

NO.	DESCRIPTION	DATE
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2	BID SET	XX/XX/202X
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4	100% CONSTRUCTION DRAWINGS	XX/XX/202X



LOCATION:  
622 11TH AVE  
NEW YORK, NY 10036

PROJECT:  
PROPOSED 14 STORY MIXED-USE  
NEW BUILDING

DRAWING TITLE:  
VIH UNIT AREA 9TH FLOOR

DOB #1:  
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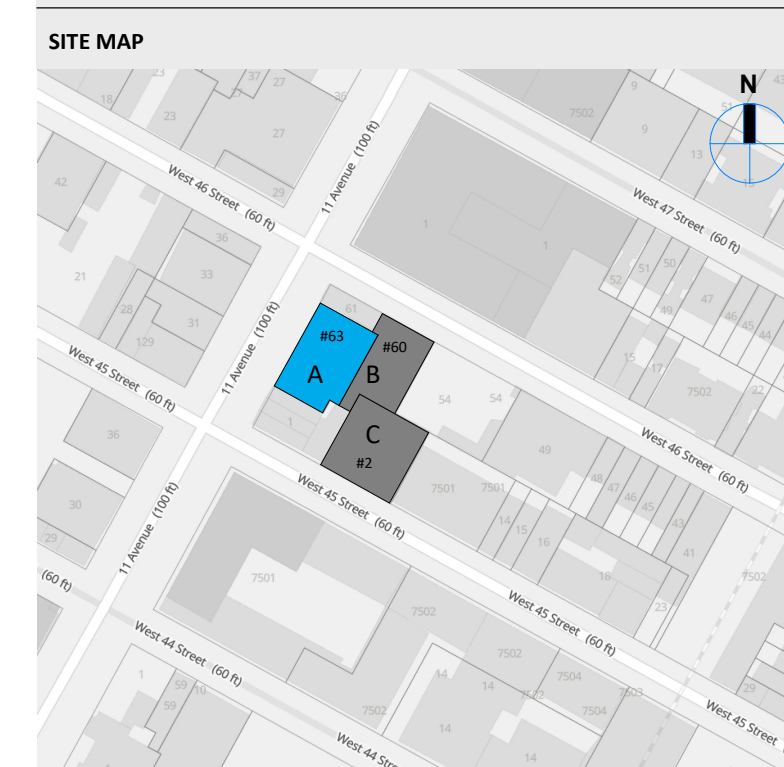
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NO.	DESCRIPTION	DATE
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	BID SET	XX/XX/202X
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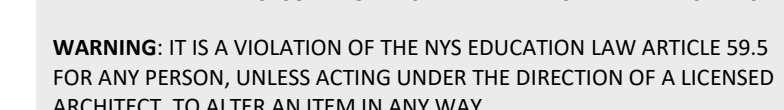
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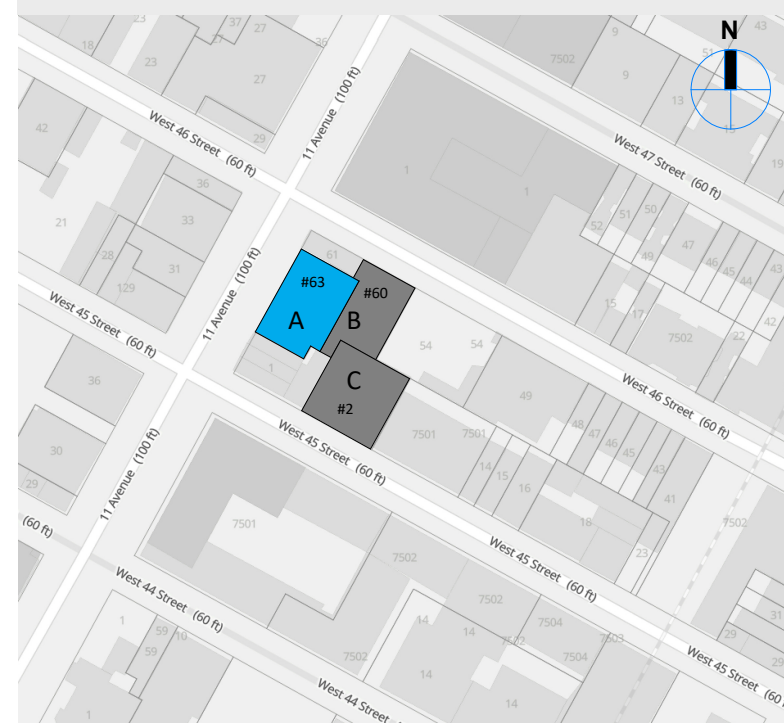






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2	BID SET	XX/XX/202X
3	75% CONSTRUCTION DRAWINGS	XX/XX/202X
4	100% CONSTRUCTION DRAWINGS	XX/XX/202X

SITE MAP



LOCATION:  
**622 11TH AVE  
NEW YORK, NY 10036**

PROJECT:  
**PROPOSED 14 STORY MIXED-USE  
NEW BUILDING**

DRAWING TITLE:  
**VIH UNIT AREA 12TH FLOOR**

DOB #:  
**#43409**

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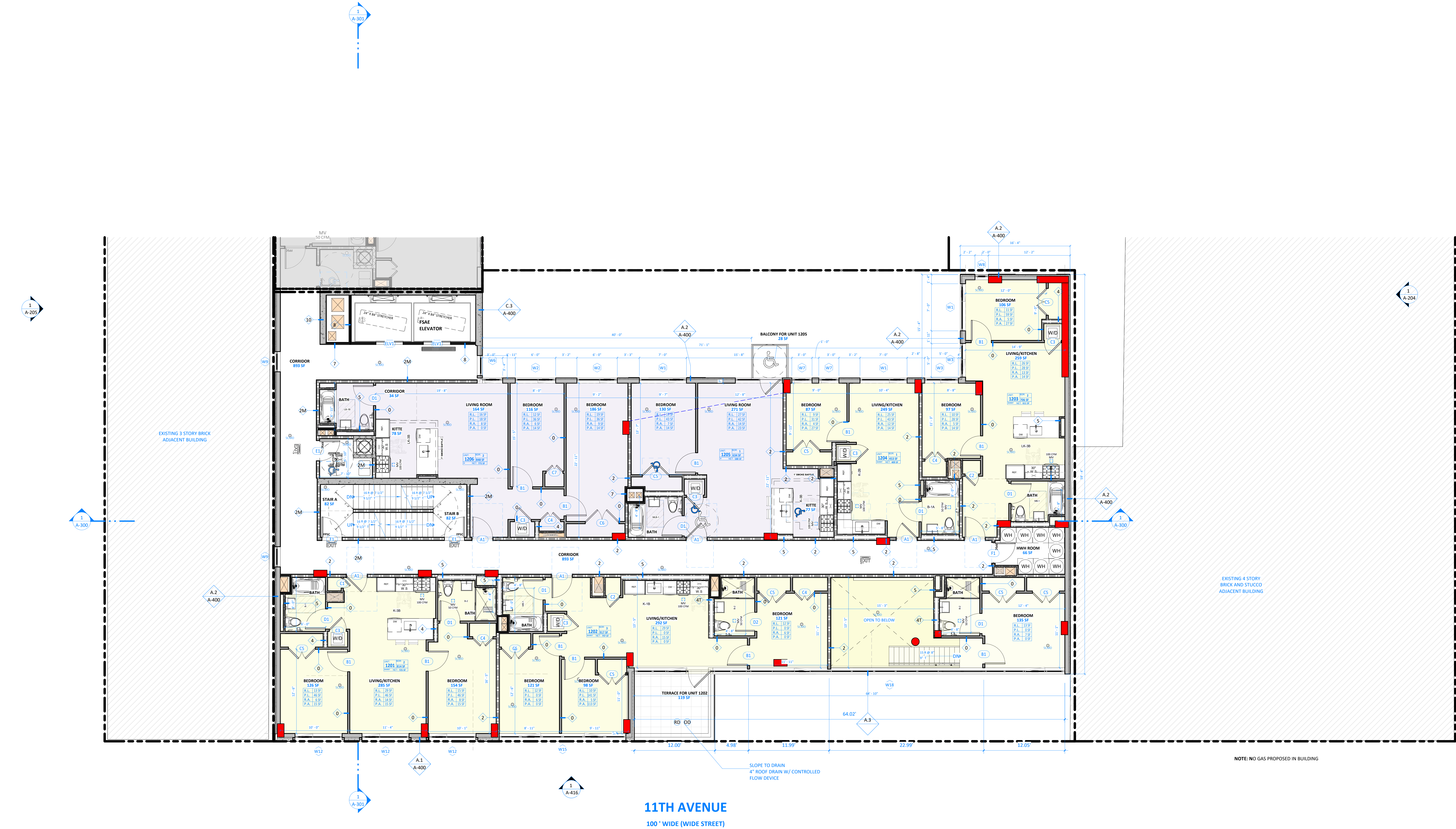
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NOTE: NO GAS PROPOSED IN BUILDING

FLOOR LEGEND

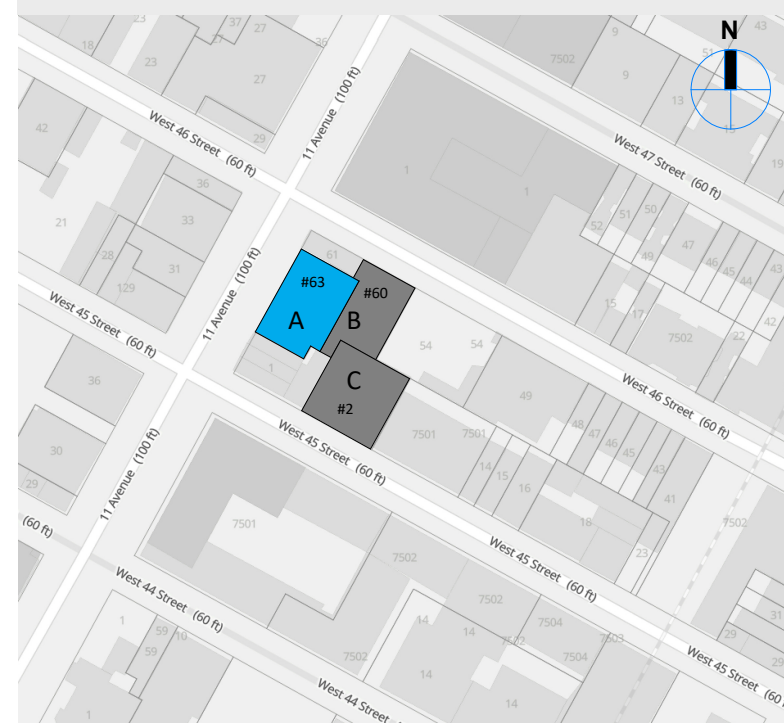
- VIH UNIT
- MARKET RATE UNIT

12TH FLOOR PLAN  
SCALE: 3/8" = 1'-0"



NO.	DESCRIPTION	DATE
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1	DOB SET	03/22/2024
2	BID SET	XX/XX/202X
3	75% CONSTRUCTION DRAWINGS	XX/XX/202X
4	100% CONSTRUCTION DRAWINGS	XX/XX/202X

SITE MAP



LOCATION:  
**622 11TH AVE**  
**NEW YORK, NY 10036**

PROJECT:  
**PROPOSED 14 STORY MIXED-USE**  
**NEW BUILDING**

DRAWING TITLE:  
**VIH UNIT AREA 13TH FLOOR**

DOB #: **#43409**

DOB SCAN + STAMP :

DATE: 12/11/2024 4:03:35 PM

SCALE: As indicated

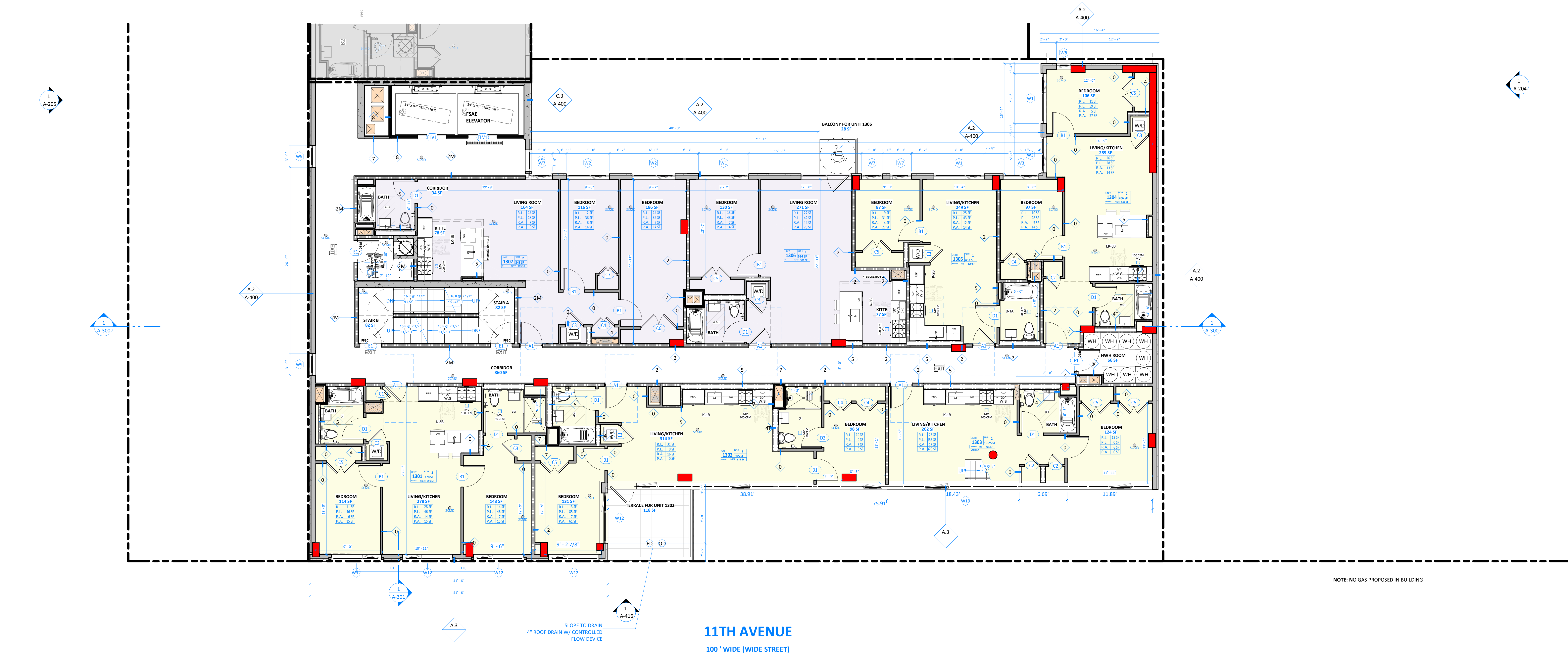
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**11TH AVENUE**  
100' WIDE (WIDE STREET)

**FLOOR LEGEND**

- VIH UNIT
- MARKET RATE UNIT

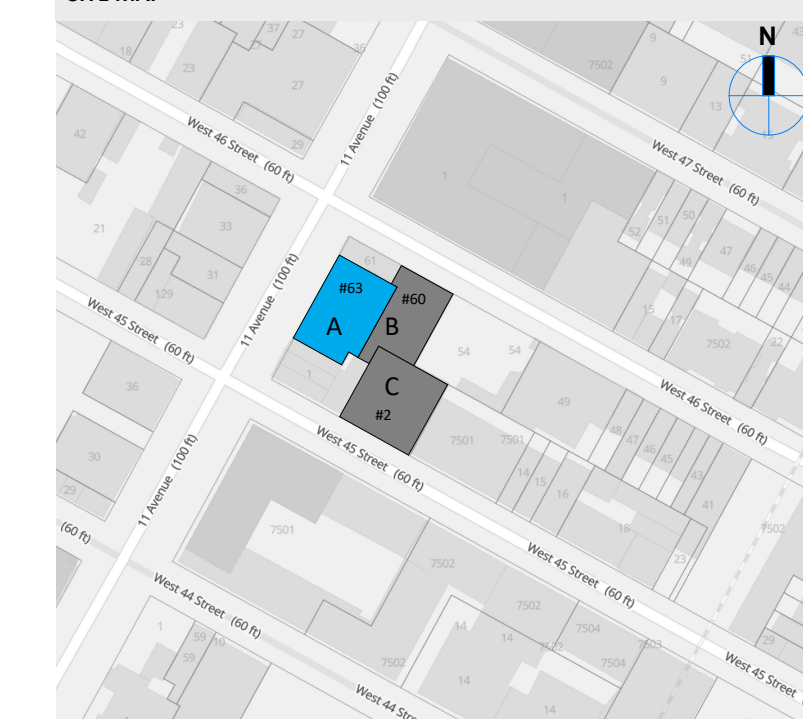
**13TH FLOOR PLAN**  
SCALE: 3/8" = 1'-0"





**11TH AVENUE**  
100' WIDE (WIDE STREET)

## SITE MAP



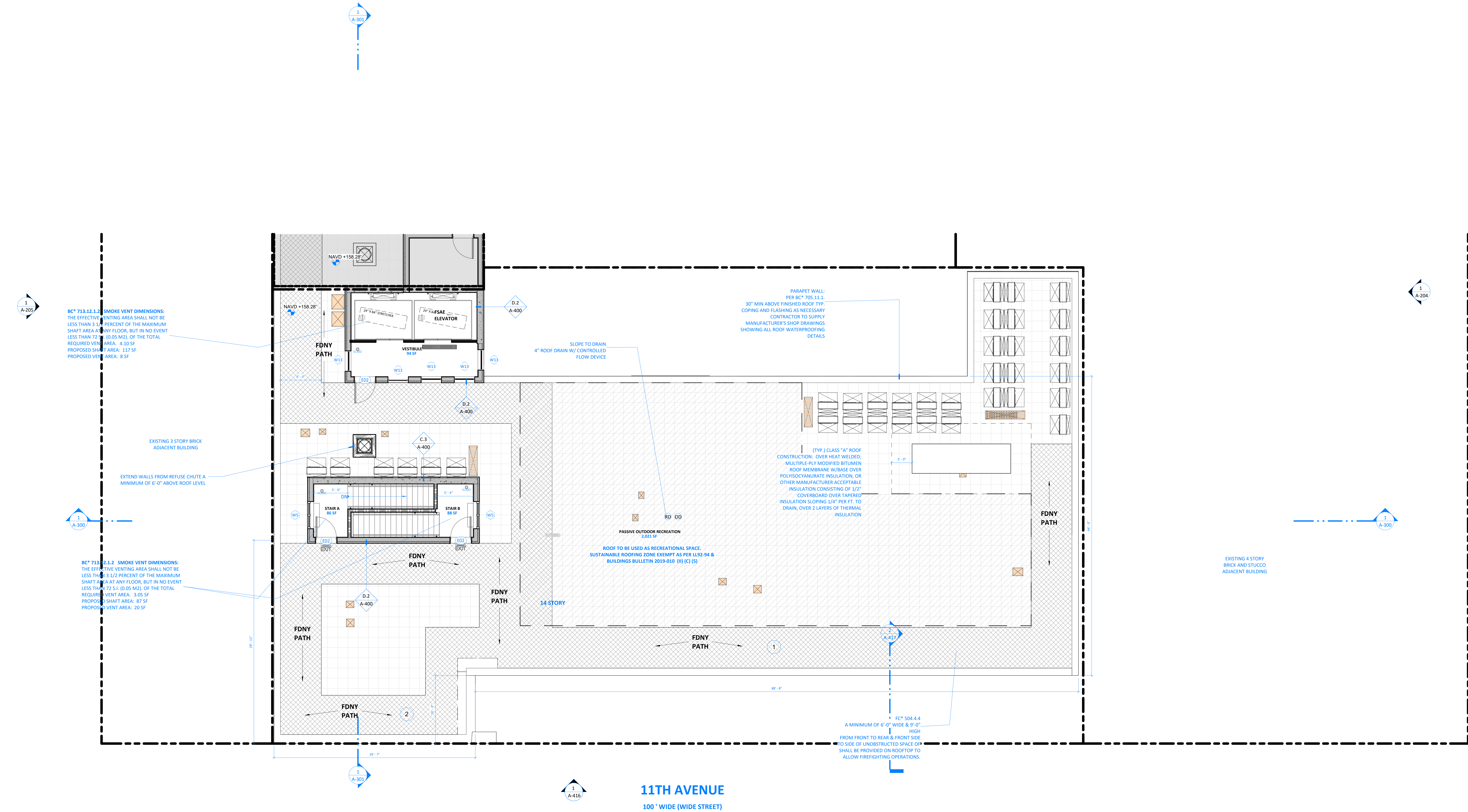
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SHEET: 32 OF

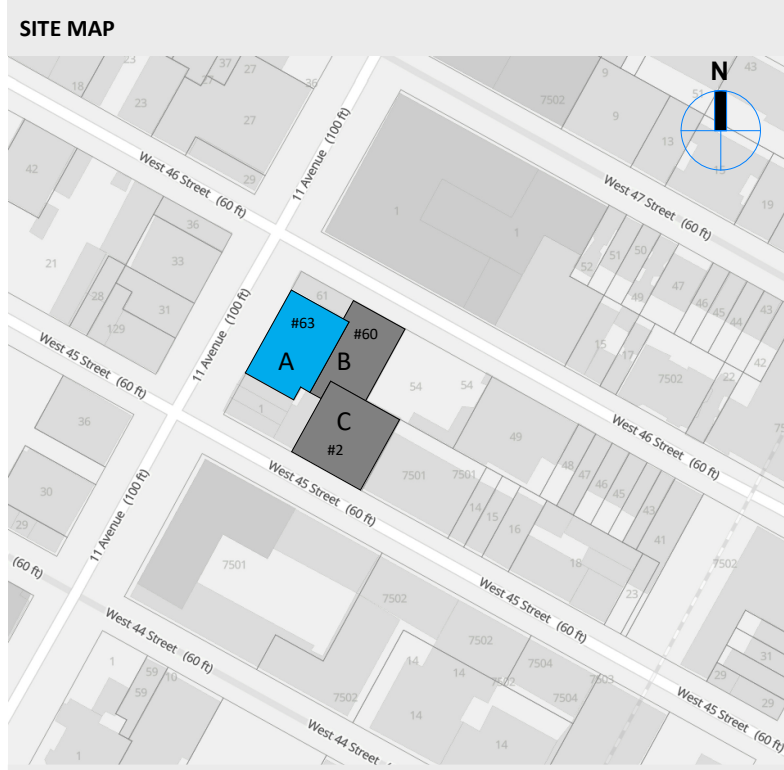
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**1 ROOF PLAN**  
SCALE: 3/16" = 1'-0"

NO.	DESCRIPTION	DATE
0	PAA #1	08/20/2024
1	DOB SET	03/22/2024
2	BID SET	XX/XX/202X
3	75% CONSTRUCTION DRAWINGS	XX/XX/202X
4	100% CONSTRUCTION DRAWINGS	XX/XX/202X



LOCATION:  
**622 11TH AVE**  
**NEW YORK, NY 10036**

PROJECT:  
**PROPOSED 14 STORY MIXED-USE**  
**NEW BUILDING**

DRAWING TITLE:  
**VIH UNIT AREA ROOF PLAN**

DOB #:  
**#43409**

DOB SCAN + STAMP :

# Apartment Finishes

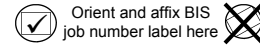
	VIH units	UFAS units	Market rate units
<b>Floors</b>	Wood floors	Wood floors	Wood floors
<b>Kitchen cabinets</b>	Wood laminate	Wood laminate	Wood laminate
<b>Kitchen counter and Backsplash</b>	Stone counter, porcelain tile backsplash	Stone counter, porcelain tile backsplash	Stone counter, porcelain tile backsplash
<b>Refrigerator</b>	1-GE 17.7 Cu. Ft. Counter-Depth Bottom-Freezer Model #GBE17HYRFS 2-GE 11.9 Cu. Ft. Bottom-Freezer Refrigerator Model #GLE12HSPSS	GE 19.1 Cu. Ft. Counter-Depth Bottom-Freezer Model #GTE19DTNWW	1-GE 17.7 Cu. Ft. Counter-Depth Bottom-Freezer Model #GBE17HYRFS 2-GE 11.9 Cu. Ft. Bottom-Freezer Refrigerator Model #GLE12HSPSS
<b>Dishwasher</b>	1-GE Energy star, ADA compliant stainless steel interior panel-ready dishwasher with sanitize cycle Model #GDT226SILII  2- GE 18” Panel-Ready Dishwasher Model #UDT165SIVII	GE Stainless Steel Interior Dishwasher with Hidden Controls Model #GDT225SGL/SSL	1-GE Energy star, ADA compliant stainless steel interior panel-ready dishwasher with sanitize cycle Model #GDT226SILII  2- GE 18” Panel-Ready Dishwasher Model #UDT165SIVII
<b>Microwave</b>	GE 0.7 Cu. Ft. Capacity Countertop Microwave Oven Model #GCST-7N1WSS	GE 0.9 Cu.Ft. Capacity Countertop Microwave Oven Model #JES1097SMSS	GE 0.7 Cu. Ft. Capacity Countertop Microwave Oven Model #GCST-7N1WSS
<b>Washer/dryer</b>	4.2 Cu.Ft. Compact 24” Wide Heat Pump Dryer (Ventless) Model #DLHC1455W (Electric)-White  2.4 Cu. Ft Compact 24” Wide Front Load Washer Model #WM1455HWA- White	GE Profile 4.8 Cu.Ft. Capacity Ultra Fast Combo with Ventless Heat Pump Technology Washer/Dryer Model #PFQ07HSPVDS	4.2 Cu.Ft. Compact 24” Wide Heat Pump Dryer (Ventless) Model #DLHC1455W (Electric)-White  2.4 Cu. Ft Compact 24” Wide Front Load Washer Model #WM1455HWA- White
<b>Bathroom Floors</b>	Tiles	Tiles	Tiles
<b>Bathroom Walls</b>	Tiles	Tiles	Tiles

# Site Safety Plans



# AI1: Additional Information

Must be typewritten.



Page number 1 of 1

BIS Document No. \_\_\_\_\_

## 1 Location and Job Information *Required for all applications.*

House No(s) 622

Street Name 11th Avenue

Borough Manhattan

Block 1074

Lot 63

BIN 1026951

CB No. 104

## 2 Revisions to Plans/Drawings *Required whenever updating plans. All revisions for each page must be clearly described in section 3.*

Submission is part of a Post Approval Amendment (PAA)? ☐ Yes *PW1 required* ☐ No *Indicate all actions for this submission:*

Action	Original/New/ Omit Page ID	Superseding Page ID	Action	Original/New/ Omit Page ID	Superseding Page ID	Action	Original/New/ Omit Page ID	Superseding Page ID	Action	Original/New/ Omit Page ID	Superseding Page ID

For "Action" use "N" for new page, "S" for superseding page, "O" for omitting page.

Is this section continued on additional AI1 forms? ☐ Yes ☐ No

## 3 Additional Information *Required for all applications.*

RE: 622 11th Avenue Job Number: M10120109-I1

Dear Prem Adhikari,

In response to your objections dated 10/28/24

1. Comments: Provide application number for adjacent construction and address

1. Response: this was updated on all pages

2. Comments: In Manhattan, avenues generally run north to south, while streets run east to west. Please review the orientation of the plan and elevation views to ensure they align correctly with the actual layout.

2. Response: The location map was updated and the north arrow was fixed on all pages typ.

3. Comments: Please clarify if this adjacent roof falls within 20 feet, it shall be protected with roof protection

3. Response: this was updated on SSP-200.00 and SSP-210.00 and SSP-220.00

4. Comments: Reassess it shall be west elevation

4. Response: this was updated on SSP-200.00 and SSP-210.00 and SSP-220.00

Thank you so much

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently made a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print)

Aron Lefkowitz

11/19/2024

Signature

Date

P.E. / R.A. Seal (apply seal, then sign and date over seal)



# SITE SAFETY LOGISTICS PLAN

PROPOSED NEW 12 STORY MIXED USE BUILDING.

622 11TH AVENUE MANHATTAN NY 10036

JOB# M10120109-I1

**BLOCK:** 1074 / **LOT:** 63 / **ZONING:** R8/R8A/CL/C2-5/ **ZONING MAP:** 8C / **COMMUNITY BOARD:** 104  
**MANHATTAN COMMUNITY DISTRICT:** 4 / **COUNCIL DISTRICT:** 3 / **BIN#:** 1026951  
**STORIES:** 14 / **HEIGHT:** 139'-6"

## SITE SAFETY PLAN

ALIGN DRAFTING  
718-809-4235  
917-531-0903  
ARON@ALIGNDRAFTING.COM

### PROJECT NAME:

622 11TH AVENUE  
MANHATTAN NY 10036

BLOCK	1074
LOT	63
ZONING	R8/R8A/CL/C2-5
BIN	1026951

### OWNER:

CHESKEL SCHWIMMER  
CHESS BUILDERS LLC

### CONTRACTOR:

B CONTRACTORS GROUP  
185 MARCY AVE  
BROOKLYN NY 11211  
LICENSE# GC-#618377

### DOB APPROVAL:

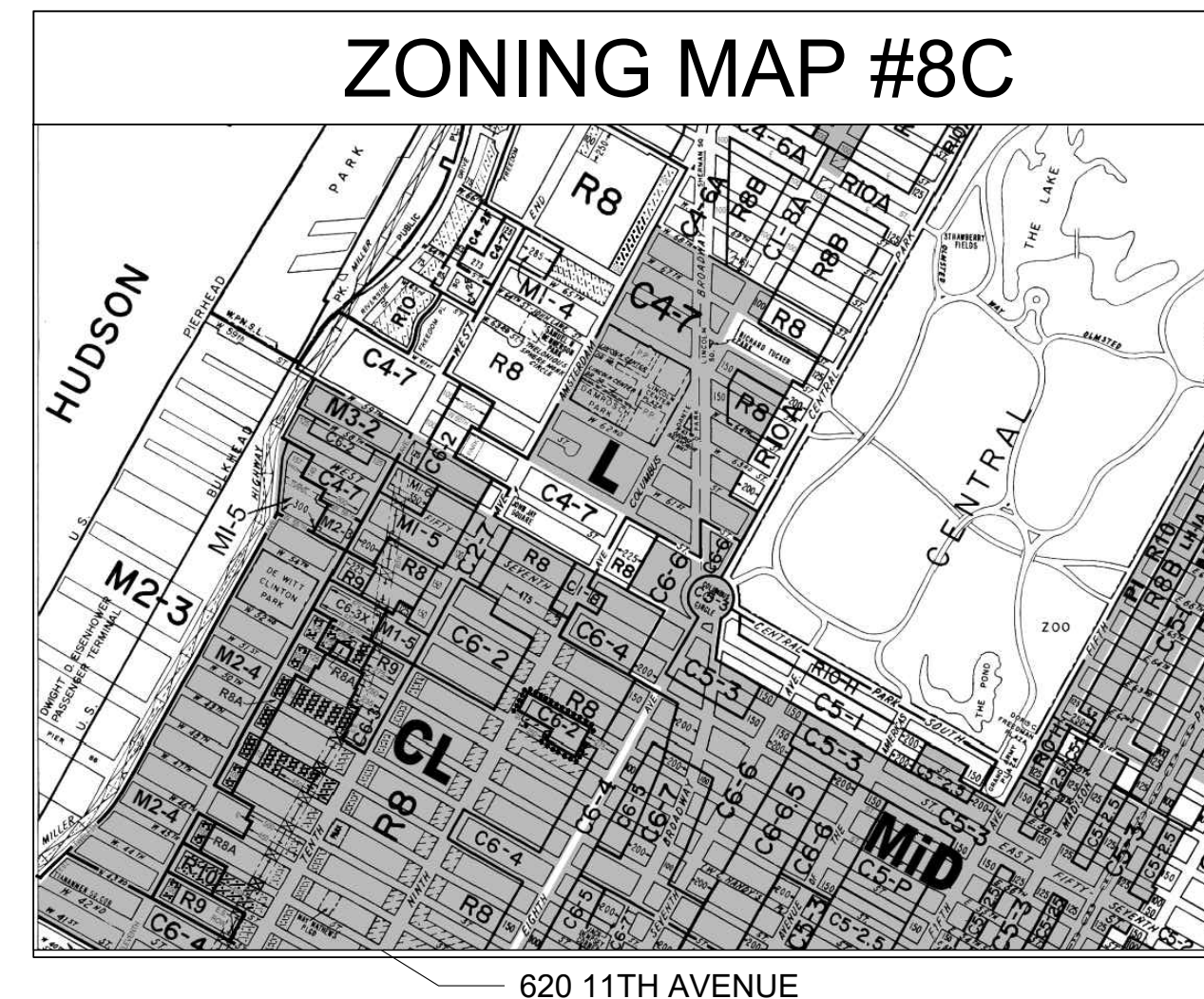
### DRAWING LIST

APPROVED SHEET=A			ADDED SHEET=E	REVISED SHEET=R	APPROVED 08/07/24	PAA-1
#	SHEET #	SHEET DESCRIPTION				
01	SSP-010.01	TITLE SHEET			A	R
02	SSP-020.01	GENERAL INFORMATION & NOTES			A	R
03	SSP-030.01	TYPICAL SITE SAFETY DETAILS			A	R
04	SSP-040.01	TYPICAL SITE SAFETY DETAILS			A	R
05	SSP-100.01	SOE-EXCAVATION PHASE			A	R
06	SSP-110.01	FOUNDATION PHASE			A	R
07	SSP-200.00	EGRESS PLAN (FIRST FLOOR SHOWN)				E
08	SSP-210.00	SUPERSTRUCTURE PHASE BELOW 75' (7TH FLOOR SHOWN)				E
09	SSP-220.00	SUPERSTRUCTURE PHASE ABOVE 75' (TOP VIEW SHOWN)				E
10	SSP-300.00	WEST & SOUTH ELEVATION VIEW				E
11	SSP-310.00	NORTH (WEST 46TH STREET) ELEVATION VIEW				E
12	SSP-320.00	EAST ELEVATION VIEW				E

## NYC MAP



## ZONING MAP #8C



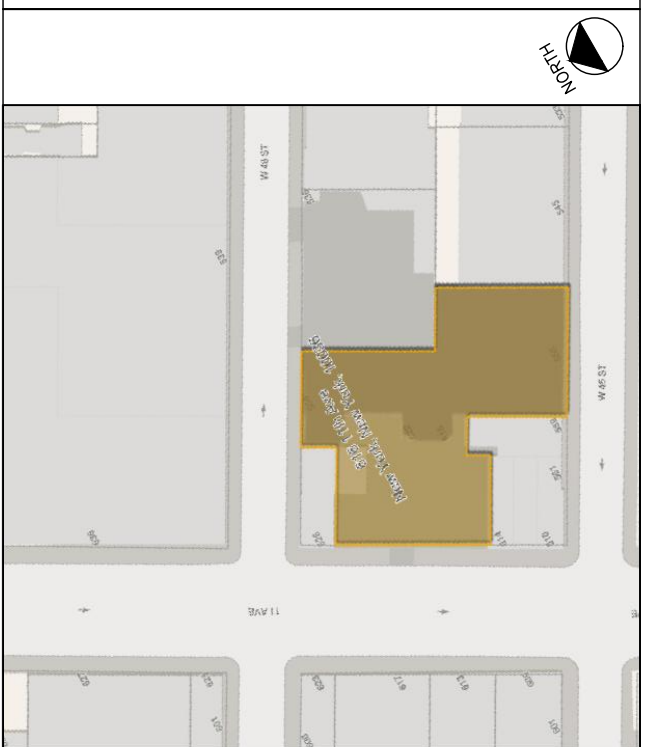
### PERMIT LIST:

NEW BUILDING	M10120109-11
CONSTRUCTION FENCE	M01047408
SIDEWALK SHED	M01045086
SCAFFOLD	M01112964
HOIST	M01112996
OVERHEAD PROTECTION	M01112958
NEEDLE BEAM	M01112991
ROOF PROTECTION	M01112996

### NOTE:

ALL REQUIRED DOB APPLICATION NUMBERS, PERMIT  
AND EXPIRATION DATES SHALL BE PROVIDED PRIOR TO  
THE START OF WORK

### LOCATION MAP:



### REVISIONS:

NO.	DATE	DESCRIPTION OF REVISION
1	5/15/24	ISSUE OF REVISION
2		APPROVED
3		AMENDED
4		NYC Development Hub

### DRAWING TITLE:

## TITLE SHEET

DRAWING BY:		CHECKED BY:	
NAME:	AL	JB	
DATE:	5/15/24		
SIGNATURE OF REPAIRER:		SCALE:	AS SHOWN
		PAGE SIZE:	24 / 36
		SHEET NO.:	01 OF 12

SSP-010.01

### PROPERTY OWNER:

CHESKEL SCHWIMMER  
CHESS BUILDERS LLC

### GENERAL CONTRACTOR:

B CONTRACTORS GROUP  
185 MARCY AVE BROOKLYN NY 11211  
BCONTRACTORSGROUP@GMAIL.COM  
LICENSE# GC-#618377

### SUPERINTENDENT:

MOSHE BLUM  
25 BARTLETT ST BROOKLYN NY 11206  
MOSHBLUM@GMAIL.COM  
LICENSE# 025741

### SITE SAFETY COORDINATOR:

ERIC OLSON  
455 E 86TH ST NYC 10028  
#2835

### NYC DEPARTMENT OF TRANSPORTATION

55 WATER STREET  
NEW YORK NY 10016  
TEL: 212-685-2581

### NEW YORK CITY FIRE DEPARTMENT:

FDNY ENGINE 54/LADDER 4/  
782 8TH AVENUE  
NEW YORK, NY 100367  
TEL: 718-999-2000 OR 911

### NEW YORK CITY POLICE DEPARTMENT

46TH PRECINCT  
2120 RYER AVENUE  
BRONX, NY 10457  
TEL: 718-220-5211 OR 911

### FDNY EMS

STATION 26  
1264 BOSTON RD,  
BRONX, NY 10456  
TEL: 718-378-0980 OR 911



INSTRUCTIONS TO REQUEST START OF WORK	CLOSEOUT INSTRUCTIONS	INCIDENTS NOTIFICATION	CONCRETE SAFETY MANAGER	LIST OF EQUIPMENT - NOT LIMITED
<b>FOR DEMOLITION ONLY:</b> CALL (212) 227-4416 24 HOURS BEFORE START OF WORK.	1. PARTIAL REMOVAL OF SIDEWALK SHEDS SHOULD REQUIRE A B.E.S.T. SQUAD APPROVED/AMENDEDPLAN AND NOTIFICATION TO THE B.E.S.T. SQUAD UNIT.	AS PER 3310.2(7) OF THE NYCBC, SITE SAFETY COORDINATORS AND MANAGERS MUST IMMEDIATELY REPORT INCIDENTS TO THE BUILDING DEPARTMENT, A CALL MUST BE MADE TO THE CALL CENTER AT <b>(212)-566-3199</b> .	SITE SAFETY MANAGER I COORDINATOR A SITE SAFETY MANAGER CERTIFIED BY THE DEPARTMENT IN ACCORDANCE WITH THE REQUIREMENTS OD CHAPTER 4 OF TITLE 28 OF THE ADMINISTRATIVE CODE IS REQUIRED FOR THE CONSTRUCTION OR DEMOLITION OF A MAJOR BUILDING, OR ALTERATION OF THE FAÇADE OF A MAJOR BUILDING.	<ul style="list-style-type: none"><li>EXCAVATOR</li><li>CONSTRUCTION TRAILER</li><li>BULLDOZER</li><li>EARTH REMOVER</li><li>DUMP TRUCKS</li><li>CONCRETE PUMP TRUCK</li><li>BOOM TRUCK</li><li>HYDRAULIC DRILL</li><li>BOBCAT</li><li>GROUT PLANT</li><li>BACKHOE</li><li>DRILL DIG</li><li>COMPRESSOR</li><li>ROCK HAMMER</li></ul>
<b>FOR EXCAVATION ONLY:</b> CALL CENTER (212) 227-4416 24 HOURS BEFORE START OF WORK AND THEN THE B.E.S.T. SQUAD A 24 HOUR NOTIFICATION NOTICE.	2. PERMANENT REMOVAL OF OF SIDEWALK SHED SHALL REQUIRE ONLY NOTIFICATION OF B.E.S.T. SQUAD AND AN INSPECTION OF B.E.S.T. SQUAD AND AN INSPECTION BY THE B.E.S.T. SQUAD UNIT.	CONTRACTORS AND OWNERS SIGNAGE POSTED ON SIDEWALK SHED. NOTE: FONT SIZE TO BE 3" MINIMUM IN HEIGHT AS PER DOB REGULATIONS, THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE SITE SAFETY MANAGERS.THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.	FIRE SAFETY MANAGER IN ACCORDANCE WITH 3 RCNY SECTION 1408.1 A CONSTRUCTION FIRE SAFETY MANAGER SHALL BE PRESENT AR THE CONSTRUCTION SITE AT ALL TIMES WHEN CONSTRUCTION, DEMOLITION ALTERATION WORK IS BEING PERFORMED.	<ul style="list-style-type: none"><li>JACK HAMMER</li><li>PILE DRIVING DIF</li><li>CONCRETE PUMP</li><li>TOWER CRANE (MODEL)</li><li>MIN. R=</li><li>MAX. R=</li><li>COUNTERWEIGHT R=</li><li>WEATHERVANE=</li><li>CONTAINER</li></ul>
<b>FOR ALL OTHER SITE SAFETY JOBS:</b> 24 HOUR COMMENCEMENT OF WORK, ON A COMPANY LETTER HEAD OR E-MAIL (BEST@BUILDING.NYC.GOV), SEND A LETTER OF NOTIFICATION TO THE B.E.S.T. SQUAD AND A COPY OF THE PW2 (TO THE ATTENTION OF THE B.E.S.T. CHIEF), VIA MESSENGER OR E-MAIL AT BEST@BUILDINGS.GOV.	3. REMOVAL OF SITE SAFETY FROM A CONSTRUCTION SITE REQUIRES NOTIFICATION OF THE B.E.S.T. SQUAD AND AN INSPECTION BY THE B.E.S.T. SQUAT UNIT.		CONCRETE SAFETY MANAGER CONCRETE SAFETY MANAGERS ARE REQUIRED AT SITES WHERE THE CONCRETE PORTION OF THE PROJECT INVOLVES THE POURING OF A MINIMUM OF 2,000 CUBIC YARDS OF CONCRETE OR SUCH LESSER AMOUNT AS THE COMMISSIONER MAY DETERMINE BY RULE.( 3310.9.1-2014 NYC BUILDING CODE.	CONTRACTOR MAY USE ADDITIONAL EQUIPMENT

GENERAL NOTES:

CONFORM ALL WORK TO NEW YORK CITY BUILDING CODE REQUIREMENTS.

THE DESIGN PLANS AND NOTES, TO THE BEST OF ENGINEER'S KNOWLEDGE, COMPLY WITH THE APPLICABLE REQUIREMENTS OF NEW YORK CITY CODE.

WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED.

CONTRACTOR SHALL MAKE NO DEVIATION FROM DESIGN DRAWINGS WITHOUT WRITTEN APPROVAL OF THE DESIGN ENGINEER.

ALL DIMENSIONS INDICATED ON THE DRAWINGS ARE APPROXIMATE AND SHALL NOT BE USED FOR ORDERING AND/OR FABRICATING MATERIALS. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO ORDERING AND/OR FABRICATING MATERIALS.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS BY MEASUREMENTS AT THE JOB SITE AND SHALL TAKE ANY AND ALL OTHER MEASUREMENTS NECESSARY TO VERIFY THE DRAWINGS AND TO PERFORM HIS WORK PROPERLY.

THE SHORING/EXCAVATION CONTRACTOR SHALL EXERCISE CAUTION IN THE PROCESS OF THE WORK. IF DAMAGE OCCURS TO THE ADJACENT BUILDING ELEMENTS OR CONTENTS, DUE TO THE NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE TO RECTIFY OR REIMBURSE FOR ANY AND ALL DAMAGES, TO THE SATISFACTION OF THE CONSTRUCTION MANAGER.

THE OWNER SHALL OBTAIN THE CONSENT OF ADJACENT PROPERTY OWNERS FOR ALL WORK EXTENDING BEYOND THE PROPERTY LINES.

OWNERS OF ADJACENT BUILDING SHALL BE GIVEN DETAILED WRITTEN NOTICE AT LEAST TEN DAYS PRIOR TO EXCAVATION WORK.

THE GENERAL CONTRACTOR SHALL OBTAIN 'SIDEWALK CLOSING' THE GENERAL CONTRACTOR SHALL OBTAIN 'SIDEWALK CLOSING' PERMITS FROM NYC DOT FOR ENCROACHMENT ON THE SIDEWALK OR STREET.

HIS WORK WILL COMPLY WITH ALL APPLICABLE SECTION OF CHAPTER 33 OF THE NYC BUILDING CODE AND ALL OSHA 1926STANDARDS OF CONSTRUCTION (3301 THIS PLAN IS INTENDED TO BE USED AS GUIDANCE IN THE PROTECTION OF THE PUBLIC AND ADJOINING PROPERTY. FOR ITEMS RELATED TO WORKER SAFETY THE NYS INDUSTRIAL CODE RULE 23 AND THE CODE OF FEDERAL REGULATIONS 1926 SHOULD BE SHOULD BE REFERRED TO. (BC3301.1)3. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL PERSONS AFFECTED BY CONSTRUCTION OPERATIONS.

SIDEWALK SHED AND PROTECTION FOR ALL PUBLIC/PEDESTRIANS SHALL COMPLY WITH ALL REQUIREMENTS OF CHAPTER 33 OF NYC BUILDING CODE ( NYC BC 3307.3.1(2;4), 3307.3.2, 3307.6.2) AND D.O.T. REQUIREMENTS. SIDEWALK SHEDS SHALL BE DESIGNED BY LICENSED PROFESSIONALS AS REQUIRED IN CHAPTER 33 AND PER D.O.T. (THESE DRAWINGS SHALL BE AT THE SITE AS REQUIRED IN CHAPTER 33).

REQUIRED SIGNAGE SHALL BE POSTED ACCORDING TO NYC BUILDING CODE, WITH SIGNS POSTED ON EACH SIDE OF THE PROPERTY THAT FACES A STREET. SIGNS POSTED ON CORNERS DO NOT COUNT AS SUBSTITUTIONS TO THIS RULE.

DURING ALL LIFTING & HOISTING OPERATIONS FLAGMEN WILL BE PROVIDED TO CONTROL ALL PEDESTRIAN AND/OR VEHICULAR TRAFFIC, AS APPROPRIATE.DURING ALL LIFTING & HOISTING OPERATIONS FLAGMEN WILL BE PROVIDED TO CONTROL ALL PEDESTRIAN AND/OR VEHICULAR TRAFFIC, AS APPROPRIATE.

IN THE EVENT OF EMERGENCY A HORN WILL SOUND (2) TWO TIMES TO SIGNAL EVACUATION, AND THEN THE HORN WILL SOUND (1) TIME TO INDICATE ALL PERSONS ARE CLEARED FROM SITE. ALL PERSONNEL WILL BE DIRECTED TO EXIT TO THE 1ST FLOOR AND TO THE SIDE STREET SIDEWALKS AS PER POSTED SIGNS.

GENERAL NOTES:

ALL ELEVATIONS ARE BASED UPON BOROUGH OF MANHATTAN DATUM, WHICH IS UNDERSTOOD TO BE 2.725' ABOVE MEAN SEA LEVEL AT SANDY HOOK (NGVD 1929).

SIGNED STATEMENT INDICATION FAMILIARITY WITH THE SAFETY REQUIREMENTS OF CHAPTER 33 OF TITLE C OF THE NYC BUILDING CODE AND STATING THAT SUCH REQUIREMENTS WILL BE MET SHALL BE FILED WITH THE BUILDING DEPT.

DURING ALL LIFTING & HOISTING OPERATIONS FLAGMEN WILL BE PROVIDED TO CONTROL ALL PEDESTRIAN AND/OR VEHICULAR TRAFFIC, AS APPROPRIATE.

FENCES NOTES:

3307.7 FENCES.

ALL SITES WHERE A NEW BUILDING IS BEING CONSTRUCTED, OR A BUILDING IS BEING DEMOLISHED TO GRADE, SHALL BE ENCLOSED WITH A FENCE. FENCES SHALL BE AT LEAST 8 FEET (2438 MM) HIGH, BUILT SOLID FOR THEIR ENTIRE LENGTH, OUT OF WOOD OR OTHER SUITABLE MATERIAL, AND SHALL BE RETURNED AT THE ENDS TO THE EXTENT NECESSARY TO EFFECTIVELY CLOSE OFF THE SITE.

3307.7.1 LOCATION OF FENCE.

WHERE THE FENCE IS INSTALLED TO FULLY ENCLOSE A SITE, THE FENCE SHALL BE CONSTRUCTED ALONG THE INSIDE EDGE OF THE SIDEWALK OR WALKWAY AND ALONG THE EDGES OF THE PROPERTY LINE.

FENCES SHALL BE INSTALLED AND LOCATED SO TO NOT UNREASONABLY OBSTRUCT, EITHER VISUALLY OR PHYSICALLY, TRAFFIC, CURB CUTS, VEHICULAR ACCESS POINTS, STREET LIGHTING POLES, TRAFFIC LIGHTS OR SIGNS, FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, WATER SAMPLING STATIONS, BUS SHELTERS, OR OTHER STREET FURNITURE, TREES, OR MEANS OF INGRESS/EGRESS.

FENCES MAY ENCROACH ONTO THE SIDEWALK IN ACCORDANCE WITH DEPARTMENT OF TRANSPORTATION REQUIREMENTS.

3307.7.2 GATES.

GATES SHALL BE SLIDING OR SHALL SWING INTO AREAS NOT ACCESSIBLE TO THE PUBLIC, AND SHALL BE PROVIDED ONLY WHERE REQUIRED FOR ACCESS TO THE SITE OR TO FACILITATE THE WORK. GATES SHALL CONSIST OF THE SAME MATERIAL AND CONSTRUCTION AS THE REST OF THE FENCE. GATES SHALL BE KEPT CLOSED AT ALL TIMES EXCEPT DURING ACTUAL LOADING AND UNLOADING OPERATIONS, WHEN INDIVIDUALS OR VEHICLES ARE ACTIVELY ENTERING OR LEAVING THE SITE, OR AS NEEDED TO FACILITATE ACTIVE WORK AROUND THE GATE.

3307.7.3 VIEWING PANELS.

VIEWING PANELS SHALL BE PROVIDED IN SOLID FENCES AT A RATE ONE FOR EVERY 25 LINEAR FEET (7.6 M) PER FRONTAGE, WITH A MINIMUM OF ONE PER FRONTAGE. VIEWING PANELS SHALL BE 12 INCHES BY 12 INCHES(305 BY305 MM) IN SIZE AND SHALL BE BLOCKED WITH PLEXIGLASS OR AN EQUIVALENT NON FRANGIBLE MATERIAL. THE TOP OF THE VIEWING PANEL SHALL BE LOCATED NO MORE THAN 6 FEET (1829 MM) ABOVE THE LEVEL OF THE GROUND, AND THE BOTTOM OF THE VIEWING PANEL SHALL BE LOCATED NO LESS THAN 3 FEET (914 MM) ABOVE THE LEVEL OF THE GROUND.

3307.7.5 DESIGN OF FENCES.

FENCE INSTALLATIONS SHALL BE DESIGNED BY A REGISTERED DESIGN PROFESSIONAL. THE EFFECT OF WIND ON THE FENCE SHALL BE CONSIDERED IN THE DESIGN IN ACCORDANCE WITH CHAPTER 16.EXCEPTIONS:1.FENCES INSTALLED IN CONNECTION WITH THE CONSTRUCTION OR DEMOLITION OF A ONE-,TWO-,OR THREE-FAMILY BUILDING 2.FENCES THAT CONFORM TO A STANDARD DESIGN APPROVED BY THE COMMISSIONER PROVIDED THE FENCE IS INSTALLED AT THE SITE IN ACCORDANCE WITH THE STANDARD DESIGN.

3307.7.6 INSTALLATION AND REMOVAL OF FENCES.

FENCES REQUIRED BY THIS SECTION SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF WORK. SUCH REQUIRED FENCES SHALL NOT BE REMOVED UNTIL THE SITE HAS BEEN FILLED AND GRADED AND ALL HAZARDS TO THE PUBLIC REMOVED AND THE FAÇADE HAS BEEN ENCLOSED, WITH ALL DOORS AND WINDOWS INSTALLED.

3307.7.7 CONDITION OF FENCES.

ALL FENCES SHALL BE INSTALLED, ADJUSTED, REPAIRED, AND MAINTAINED IN A SOUND CONDITION, FREE OF PROTRUDING OR LOOSE NAILS, WOOD, OR METAL, AND WITH POSTS IN AN UPRIGHT POSITION RESTRAINED TO PREVENT THE FENCE FROM LEANING OR OVERTURNING.

3307.7.8 COLOR.

FENCES ERECTED SHALL BE PAINTED HUNTER GREEN.

3307.8 MAINTAINING DEPARTMENT OF TRANSPORTATION PEDESTRIAN PROTECTION IN PLACE.

PEDESTRIAN PROTECTION REQUIRED BY THE DEPARTMENT OF TRANSPORTATION SHALL BE MAINTAINED IN PLACE AND KEPT IN GOOD ORDER FOR THE ENTIRE LENGTH OF TIME PEDESTRIANS MAY BE ENDANGERED.

3307.9 REMOVING PROTECTION AT CONCLUSION OF WORK.

PUBLIC PROPERTY SHALL BE LEFT IN AS GOOD A CONDITION FOLLOWING THE COMPLETION OF THE CONSTRUCTION OR DEMOLITION WORK AS IT WAS BEFORE SUCH WORK WAS COMMENCED. EXCEPT WHERE OTHERWISE REQUIRED BY THIS CODE, THE OWNER OR THE OWNER'S AGENT SHALL, UPON THE COMPLETION OF THE CONSTRUCTION OR DEMOLITION WORK, IMMEDIATELY REMOVE ALL SIDEWALK SHEDS, FENCES, GUARD RAILS, TEMPORARY WALKWAYS, MATERIAL, AND OTHER OBSTRUCTIONS IN OR ADJACENT TO THE PUBLIC WAY.

FIRE SAFETY:

ALL BUILDING MATERIALS TO BE STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE WORKSITE ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS ARE TO BE CONTROLLED BY OWNER/GENERAL CONTRACTOR.

ALL MATERIALS ARE TO BE STORED IN AN ORDERLY FASHION. ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURERS CONTAINERS AND SUCH CONTAINERS ARE TO BE KEPT AWAY FROM HEAT. TENANT SAFETY NOTES(CONT'D) ALL FLAMMABLE MATERIALS ARE TO BE USED AND STORED IN AN ADEQUATELY VENTI LA TED SPACE. ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE IS EXPOSED CONDUIT.

ALL ELECTRICAL POWER TO THE WORK SITE IS TO BE SHUT OFF AFTER WORKING HOURS.

DUST CONTROL:

A) DEBRIS, DIRT AND DUST TO BE KEPT TO A MINIMUM AND CONFINED TO IMMEDIATE CONSTRUCTION AREA.

B) CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM OCCUPIED BUILDING AREA BY MEANS OF HEAVY WEIGHT DROP CLOTHS.

C) DEBRIS, DIRT, AND DUST TO BE CLEANED UP AND CLEANED FROM WORK SITE PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION AS REQUIRED BY HOUSEKEEPING REGULATIONS OF THE SITE SAFETY MANUAL.

NOISE CONTROL:

A)CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 7:00A.M. TO 6:00P.M. MONDAY TO FRIDAY EXCEPT LEGAL HOLIDAYS.

B) CONTRACTOR TO OBTAIN WRITTEN CONSENT OF ALL PARTIES AFFECTED BY HIS WORKING DURING OTHER THAN NORMAL WORKING HOURS.

C) CONTRACTOR SHALL OBTAIN AFTER HOUR WORK PERMIT FROM THE DEPARTMENT OF BUILDINGS AND APPLICABLE AGENCIES IF WORKING OTHER THAN NORMAL WORKING HOURS. CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO TENANTS OF BUILDING. THERE WILL BE NO ACCESS AT THE WORK SITE AREAS BY TENANTS OR THE PUBLIC DURING CONSTRUCTION UNTIL OTHERWISE ALLOWED BY ENGINEER AND OR BUILDING OWNER.

LOCAL LAW 41:

PRIOR TO PERFORMING ANY WORK ON THE PROJECT ALL WORKERS SHALL HAVE SUCCESSFULLY COMPLETED. WITHIN THE PREVIOUS FIVE CALENDAR YEARS. A THIRTY HOUR COURSE APPROVED BY THE UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION IN CONSTRUCTION INDUSTRY SAFETY AND HEALTH, OR BY THE COMMISSIONER COVERING SUBSTANTIALLY THE SAME MATERIAL SUCCESSFUL COMPLETION OF SUCH TRAINING COURSE SHALL BE EVIDENCED

BY(A) PRESENTATION OF A BONA FIDE COURSE COMPLETION CARD, (B) COPY OF SUCH CARD, (C) A TRAINING ROSTER. ATTENDANCE RECORD OR OTHER VALID PROOF WHICH MAY BE APPROVED BY THE COMMISSIONER.SUCH EVIDENCE SHALL BE READILY AVAILABLE TO THE COMMISSIONER UPON REQUEST.

ALL WORKERS EMPLOYED ON THIS PROJECT WILL RECEIVE A SITE-SPECIFIC SAFETY ORIENTATION PROGRAM SHALL INCLUDE A REVIEW OF ANY HAZARDOUS ACTIVITIES OF THE JOB THAT ARE RELEVANT TO THE TASKS AND ACTIVITIES TO BE PERFORMED.

ALL WORKERS MUST ATTEND SUCH A PROGRAM NO LATER THAN SEVEN DAYS AFTER COMMENCING THEIR EMPLOYMENT.

CRANE PERMIT: TO OBTAIN PERMIT AND SPECIFY PERMIT NUMBER AT PHASE 2 OF SITE SAFETY PLAN

HOIST PERMIT: TO OBTAIN PERMIT AND SPECIFY PERMIT NUMBER AT PHASE 2 OF SITE SAFETY PLAN

MATERIAL HANDLING NOTES:

MATERIAL HANDLING NOTE:

THIS WILL PERTAIN TO ALL RACK AND PINION PERSONNEL/MATERIAL HOIST NOT JUST PERSONNEL HOISTS AND ALL CONSTRUCTION EQUIPMENT.

1. (FOR LUFFING BOOM CRANES) BEFORE A LOADED BOOM IS SWUNG OVER A HOIST, THE HOIST CAGE(S) MUST BE BROUGHT DOWN TO ITS LOWEST LEVEL, AND EVERYONE MUST EXIT THE HOIST.

1A. (FOR HAMMERHEAD CRANES) BEFORE A LOADED HOOK IS SWUNG OVER A HOIST, THE HOIST CAGE(S) MUST BE BROUGHT DOWN TO ITS LOWEST LEVEL, AND EVERYONE MUST EXIT THE HOIST.

1B. IF ANYTHING IS TO OVER THE HOIST OVERHEAD PROTECTION MUST BE IN PLACE ON THE HOIST AND RUNBACK.

2. AT NO TIME CAN ANY CONSTRUCTION EQUIPMENT COME WITHIN TWO FEET (28") OF ANY MOVING PART OF THE HOIST (EXCLUDING HOIST SETUP AND JUMPING OF THE HOIST).

3. AT ANY TIME, IF ANY CONSTRUCTION EQUIPMENT THAT HAS A WORKING RANGE PROJECTING WITHIN FIFTEEN FEET (15' ) OF THE HOIST, A PROTOCOL MUST BE ESTABLISHED. (SEE BELOW) THIS IS A MINIMUM STANDARD, IF ANY EQUIPMENT THAT HAS A WORKING RANGES WITH IN THE FIFTEEN FOOT BUFFER IT MUST BE INCLUDED IN THE PLAN.

4. THE IN-SERVICE AND OUT OF SERVICE DISTANCE OF A CRANE PASSING OVER A HOIST, SHALL BE DETERMINED BY THE LICENSED PROFESSIONAL FOR THE CRANE AND LISTED IN THIS PROTOCOL.

5. ALL CRANE SIGNAL PERSONNEL AND HOIST OPERATOR(S) MUST BE IN RADIO COMMUNICATION WITH EACH OTHER DURING OPERATIONS WITHIN FIFTEEN FEET OF THE HOIST.

6. WHENEVER A PIECE OF EQUIPMENT COMES WITHIN FIFTEEN FEET OF THE HOIST ATLEAST ONE SIGNAL PERSON MUST BE ASSIGNED TO THAT OPERATION.

6. IF THE LOADED BOOM IS SWUNG OVER A HOIST, SEE OPTION ONE, AND WHEN THE LOAD IS OFF THE BOOM, THE SIGNAL PERSON LETS THE HOIST OPERATOR KNOW THAT THEY CAN PROCEED AS NORMAL.

7. IF ANY CONSTRUCTION EQUIPMENT IS TO BE PERMANENTLY LOCATED WITHIN 15' FEET OF THE HOIST IT MUST BE LISTED IN THIS PROTOCOL. (STATE WHETHER OR NOT THIS IS THE CASE)

MATERIAL STORAGE NOTES:

3306.9.11 STORAGE OF MATERIAL. MATERIAL SHALL NOT BE STORED ON CATCH PLATFORMS, WORKING PLATFORMS, FLOORS, OR STAIRWAYS OF ANY STRUCTURE, EXCEPT THAT ANY ONE FLOOR OF A BUILDING TO BE DEMOLISHED MAY BE USED FOR THE TEMPORARY STORAGE OF MATERIAL WHEN SUCH FLOOR CAN BE EVALUATED BY A REGISTERED DESIGN PROFESSIONAL AND PROVEN TO BE OF ADEQUATE STRENGTH TO SUPPORT ONE AND ONEHALF TIMES THE LOAD TO BE SUPERIMPOSED. SUCH EVALUATION BY THE REGISTERED DESIGN PROFESSIONAL SHALL BE MAINTAINED BY THE PERMIT HOLDER AND MADE AVAILABLE TO THE DEPARTMENT UPON REQUEST.

STORAGE SPACES SHALL NOT INTERFERE WITH ACCESS TO ANY STAIRWAY OR PASSAGEWAY, AND SUITABLE BARRICADES SHALL BE PROVIDED SO AS TO PREVENT MATERIAL FROM SLIDING OR REBOUNDING INTO ANY SPACE ACCESSIBLE TO THE PUBLIC. ALL MATERIAL SHALL BE SAFELY STORED OR PILED IN SUCH STORAGE LOCATIONS IN A MANNER THAT WILL NOT OVERLOAD ANY PART OF THE STRUCTURE OR CREATE ANY HAZARD.

**BC3301.1**  
THIS WORK WILL COMPLY WITH ALL APPLICABLE SECTION OF CHAPTER 33 OF THE NYC BUILDING CODE AND ALL OSHA 1926 STANDARDS OF CONSTRUCTION(3301.9.2) THIS PLAN IS INTENDED TO BE USED AS GUIDANCE IN THE PROTECTION OF THE PUBLIC AND ADJOINING PROPERTY. FOR ITEMS RELATED TO WORKER SAFETY THE NYS INDUSTRIAL CODE RULE 23 AND THE CODE OF FEDERAL REGULATIPNS 1926 SHOULD BE SHOULD BE REFERRED TO

**BC3301.1**  
THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL PERSONS AFFECTED BY CONSTRUCTION OPERATIONS

**BC3303.08**  
SIAMESE HOSE CONNECTION SHALL BE KEPT FREE FROM OBSTRUCTION AND SHALL BE MARKED BY A SIGN READING STANDPIPE SIAMESE CONNECTION AND A RED LIGHT

CONSTRUCTION SHEDS LOCATED WITHIN 30 FEET OF THE BUILDING SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.

**Bc 3303.1.1**  
GUARDS, SHIELDS OR BARRICADES SHALL SURROUND ALL EXPOSED, ELECTRICALLY MOVING OR OTHERWISE DANGEROUSPARTS OF MACHINES AND CONSTRUCTION EQUIPMENT SO AS TO PREVENT CONTACT WITH THE

**BC3303.4.1**  
THERE SHALL BE NO EXPOSED HOSE LINES, WIRES ROPES, ETC ... , THAT MAY CONSTITUTE A TRIPPING HAZARD TO THE PUBLIC.

**BC3303.4.1**  
ALL AREAS USED BY THE PUBLIC SHALL BE MAINTAINED FREE FROM EQUIPMENT, MATERIALS,PROJECTIONS,TOOLS OR OTHER ITEMS, SUBSTANCE OR CONDITIONS THAT MAY CONSTITUTE A SLIPPING, TRIPPING OR OTHER HAZARD,

**BC3303.4.4**  
SUFFICIENT CONTAINERS FOR THE STORAGE OF DEBRIS SHALL BE PROVIDED.

**BC3307.7**  
ALL OPENINGS IN THE FENCES AND RAILINGS SHALL BE KEPT CLOSED, BARRICADED OR GUARDED AT ALL TIMES.

**BC3307.4**  
ALL DANGEROUS AND HAZARDOUS AREAS TO THE PUBLIC OR AREAS WHERE WORK IS PERFORMED NEAR VEHICULAR TRAFFIC SHALL BE MARKED APPROPRIATELY WITH WARNING SIGNS AND LIGHTS

**BC3303.1.2**  
ALL MATERIAL HANDLING AND HOISTING EQUIPMENT SPECIFICALLY EXEMPT FROM THE REQUIREMENTS ESTABLISHED IN BC3303.12 MUST BE APPROVED TO OPERATE IN THE CITY OF NEW YORK AND MUST BE INSTALLED, MAINTAINED AND OPERATED WITHIN THE LIMITS ESTABLISHED AND PUBLISHED BY THE MANUFACTURERS SPECIFICATIONS.

**BC3303.3**  
A PROGRAM SHALL BE ESTABLISHED AND OPERATIONAL FOR THE CONTROL OF PEDESTRIAN AND I OR VEHICULAR TRAFFIC DURING ALL LIFTING ACTIONS

**BC3301.9.5**  
REGARDLESS OF WHAT HEIGHT THE BUILDING IS OR WHAT THE DISTANCE FROM THE BUILDING TO THE SIDEWALK OR TALKWAYS ARE, A SIDEWALK SHED MUST BE IN PLACE ANY TIME MATERIAL IS BEING LIFTED OVER THE SIDEWALK OR TEMPORARY WALKWAYS BY A CRANE, DERRICK, OR CHUTE.

**BC3307.5.2**  
FLAG MEN SHALL BE PROVIDED TO STOP PEDESTRIAN AND /OR VEHICULAR TRAFFIC DURING ALL LIFTING AND HOISTING OPERATIONS. TRUCKS ENTERING AND EXITING THE SITE AND WHEN MATERIALS ARE BEING LIFTED OVER THE SIDEWALK.

**BC3319**  
CERTIFICATES OF APPROVAL OPERATION AND ONSITE INSPECTION FOR ALL CRANE SHALL BE OBTAINED AND AVAILABLE FOR INSPECTION IF REQUIRED .

**BC3319**  
COMPLIANCE WITH THIS SAFETY PLAN AND ANY OTHER REQUIRED SAFETY PLAN PROVISIONS AND ANY ACTIONS NECESSARY TO MAINTAIN COMPLIANCE SHALL BE THE SOLE OBLIGATION OF THE CONTRACTOR .

**BC3301.1**  
THIS PLAN IS BE USED FOR SAFETY LOGISTICS ONLY. AND HAS BEEN PREPARED IN ACCORDANCE WITH CHAPTER 33 OF THE NEW YORK CITY BUILDING CODE AND THE MANUAL FOR SITE SAFETY PROGRAMS AS THEY APPLY TO SITE SAFETY PLAN

**BC3301.1**  
BE THE SOLE OBLIGATION OF THE CONTRACTOR. THIS PLAN IS BE USED FOR SAFETY LOGISTICS ONLY. AND HAS BEEN PREPARED IN ACCORDANCE WITH CHAPTER 33 OF THE NEW YORK CITY BUILDING CODE AND THE MANUAL FOR SITE SAFETY PROGRAMS AS

**BC3301.1**  
ALL MATERIAL HOLDING AND HOISTING EQUIPMENT SHALL COMPLY WITH THE REGULATIONS ESTABLISHED IN BC3303.12 OF THE NEW YORK CITY BUILDING CODE AND ANY OTHER APPLICABLE FEDERAL STATE AND LOCAL STATUTES. ALL MATERIAL HANDLING AND HOISTING EQUIPMENT SPECIFICALLY EXEMPT FROM THE REQUIREMENTS ESTABLISHED IN BC3303.12 MUST BE APPROVED TO OPERATE IN THE CITY OF NEW YORK AND MUST BE INSTALLED MAINTAINED AND OPERATED WITHIN THE LIMITS ESTABLISHED AND PUBLISHED BY THE MANUFACTURERS SPECIFICATIONS.

NYC BC 3303.9  
REQUIRED MEANS OF EGRESS, EXISTING STRUCTURAL ELEMENTS, FIRE PROTECTION DEVICES, AND SANITARY SAFEGUARDS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION OR DEMOLITION OPERATIONS IN EXISTING BUILDINGS. REQUIRED MEANS OF EGRESS SHALL NOT BE OBSTRUCTED IN ANY MANNER THAT WOULD DESTROY THE FULL EFFECTIVENESS OF SUCH MEANS OF EGRESS.

NYC BC 3303.7

FIRE EXTINGUISHERS SHALL BE PROVIDED ACCORDANCE WITH THE NEW YORK CITY FIRE CODE.

EXISTING SPRINKLER SYSTEMS IN BUILDINGS UNDERGOING AN ALTERATION OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 3303.7.4.1 THROUGH 3303.7.4.3.

STANDPIPE SYSTEM MEETING REQUIREMENTS OF CHAPTER 33 TO BE PROVIDED WHEN WORK REACHES A HEIGHT OF A HEIGHT OF 75 FEET OR GREATER.

1) THE WORK WILL COMPLY WILL ALL APPLICABLE SECTION OF CHAPTER 33 OF THE NYC BUILDING CODE AND ALL OSHA 1926 STANDARDS FOR CONSTRUCTION.

2) A STATEMENT THAT ALL WORKERS EMPLOYED ON THE SITE WILL SATISFY SITE SAFETY TRAINING REQUIREMENTS IN ACCORDANCE WITH LOCAL LAW 196 OF 2017. SUCH EVIDENCE SHALL BE READILY AVAILABLE TO THE COMMISSIONER UPON REQUEST.

3) A STATEMENT THAT ALL WORKERS EMPLOYED ON THE SITE WILL RECEIVE A SITE-SPECIFIC SAFETY ORIENTATION PROGRAM. THIS PROGRAM SHALL INCLUDE A REVIEW OF ANY HAZARDOUS ACTIVITIES OF THE JOB THAT ARE RELEVANT TO THE TASKS AND ACTIVITIES TO BE PERFORMED. ALL WORKERS MUST ATTEND SUCH A PROGRAM NO LATER THAN SEVEN DAYS AFTER COMMENCING THEIR EMPLOYMENT.

4) ALL BARRIERS LOCATED IN THE STREET MUST BE INSTALLED AS PER DOT REGULATIONS AND MANUFACTURES SPECIFICATIONS.

5) NO CRANE MAY OPERATE UNTIL THE SITE SAFETY PLAN MATCHES THE APPROVED CN, OW "LIMITED USE" OR MASTER RIGGERS OPERATIONS.

6)PRIOR TO PERFORMING ANY WORK ON THE PROJECT ALL WORKERS MUST SUCCESSFULLY COMPLETE THE TRAINING REQUIRED BY SECTION 3321 OF THE NEW YORK CITY BUILDING CODE.

SITE SAFETY PLAN

ALIGN DRAFTING  
718-809-4235  
917-531-0903  
ARON@ALIGNDRAFTING.COM

PROJECT NAME:

622 11TH AVENUE  
MANHATTAN NY 10036

BLOCK	1074
LOT	63
ZONING	R8/R8A/CL/C2-5
BIN	1026951

OWNER:

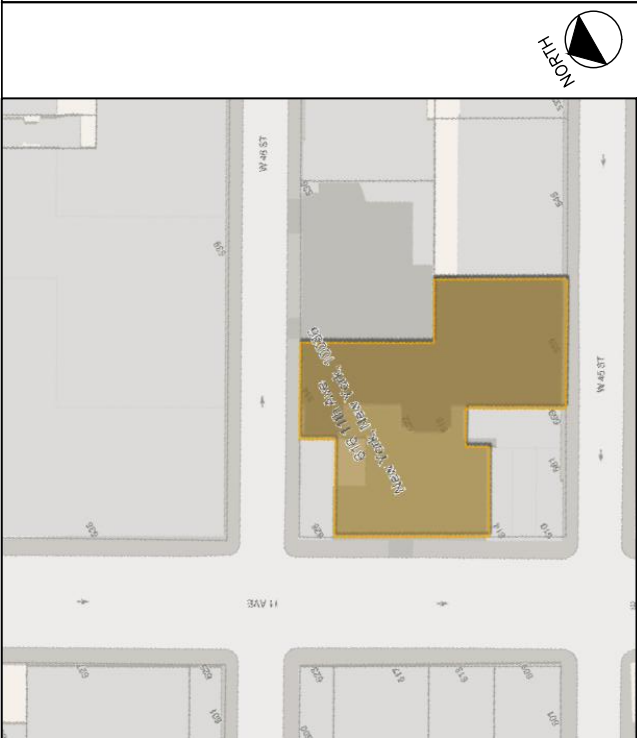
CHESKEL SCHWIMMER  
CHESS BUILDERS LLC

CONTRACTOR:

B CONTRACTORS GROUP  
185 MARCY AVE  
BROOKLYN NY 11211  
LICENSE# GC-#618377

DOB APPROVAL:

LOCATION MAP:



REVISIONS:

NO.	DATE	DESCRIPTION OF REVISION
1	5/15/24	ISSUE OF REVISION
2		
3		
4		
5		
6		
7		
8		
9		
10		

DRAWING TITLE:

GENERAL INFORMATION & NOTES

DRAWING BY:	CHECKED BY :
NAME: AL	JB
DATE: 5/15/24	
SIGNATURE OF REPAIRER:	SCALE: AS SHOWN
	PAGE SIZE: 24 / 36
	SHEET NO.: 02 OF 12

SSP-020.01



SITE SAFETY  
PLAN

ALIGN DRAFTING  
718-809-4235  
917-531-0903  
ARON@ALIGNDRAFTING.COM

PROJECT NAME:

622 11TH AVENUE  
MANHATTAN NY 10036

BLOCK	1074
LOT	63
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185 MARCY AVE  
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LICENSE# GC-#618377

DOB APPROVAL:

LOCATION MAP:



REVISIONS:

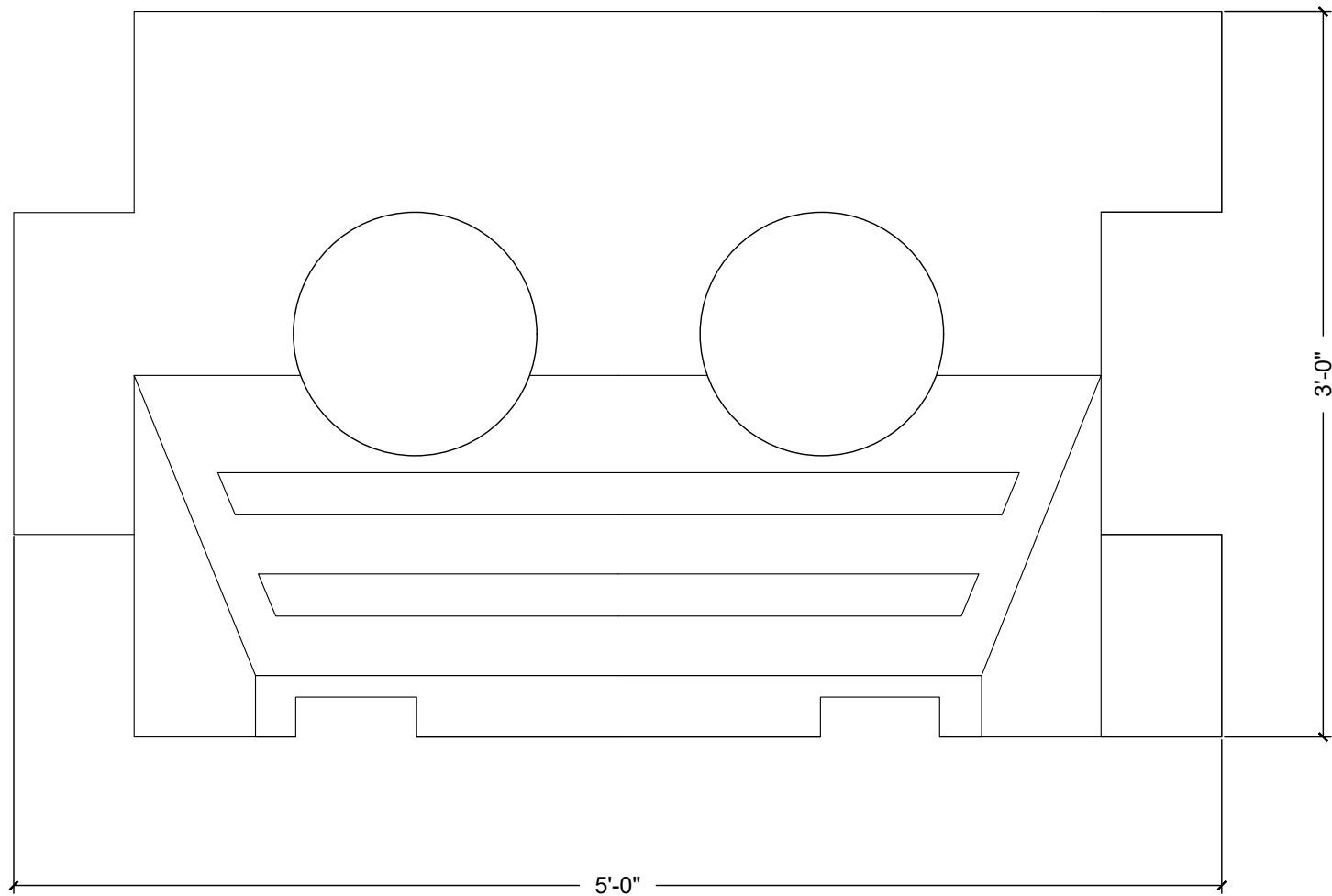
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1	5/15/24	ISSUE FOR REVIEW
2	5/15/24	APPROVED
3	5/15/24	AMENDED

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TYPICAL SITE  
SAFETY DETAILS

DRAWING BY:	CHECKED BY:
NAME: AL	JB
DATE: 5/15/24	
SIGNATURE OF REPAIRER:	SCALE: AS SHOWN
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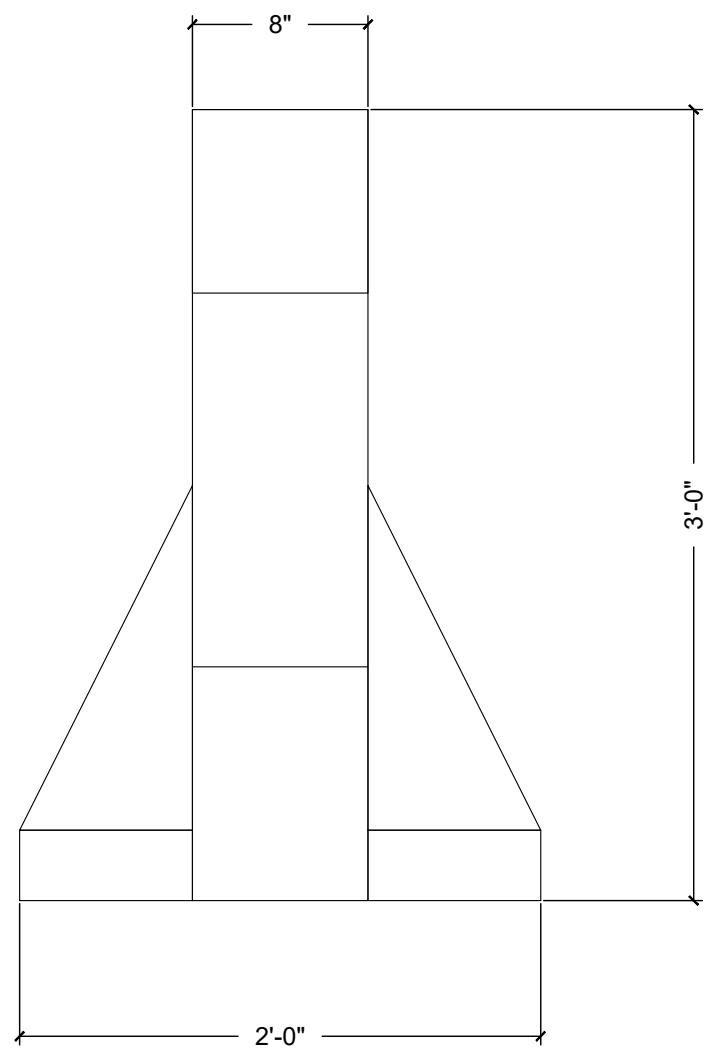
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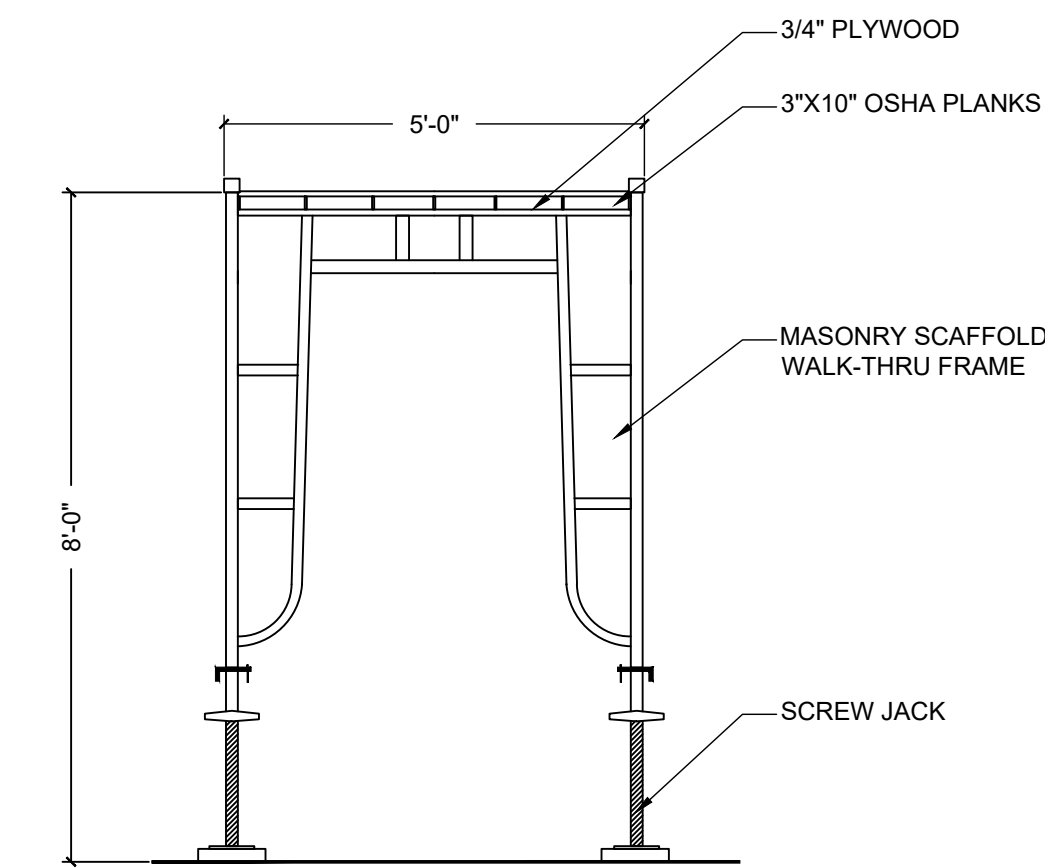
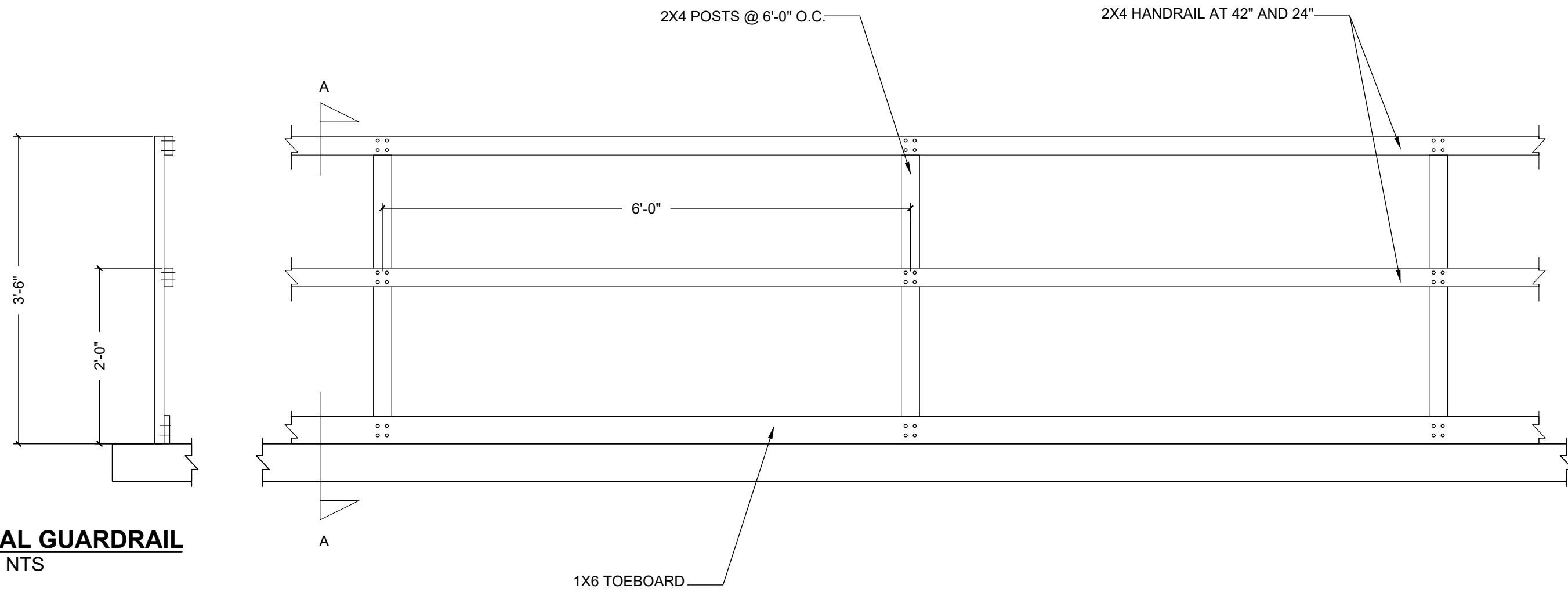
NOTES:

1. BARRIERS TO BE WEIGHTED WITH SAND AND/OR WATER AS REQUIRED

① TYPICAL WATER FILLED BARRIER  
SCALE: NTS

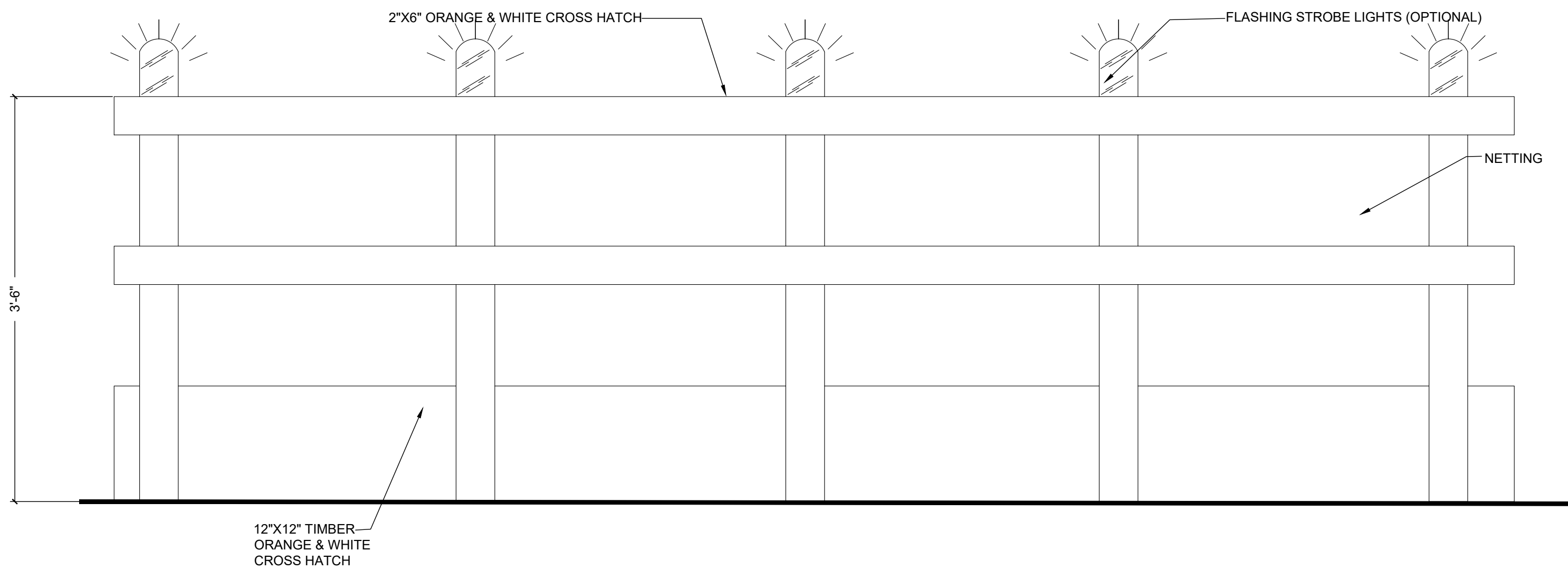
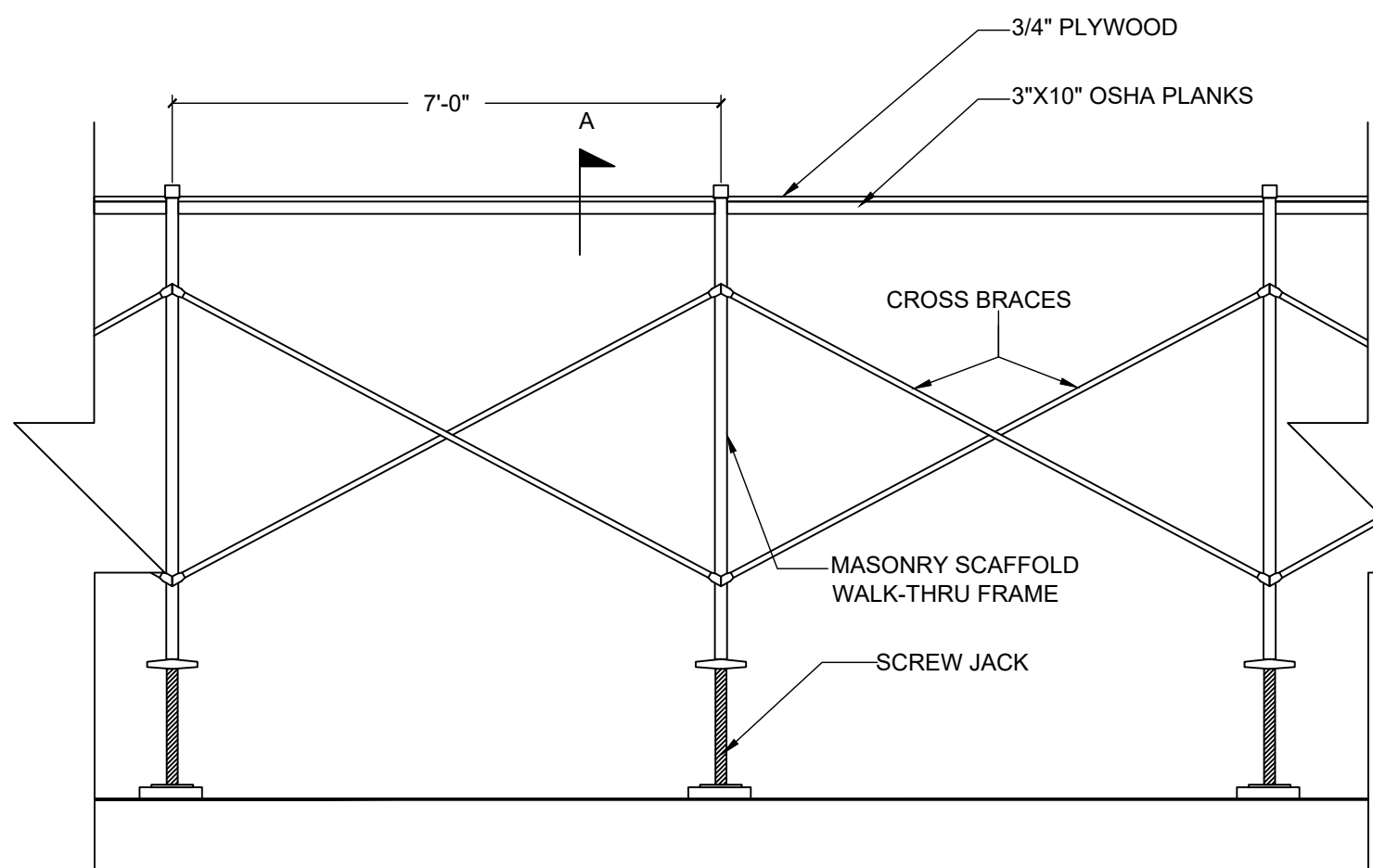


② TYPICAL GUARDRAIL  
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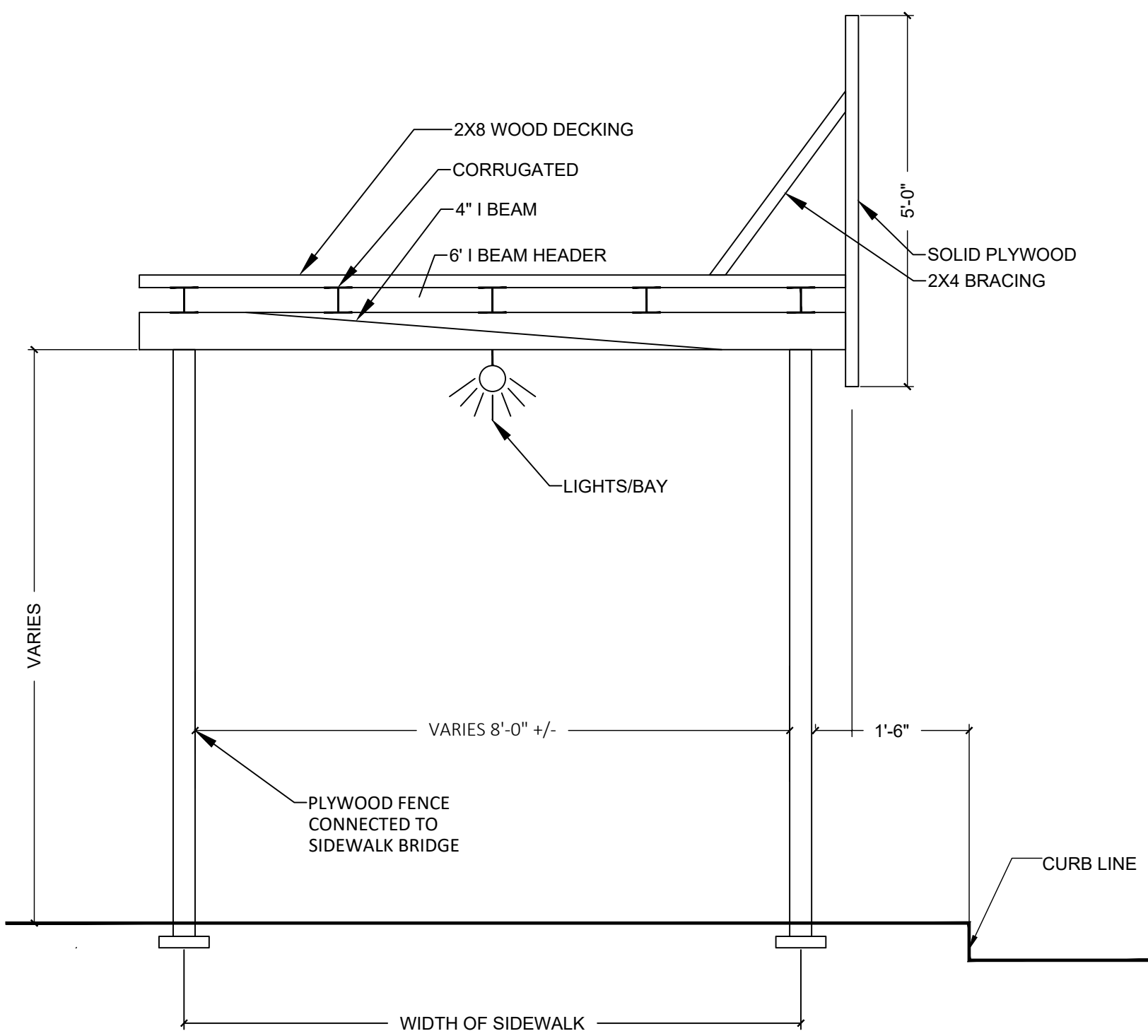


SECTION A-A

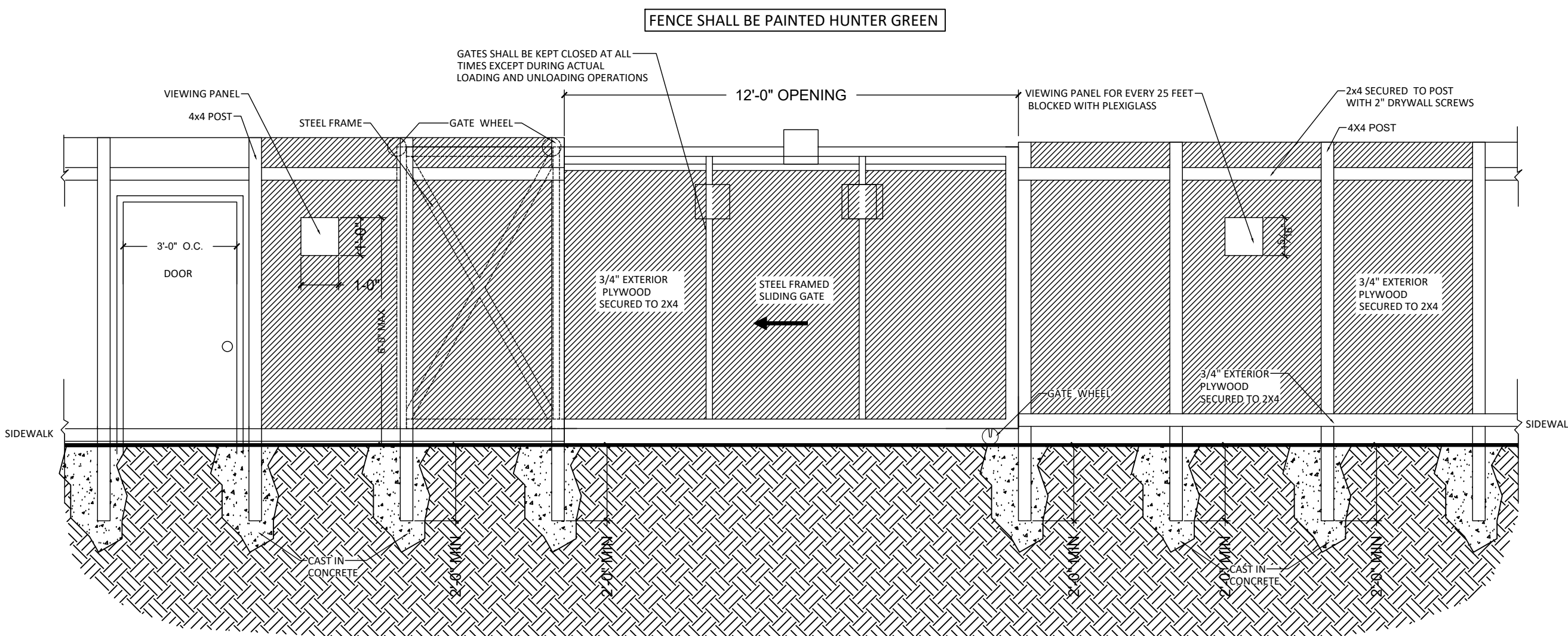
④ TYPICAL OVERHEAD PROTECTION  
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③ TYPICAL BARRICADE  
SCALE: NTS



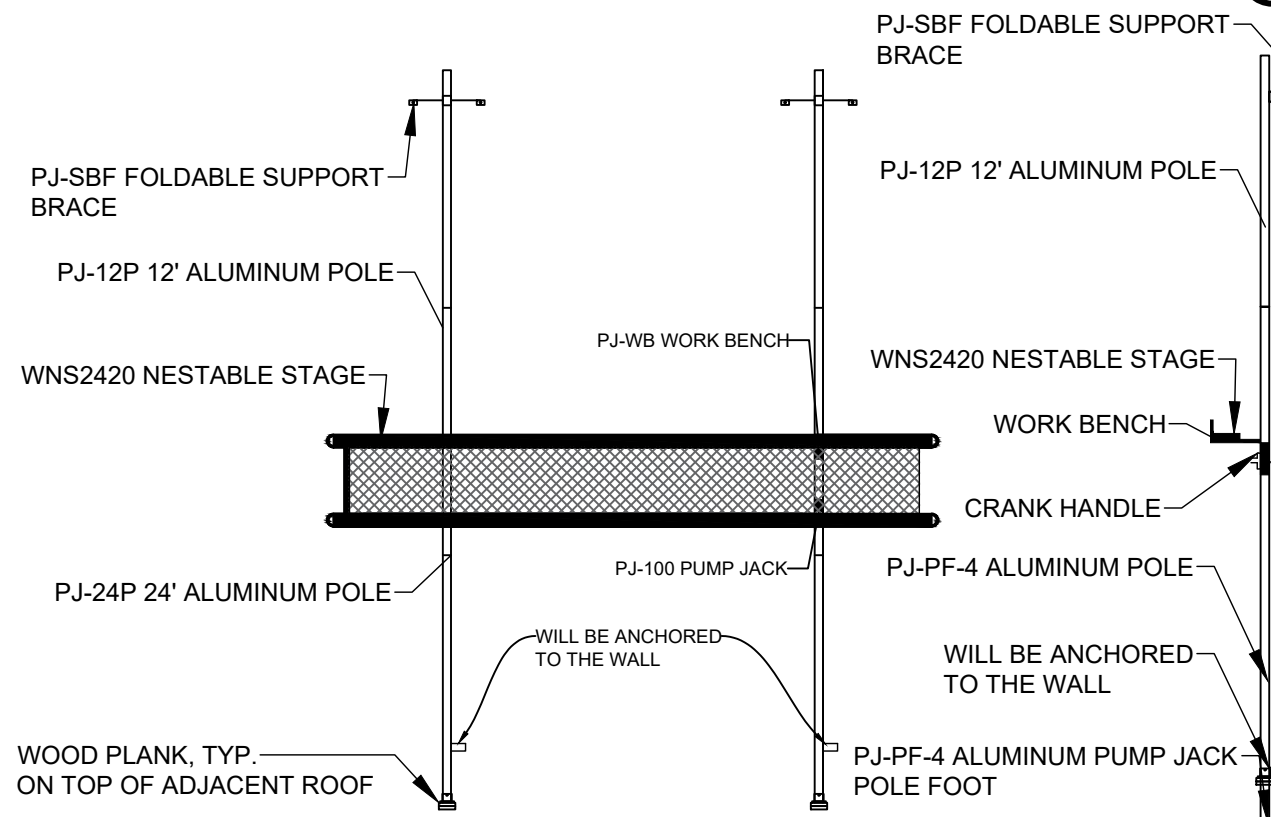
⑤ TYPICAL SIDEWALK SHED  
SCALE: NTS



⑥ TYPICAL FENCE DETAIL  
SCALE: NTS

NOTE:

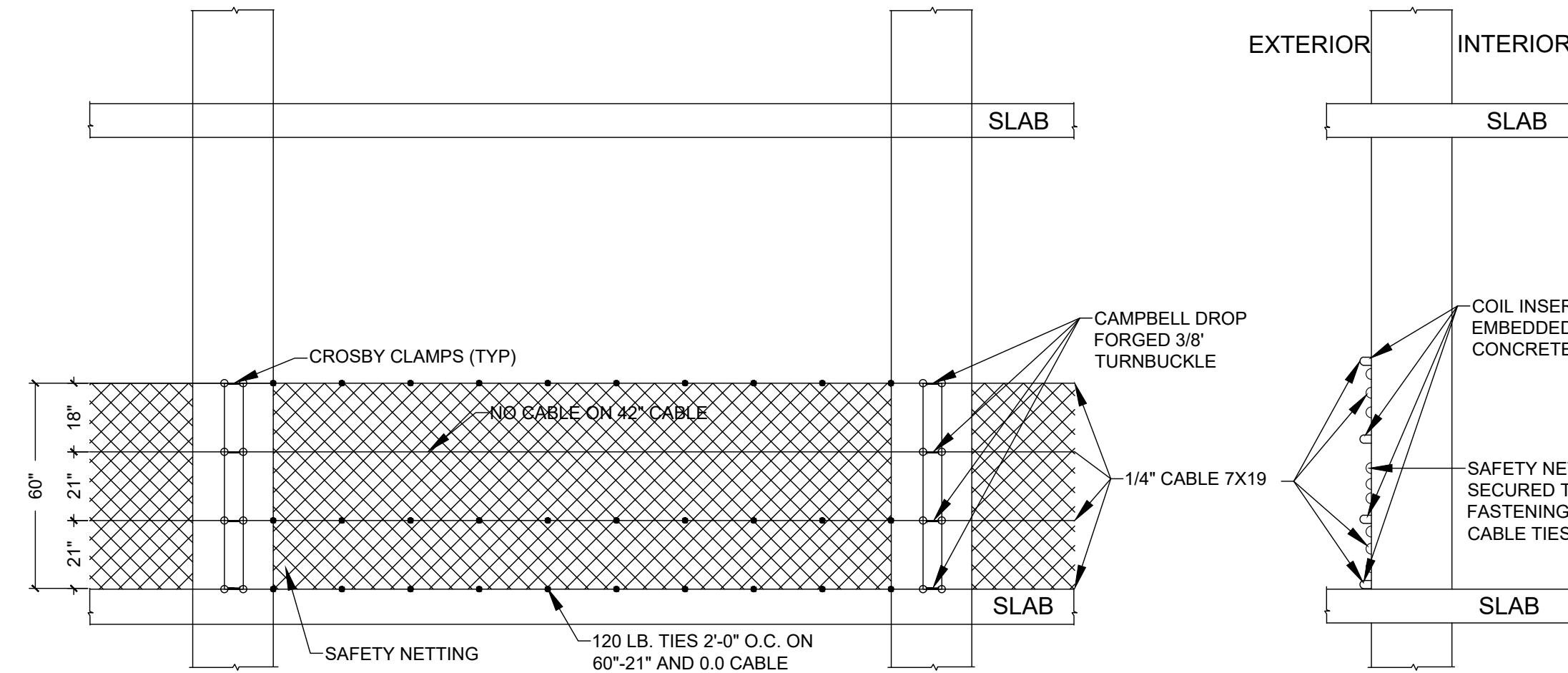
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FOR REFERENCE ONLY.SEE SEPARATE  
APPLICATIONS FOR EXACT DETAILS  
AND SCOPE OF WORK AS REQUIRED.



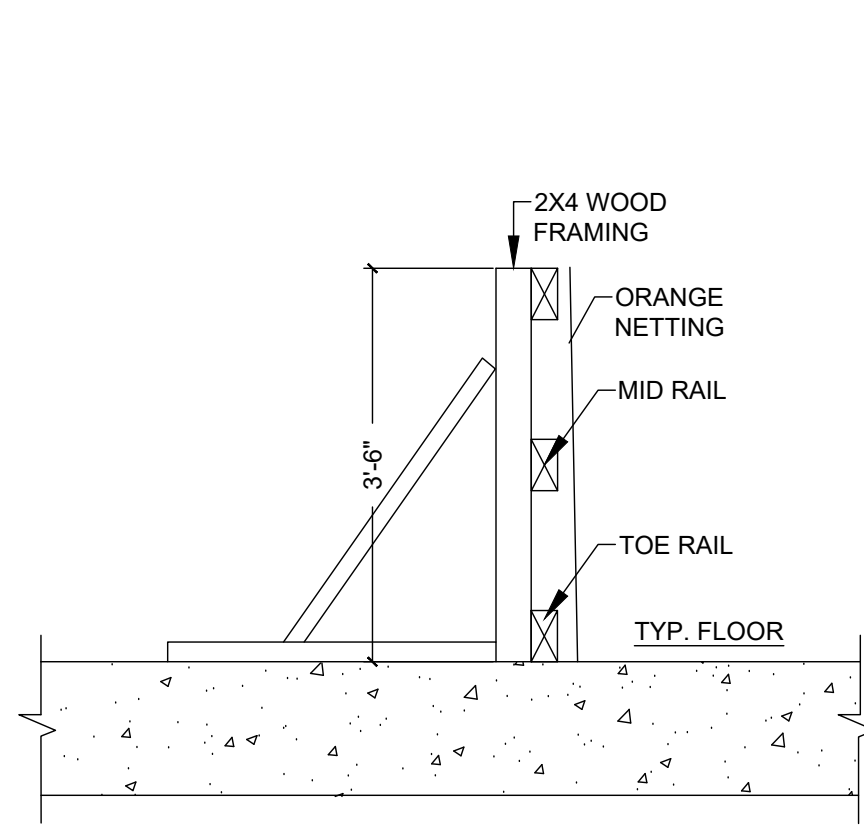
⑦ PUMP JACK DETAIL  
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SECTION A-A  
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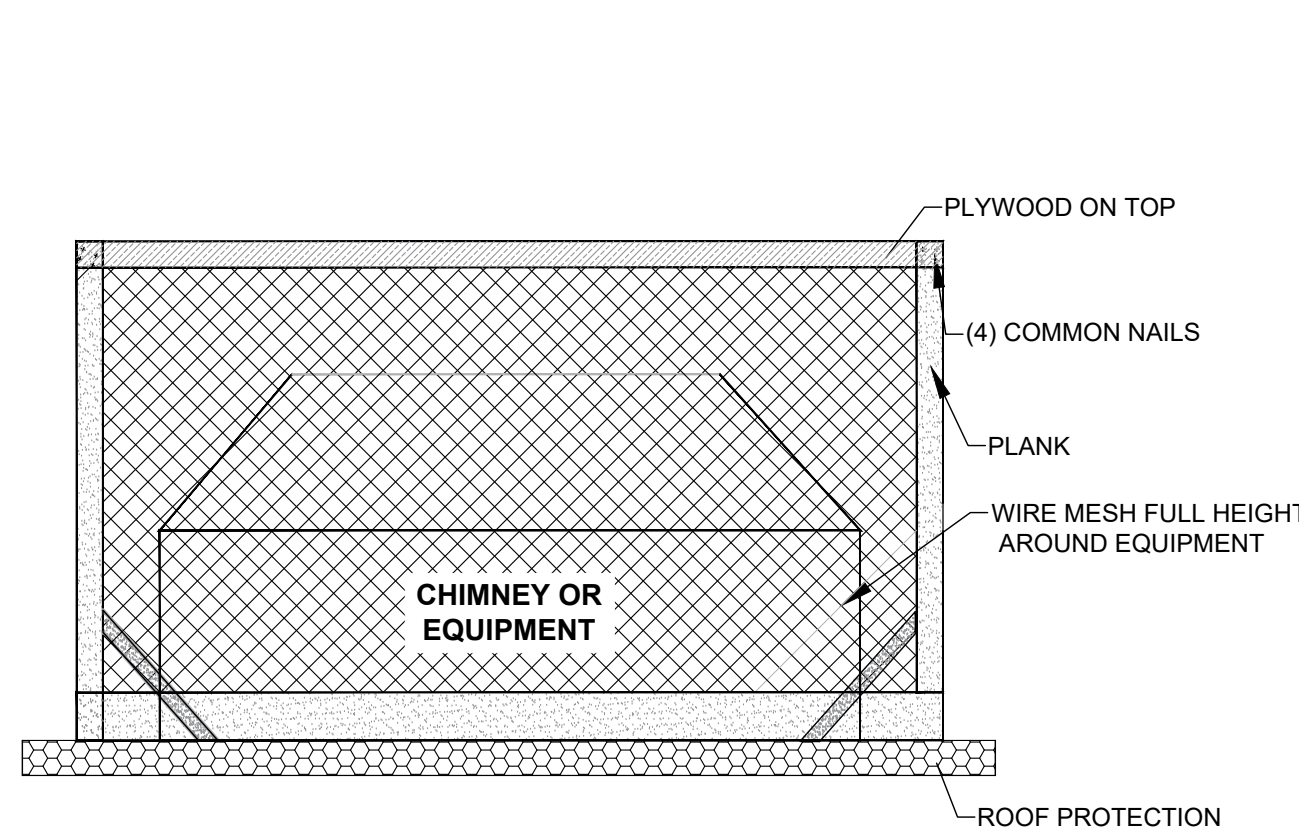




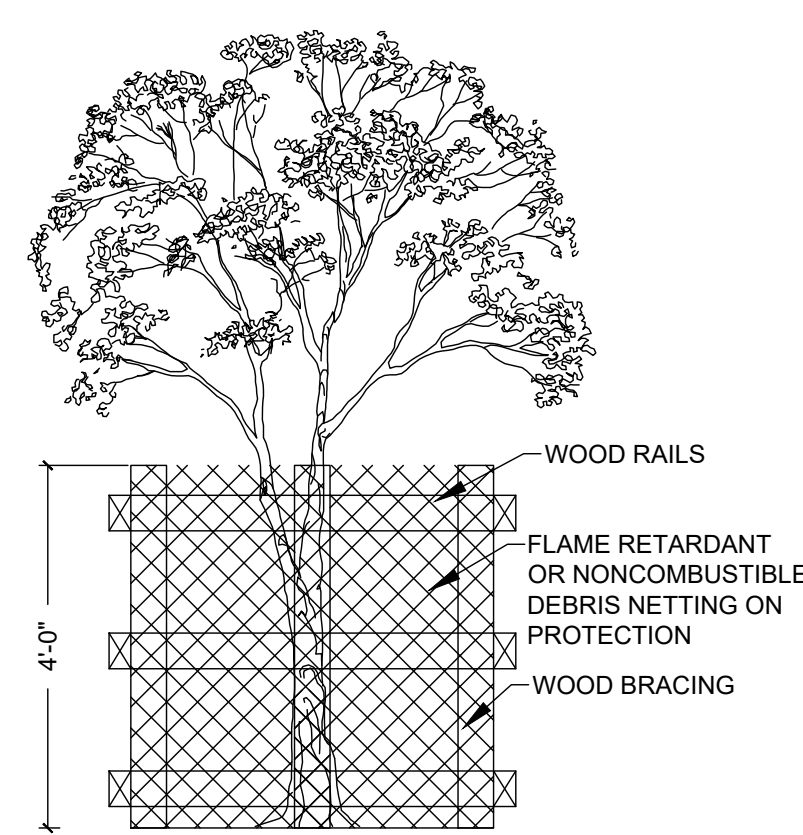
7 **TYPICAL VERTICAL NETTING**  
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8 **TYPICAL FALL PROTECTION DETAIL**  
SCALE: NTS

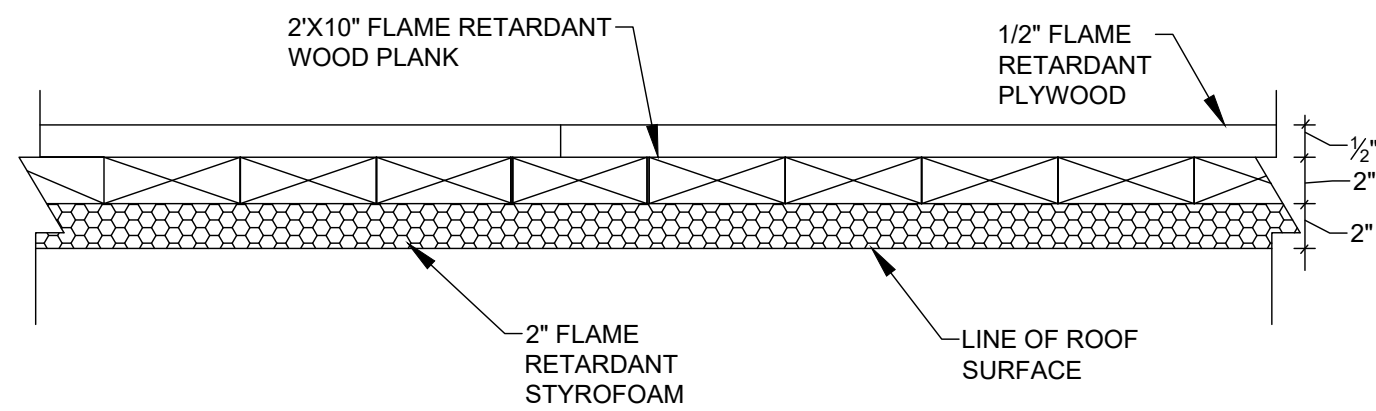


9 **CHIMNEY PROTECTION DETAIL**  
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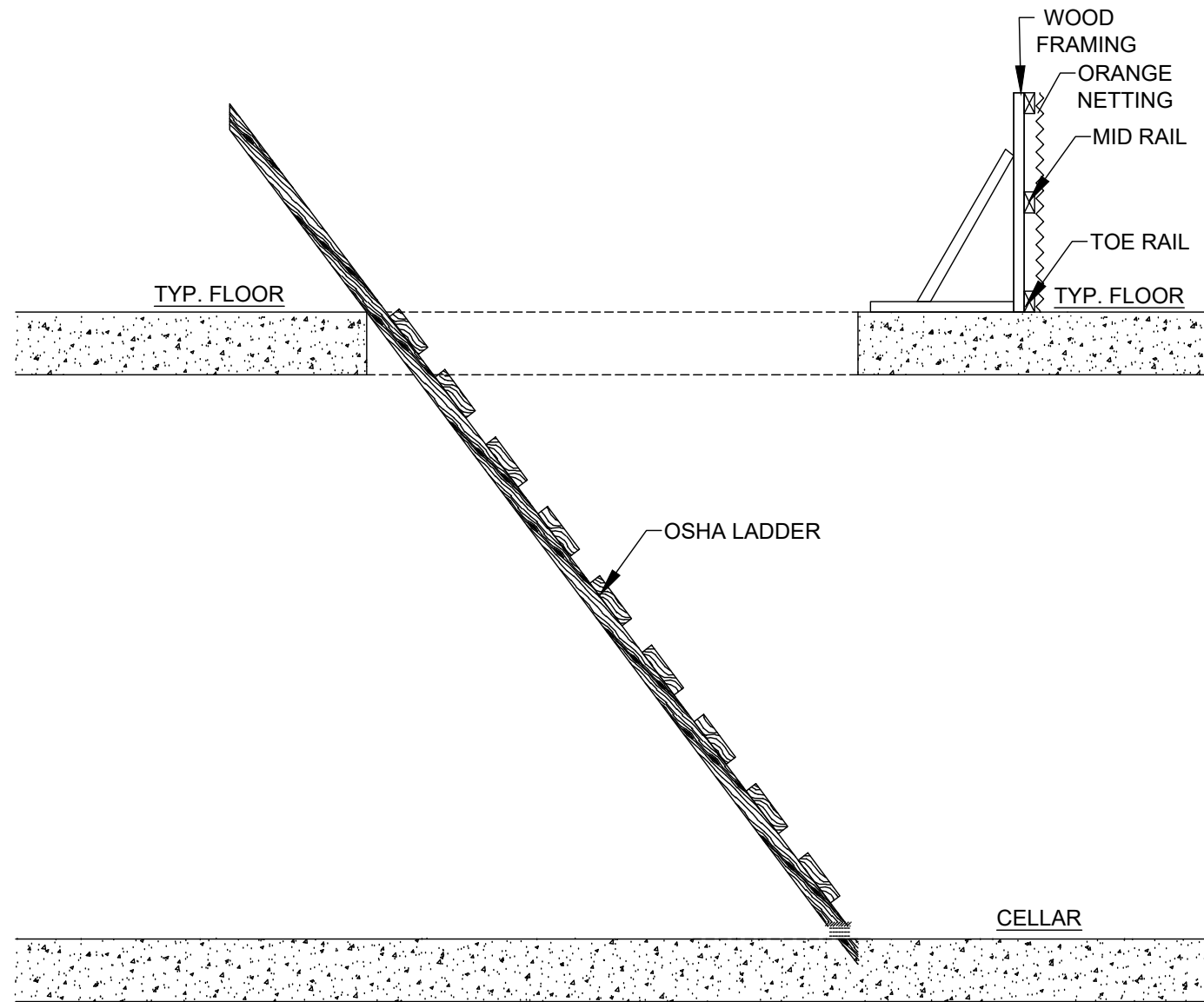
10 **TYPICAL TREE PROTECTION**  
SCALE: NTS

**NOTE:**  
THESE DETAILS ARE SCHEMATIC.  
FOR REFERENCE ONLY. SEE SEPARATE  
APPLICATIONS FOR EXACT DETAILS  
AND SCOPE OF WORK AS REQUIRED.

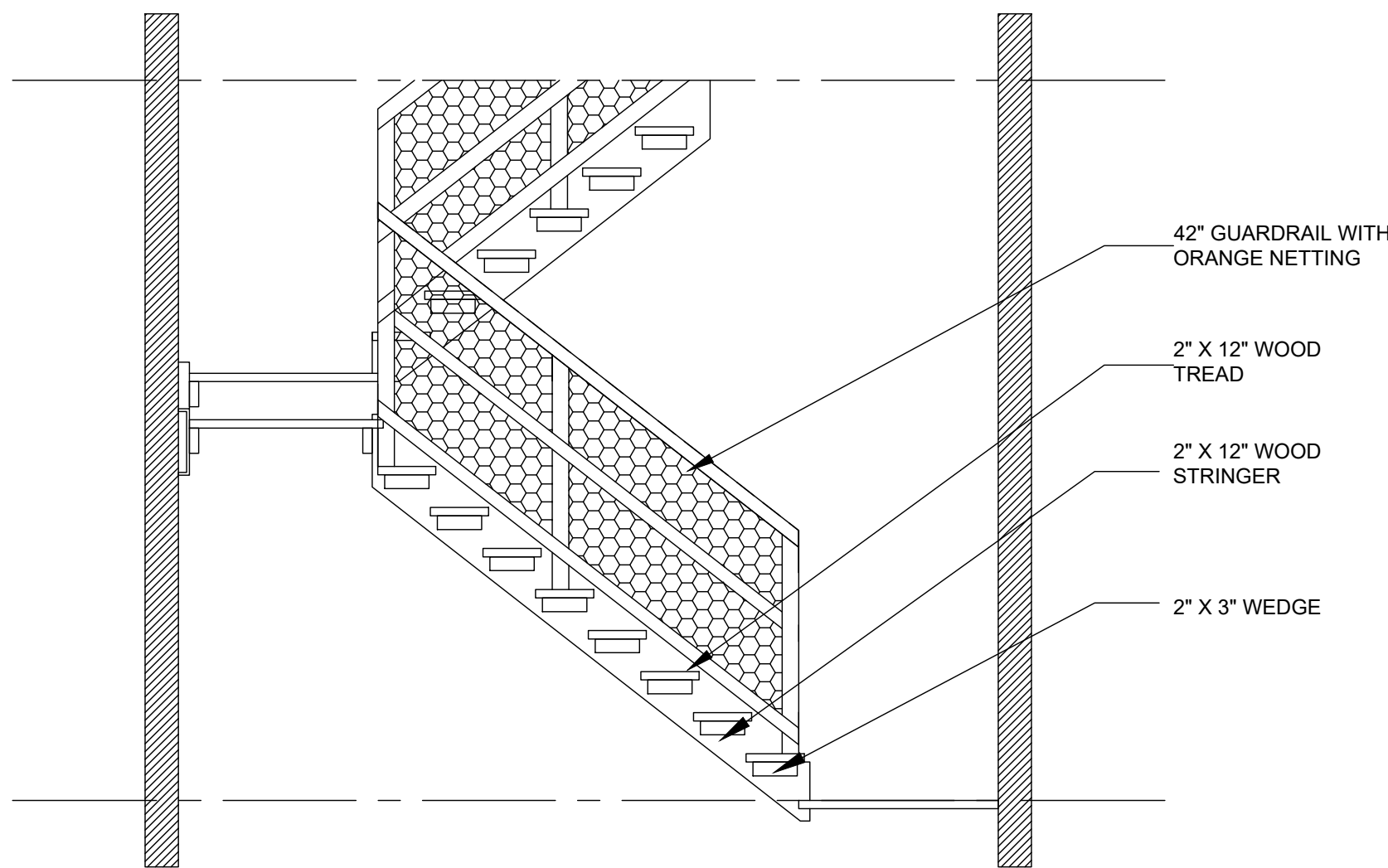


NOTE:  
ROOF DRAINS WILL  
NOT BE BLOCKED

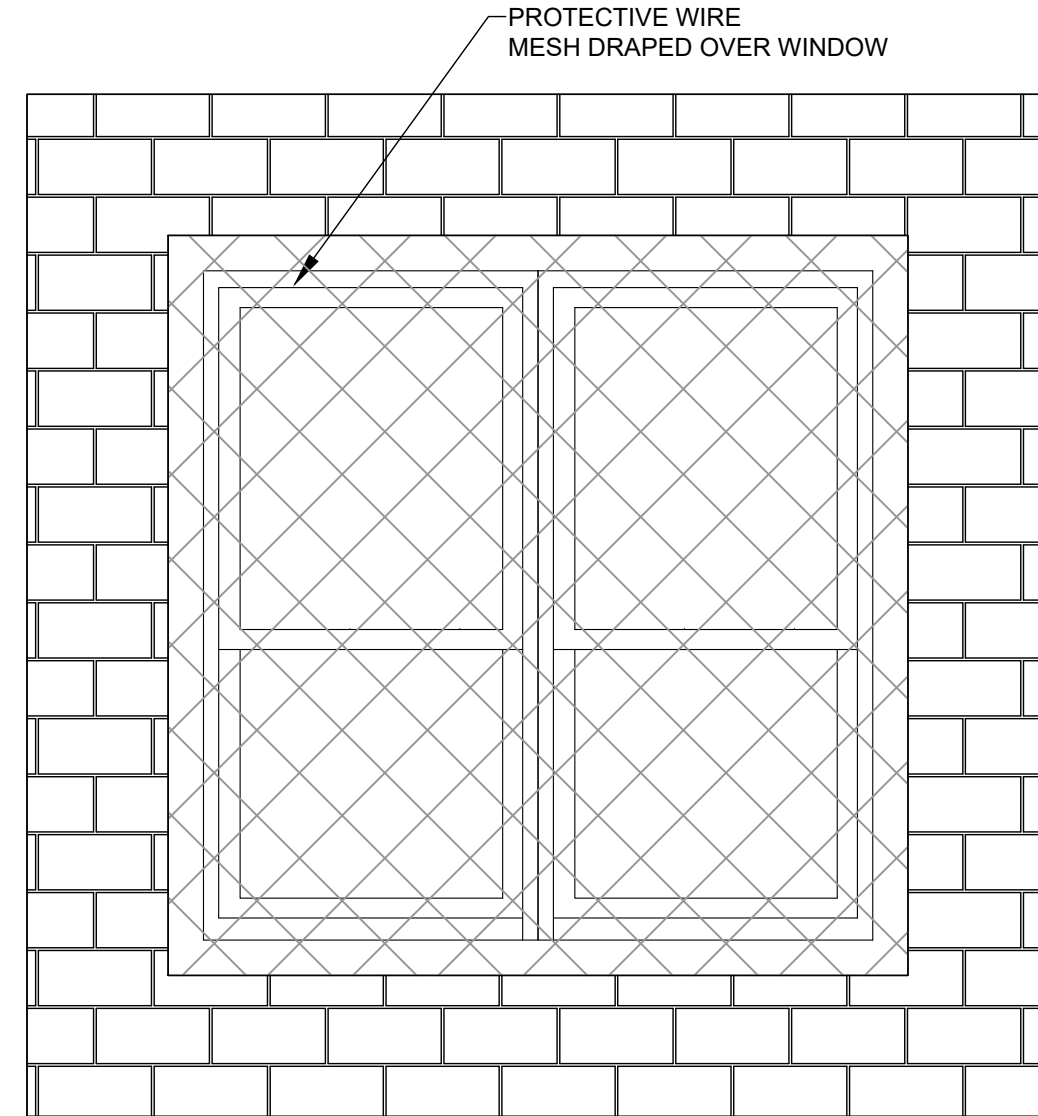
11 **TYPICAL ROOF PROTECTION**  
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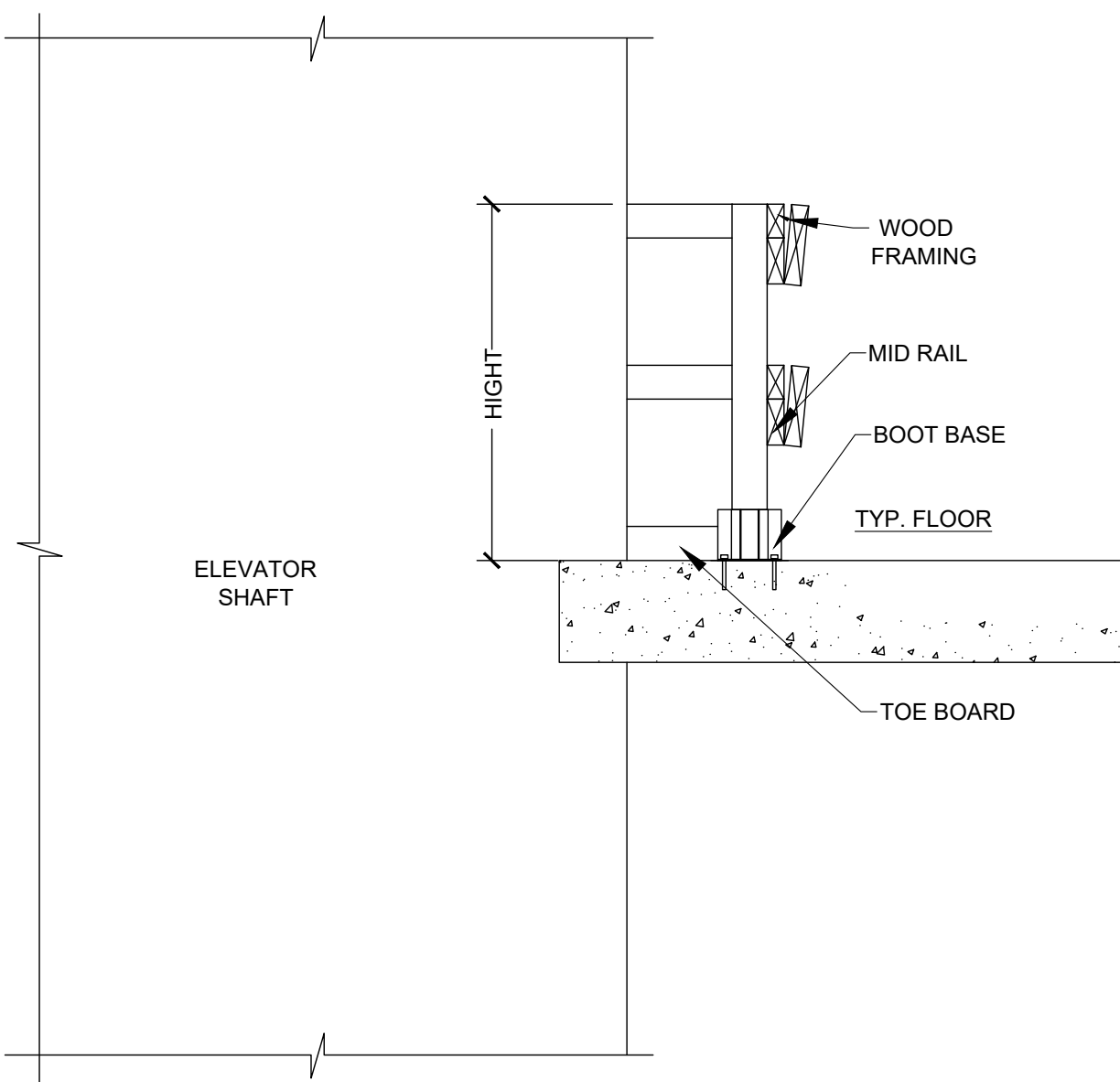
12 **TYPICAL OSHA LADDER**  
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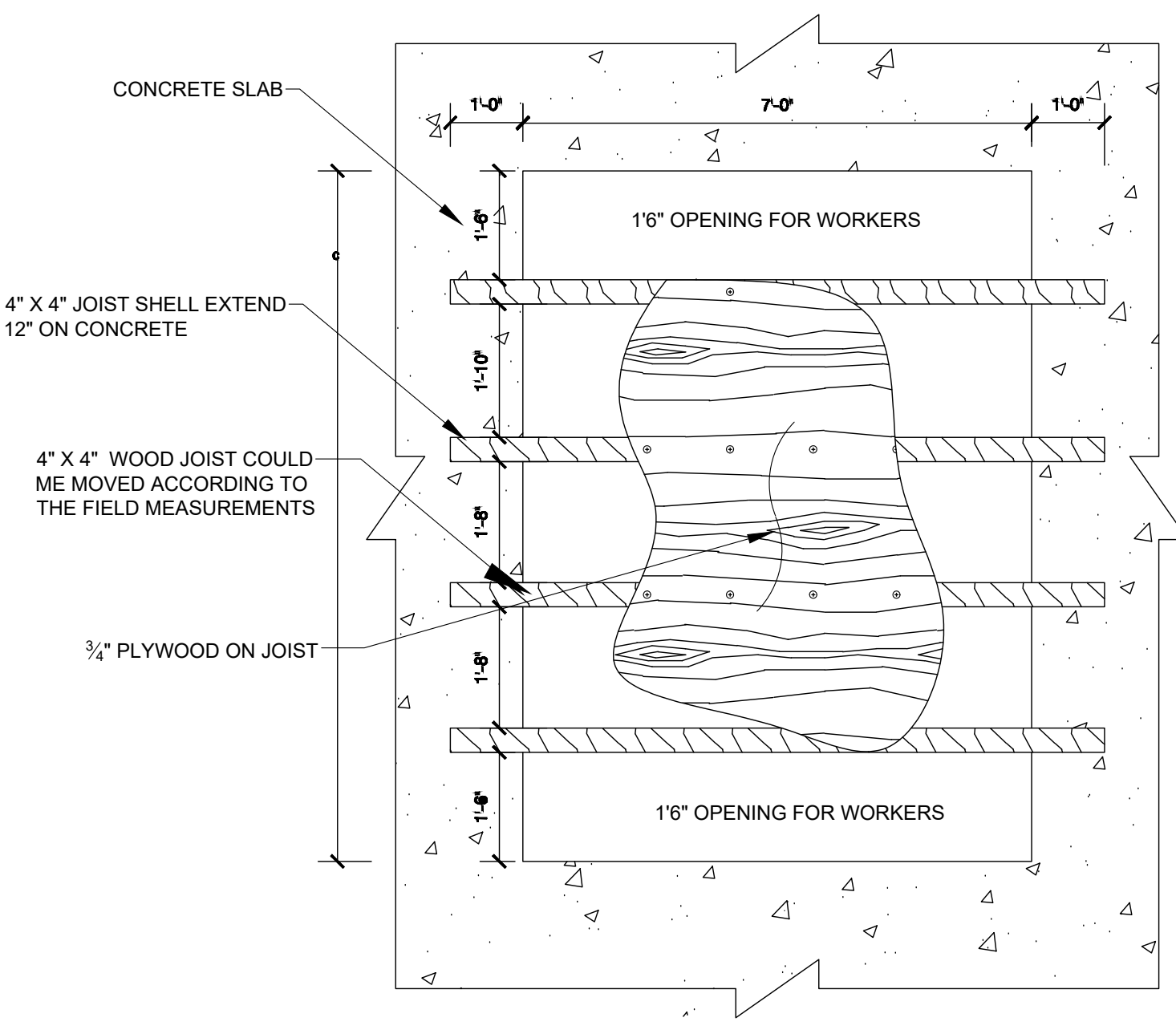
13 **TYPICAL TEMPORARY STAIRS**  
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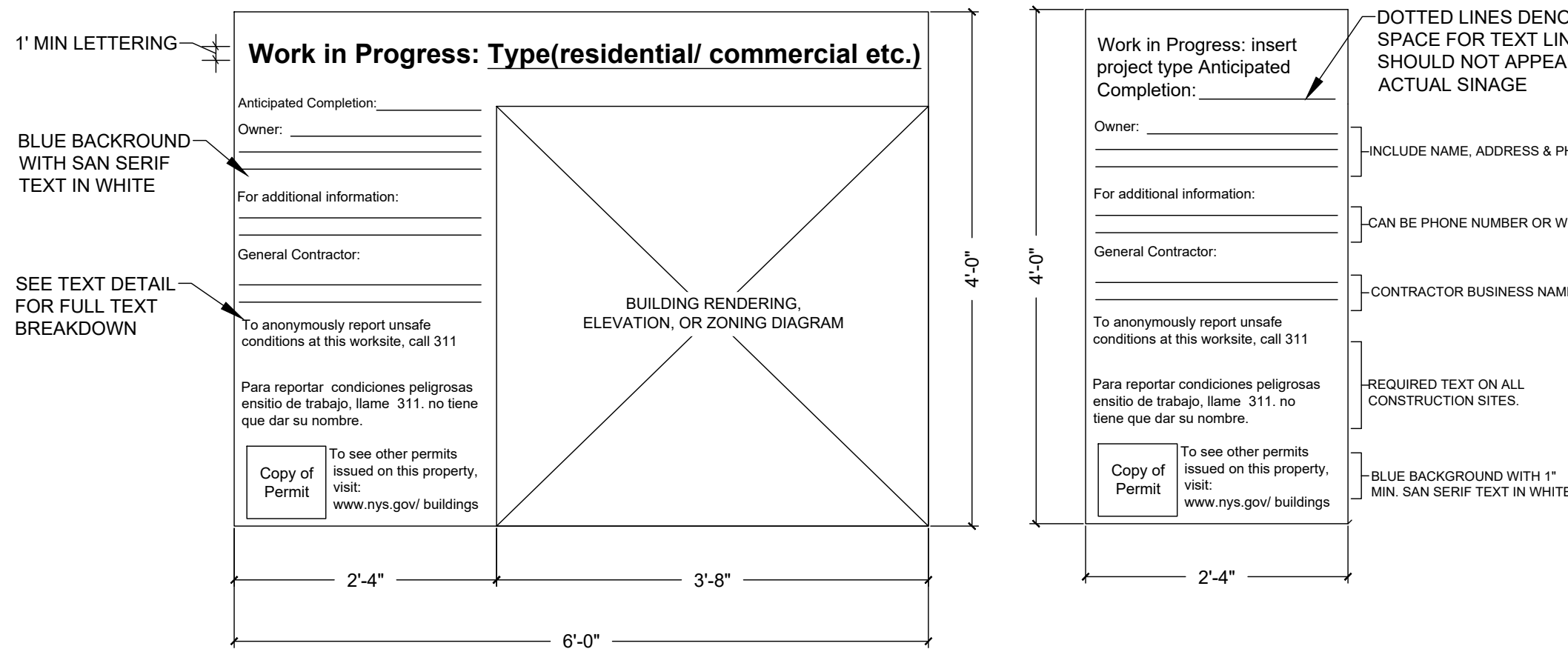
14 **TYPICAL WINDOW PROTECTION**  
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15 **TYPICAL FALL PROTECTION FOR ELEVATOR**  
SCALE: NTS



16 **TYPICAL ELEVATOR PROTECTION**  
SCALE: NTS

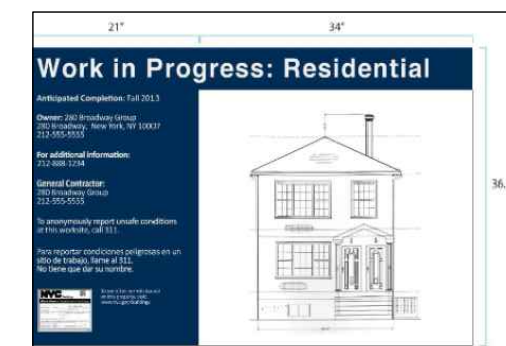


17 **REQUIRED CONSTRUCTION SIGNAGE**  
SCALE: NTS

18 **FENCE PROJECT INFO PANEL TEXT DETAIL**  
SCALE: NTS



19 **SIDEWALK SHED SIGN**  
SCALE: NTS



20 **FENCE PROJECT INFORMATION  
PANEL LAYOUT**  
SCALE: NTS

## SITE SAFETY PLAN

ALIGN DRAFTING  
718-809-4235  
917-531-0903  
ARON@ALIGNDRAFTING.COM

### PROJECT NAME:

622 11TH AVENUE  
MANHATTAN NY 10036

BLOCK	1074
LOT	63
ZONING	R8/R8A/CL/C2-5
BIN	1026951

### OWNER:

CHESKEL SCHWIMMER  
CHESS BUILDERS LLC

### CONTRACTOR:

B CONTRACTORS GROUP  
185 MARCY AVE  
BROOKLYN NY 11211  
LICENSE# GC-#618377

### DOB APPROVAL:

### LOCATION MAP:



### REVISIONS:

NO.	DATE	DESCRIPTION
1	12/02/2024	ISSUED FOR PERMIT
2	12/02/2024	APPROVED
3	12/02/2024	AMENDED

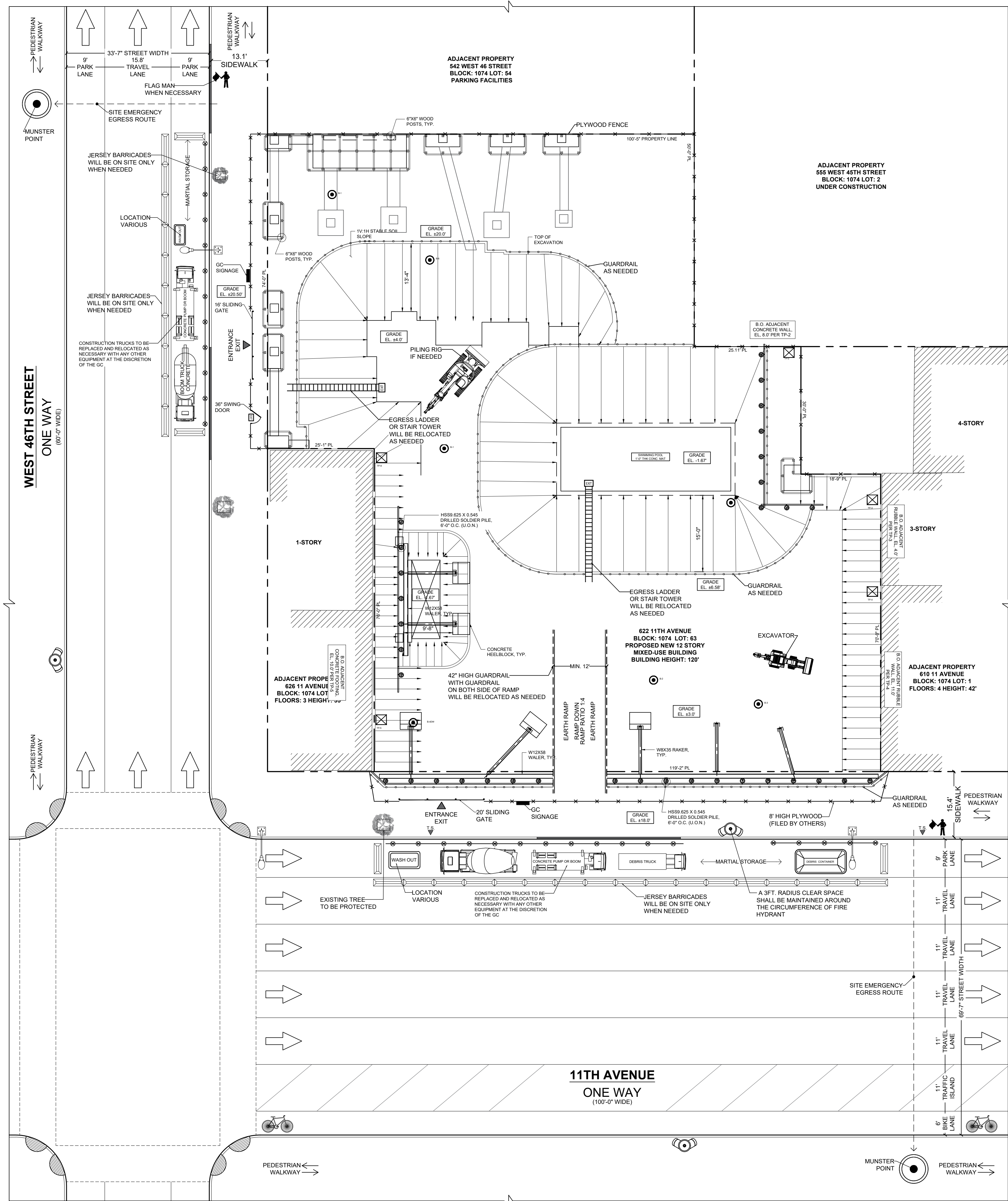
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## TYPICAL SITE SAFETY DETAILS

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NAME: AL	JB
DATE: 5/15/24	
SIGNATURE OF REPAIRER:	SCALE: AS SHOWN
	PAGE SIZE: 24 /36
	SHEET NO.: 04 OF 12

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LEGEND	
	8' HIGH PLYWOOD FENCE
	OVERHEAD PROTECTION
	WATER FILLED BARRICADE
	BUILDING ENTRANCE/EXIT
	PEDESTRIAN WALKWAY
	DEBRIS CONTAINER
	SITE ENTRANCE EXIT
	TRAFFIC DIRECTION
	SIDEWALK SHED
	EGRESS PATH
	EXIT SIGN
	PORT A POTTY
	FLAG MAN
	FIRE HYDRANT
	STREET LIGHT
	EXCAVATOR
	PROPERTY LINE
	ROOF PROTECTION
	ACCESS LADDER
	EXISTING TREE
	FIRE EXTINGUISHER
	4' BARRICADE WITH CL FENCE ON TOP, 8' TOTAL
	GUARDRAIL
	4' HIGH PLYWOOD PANEL W/ 4' HIGH MASH PANEL

1. VIABLE MEANS OF EGRESS TO BE MAINTAINED AT ALL TIMES.
2. LOCATION OF FENCE OPENING RAMPS & EGRESS STAIRS/LADDERS FIRE EXTINGUISHER MAY VARY DUE TO SITE LOGISTICS NEEDS.
3. ALL TRAFFIC BARRIERS IN THE STREET MUST COMPLY WITH DOT REGULATIONS AND MANUFACTURES SPECIFICATIONS.
4. FLAG MAN TO BE POSTED ANYTIME SITE IS OPEN AND VEHICLE TRAFFIC CROSSES THE SIDEWALK, AND PROVIDED ANYTIME THE BARRIERS ARE MOVED TO ALLOW DELIVERIES AND REMOVAL OF DEBRIS
- PRIOR TO PERFORMING ANY WORK ON THE PROJECT ALL WORKERS MUST SUCCESSFULLY COMPLETE THE TRAINING REQUIRED BY SECTION 3310.10.2 OF THE NEW YORK CITY BUILDING CODE

- EQUIPMENT LISTED BELOW ARE NOT LIMITED TO:
- EXCAVATOR
  - PILING RIG
  - CONCRETE PUMP
  - TRUCK LOADER
  - CONCRETE MIXER, ETC.

PRIOR TO PERFORMING ANY WORK ON THE PROJECT ALL WORKERS SHALL HAVE SUCCESSFULLY COMPLETED, WITHIN THE PREVIOUS FIVE CALENDAR YEARS, A 30 HOUR COURSE APPROVED BY THE UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION IN CONSTRUCTION INDUSTRY SAFETY AND HEALTH, OR BY THE COMMISSIONER COVERING SUBSTANTIALLY THE SAME MATERIAL SUCCESSFUL COMPLETION OF SUCH TRAINING COURSE SHALL BE EVIDENCED BY

(A) PRESENTATION OF A BONA FIDE COURSE COMPLETION CARD,

(B) COPY OF SUCH CARD,

(C) A TRAINING ROSTER.

ATTENDANCE RECORD OR OTHER VALID PROOF WHICH MAY BE APPROVED BY THE COMMISSIONER.SUCH EVIDENCE SHALL BE READILY AVAILABLE TO THE COMMISSIONER UPON REQUEST.

ALL WORKERS EMPLOYED ON THIS PROJECT WILL RECEIVE A SITE-SPECIFIC SAFETY ORIENTATION PROGRAM SHALL INCLUDE REVIEW OF ANY HAZARDOUS ACTIVITIES OF THE JOB THAT ARE RELEVANT TO THE TASKS AND ACTIVITIES TO BE PERFORMED.

ALL WORKERS MUST ATTEND SUCH A PROGRAM NO LATER THAN SEVEN DAYS AFTER COMMENCING THEIR EMPLOYMENT.

SITE SAFETY PLAN

ALIGN DRAFTING  
718-809-4235  
917-531-0903  
ARON@ALIGNDRAFTING.COM

PROJECT NAME:  
622 11TH AVENUE  
MANHATTAN NY 10036

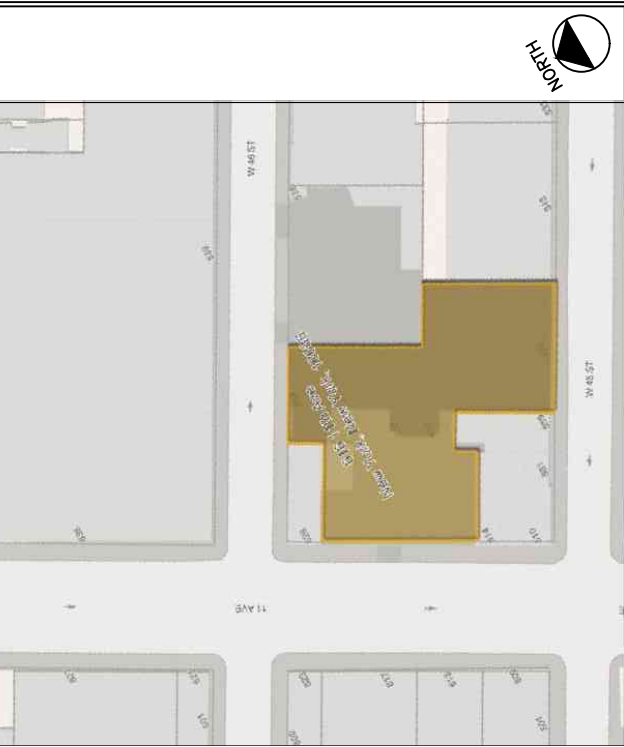
BLOCK	1074
LOT	63
ZONING	R8/R8A/CL/C2-5
BIN	1028951

OWNER:  
CHESKEL SCHWIMMER  
CHESS BUILDERS LLC

CONTRACTOR:  
B CONTRACTORS GROUP  
185 MARCY AVENUE  
BROOKLYN NY 11211  
TEL: 718-408-8778  
LICENSE# GC-618377

DOB APPROVAL:

LOCATION MAP:



REVISIONS:	
NO.	DATE
1	5/15/24
APPROVED	
NYC Development Hub	

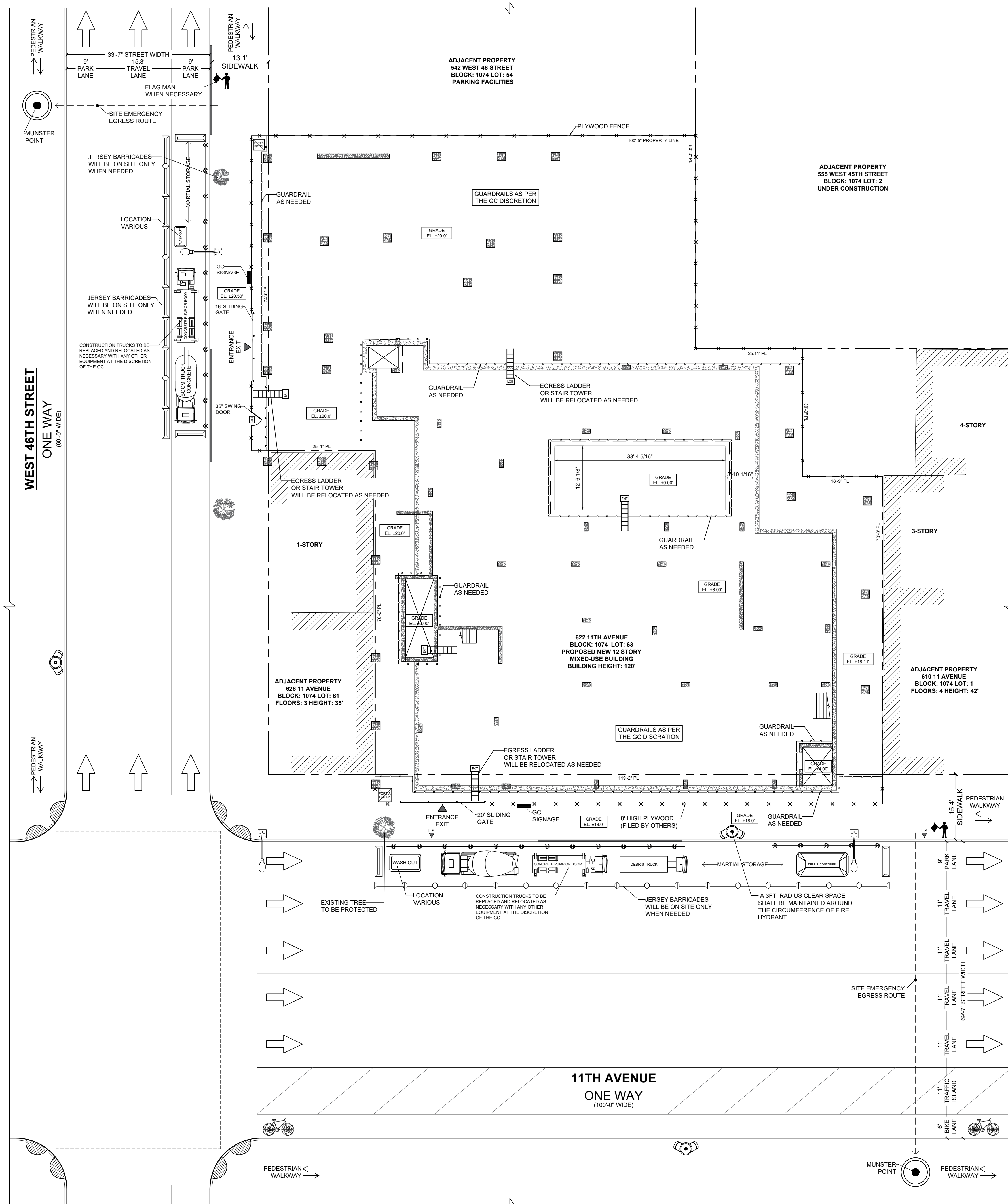
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SOE-EXCAVATION PHASE

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DATE:	5/15/24	DATE:	5/15/24
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		SHEET NO.:	05 OF 12

SSP-100.01





1 FOUNDATION PHASE  
SCALE: 3/32" = 1'-0"

LEGEND	
	8' HIGH PLYWOOD FENCE
	OVERHEAD PROTECTION
	WATER FILLED BARRICADE
	BUILDING ENTRANCE/EXIT
	PEDESTRIAN WALKWAY
	DEBRIS CONTAINER
	SITE ENTRANCE EXIT
	TRAFFIC DIRECTION
	SIDEWALK SHED
	EGRESS PATH
	EXIT SIGN
	PORT A POTTY
	FLAG MAN
	FIRE HYDRANT
	STREET LIGHT
	EXCAVATOR
	PROPERTY LINE
	ROOF PROTECTION
	ACCESS LADDER
	EXISTING TREE
	FIRE EXTINGUISHER
	4' BARRICADE WITH CL FENCE ON TOP, 8' TOTAL
	GUARDRAIL
	4' HIGH PLYWOOD PANEL W/ 4' HIGH MASH PANEL

1. VIABLE MEANS OF EGRESS TO BE MAINTAINED AT ALL TIMES.
  2. LOCATION OF FENCE OPENING RAMPS & EGRESS STAIRS/LADDERS FIRE EXTINGUISHER MAY VARY DUE TO SITE LOGISTICS NEEDS.
  3. ALL TRAFFIC BARRIERS IN THE STREET MUST COMPLY WITH DOT REGULATIONS AND MANUFACTURES SPECIFICATIONS.
  4. FLAG MAN TO BE POSTED ANYTIME SITE IS OPEN AND VEHICLE TRAFFIC CROSSES THE SIDEWALK, AND PROVIDED ANYTIME THE BARRIERS ARE MOVED TO ALLOW DELIVERIES AND REMOVAL OF DEBRIS
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- EQUIPMENT LISTED BELOW ARE NOT LIMITED TO:
1. EXCAVATOR
  2. PILING RIG
  3. CONCRETE PUMP
  4. TRUCK LOADER
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(B) COPY OF SUCH CARD,  
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## SITE SAFETY PLAN

ALIGN DRAFTING  
718-809-4235  
917-531-0903  
ARON@ALIGNDRAFTING.COM

### PROJECT NAME:

622 11TH AVENUE  
MANHATTAN NY 10036

BLOCK	1074
LOT	63
ZONING	R8/R8A/CL/C2-5
BIN	1028951

### OWNER:

CHESKEL SCHWIMMER  
CHESS BUILDERS LLC

### CONTRACTOR:

B CONTRACTORS GROUP  
185 MARCY AVENUE  
BROOKLYN NY 11211  
TEL: 718-408-8778  
LICENSE# GC-618377

### DOB APPROVAL:

### LOCATION MAP:



### REVISIONS

NO.	DATE	REVISION
1	5/15/24	ISSUE OF REVISION Brem Adhikari APPROVED Date: 5/15/24 NYC Development Hub

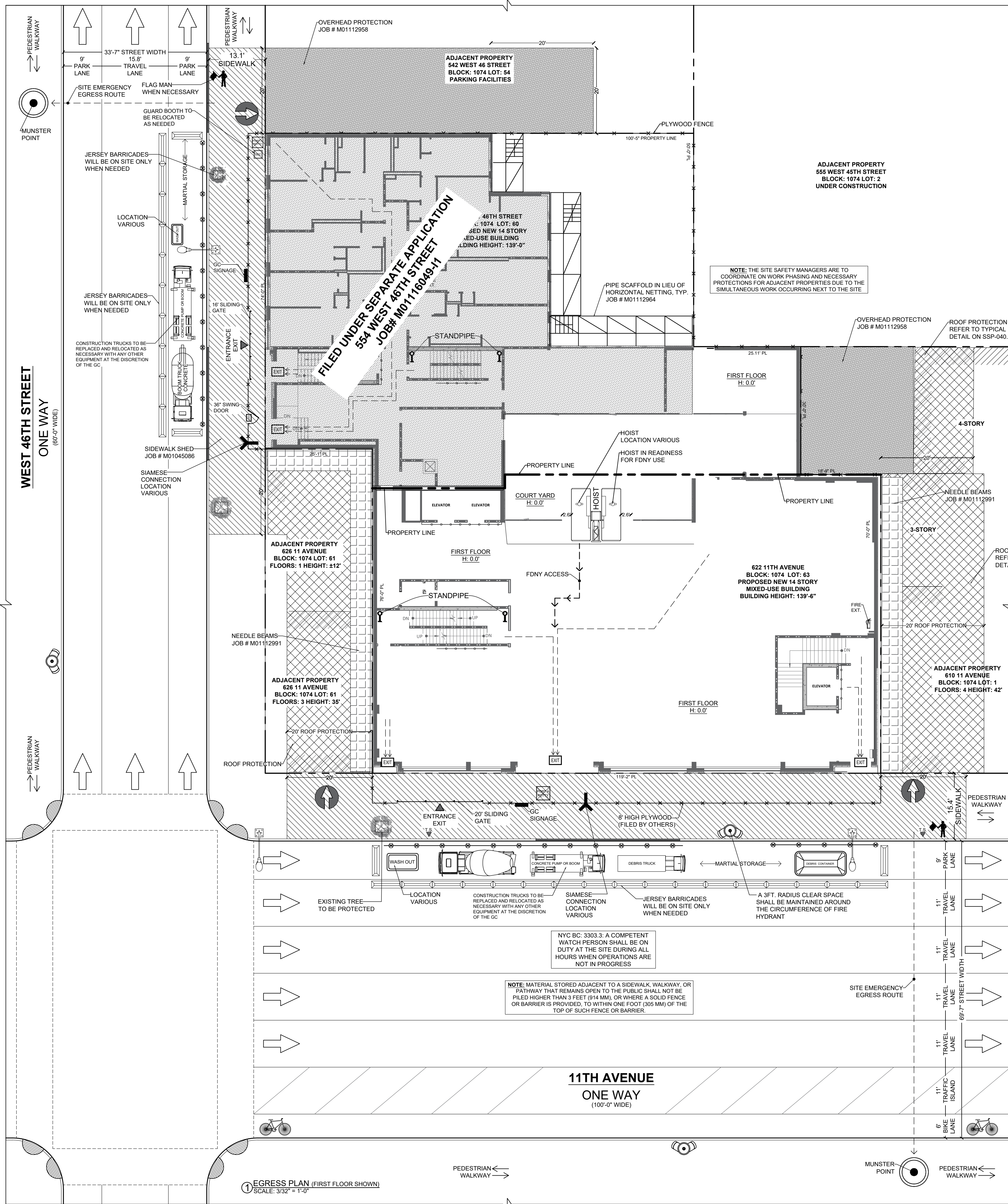
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NAME:	AL	NAME:	JB
DATE:	5/15/24	DATE:	5/15/24
SIGNATURE OF REPAIRER:		SCALE:	AS SHOWN
AL		PAGE SIZE:	24 / 36
		SHEET NO.:	06 OF 12

# SSP-110.01





LEGEND	
	8' HIGH PLYWOOD FENCE
	OVERHEAD PROTECTION
	WATER FILLED BARRICADE
	BUILDING ENTRANCE/EXIT
	PEDESTRIAN WALKWAY
	DEBRIS CONTAINER
	SITE ENTRANCE EXIT
	TRAFFIC DIRECTION
	SIDEWALK SHED
	EGRESS PATH
	EXIT SIGN
	PORT A POTTY
	FLAG MAN
	FIRE HYDRANT
	STREET LIGHT
	EXCAVATOR
	PROPERTY LINE
	ROOF PROTECTION
	ACCESS LADDER
	EXISTING TREE
	FIRE EXTINGUISHER
	4' BARRICADE WITH CL FENCE ON TOP, 8' TOTAL
	VERTICAL NETTING
	4' HIGH PLYWOOD PANEL W/ 4' HIGH MASH PANEL

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2		APPROVED
3		AMENDED
4		NYC Development Hub

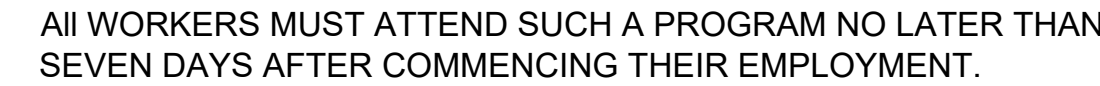
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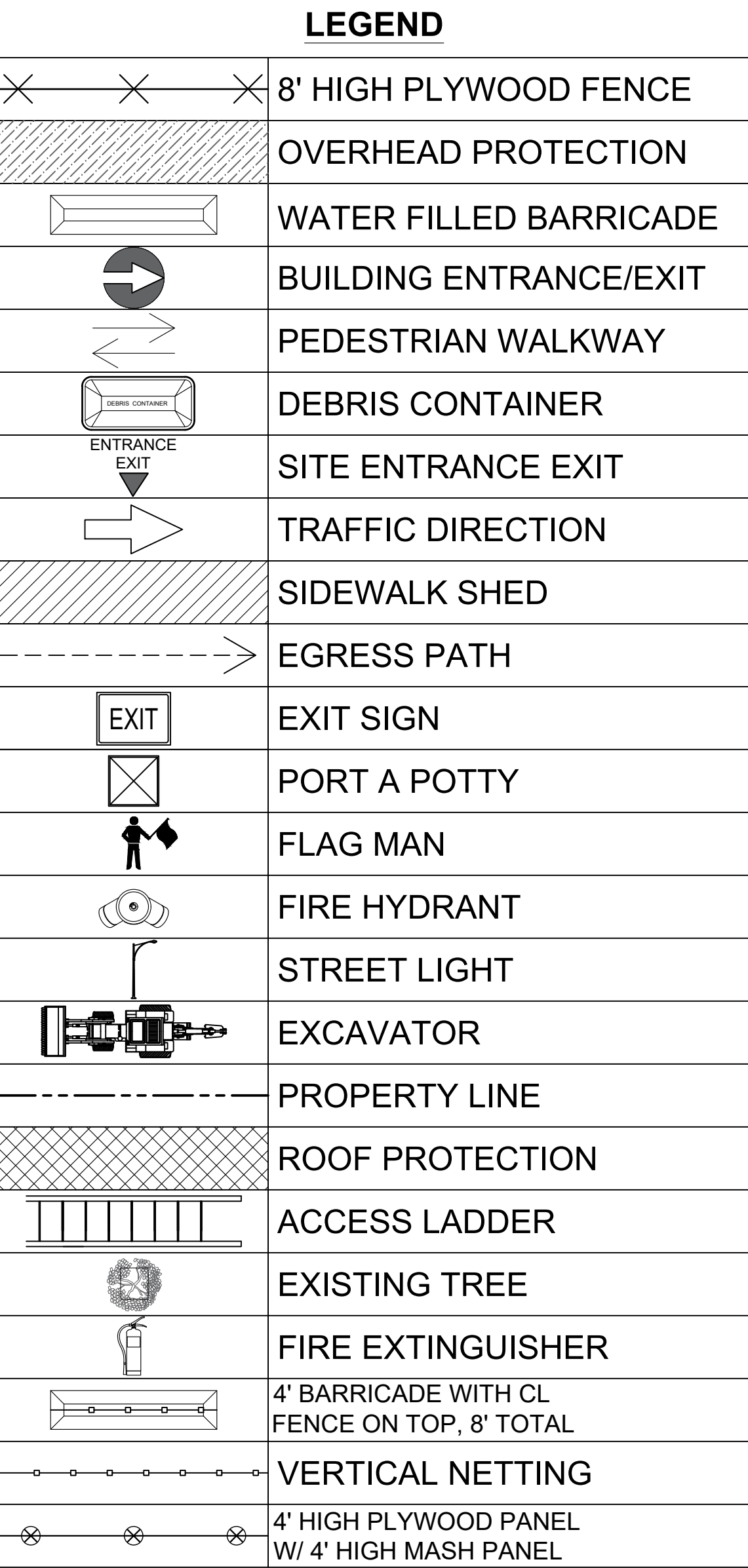
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		SHEET NO.:	07 OF 12

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SSP-210.00





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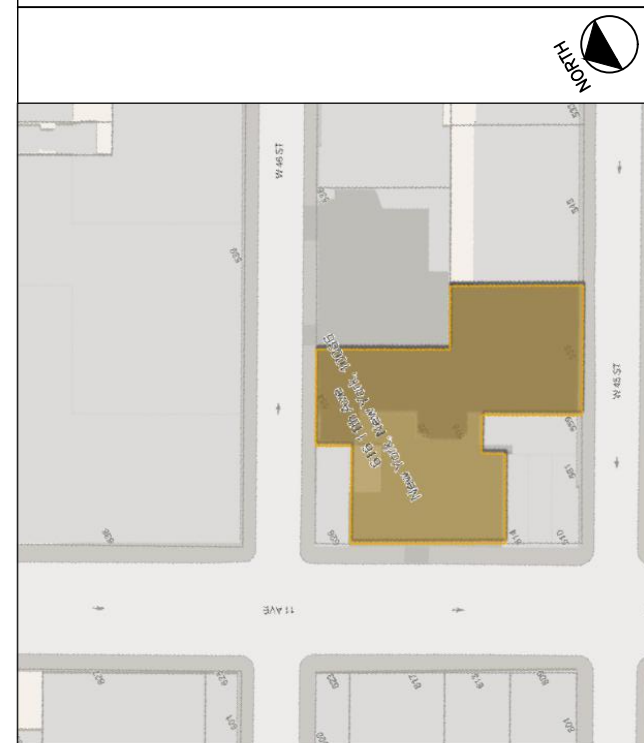
CHESKEL SCHWIMMER  
CHESS BUILDERS LLC

**CONTRACTOR:**

**B CONTRACTORS GROUP**  
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TEL: 718-408-8778  
LICENSE# GC-618377

**DOB APPROVAL:**

**LOCATION MAP:**



## REVISIONS:

[illegible]

**DRAWING TITLE:**

SUPERSTRUCTURE  
PHASE ABOVE 75'  
(TOP VIEW SHOWN)

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NAME:	AL	JB	
DATE:	5/15/24		
SIGNATURE OF REPAIRER:		SCALE:	AS SHOWN
AL		PAGE SIZE:	24 /36
		SHEET NO.:	09 OF 12

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LEGEND			
	8' HIGH PLYWOOD FENCE		SIDEWALK SHED
	GUARD RAIL		EGRESS PATH
	WATER FILLED BARRICADE		EXIT SIGN
	BUILDING ENTRANCE/EXIT		PORT A POTTY
	PEDESTRIAN WALKWAY		FLAG MAN
	DEBRIS CONTAINER		FIRE HYDRANT
	SITE ENTRANCE EXIT		STREET LIGHT
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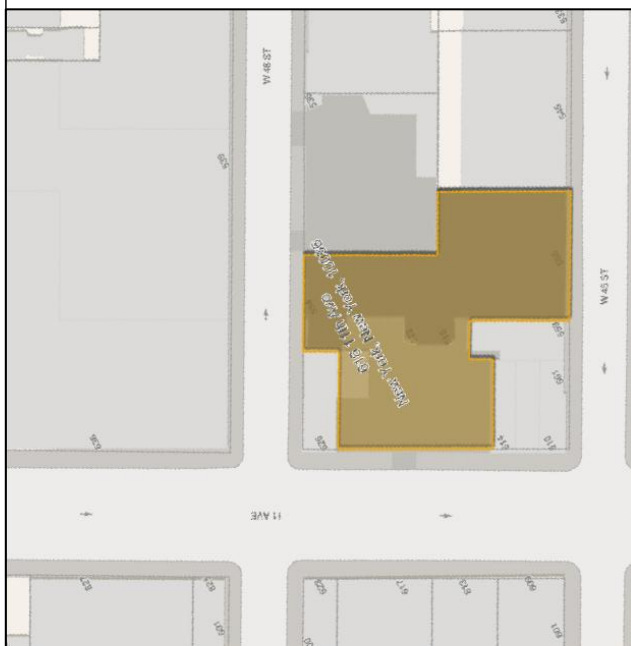
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### DOB APPROVAL:

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### REVISIONS:

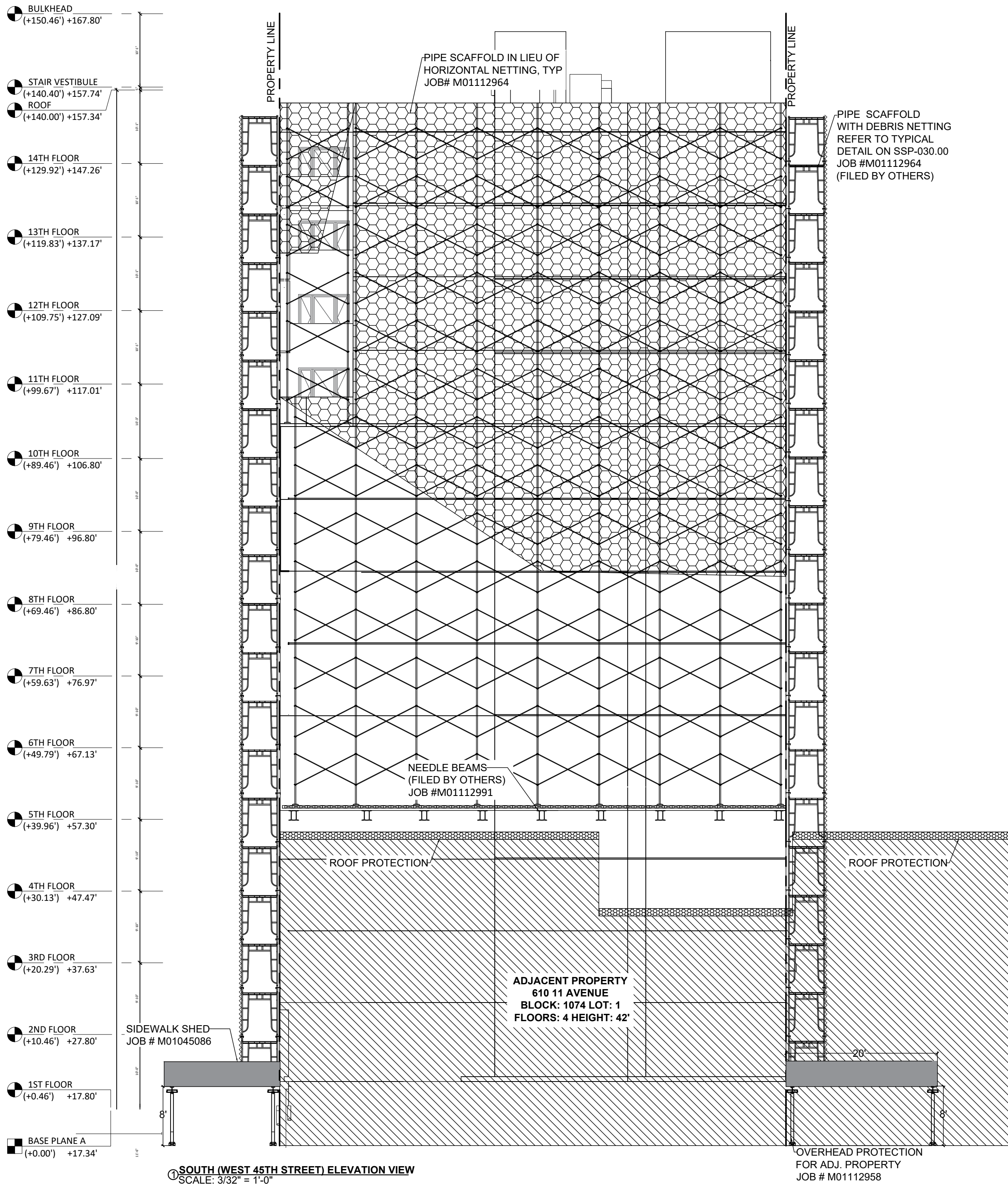
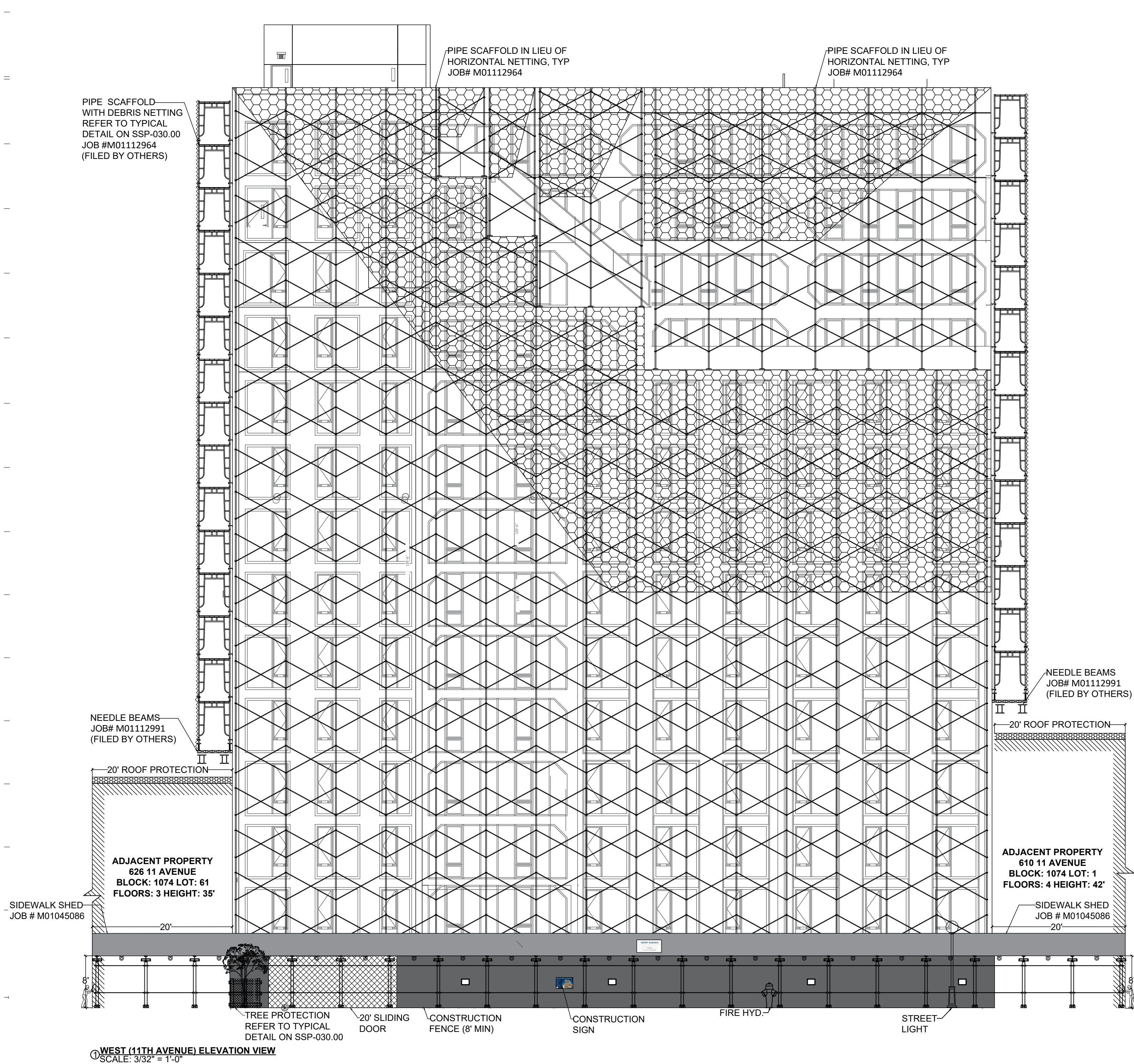
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1	5/15/24	ISSUE OF REVISION Brem Adhikari APPROVED Date: 12/02/2024 NYC Development Hub

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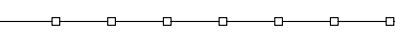
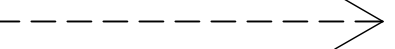
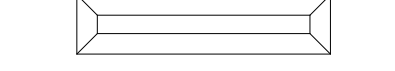


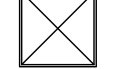
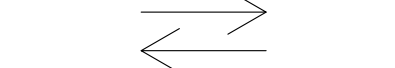





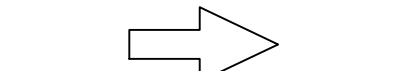



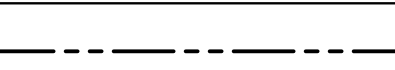



## WEST & SOUTH ELEVATION VIEW

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NAME: AL	JB
DATE: 5/15/24	
SIGNATURE OF REPAIRER:	SCALE: AS SHOWN
	PAGE SIZE: 24 / 36
	SHEET NO.: 10 OF 12

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LEGEND			
	8' HIGH PLYWOOD FENCE		SIDEWALK SHED
	GUARD RAIL		EGRESS PATH
	WATER FILLED BARRICADE		EXIT SIGN
	BUILDING ENTRANCE/EXIT		PORT A POTTY
	PEDESTRIAN WALKWAY		FLAG MAN
	DEBRIS CONTAINER		FIRE HYDRANT
	SITE ENTRANCE EXIT		STREET LIGHT
	TRAFFIC DIRECTION		EXCAVATOR
	FIRE EXTINGUISHER		EGRESS LADDER
	PROPERTY LINE		ACCESS LADDER
	ROOF PROTECTION		EXISTING TREE

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BLOCK	1074
LOT	63
ZONING	R8/R8A/CL/C2-5
BIN	1026951

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### CONTRACTOR:

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### DOB APPROVAL:

### LOCATION MAP:



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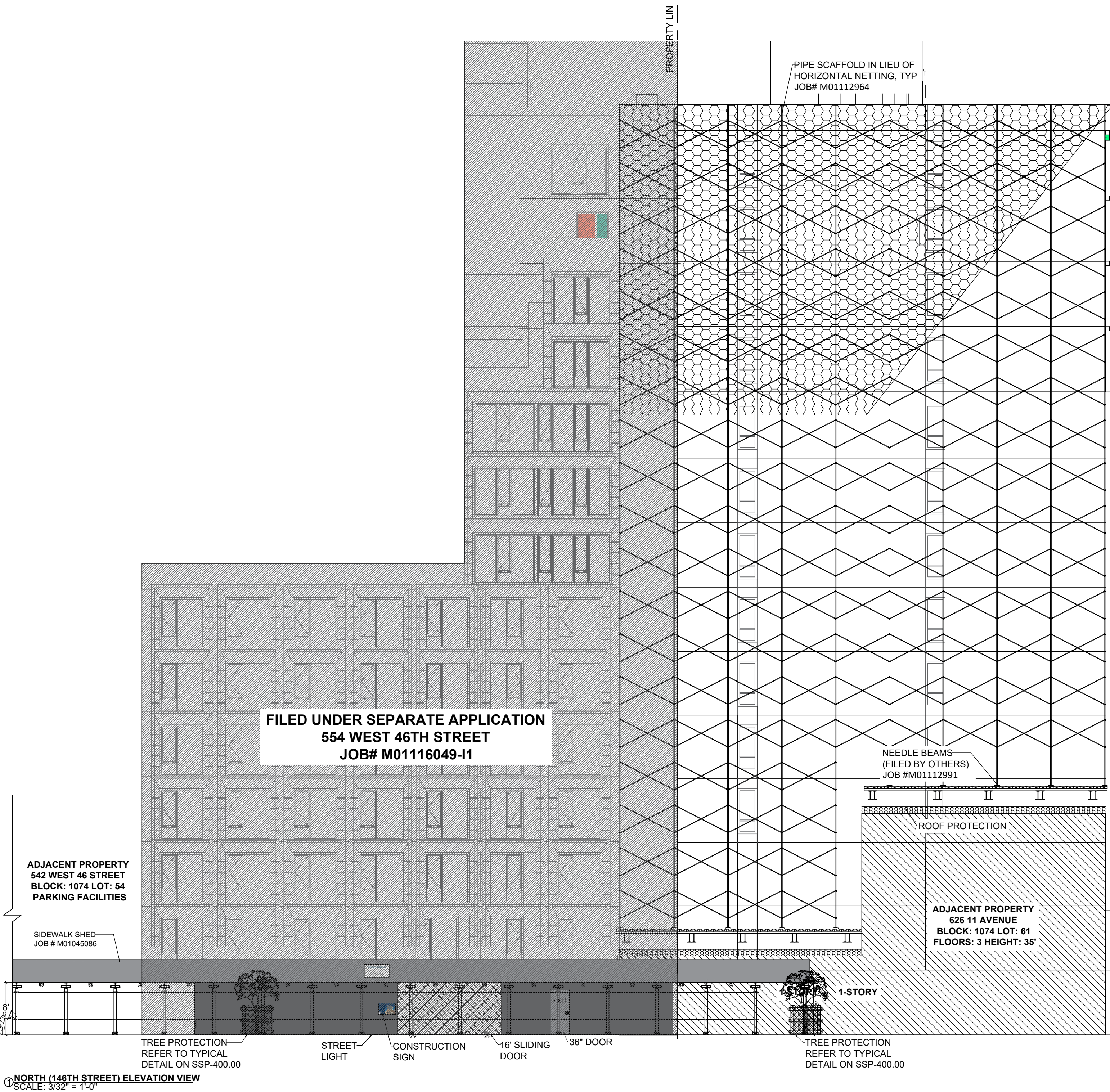
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## NORTH ELEVATION VIEW

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NAME:	AL	NAME:	JB
DATE:	5/15/24		
SIGNATURE OF REPAIRER:		SCALE:	AS SHOWN
		PAGE SIZE:	24 /36
		SHEET NO.:	11 OF 12

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BULKHEAD (+150.46') +167.80'	
STAIR VESTIBULE (+140.40') +157.74'	
ROOF (+140.00') +157.34'	
14TH FLOOR (+129.92') +147.26'	
13TH FLOOR (+119.83') +137.17'	
12TH FLOOR (+109.75') +127.09'	
11TH FLOOR (+99.67') +117.01'	
10TH FLOOR (+89.46') +106.80'	
9TH FLOOR (+79.46') +96.80'	
8TH FLOOR (+69.46') +86.80'	
7TH FLOOR (+59.63') +76.97'	
6TH FLOOR (+49.79') +67.13'	
5TH FLOOR (+39.96') +57.30'	
4TH FLOOR (+30.13') +47.47'	
3RD FLOOR (+20.29') +37.63'	
2ND FLOOR (+10.46') +27.80'	
1ST FLOOR (+0.46') +17.80'	
BASE PLANE A (+0.00') +17.34'	





LEGEND			
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	GUARD RAIL		EGRESS PATH
	WATER FILLED BARRICADE		EXIT SIGN
	BUILDING ENTRANCE/EXIT		PORT A POTTY
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DOB APPROVAL:

LOCATION MAP:



REVISIONS:	
NO.	DATE
1	ISSUE OF REVISION Brem Adhikari APPROVED Date: 12/02/2024 NYC Development Hub

DRAWING TITLE:

EAST  
ELEVATION VIEW

DRAWING BY:		CHECKED BY:	
NAME:	AL	JB	
DATE:	5/15/24		
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