

Manhattan Community Board 4

(All Fields Must Be Completed)

Liquor License/Sidewalk Cafe Stipulations Application

CORPORATION NAME 35 TH STREET LOUNGE LLC		DOING BUSINESS AS (DBA) WHITE SWAN		
STREET ADDRESS 315 WEST 35 TH STREET		CROSS STREETS 8 TH AVENUE	ZIP CODE 10001	
OWNER <i>(Attach a list of all the people that will be associated/listed with the license)</i>	NAME: Eli Chetrit, Jacob Aini, Kanvar Singh	ATTORNEY/ REPRESENTAIVE	NAME: TERENCE FLYNN	
	PHONE: 917.667.4023		PHONE: 718-945-1000	
	EMAIL: <u>echetrit@absons.com</u>		EMAIL: <u>trflynnjr@gmail.com</u>	
MANAGER	NAME: Kanvar Singh, Arkady Biberman	LANDLORD	NAME: 315 WEST LLC	
	PHONE: 646.423.8278		PHONE: 917.667.4023	
	EMAIL: <u>Kanvar@elsierooftop.com</u>		EMAIL: <u>echetrit@absons.com</u>	
APPLICATION TYPE (<input checked="" type="checkbox"/> <i>Liquor License</i> <input type="checkbox"/> <i>Unenclosed Sidewalk Cafe</i>)				
X New	Has applicant owned or managed a similar business?	YES	NO	YES
	What is/was the name and address of establishment?	ELSIE ROOFTOP, GLASS CEILING ROOFTOP		
	What were the dates applicant was involved with this former premise?	2018 to present		
<input type="radio"/> Corp Change/Class Change/Removal	What is the license # and expiration date?			
	Is applicant making any alterations or operational changes?	YES	NO	NO
	<i>If alterations or operational changes are being made, please describe/list all changes.</i>			
<input type="radio"/> Alteration	What is the current license # and expiration date?			
	<i>Please list/describe the nature of all the changes and attach the plans:</i>			
METHOD OF OPERATION				
TYPE OF ALCOHOL	Liquor/Wine/Beer & Cider			
ESTABLISHMENT TYPE	<input type="radio"/> Restaurant <input type="radio"/> Cabaret <input type="radio"/> Night Club <input type="radio"/> Hotel <input checked="" type="radio"/> Bar/Tavern <input type="radio"/> Catering Establishment <input type="radio"/> Adult Entertainment <input type="radio"/> Wine Bar <input type="radio"/> Dance Club <input type="radio"/> Sports Bar <input type="radio"/> Club (Fraternal Organization – Members Only)			
Has applicant/owner filed with the SLA? If yes, when? If no, when do you plan to file?	YES	NO	NO	
Is the 500 Foot Rule applicable? If yes, please attach a diagram of the On-Premise liquor license establishments within a 500 ft. radius of your	YES	NO		

establishment and the Public Interest Statement.			
Is the 200 Foot Rule applicable? If yes, please attach a diagram of the schools and houses of worship that trigger the rule.	YES	NO	
Has applicant/owner(s) read MCB4 Policy Regarding Concentration and Location of Alcoholic-Serving Establishments?	YES	NO	YES

OPERATIONAL DETAILS (*Closing time will be when establishment is vacated of all patrons)

HOURS* <i>(Indoor Only)</i>		MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	SUNDAY
	Operation	5PM TO 4AM	5PM TO 4AM	5PM TO 4AM	5PM TO 4AM	5PM TO 4AM	5PM TO 4AM	5PM TO 4AM
	Kitchen	5PM TO 1AM	5PM TO 1AM	5PM TO 1AM	5PM TO 1AM	5PM TO 1AM	5PM TO 1AM	5PM TO 1AM
	Music	6PM TO 4AM	6PM TO 4AM	6PM TO 4AM	6PM TO 4AM	6PM TO 4AM	6PM TO 4AM	6PM TO 4AM
If you plan to have music, what type(s)? (Circle all that apply)			X BACKGROUND	X LIVE MUSIC	X DJ	JUKE BOX	KARAOKE	

OCCUPANCY

	Capacity (Certificate of Occupancy)	Maximum # of Persons Occupying Premises (Including Employees)	Number of Tables	Number of Seats	Number of Service Only Bars	Number of Stand-Up Bars	Number of Seats at Stand-Up Bar
INSIDE	YES	150	20	120	2	2	16
OUTSIDE <i>(Other than sidewalk café)</i>							
DCA APPROVED UNENCLOSED SIDEWALK CAFÉ							

How many floors are there? What is the capacity for each floor?	2	
How frequently will the owner(s) be at the establishment?	7 DAYS	
Will there be dancing?	YES	NO
Will applicant have bottle or table service for beverage alcohol?	YES	NO
Will applicant be hosting private; promotional or corporate events?	YES	NO
Will outside promoters be used on a regular basis? If yes please describe.	YES	NO
Will applicant have a security plan? If, yes please attach.	YES	NO
Will security plan be implemented?	YES	NO
Will State certified security personnel be used?	YES	NO
Will New York Nightlife Association and NYPD Best Practices be followed?	YES	NO
Does applicant agree to notify MCB4 prior to making changes to its method of operation?	YES	NO
Will applicant be using delivery bicycles? If yes, how many?	YES	NO
Will delivery bicycles be clearly marked with the name of the restaurant and will staff wear attire clearly noting name as described by NYC Law?	YES	NO

Where will delivery bicycles be stored during the day when not in use?	NO
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MULTIPLE SPACES/FLOORS CAPACITY BREAKDOWN

Space /Floor	Description/Use of Space	Capacity	Hours	# of Tables	# of Seats	# of Service Only Bars	# of Stand-Up Bars/Seats at Bar	Music
1	Main floor bar	90 (seated)	5pm to 4am	12	90	1	9	yes
2	Mezzanine floor	30 (seated)	5pm to 4am	8	30	1	7	yes

LOCATION & ZONING			
Is this a Special District? If yes, is it Clinton, West Chelsea or Hudson Yards?	YES	NO	NO
Does the building have a Certificate of Occupancy ("C of O") or a letter of no objection?	YES	NO	YES
Is a Public Assembly permit required?	YES	NO	YES
Are your plans filed with DOB?	YES	NO	NO

Community Notification/Relations				
NOTIFICATION: List all block associations; tenant associations, co-op boards or condo boards of residential buildings; and community groups that applicant has notified regarding its application. For each please list both the organization and individual you contacted	# 1	West 30's Block Associations/Tenant Associations/Community (incl. Dog Run) Kathleen Treat kathleentreat123@gmail.com West 36th Street Frank Strock mcgee79@aol.com CHDC (incl. Bob's & bird parks) Joe Restuccia info@clintonhousing.org; jrestuccia2@clintonhousing.org CHDC (incl. Bob's & bird parks) Ryan Marcano rmarcano@clintonhousing.org Hudson Yards Hell's Kitchen Alliance Bob Benfatto rbenfatto@hyhkalliance.org Hudson Yards Hell's Kitchen Alliance Patty Gouris pgouris@hyhkalliance.org Hotel Americano (212) 216-0000 Highline537 Scott Hupe 212-838-3700 Donna Langman Costumes Donna Langman donna@donnalangman.com CHEKPEDS Christine Berthet excom@chekped.com Hell's Kitchen Block Association (W 33rd/34th/35th Streets (8th to 12th Avenues) Julia Campanelli HellsKBA@gmail.com Last Wednesday of the month, except August or November W36th Block Association (8/9) Brian Weber brianscottweber@gmail.com W36th Block Association (8/9) Cressida Connelly cressidac@gmail.com		
	# 2			
	# 3			
	# 4			
	# 5			
	Please provide dates when applicant met with the groups listed above.		10/03/2023	
Who was your contact person at each group you met with?		See Above		
When did applicant post the notice that was provided?		10.3.2023		
Where did applicant post the notice that was provided?		Door entrance and surrounding area withing same block		
Will applicant provide owner cell phone number to neighbors and respond to complaints that arise? Please provide number in space provided.	YES	NO	YES	
Will applicant inform the Community Board office of its job openings and/or provide a hyperlink to applicants jobs webpage?	YES	NO	NO	

BUILDING DESIGN			
State the name and type of business previously located in the space.			
Has a liquor-licensed establishment previously occupied this space at any time? If yes, please provide the name of the business.	YES	NO	NO
Do you plan any changes to the existing façade? If yes, please describe.	YES	NO	NO
Has the applicant/owner(s) read MCB 4 ADA Guidelines Memo?	YES	NO	YES
Is the entrance ADA Compliant?	YES	NO	YES
Do you plan any changes to the existing façade? If yes, please describe.	YES	NO	NO
Will applicant have a vestibule within the establishment?	YES	NO	NO
Will applicant use a storm enclosure?	YES	NO	NO
Does applicant agree to keep the sidewalk clear of all items or obstructions, such as sandwich boards, sidewalk signs, freestanding menus and plants, as per the law?	YES	NO	YES
Will applicant comply with the NYC noise code?	YES	NO	YES
Will the establishment have any of the following: (circle all that apply)	FRENCH DOORS		GARAGE DOORS
			WINDOWS THAT CAN BE OPENED
Will applicant close all windows, French doors, garage doors when any music or amplified sound (including televisions) is played inside the establishment?	YES	NO	YES
Will applicant close all windows, French doors, garage doors by 11 PM Friday and Saturday and 10 PM on all other days even if no music or amplified sound is played inside the establishment?	YES	NO	YES
Has applicant obtained an acoustical report from a certified sound engineer to assess potential noise disturbance to the neighboring residents and buildings?	YES	NO	NO
Will applicant follow the recommendations of a certified sound engineer to mitigate potential noise disturbance to the neighboring residents and buildings, including placing speakers on the floor of the establishment?	YES	NO	YES
Will the kitchen exhaust system extend to the roof?	YES	NO	NO
Will the establishment have an illuminated sign?	YES	NO	YES
Will the establishment have a canopy extending over the sidewalk?	YES	NO	NO
Where will the air conditioner be located? What type is it?	YES – SPLIT UNITS		
When was the air conditioner installed?	NOT YET		

OUTDOOR ITEMS - OTHER THAN SIDEWALK CAFÉ			
Has the applicant/owner(s) read MCB 4 Rear Yard Rooftop Policy?	YES	NO	
Will applicant use any outdoor spaces: rooftop, rear yard, patio, porch, balcony, pavilion, tents, deck, gazebo or open dining in the parking lane? If yes, which one(s)?	YES	NO	NO
Are the floorplans for the outdoor space(s) included?	YES	NO	YES
Will applicant close and vacate the outdoor space(s) by 11PM on Friday & Saturday and 10 PM on all other days?	YES	NO	n/a
Will the service and consumption of alcohol in any outdoor space only be via seated food service?	YES	NO	NO
Will applicant not allow standing space for patrons to drink or smoke in any outdoor space(s) or on the sidewalk?	YES	NO	YES
Will there be no amplified music, as per the law?	YES	NO	YES
If amplified sound is played inside the establishment, will windows and doors be closed?	YES	NO	YES
Will applicant agree to post signs outside asking customers to respect the neighbors?	YES	NO	YES
Will applicant agree to train staff to encourage a peaceful environment?	YES	NO	YES
Will applicant provide effective sound control (landscaping enclosure, soundproofing tenants apartments)	YES	NO	YES
Will there be a lighting plan that allows safe usage of the outdoor space without disrupting neighbors?	YES	NO	YES
If open dining in the parking lane, will applicant agree to leave the sidewalk free of any furniture?	YES	NO	YES
If open dining, will you comply with all NYC DOT guidelines?	YES	NO	YES
If open dining, will the installation be year-round?	YES	NO	YES

DCA APPROVED UNENCLOSED SIDEWALK CAFÉ

Has the applicant/owner(s) read MCB4 Sidewalk Café Policy?	YES	NO	N/A
Will applicant be applying for a sidewalk café now or in the future?	YES	NO	NO
Is applicant in this application seeking to include a sidewalk café in its liquor license?	YES	NO	N/A
If yes, has applicant submitted an application and plans to NYC Dept. of Consumer Affairs? Please attach application and plans.	YES	NO	N/A
Will applicant close and vacate the sidewalk café by 11 PM on Friday & Saturday and 10 PM on all other days?	YES	NO	N/A
Will applicant be serving alcohol in the sidewalk café? If so, will you have waiter service?	YES	NO	N/A
Will the café have a 3 ft. wide serving aisle running the entire length of the sidewalk cafe?	YES	NO	N/A
Will applicant mark the perimeter of the café on the sidewalk?	YES	NO	N/A
Will the service and consumption of alcohol in the sidewalk café only be via seated food service?	YES	NO	N/A
Will the sidewalk café not provide standing space for drinking or smoking?	YES	NO	N/A
Will applicant use any portable natural gas heaters? If so, do you have the requisite approvals from DOB & the Fire Department?	YES	NO	N/A
Will applicant have a lighting plan that will allow safe usage of the outdoor space without disrupting neighbors?	YES	NO	N/A
Will all furniture, plants and barricades be stored inside between the evening closing hours and the morning opening hours?	YES	NO	N/A
Will all furniture be stored inside between December 21 st and March 21 st , and any other day when it rains or snows?	YES	NO	N/A
Will applicant use umbrellas?	YES	NO	N/A
If construction or construction protection has reduced the sidewalk width, will applicant always maintain an 8 foot clear path of sidewalk between the perimeter of the café and the closest obstruction including construction barricades?	YES	NO	N/A
If open dining is in the parking lane, will applicant agree to remove its sidewalk café?	YES	NO	N/A

ADDITIONAL STIPULATIONS: (Office Use Only)

- No later than October 24th, applicant will submit MCB4 office an acoustical report and agrees to implement all recommendations of acoustical report

To the extent any additional stipulation on pages 7 and 8 of this application conflicts with any response on pages 1 – 6 of this application, the stipulations on pages 7 and 8 control.


ADDITIONAL STIPULATIONS: (Office Use Only), *Continued*

To the extent any additional stipulation on pages 7 and 8 of this application conflicts with any response on pages 1 – 6 of this application, the stipulations on pages 7 and 8 control.

Manhattan Community Board 4 (MCB4) recommends:
 (MCB4's recommendation is based on a vote taken at its
 November 1, 2023 full board meeting, with 37 members voting in favor
 of the recommendation, 0 members opposed, 0 members
 abstaining and 0 present but not eligible)

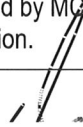
Denial unless all stipulations agreed to by applicant/owner are part of the method of operation
 Denial Approval

CB4 REPRESENTATIVES

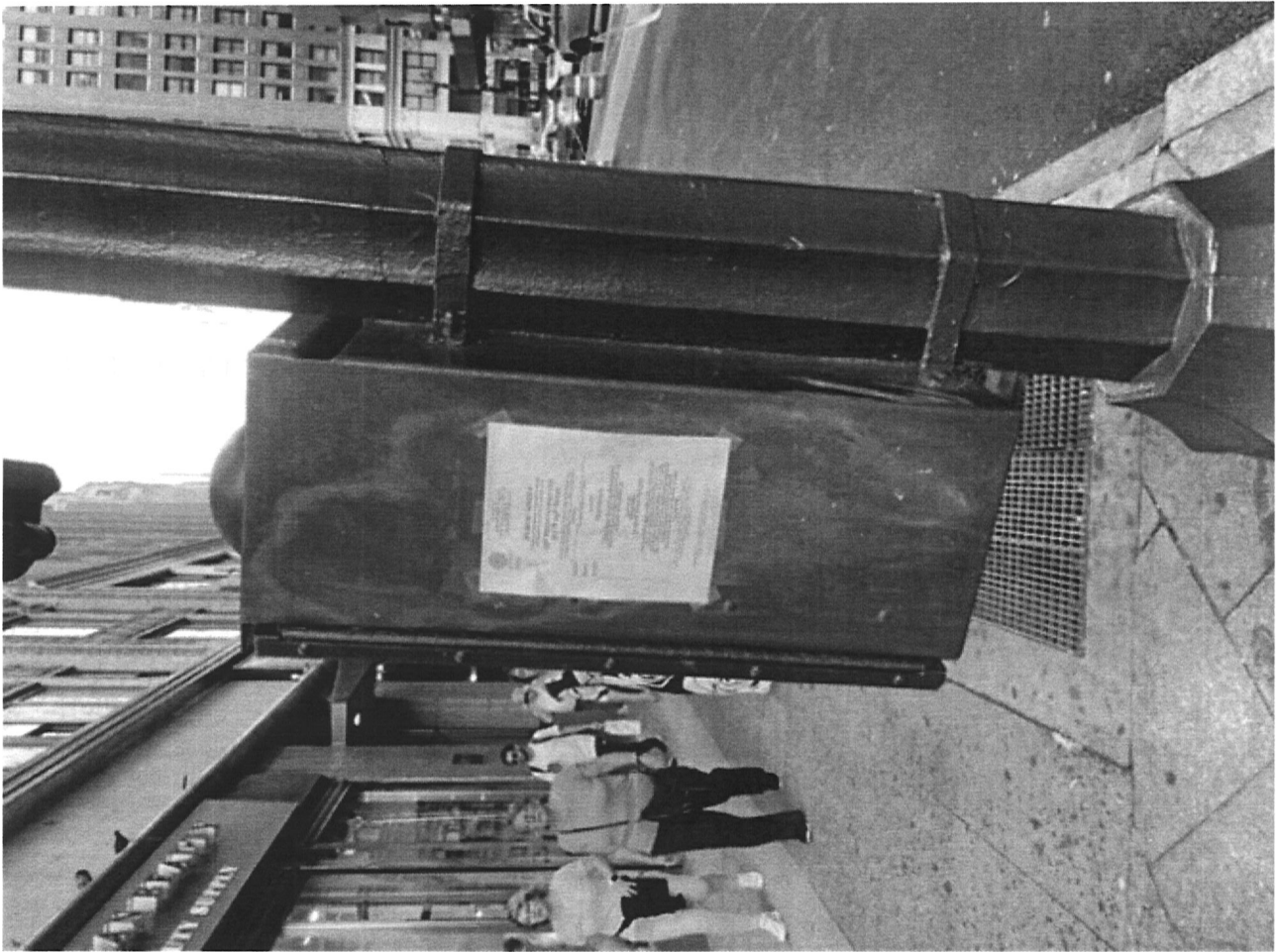
 Nelly Gonzalez <i>CB4 Assistant District Manager</i>	Frank Holozubiec <i>CB4 BLP Committee Co-Chair</i>	 Burt Lazarin <i>CB4 BLP Committee Co-Chair</i>
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APPLICANT AGREEMENT WITH THE COMMUNITY

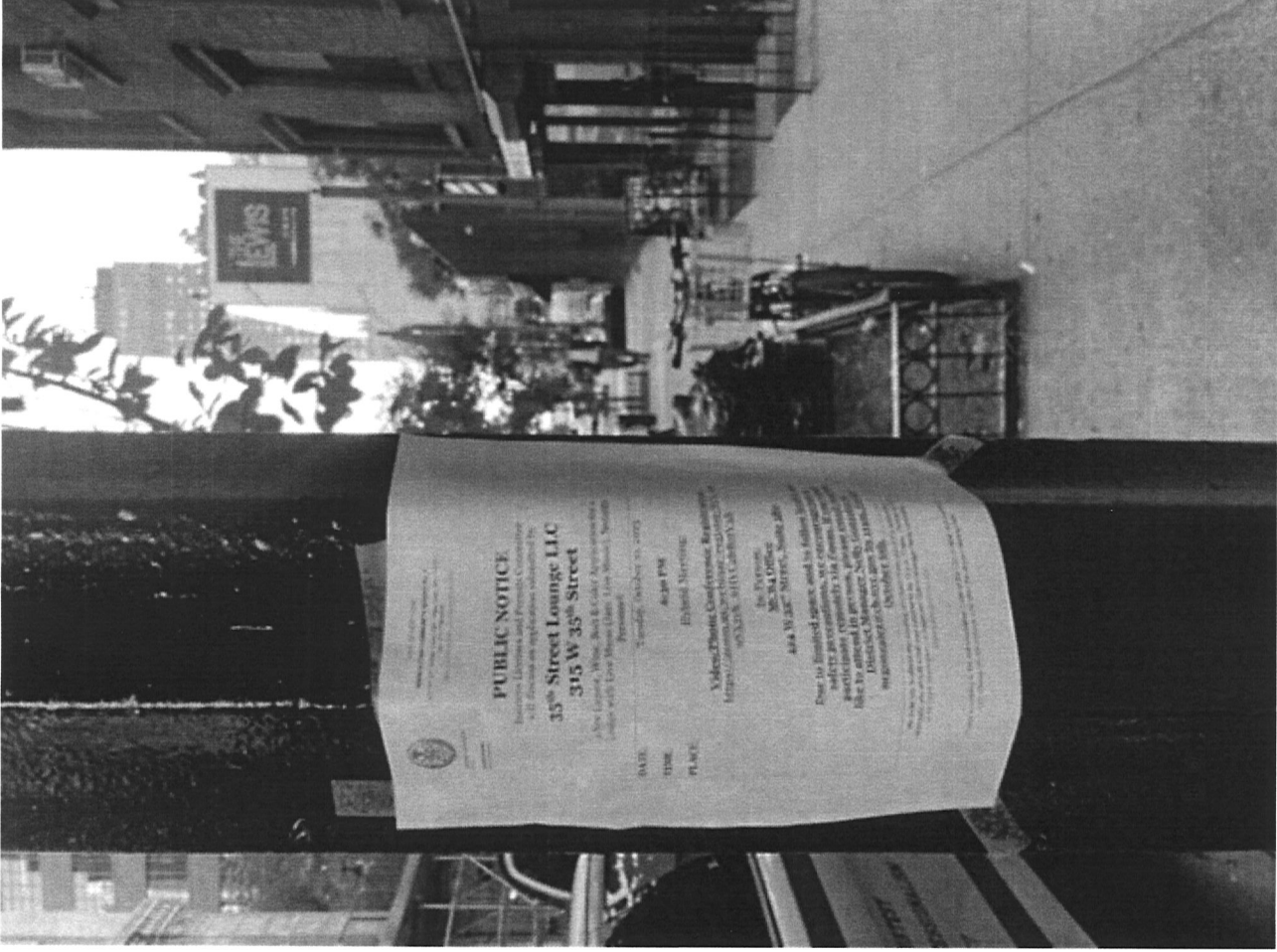
Applicant agrees to these stipulations as the basis for the community support of this application and acknowledges that all of these stipulations are essential prerequisites to the MCB4 recommendation regarding this application. Applicant agrees to have these stipulations incorporated in the method of operation of its liquor license. The stipulations in this application constitute the entire agreement between MCB4 and applicant and may only be altered in writing signed by MCB4 and applicant. These stipulations supersede any oral statements or representations in connection with this application.


<p>SIGN HERE →</p>	<p><i>Kanvar Singh</i></p> <p>PRINT NAME OF APPLICANT</p>	 <input checked="" type="checkbox"/>	<p>DATE 10.3.2023</p>
		<p>Kanvar Singh Manager</p> <p>SIGNATURE OF APPLICANT</p>	










PUBLIC NOTICE
 Electronic Filings and Printed Certificates
 248 Greenwich Street, 8th Floor, New York, NY 10007

35th Street Lounge LLC
315 W 35th Street
 New York, NY 10018-0000 (ECCNY-00000001)
 https://www.nyc.gov/ecf

DATE: Sunday, October 23, 2017
TIME: 8:00 PM
PLACE: Richard J. Rovinsky

Video Conferencing Conference Registration
 https://www.nyc.gov/ecf/

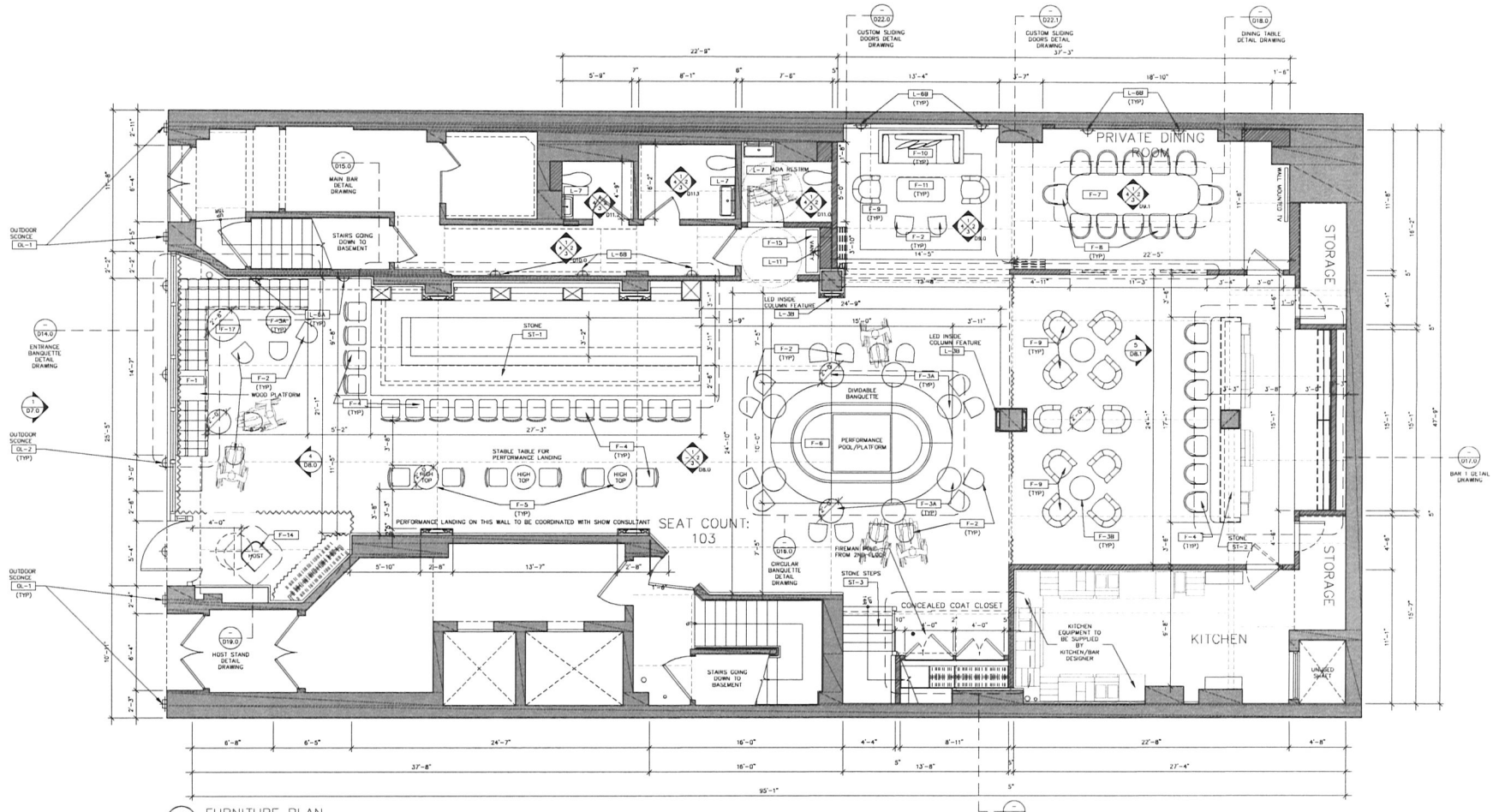
To Everyone:
 10/23/17, 11:59 PM, State 20

Please do not forward copies and do not file documents in response to this notice on the ECf system. If you wish to participate in person, you must appear at the conference in person. See the notice for more information.
 District Court, New York County, New York State
 the government of New York June 20, 2017



NOTE:

1. DRAWINGS ARE FOR REFERENCE ONLY. ALL DIMENSIONS NEED TO BE VERIFIED ON SITE. 2. ALL DRAWINGS TO BE VERIFIED BY ARCHITECT ON THE FOLLOWING BUT NOT LIMITED TO: ADA/BUILDING CODES, FIRE REGULATIONS, ZONING LAWS, E.T.C.



D2.0 FURNITURE PLAN
SCALE: 1/4"=1'-0"

DMDESIGN, LLC
35A WEST 131ST STREET
NEW YORK, NY 10037
T: 646.895.4020
DM@delphinedesign.com
www.UMDdesign-Architecture.com



35TH STREET LOUNGE
1ST FL FURNITURE PLAN

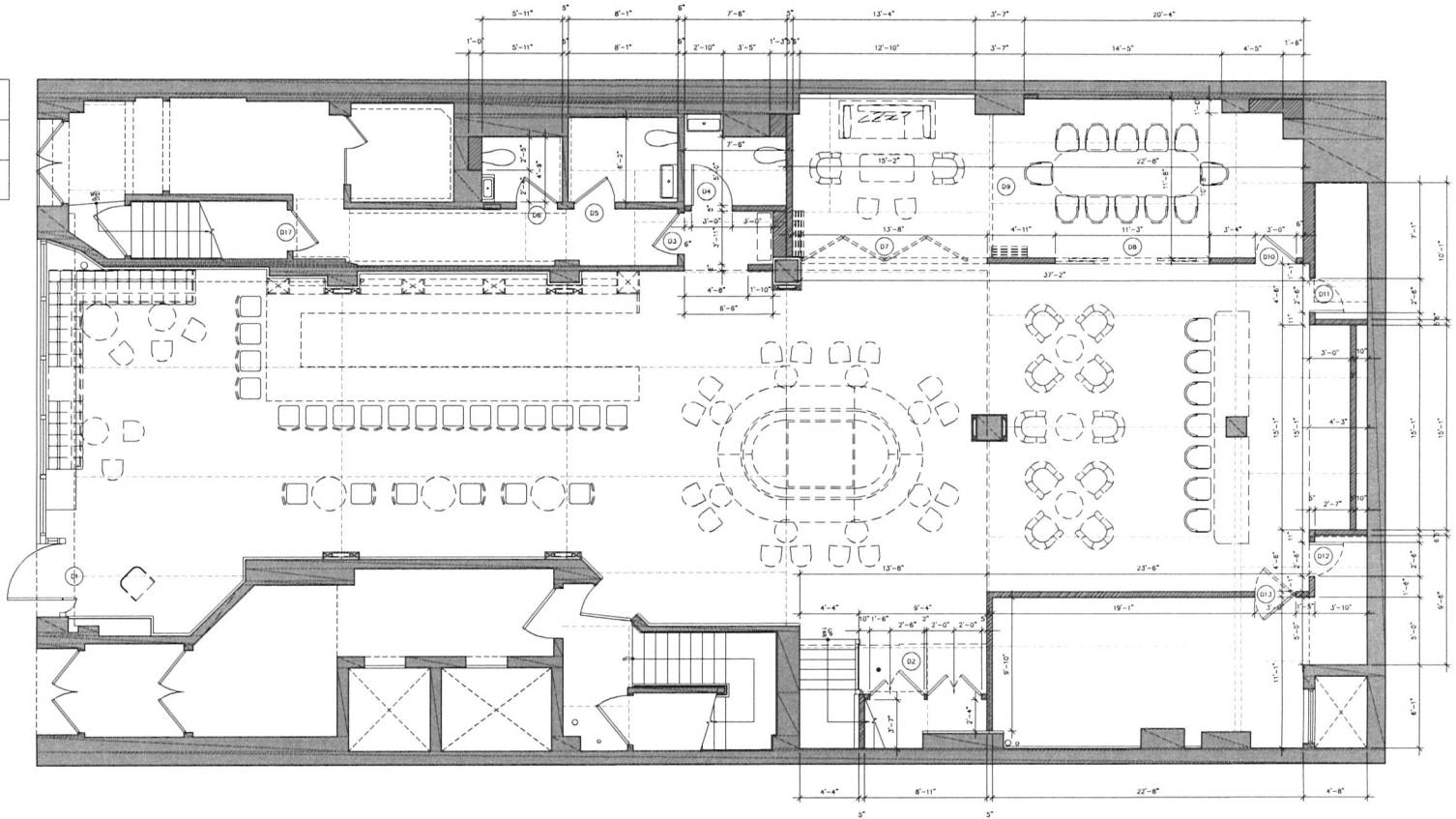
REVISION SCHEDULE					
REV. #	DATE	REV. #	DATE	REV. #	DATE

D2.0
DATE: 09.15.2023 SCALE: AS NOTED

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LEGEND:	
	EXISTING WALLS
	NEW WALLS



01.0 PARTITION PLAN
SCALE: 1/4"=1'-0"

DMDESIGN, LLC

33A WEST 131ST STREET
NEW YORK, NY 10037
T: 646.895.4020
DM@DelphineMaurit.com
www.DMDesign-Architecture.com

35TH STREET LOUNGE
1ST FL PARTITION PLAN

REVISION SCHEDULE

REV. #	DATE	REV. #	DATE	REV. #	DATE



D1.0

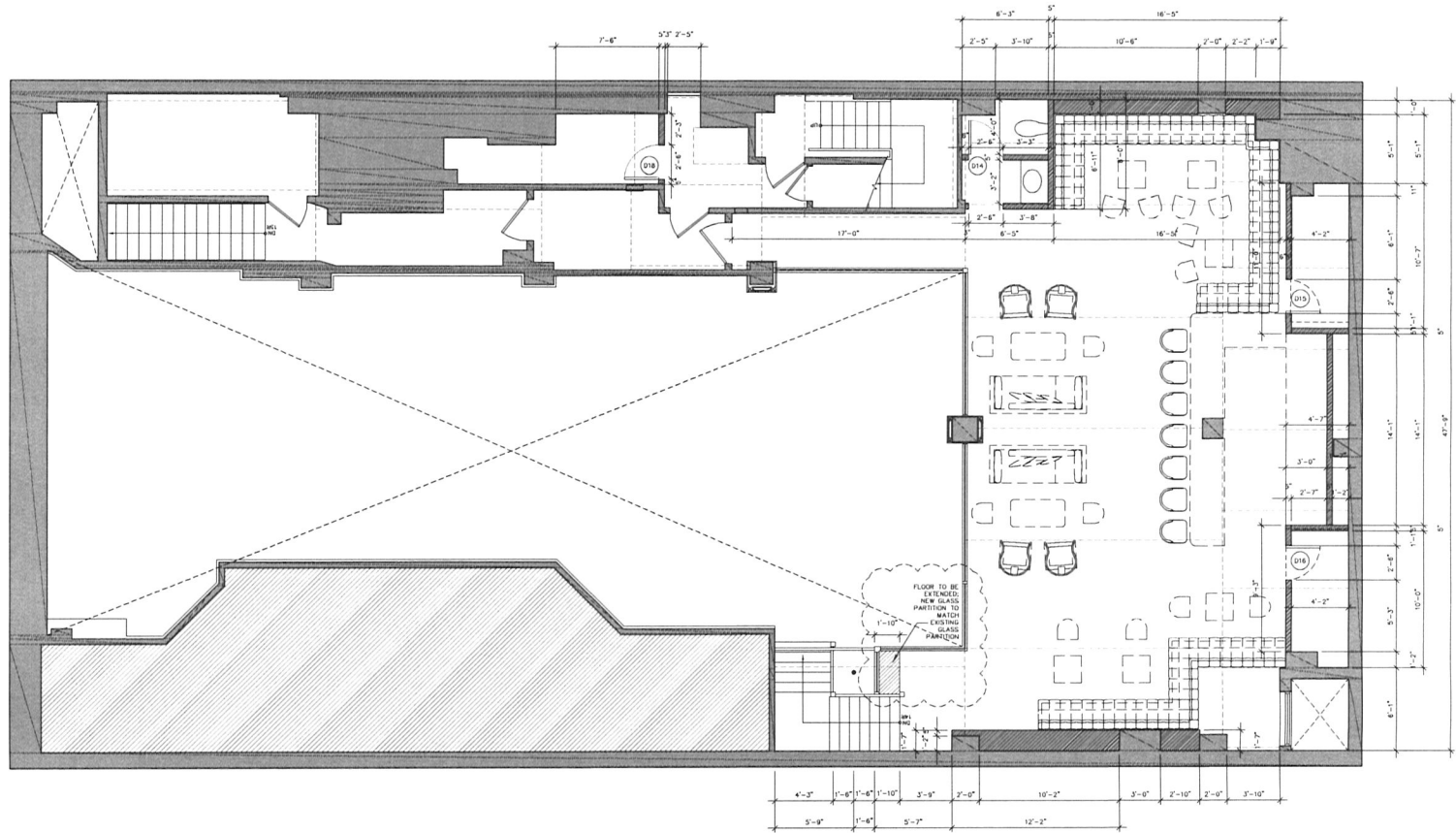
DATE: 09.15.2023 SCALE: AS NOTED

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LEGEND:

	EXISTING WALLS
	NEW WALLS



— PARTITION PLAN
D1.1 SCALE: 1/4"=1'-0"

DMDESIGN, LLC

33A WEST 131ST STREET
NEW YORK, NY 10037
T: 646.895.4020
DM@DelphineMaurot.com
www.DMDesign-Architecture.com

35TH STREET LOUNGE
MEZZANINE PARTITION PLAN

REVISION SCHEDULE

REV. #	DATE	REV. #	DATE	REV. #	DATE

D1.1

DATE: 09.15.2023 SCALE: AS NOTED

The White Swan

DINNER MENU

APPETIZER

EDAMAME with spicy miso glaze	\$0.00	SPICY CARROTS with raisin and sesame	\$0.00
GYOZA	\$0.00		
YELLOWTAIL TACO with Rosé reduction	\$0.00	WAGYU BEEF CARPACCIO with seaweed slaw	\$0.00
SALMON CRISY RICE with sweet and sour sauce	\$0.00	TUNA PIZZA	\$0.00

ENTREE

MISO GLAZED COD	\$0.00	CHICKEN TERIYAKI with crispy brown rice	\$0.00
WHOLE BRANZINO with Cherry Tomato and Ginger Roulade	\$0.00		

SUSHI & SASHIMI

SPICY TUNE with green chili and spicy mayo	\$0.00	CUCUMBER ROLL	\$0.00
SPICY YELLOWTAIL with jalapeño	\$0.00	AVOCADO ROLL	\$0.00
TUNA with pazo sauce	\$0.00	FATTY TORO ROLL	\$0.00
SALMON with asparagus	\$0.00		

JAPANESE MEAT

KOBE BEEF 神戸肉 115/100g	\$0.00	MIYAZAKI 宮崎和牛 75/100g	\$0.00
HIDA 飛騨牛 95/100g	\$0.00	HOKKAIDO 北海道和牛 75/100g	\$0.00
WINE-GYU ワイン牛75/100g	\$0.00	NUMAMOTO 沼本和牛95/100g	\$0.00
		KAGOSHIMA 鹿児島和牛 75/100g	\$0.00

DESSERT

SPICY GREEN TEA MOCHI	\$0.00	RED BEAN SORBET	\$0.00
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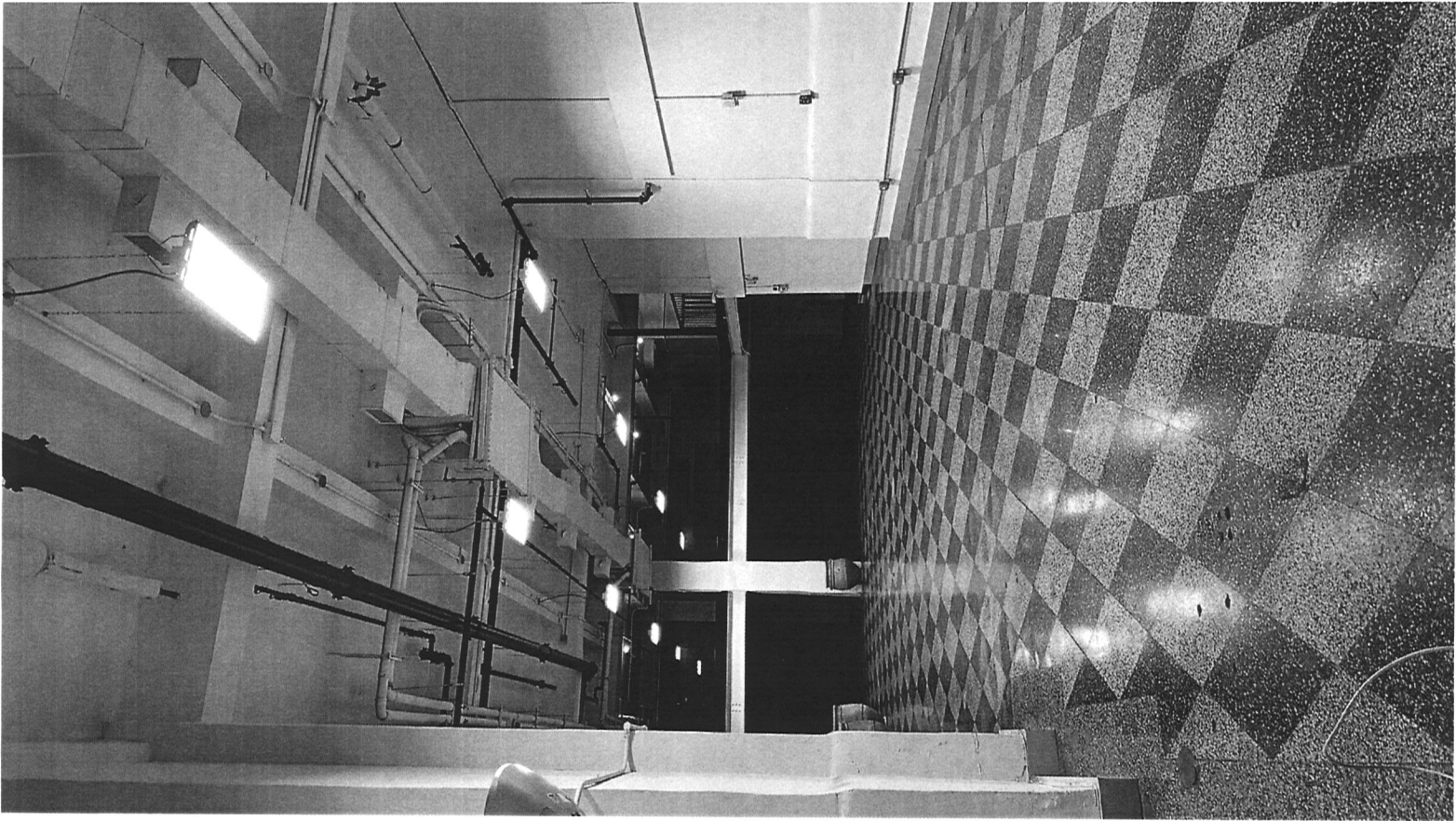
The Tailor Public House	505 8th Ave, New York, NY 10018
Gastro At 35	345 W 35th St, New York, NY 10001
TRYP by Wyndham New York City Times Square South	345 W 35th St, New York, NY 10001
Uncle Jack's Steakhouse - Westside	440 9th Ave, New York, NY 10001
B&W Deli and Pizzeria	373 W 34th St., New York, NY 10001
Patiala	371 W 34th St., New York, NY 10001
Chirp	369 W 34th St., New York, NY 10001
Pokeworks	330 W 34th St., New York, NY 10001
MacGuffins Bar	316 W 34th St., New York, NY 10001
Chipotle Mexican Grill	304 W 34th St. Frnt 2, New York, NY 10001
Tick Tock Diner NY	481 8th Ave, New York, NY 10001
Butcher and Banker NYC	Vault Level, 481 8th Ave, New York, NY 10001
Trattoria Bianca	481 8th Ave, New York, NY 10001
'ESSEN	519 8th Ave, New York, NY 10018
Taste Kitchen	316 W 36th St., New York, NY 10018
Tabernacle Steakhouse	315 W 36th St., New York, NY 10018
Bar 1905	338 W 36th St., New York, NY 10018
The New Yorker Crowne Plaza HY36 Midtown Manhattan	481 8th Ave, New York, NY 10001 320 W 36th St., New York, NY 10018

Staypineapple, An Artful Hotel, Midtown New York	337 W 36th St., New York, NY 10018
DoubleTree by Hilton New York Times Square South	525 8th Ave, New York, NY 10018
voco Times Square South New York, an IHG Hotel	343 W 36th St., New York, NY 10018
Zoob Zib Thai Authentic Noodle Bar	460 9th Ave, New York, NY 10018
High Tea at The PARISIAN TEA ROOM NYC	347 W 36th St., New York, NY 10018
Hudson Yard	392 W 36th St., New York, NY 10018
In Common NYC Cafe	441 9th Ave Suite 101, New York, NY 10001
Vue 180 Rooftop Bar & Lounge	525 8th Ave, New York, NY 10018
The Houndstooth Pub	520 8th Ave, New York, NY 10018
Non Solo Piada	302 W 37th St, New York, NY 10018
Cafe Nunez	240 W 35th St, New York, NY 10001
Jack Doyle's	240 W 35th St, New York, NY 10001
Juniper Bar	237 W 35th St, New York, NY 10001
VERSA	218 W 35th St, New York, NY 10001
John Sullivan's	210 W 35th St, New York, NY 10001











NOTE:

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INTERIOR DESIGNER

DRAWINGS

DRAWING NO.	DESCRIPTION:	DRAWING NO.	DESCRIPTION:
D0.0	DRAWING LIST	D15.0	MAIN BAR B DRAWING
D1.0	1ST FLOOR – PARTITION PLAN	D15.1	MAIN BAR B DRAWING
D1.1	MEZZANINE – PARTITION PLAN	D16.0	CIRCULAR BANQUETTE B DRAWING
D1.2	DOOR SCHEDULE	D17.0	BAR 1 PLAN B DRAWING
D1.3	DOOR SCHEDULE	D17.1	BAR 1 PLAN SECTION B DRAWING
D2.0	1ST FLOOR – FURNITURE PLAN	D17.2	BAR 1 CEILING PLAN B DRAWING
D2.1	MEZZANINE – FURNITURE PLAN	D17.3	BAR 1 ELEVATIONS & SECTION B DRAWING
D3.0	1ST FLOOR – FLOOR FINISH PLAN	D18.0	DINING TABLE B DRAWING
D3.1	MEZZANINE – FLOOR FINISH PLAN	D19.0	HOST STAND B DRAWING
D4.0	1ST FLOOR – REFLECTED CEILING PLAN	D20.0	BAR 2 PLAN B DRAWING
D4.1	MEZZANINE – REFLECTED CEILING PLAN	D20.1	BAR 2 PLAN SECTION B DRAWING
D5.0	1ST FLOOR – ELECTRICAL PLAN	D20.2	BAR 2 CEILING PLAN B DRAWING
D5.1	MEZZANINE – ELECTRICAL PLAN	D20.3	BAR 2 ELEVATIONS & SECTION B DRAWING
D6.0	1ST FLOOR – IT OUTLET PLAN	D21.0	MEZZANINE BANQUETTE 1 B DRAWING
D6.1	MEZZANINE – IT OUTLET PLAN	D21.1	MEZZANINE BANQUETTE 2 B DRAWING
D7.0	FACADE ELEVATION	D22.0	SPARE
D8.0	1ST FLOOR INTERIOR ELEVATIONS	D23.0	MIRROR PLATFORM B DRAWING
D8.1	1ST FLOOR INTERIOR ELEVATIONS	D24.0	COAT CLOSET B DRAWING
D9.0	PRIVATE LOUNGE ELEVATIONS	D25.0	STAIRS B DRAWING
D9.1	PRIVATE DINING ROOM ELEVATIONS		
D10.0	HALLWAY ELEVATIONS		
D10.1	HALLWAY ELEVATIONS		
D11.0	RESTROOM 1 ELEVATIONS		
D11.1	ADA RESTROOM ELEVATIONS		
D11.2	RESTROOM 2 ELEVATIONS		
D12.0	MEZZANINE INTERIOR ELEVATIONS		
D13.0	MEZZANINE RESTROOM ELEVATIONS		
D14.0	ENTRANCE BANQUETTE B DRAWING		

FREESTANDING MILLWORK, FURNITURE & LIGHT FIXTURE REFER TO FURNITURE PACKAGE & LIGHTING LIST

GENERAL NOTES:

- THESE DRAWINGS ARE FOR REFERENCE ONLY. ALL THE DIMENSIONS NEED TO BE VERIFIED ON SITE BY CONTRACTOR.
- ALL OF THE DRAWINGS PROVIDED BY DMDESIGN TO BE VERIFIED BY ARCHITECT ON THE FOLLOWING BUT NOT LIMITED TO: ADA/BUILDING CODES, FIRE REGULATIONS, ZONING LAWS, ETC...
- DMDESIGN'S DRAWING ARE BASED ON KNOWLEDGE PROVIDED BY ARCHITECT & SITE SURVEY TEAM. DMDESIGN SHOULD BE NOTIFIED FOR ANY CHANGE OF CONDITION ON SITE AND IS NOT RESPONSIBLE FOR ANY DELAY OCCURRED DUE TO THE CONDITION CHANGE.

RCP NOTES:

- GENERAL CONTRACTOR SHALL REFER TO THIS PLAN FOR LIGHTING FIXTURE LOCATIONS. CONSULT & REFER TO ENGINEERS DRAWING FOR CIRCUITING, THE CIRCUITING DRAWING ON THIS PLAN IS FOR REFERENCE ONLY.
- ENGINEER TO LOCATE ALL THE CEILING EQUIPMENT INCLUDE BUT NOT LIMITED TO: SPRINKLER, HVAC AND SO ON IN ACCORDANCE WITH DMDESIGN'S RCP TO AVOID ANY CONFLICT BETWEEN LIGHTING FIXTURES AND EQUIPMENTS.
- ALL LIGHTING DIMENSIONS TO BE VERIFIED ON SITE.

EQUIPMENT NOTES:

- CONTRACTOR IS TO COORDINATE WITH MECHANICAL/ELECTRICAL ENGINEER ON SITE. CONTRACTOR IS TO CONFIRM ALL MECHANICAL AND ELECTRICAL REQUIREMENTS AND ALL EQUIPMENT SIZES BEFORE PROCEEDING WITH NY ADJACENT MILLWORK. EQUIPMENT PROVIDED BY THE CLIENT IS TO BE INSTALLED BY THE CONTRACTOR, UNLESS NOTED OTHERWISE.
- TELEPHONE AND COMPUTER SYSTEMS ARE TO BE SUPPLIED BY OTHERS AND CONDUIT IS TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR.

MECHANICAL / ELECTRICAL NOTES:

- FOR SPECIFICATIONS OF OUTLETS REFER TO THE ELECTRICAL ENGINEER'S DRAWINGS. UNLESS OTHERWISE NOTED, ALL DUPLEX OUTLETS RE TO BE MOUNTED AT 14" O.C. A.F.F. ALL COUNTER BACK WALL-TYPE DUPLEX OUTLETS RE TO BE MOUNTED AT 6" O.C. ABOVE THE COUNTER, UNLESS NOTED OTHERWISE.
- THE ELECTRICAL CONTRACTOR IS TO CONFIRM THE LOCATION OF SECURITY, TELEPHONE, COMPUTER, PUBLIC ADDRESS AND MUSIC SYSTEM EQUIPMENT, AND PROVIDE WIRE STUBS AS REQUIRED.
- CONTRACTOR TO ENSURE THAT ALL STANDARD AND CUSTOM LIGHT FIXTURES COMPLY WITH REQUIRED BUILDING AND ELECTRICAL CODES
- PRIOR TO CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL THE DRAWINGS AND SITE CONDITIONS TO ENSURE THAT BOTH THE EXISTING AND THE NEW SERVICE DUCTING, PIPING, CONDUITS, EQUIPMENT, FIXTURES ETC. DO NOT INTERFERE WITH HE INTERIOR WORK. IF THERE IS ANY INTERFERENCE, THE INTERIOR DESIGNER MUST BE NOTIFIED BEFORE CONSTRUCTION FOR NECESSARY MODIFICATION OF THE WORK TO SUIT. NO EXTRA(S) WILL BE ENTERTAINED FOR ANY ALTERATION AND/OR ADDITIONAL WORK TO ACCOMMODATE SUCH MODIFICATIONS DURING OR AFTER THE CONSTRUCTION PERIOD.

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www.DMDesign-Architecture.com

35TH STREET LOUNGE TABLE OF CONTENTS & GENERAL NOTES

REVISION SCHEDULE

REV. #	DATE	REV. #	DATE	REV. #	DATE



D0.0

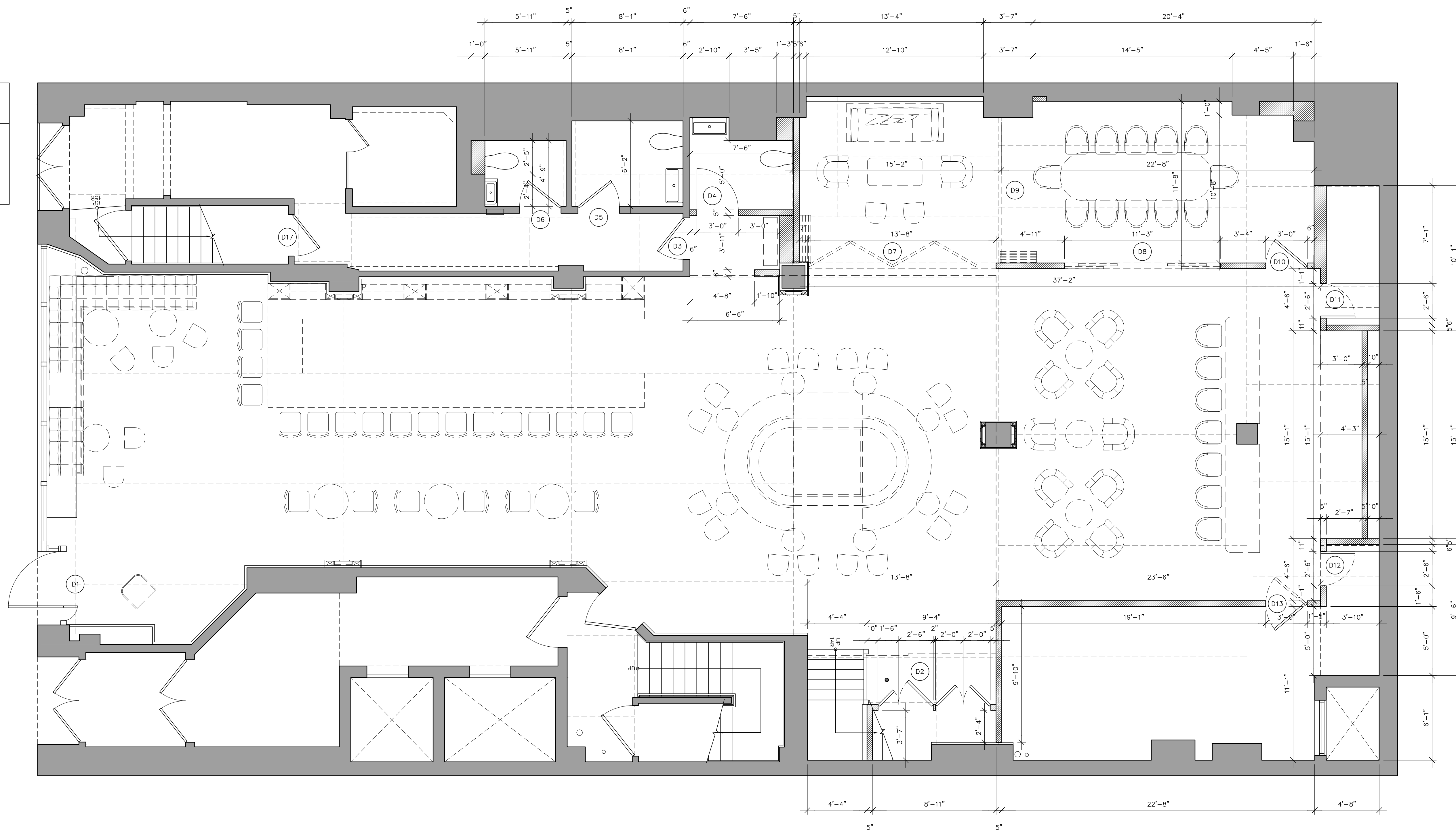
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NOTE:

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LEGEND:

-  EXISTING WALLS
-  NEW WALLS



 PARTITION PLAN
D1.0 SCALE: 1/4"=1'-0"

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35TH STREET LOUNGE
 1ST FL PARTITION PLAN

REVISION SCHEDULE					
REV. #	DATE	REV. #	DATE	REV. #	DATE

D1.0

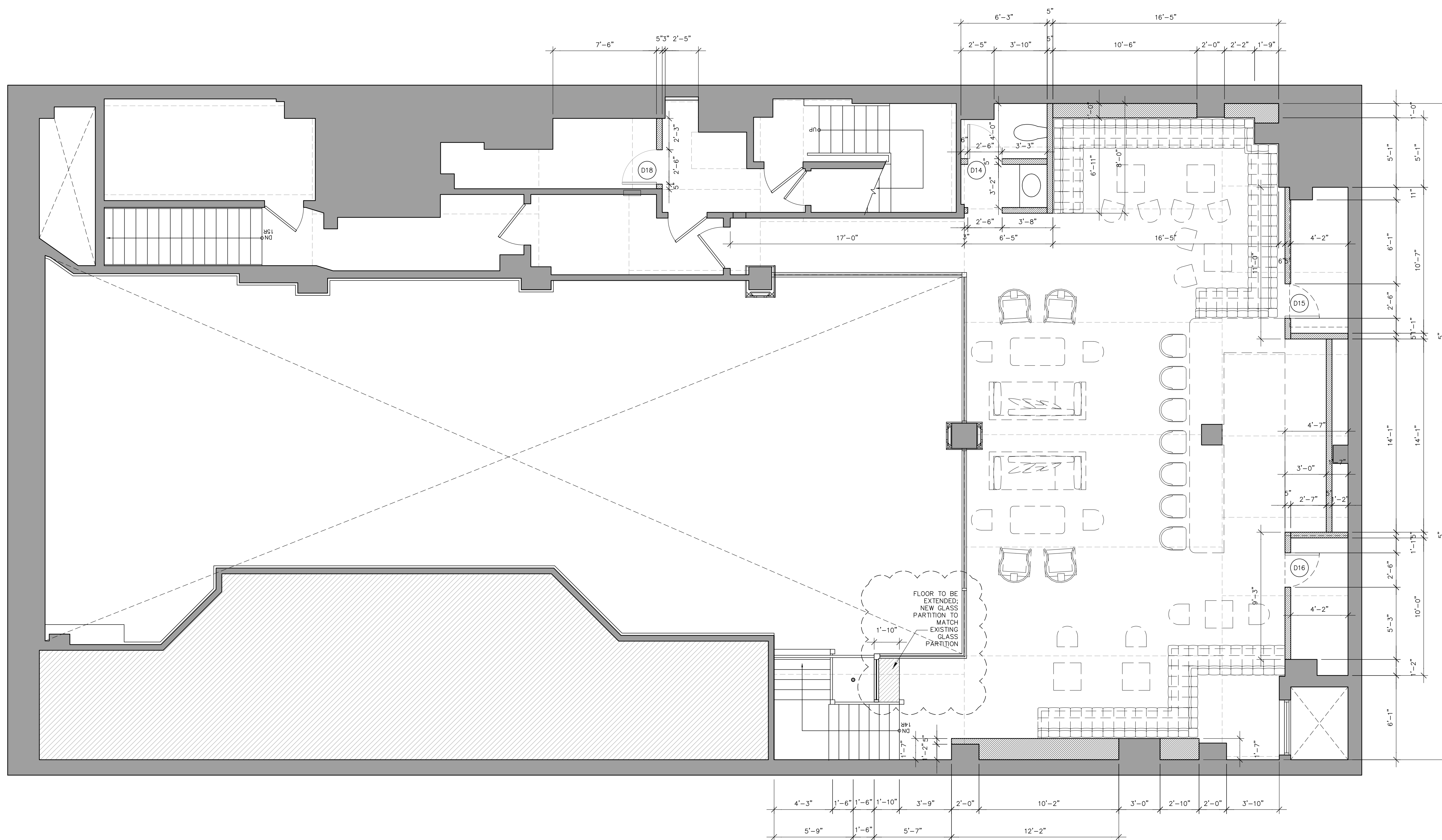
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LEGEND:

- EXISTING WALLS
- NEW WALLS

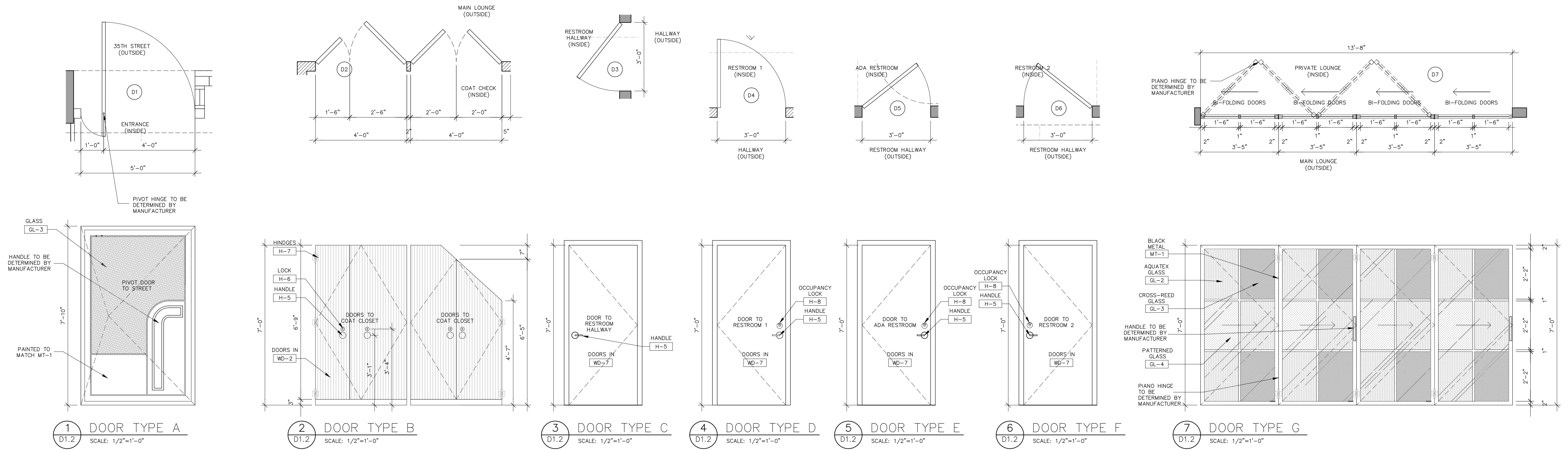


PARTITION PLAN
D1.1 SCALE: 1/4"=1'-0"

REVISION SCHEDULE					
REV. #	DATE	REV. #	DATE	REV. #	DATE

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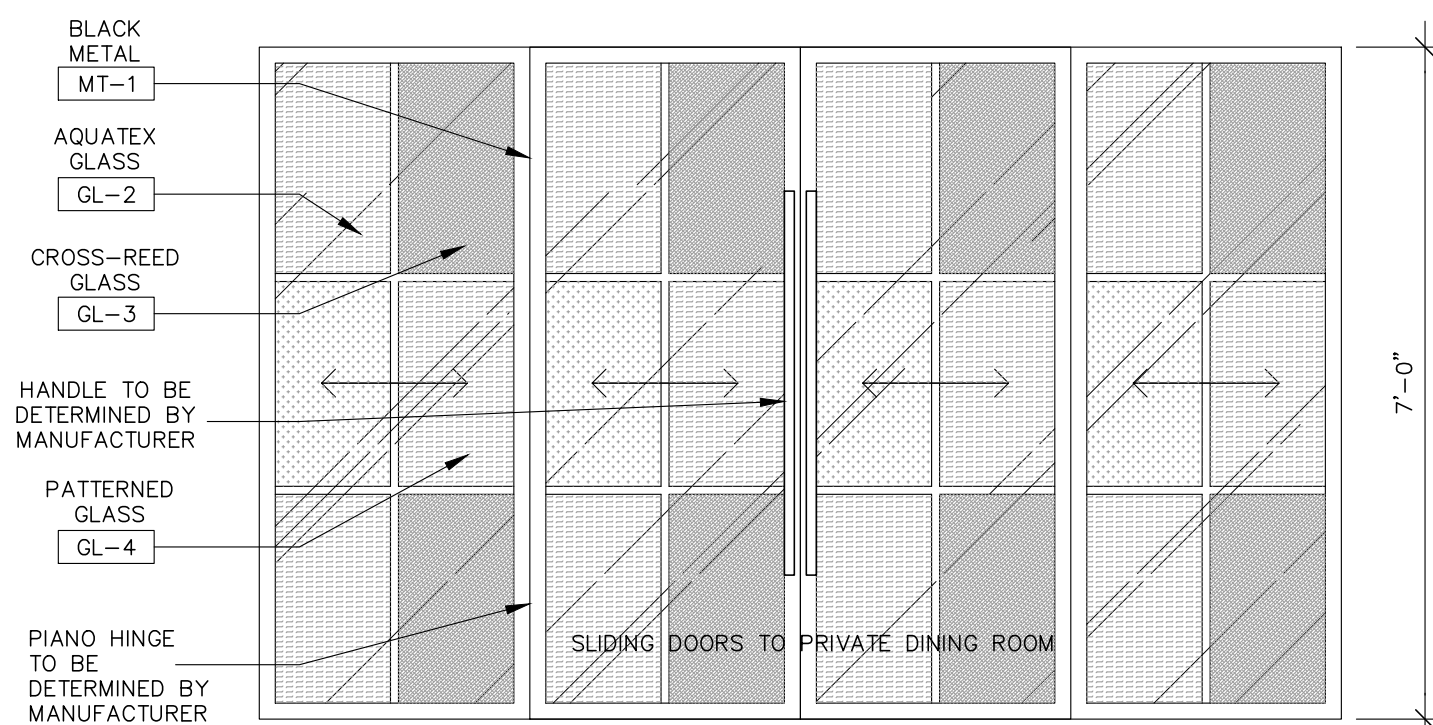
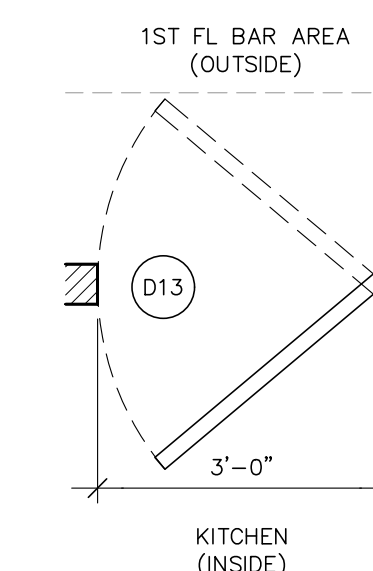
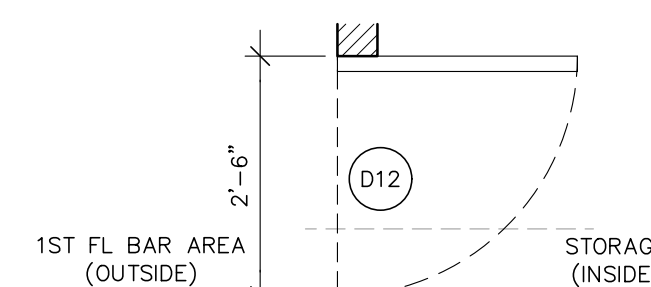
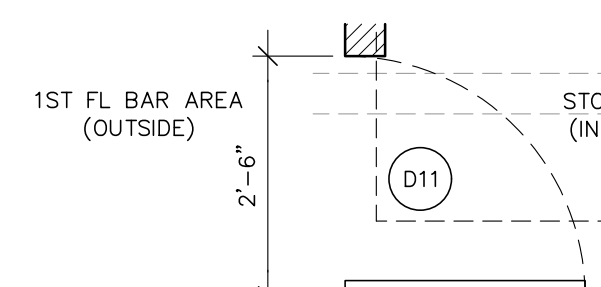
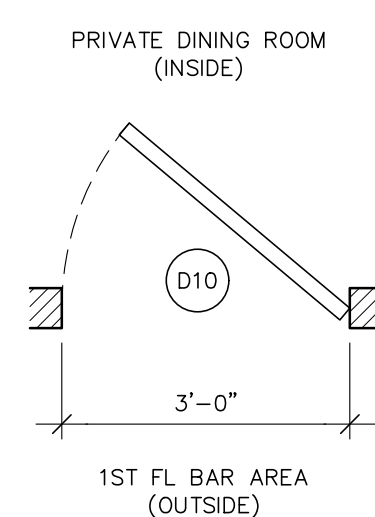
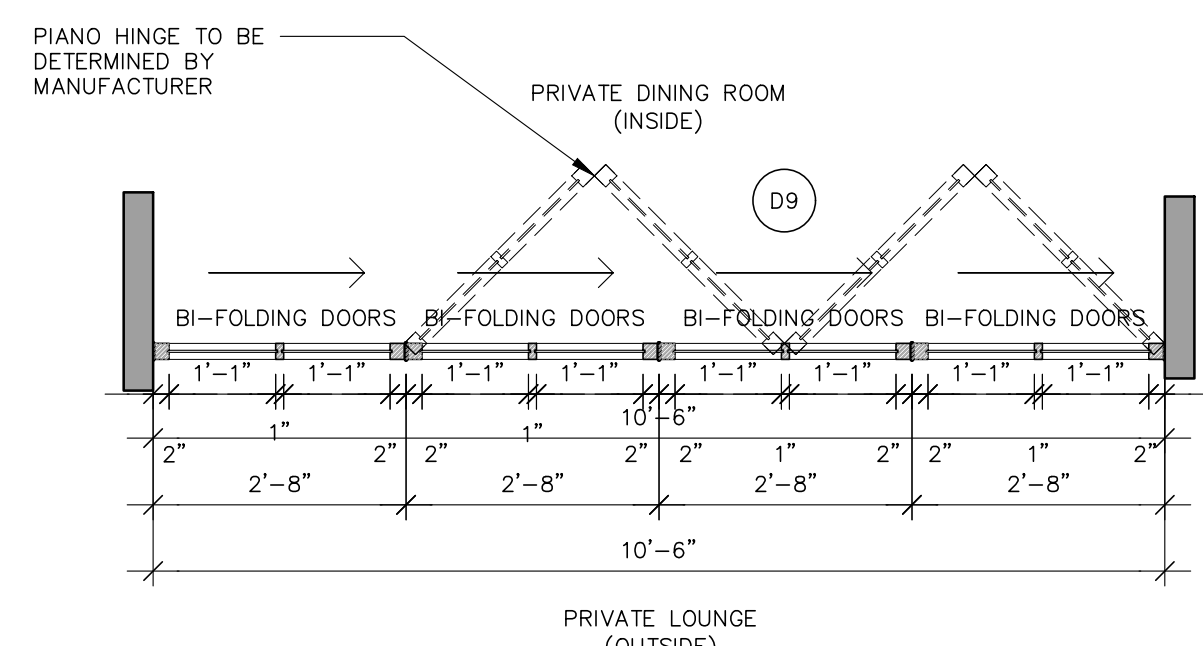
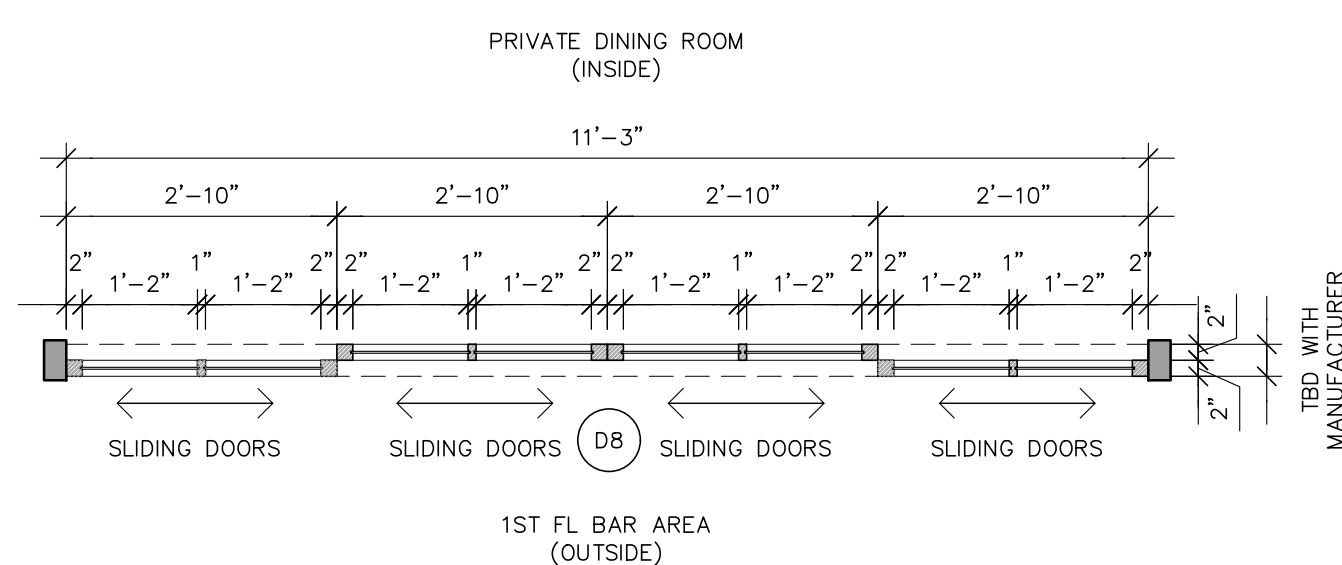


DOOR SCHEDULE

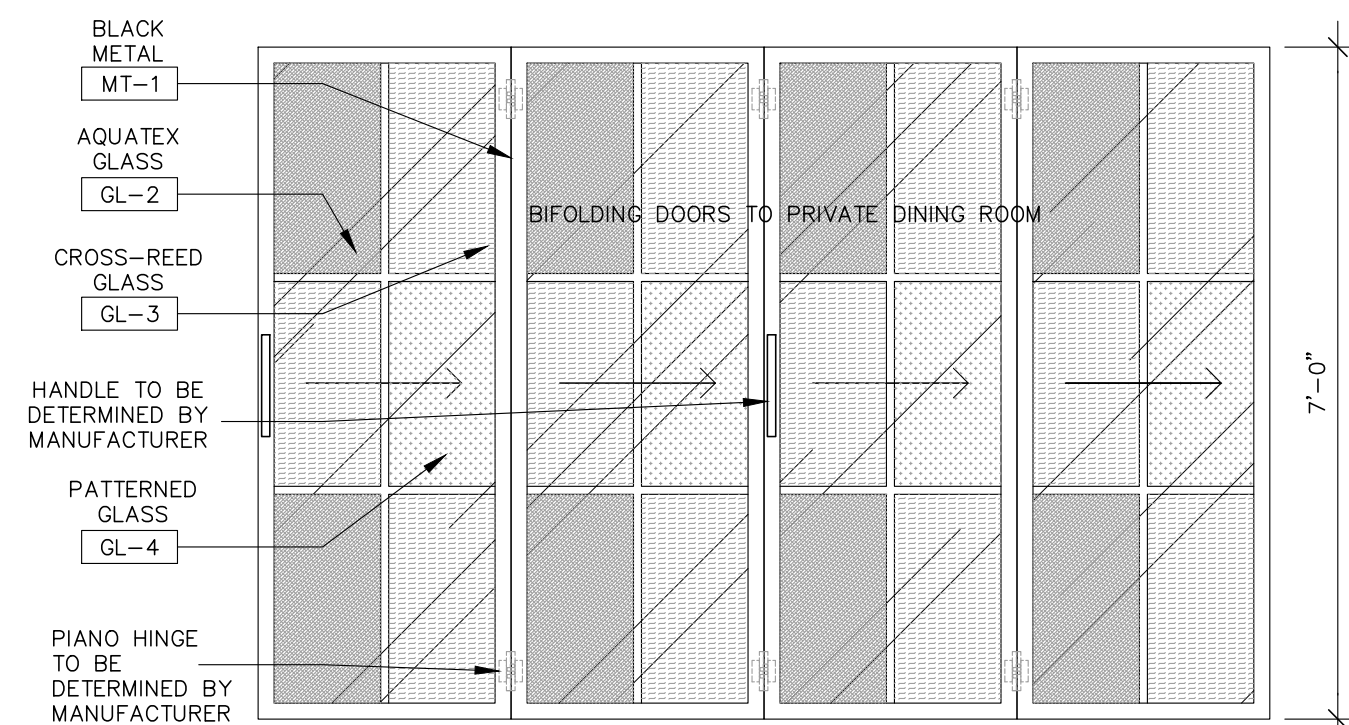
DOOR-NO.	CONDITION	QUANTITY	MATERIAL/FINISH	OUTSIDE	INSIDE	DOOR OPENING TYPE	DOOR TYPE	WIDTH	HEIGHT	HANDLE	LOCK	HINGE	GENERAL NOTES:
D1	NEW	1	METAL; PAINTED & GLASS	OUTDOOR SIDEWALK	ENTRANCE	SINGLE PIVOT; OUTSWING	TYPE A	5'-0"	TO BE VERIFIED	TBD	TBD	TBD	ALL HARDWARE TBD BY MANUFACTURER
D2	NEW	2	WOOD WD-2	MAIN LOUNGE	COAT CHECK	DOUBLE DOOR; INSWING	TYPE B	(4) 2'-0"	7'-0"	H-5	YES; H-6	H-7	
D3	EXISTING	1	WOOD; PAINTED	HALLWAY	RESTROOM HALLWAY	RIGHT-HAND; OUTSWING	TYPE C	3'-0"	7'-0"	H-5	NO	STND.	
D4	EXISTING	1	WOOD; PAINTED	HALLWAY	RESTROOM 1	LEFT-HAND; OUTSWING	TYPE D	3'-0"	7'-0"	H-5	YES; H-8	STND.	
D5	EXISTING	1	WOOD; PAINTED	RESTROOM HALLWAY	ADA RESTROOM	LEFT-HAND; OUTSWING	TYPE E	3'-0"	7'-0"	H-5	YES; H-8	STND.	
D6	EXISTING	1	WOOD; PAINTED	RESTROOM HALLWAY	RESTROOM 2	RIGHT-HAND; OUTSWING	TYPE F	3'-0"	7'-0"	H-5	YES; H-8	STND.	
D7	NEW	1	METAL & GLASS	MAIN LOUNGE	PRIVATE LOUNGE	BI-FOLDING DOORS	TYPE G	(4) 3'-5"	7'-0"	TBD	NO	TBD	ALL HARDWARE TBD BY MANUFACTURER
D8	NEW	1	METAL & GLASS	1ST FL BAR AREA	PRIVATE DINING RM	SLIDING DOORS	TYPE H	3'-0"	7'-0"	TBD	NO	TBD	ALL HARDWARE TBD BY MANUFACTURER
D9	NEW	1	METAL & GLASS	PRIVATE LOUNGE	PRIVATE DINING RM	BI-FOLDING DOORS	TYPE I	3'-0"	7'-0"	TBD	NO	TBD	ALL HARDWARE TBD BY MANUFACTURER
D10	NEW	1	WOOD; PAINTED	1ST FL BAR AREA	PRIVATE DINING RM	RIGHT-HAND; INSWING	TYPE J	2'-6"	7'-0"	H-5	NO	STND.	
D11	NEW	1	WOOD; PAINTED	1ST FL BAR AREA	STORAGE	RIGHT-HAND; INSWING	TYPE K	2'-6"	5'-4"	H-5	YES; H-6	STND.	COLOR OF THE DOOR TO MATCH EXISTING WALLS
D12	NEW	1	WOOD; PAINTED	1ST FL BAR AREA	STORAGE	LEFT-HAND; INSWING	TYPE L	3'-0"	5'-4"	H-5	YES; H-6	STND.	COLOR OF THE DOOR TO MATCH EXISTING WALLS
D13	NEW	1	METAL	1ST FL BAR AREA	KITCHEN	LEFT-HAND; DOUBLE SWING	TYPE M	4'-0"	7'-0"	H-5	NO	STND.	SWINGS BOTH IN AND OUT
D14	NEW	1	WOOD; PAINTED	MEZZANINE BAR AREA	MEZZANINE RESTROOM	LEFT-HAND; INSWING	TYPE N	3'-6"	7'-0"	H-5	YES; H-8	STND.	
D15	NEW	1	WOOD; PAINTED	MEZZANINE BAR AREA	STORAGE	RIGHT-HAND; INSWING	TYPE O	3'-6"	4'-5"	H-13	NO	STND.	COLOR OF THE DOOR TO MATCH EXISTING WALLS
D16	NEW	1	WOOD; PAINTED	MEZZANINE BAR AREA	STORAGE	LEFT-HAND; INSWING	TYPE P	3'-6"	4'-5"	H-5	YES; H-6	STND.	COLOR OF THE DOOR TO MATCH EXISTING WALLS
D17	EXISTING	1	FIRE RATED DOOR	RESTROOM HALLWAY	STAIRWELL	LEFT-HAND; OUTSWING	TYPE Q	3'-0"	7'-0"	EXISTING	EXISTING	STND.	COLOR OF THE DOOR TO MATCH EXISTING WALLS
D18	NEW	1	WOOD; PAINTED	STAIRWELL	IT ROOM	LEFT-HAND; OUTSWING	TYPE R	2'-6"	TO BE VERIFIED	H-5	YES; H-6	STND.	

NOTE:

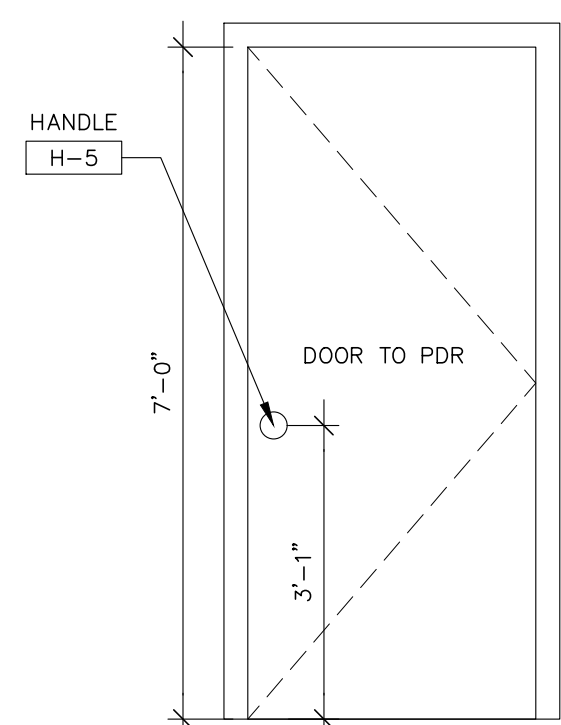
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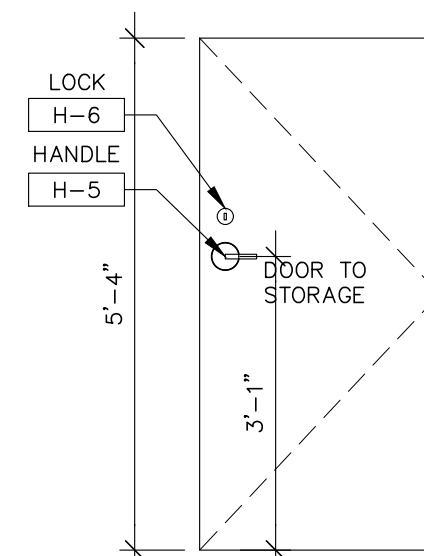
8 DOOR TYPE H
D1.3 SCALE: 1/2"=1'-0"



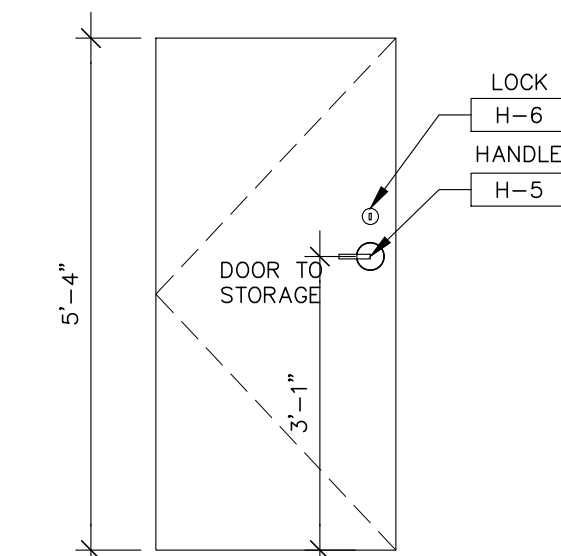
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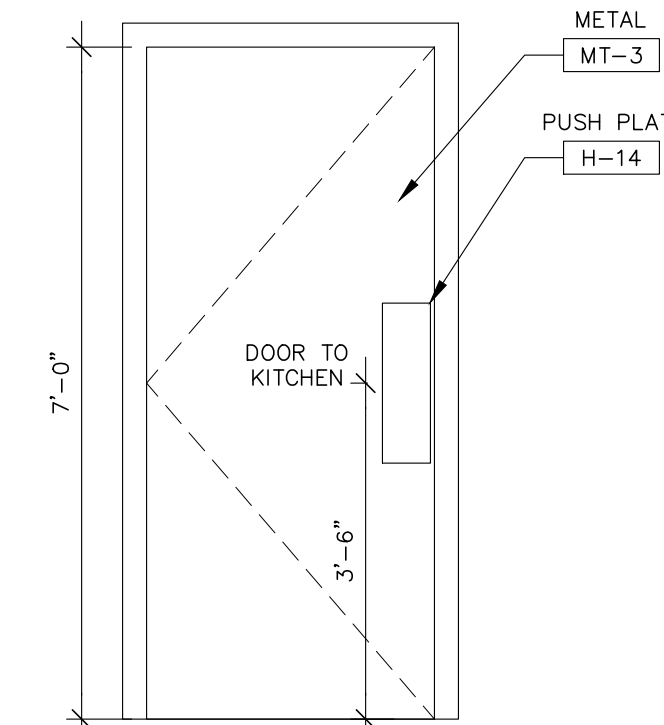
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D1.3 SCALE: 1/2"=1'-0"



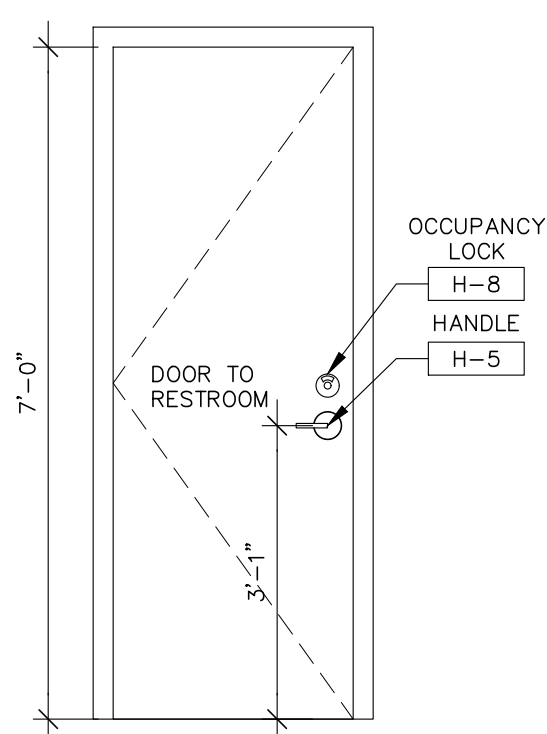
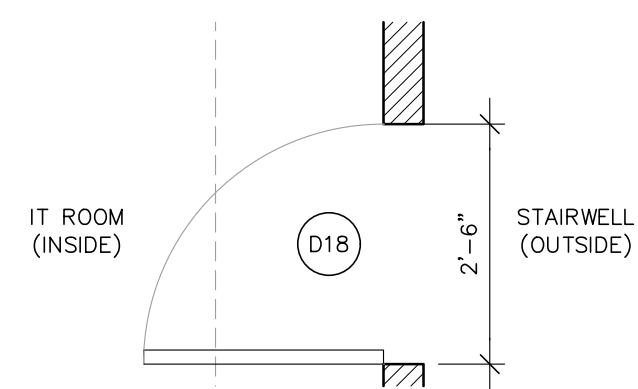
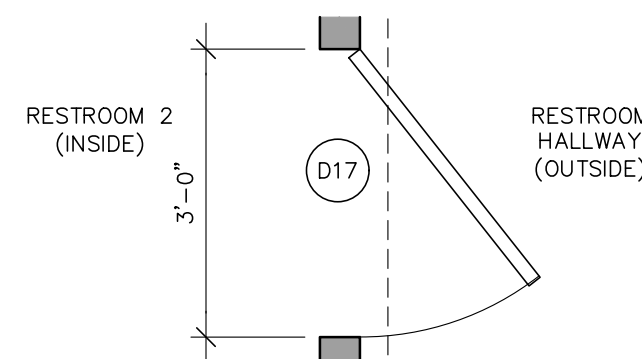
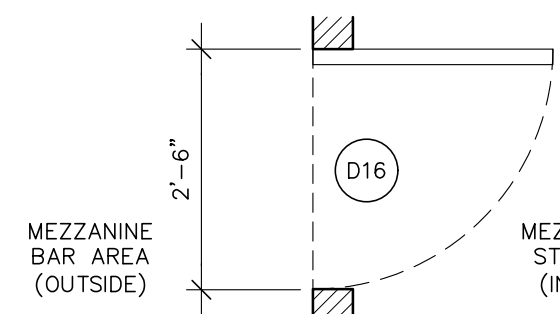
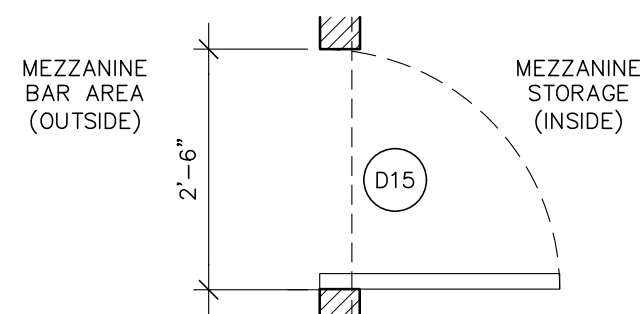
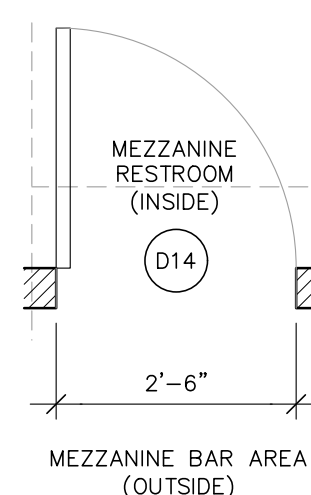
11 DOOR TYPE K
D1.3 SCALE: 1/2"=1'-0"



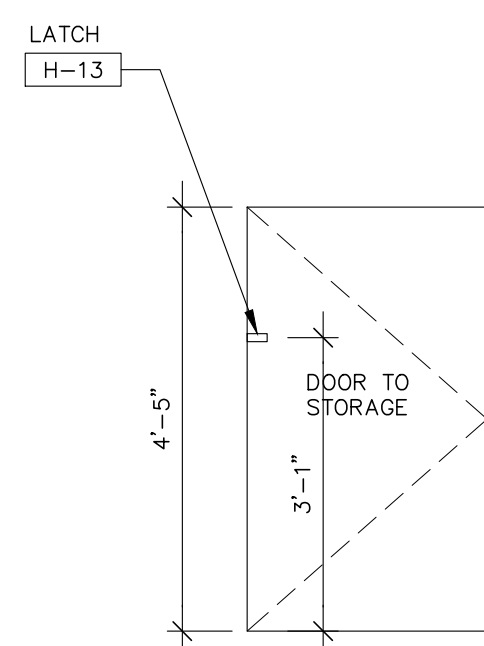
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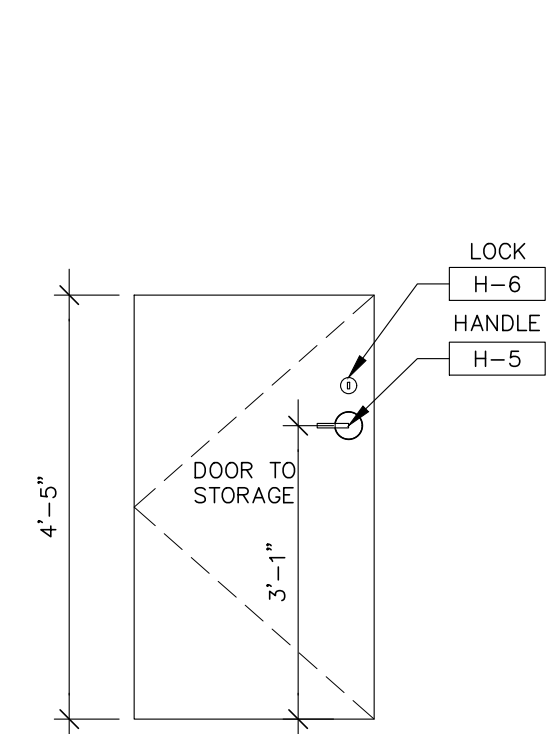
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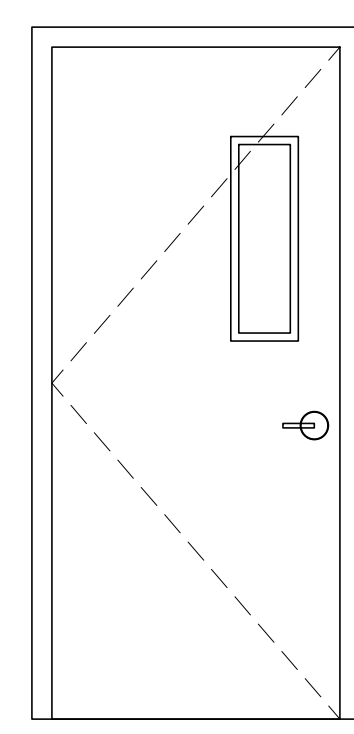
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D1.3 SCALE: 1/2"=1'-0"



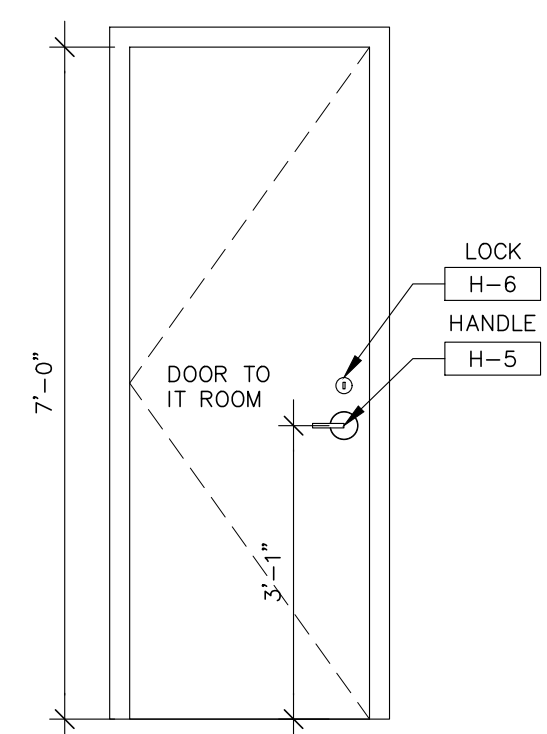
15 DOOR TYPE O
D1.3 SCALE: 1/2"=1'-0"



16 DOOR TYPE P
D1.3 SCALE: 1/2"=1'-0"



17 DOOR TYPE Q
D1.3 SCALE: 1/2"=1'-0"



18 DOOR TYPE R
D1.3 SCALE: 1/2"=1'-0"

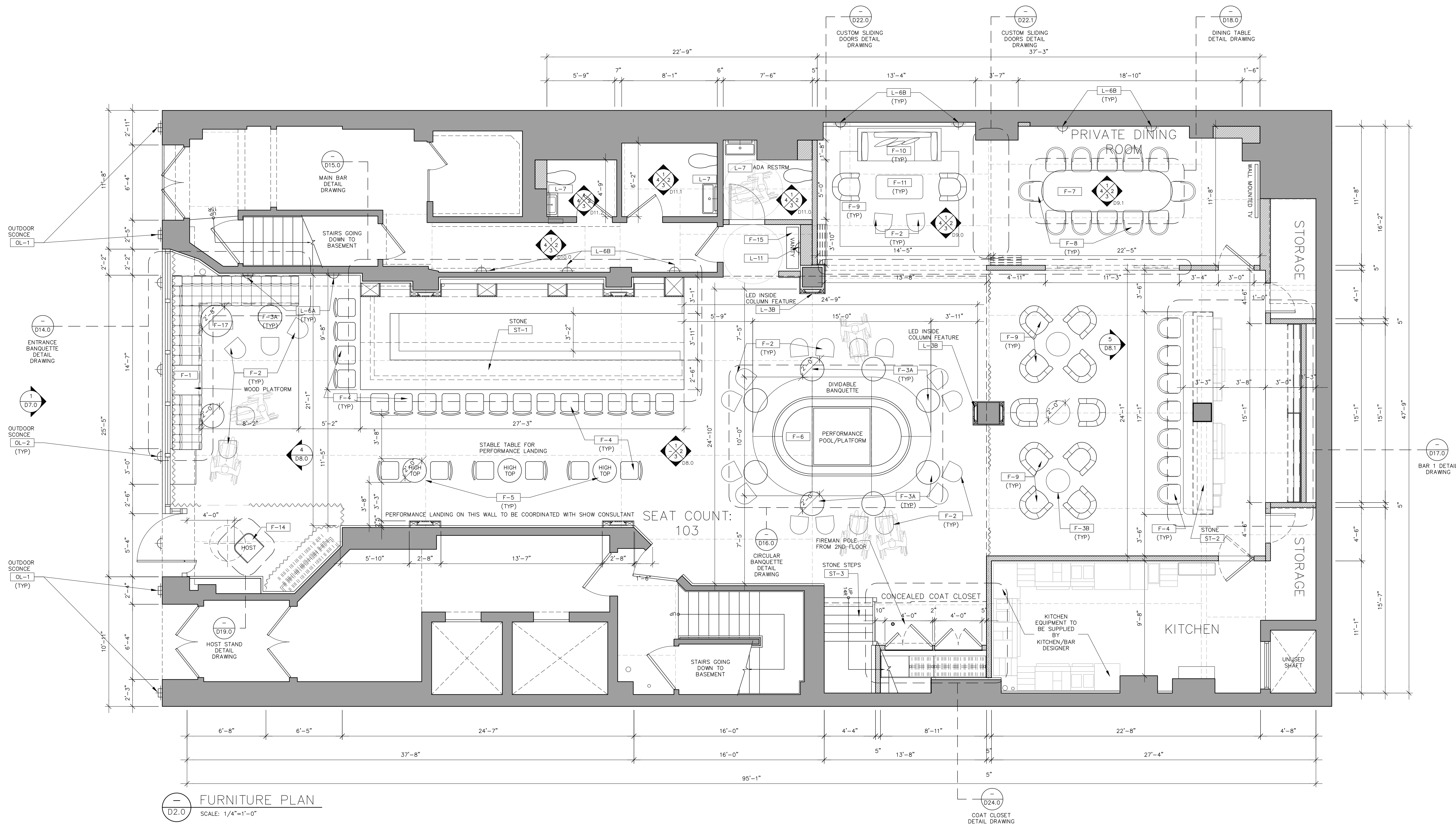
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D1.3

DATE: 09.15.2023 SCALE: AS NOTED

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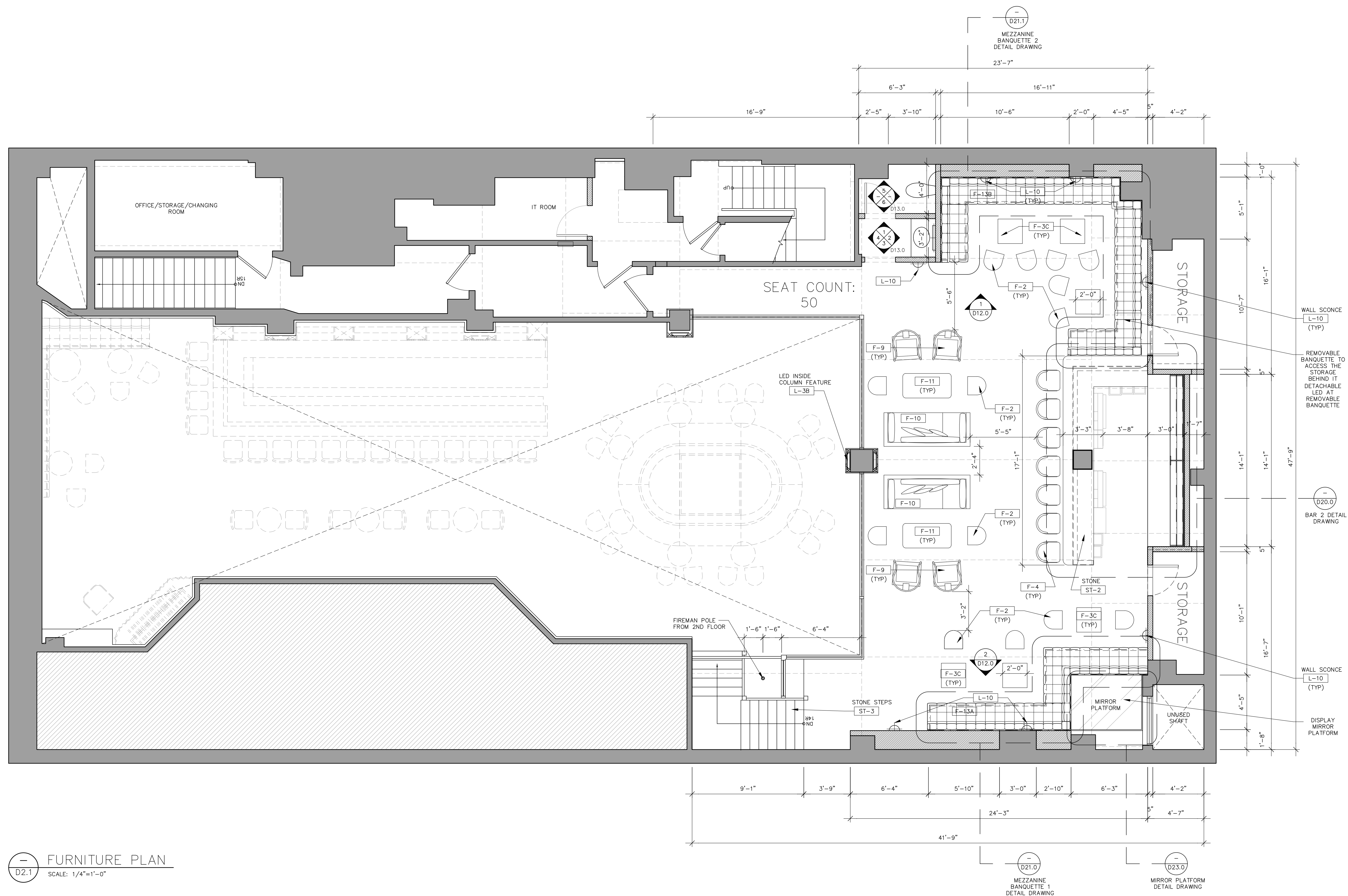


FURNITURE PLAN
SCALE: 1/4"=1'-0"

REVISION SCHEDULE					
REV. #	DATE	REV. #	DATE	REV. #	DATE

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D2.1 FURNITURE PLAN
SCALE: 1/4"=1'-0"

35TH STREET LOUNGE
MEZZANINE FURNITURE PLAN

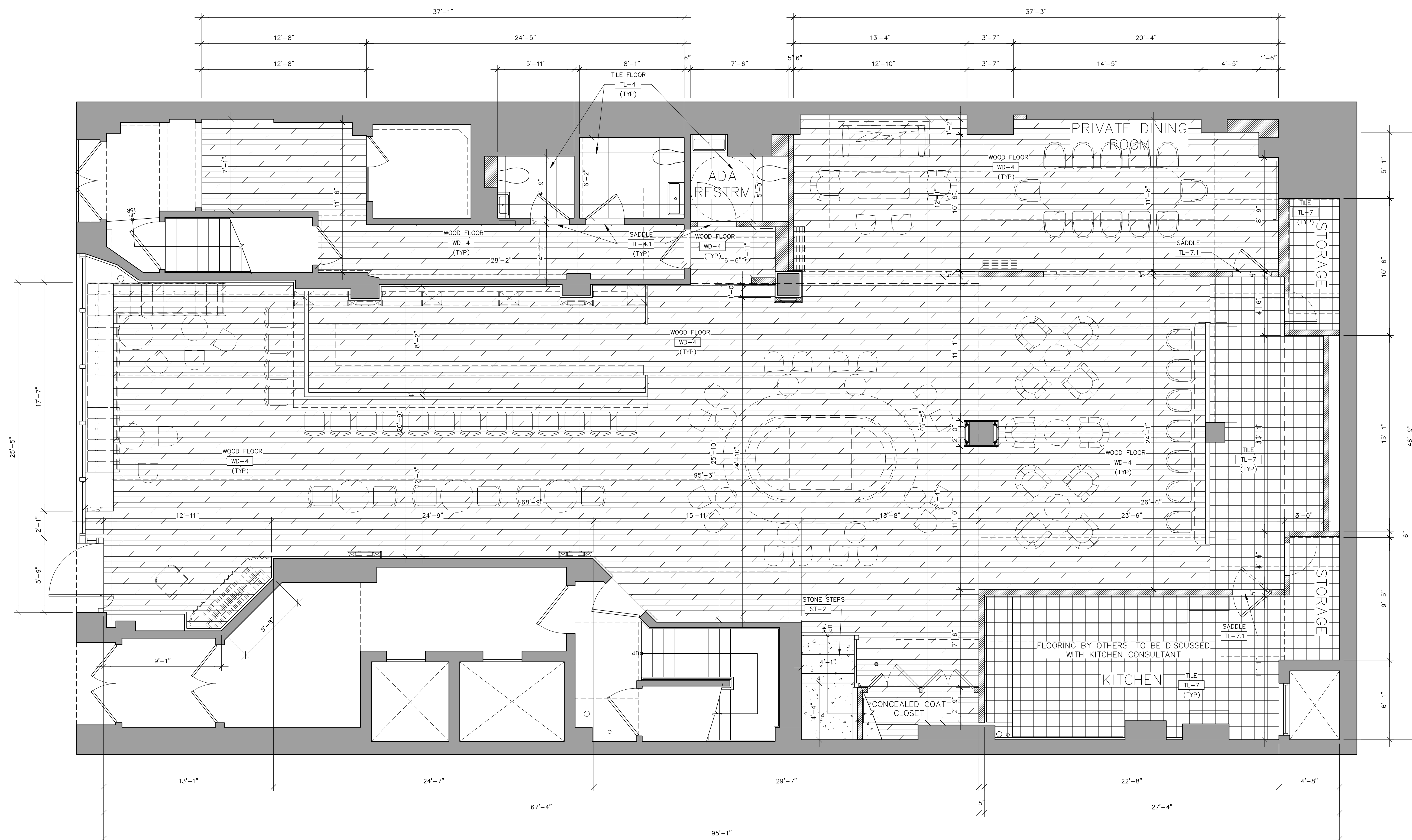
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D2.1

DATE: 09.15.2023 SCALE: AS NOTED

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35TH STREET LOUNGE
 FLOOR FINISH PLAN

REVISION SCHEDULE

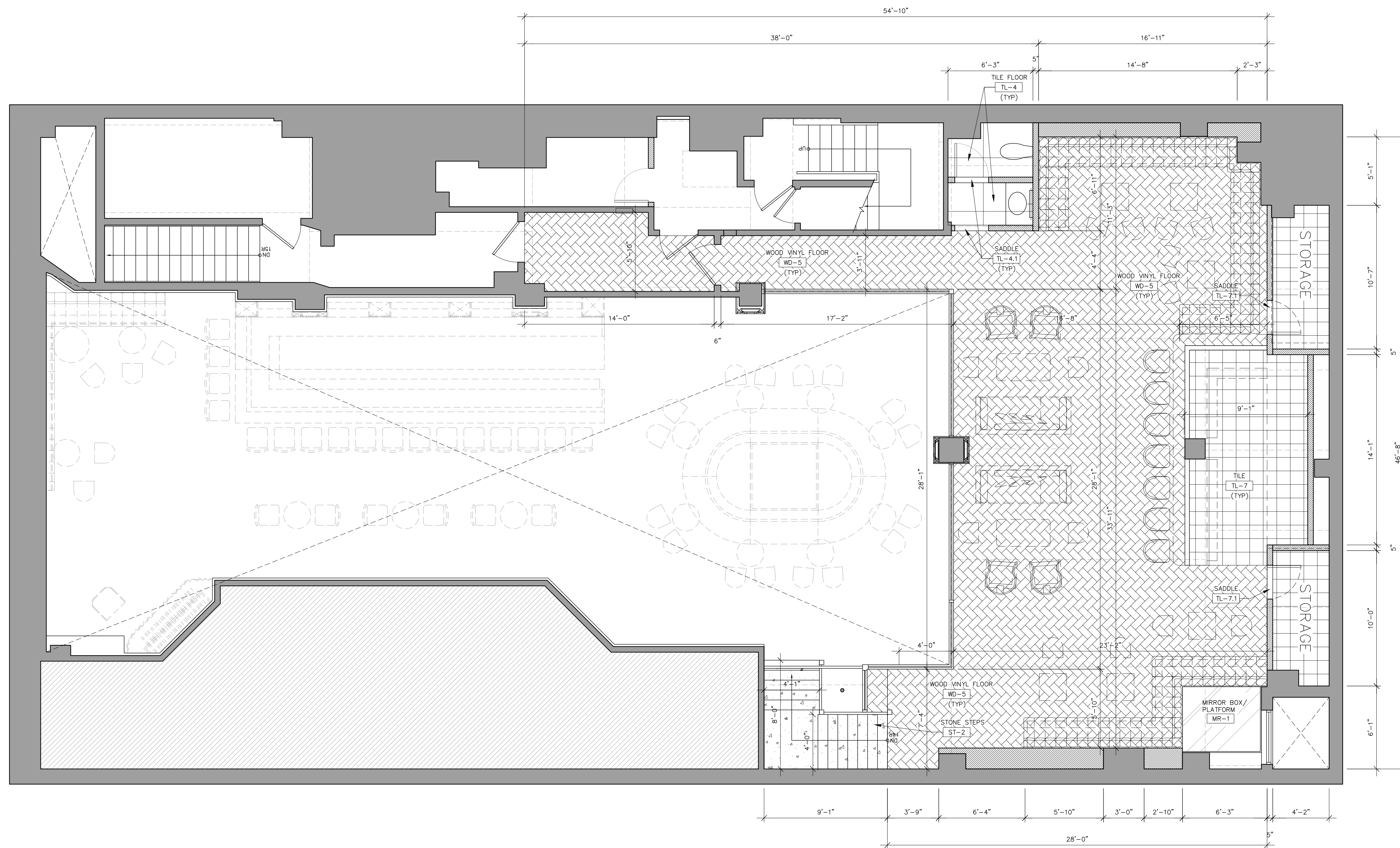
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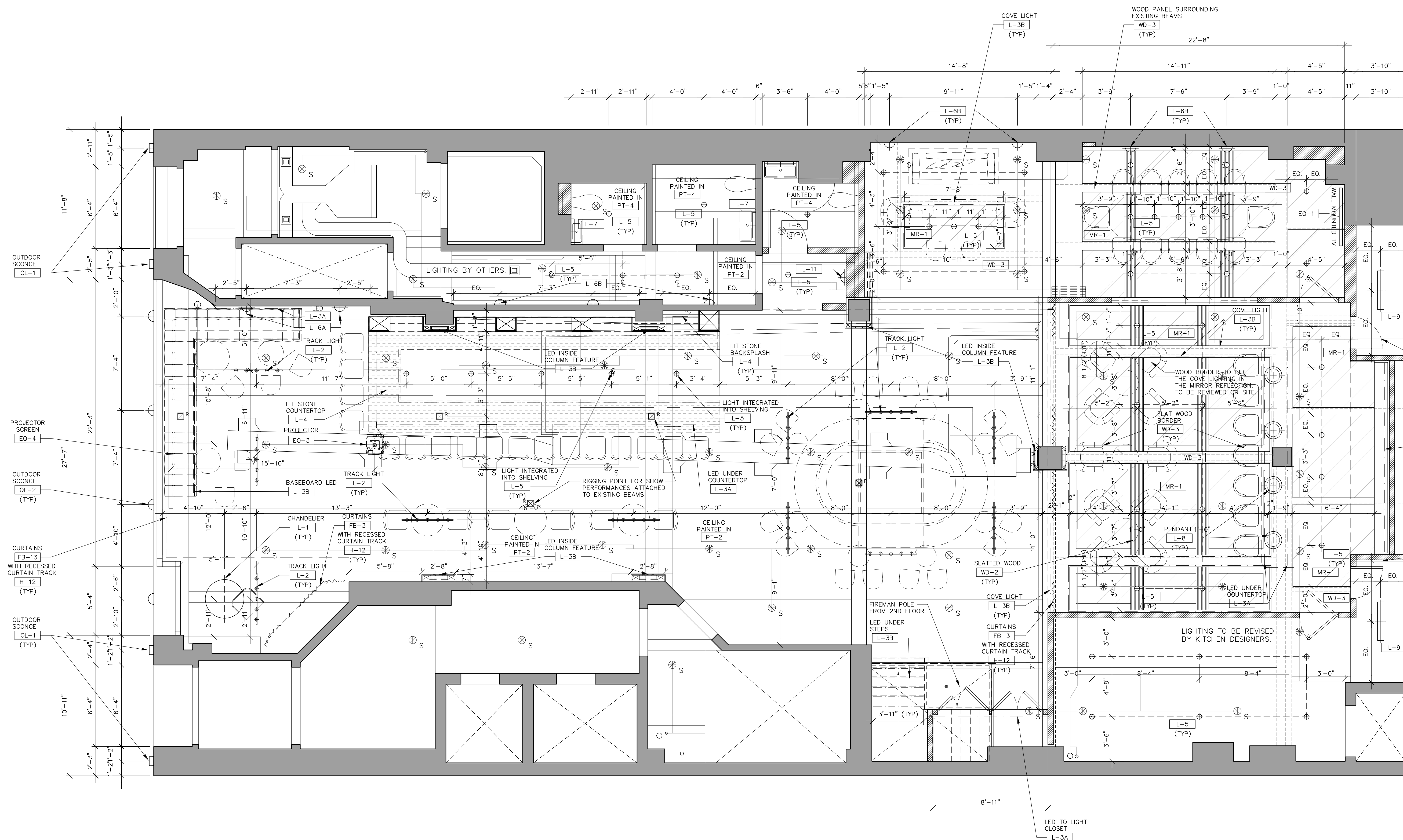
35TH STREET LOUNGE
 FLOOR FINISH PLAN

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D3.1

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RCP LEGEND:

	CHANDELIER
	LED STRIP LIGHTING
	LED SHEET TO LIGHT THE STONE
	WALL SCONCE
	WALL SCONCE
	WALL MIRROR WITH LIGHT
	SURFACE MOUNTED LIGHT (RECESSED WHERE POSSIBLE)
	PENDANT LIGHT
	FLUSH MOUNT LIGHT
	RIGGING POINT FOR SHOW PERFORMANCES ATTACHED TO EXISTING BEAMS
	SPRINKLER HEAD

NOTE: FINAL RIGGING POINTS AND SHOW PERFORMANCE INFORMATION REQUIREMENTS ARE TO BE COORDINATED AND PROVIDED BY SHOW PERFORMANCE CONSULTANT.

REFLECTED CEILING PLAN
D4.0 SCALE: 1/4"=1'-0"

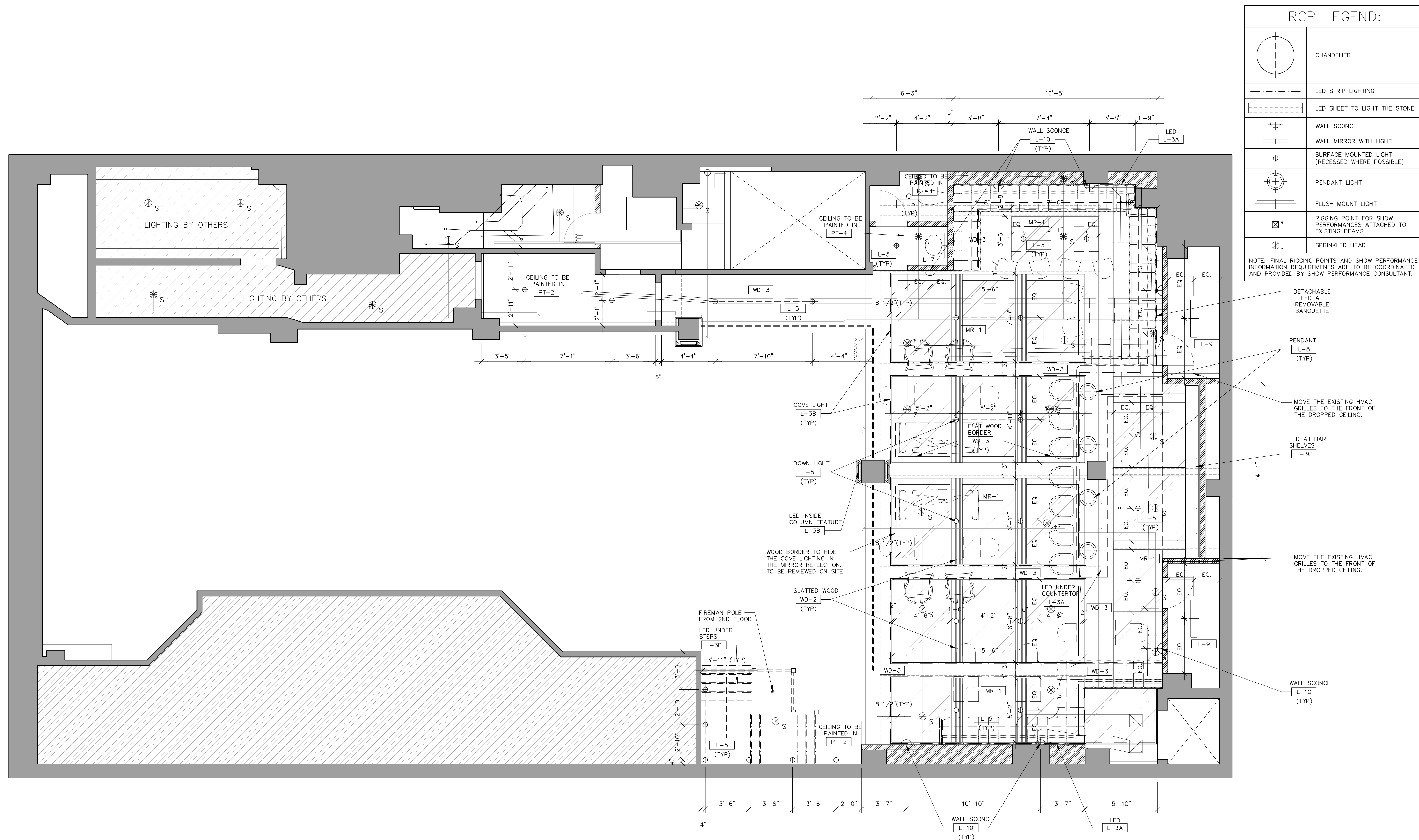
NOTE:
PLAN IS TO BE REVISED BY THE SHOW CONSULTANT'S LIGHTING DESIGNERS.
LIGHTING MAY SHIFT ACCORDING TO THE SHOW & PERFORMANCE NEEDS.

REVISION SCHEDULE

REV. #	DATE	REV. #	DATE	REV. #	DATE

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RCP LEGEND:

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	LED STRIP LIGHTING
	LED SHEET TO LIGHT THE STONE
	WALL SCONCE
	WALL MIRROR WITH LIGHT
	SURFACE MOUNTED LIGHT (RECESSED WHERE POSSIBLE)
	PENDANT LIGHT
	FLUSH MOUNT LIGHT
	RIGGING POINT FOR SHOW PERFORMANCES ATTACHED TO EXISTING BEAMS
	SPRINKLER HEAD

NOTE: FINAL RIGGING POINTS AND SHOW PERFORMANCE INFORMATION REQUIREMENTS ARE TO BE COORDINATED AND PROVIDED BY SHOW PERFORMANCE CONSULTANT.

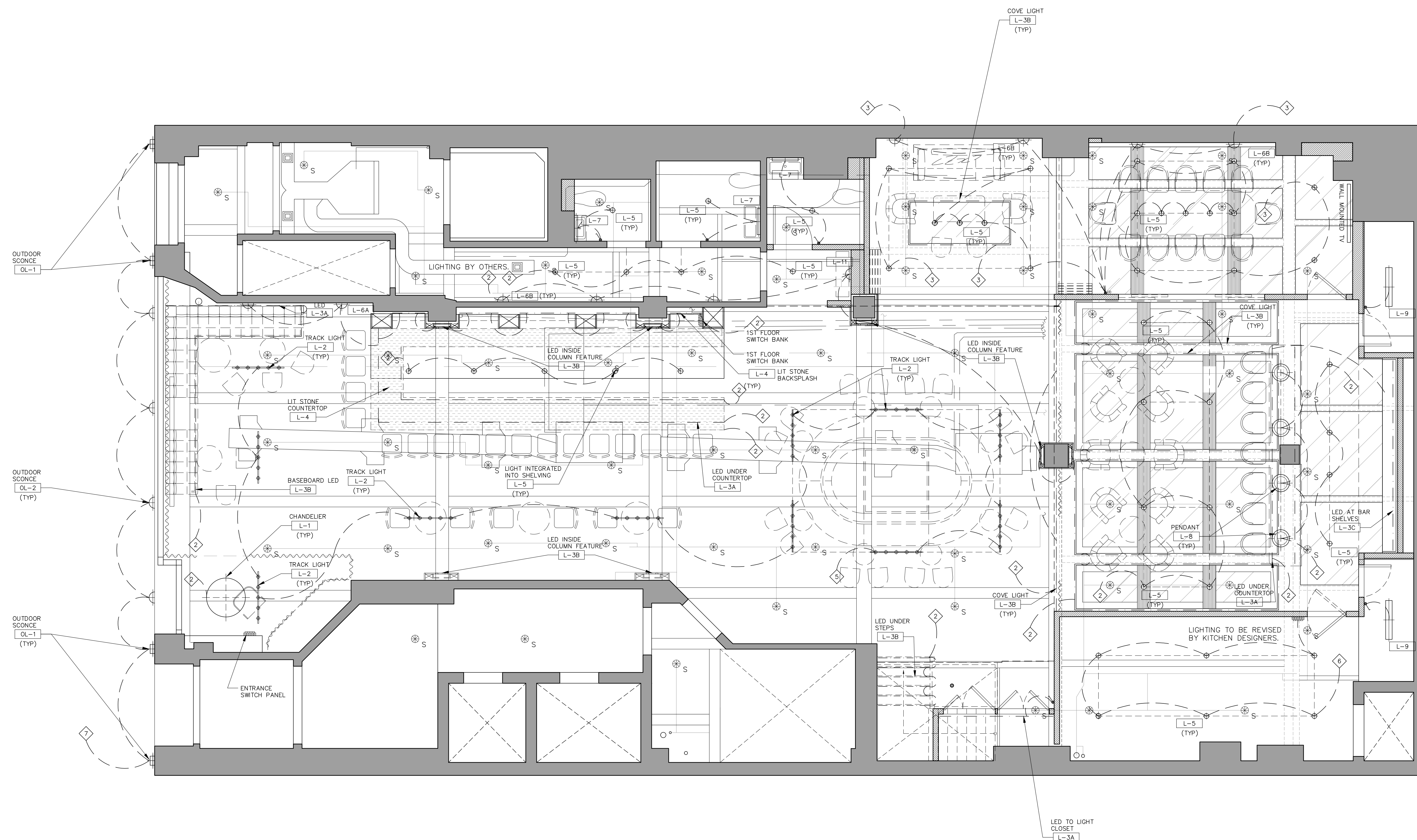
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D4.1 SCALE: 1/4"=1'-0"

NOTE:
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RCP LEGEND:

	CHANDELIER
	LED STRIP LIGHTING
	LED SHEET TO LIGHT THE STONE
	WALL SCONCE
	WALL SCONCE
	WALL MIRROR WITH LIGHT
	SURFACE MOUNTED LIGHT (RECESSED WHERE POSSIBLE)
	PENDANT LIGHT
	FLUSH MOUNT LIGHT
	RIGGING POINT FOR SHOW PERFORMANCES ATTACHED TO EXISTING BEAMS
	SPRINKLER HEAD

NOTE: FINAL RIGGING POINTS AND SHOW PERFORMANCE INFORMATION REQUIREMENTS ARE TO BE COORDINATED AND PROVIDED BY SHOW PERFORMANCE CONSULTANT.

ELECTRICAL LEGEND

	LIGHT SWITCH; CONTROLS COORDINATING #D LIGHT
	LIGHT SWITCH; CONTROLLABLE AT 1 LOCATION
	LIGHT SWITCH; CONTROLLABLE AT 2 LOCATION
	SWITCH BANK; HOUSES MANY SWITCHES IN ONE LOCATION

NOTE: ALL SWITCHES TO BE ON DIMMERS

LIGHTING CONTROL NOTES:

1	CIRCUIT CONTROLS ALL LIGHTING IN THE ENTIRE SPACE. CONTROLLABLE FROM THE ENTRANCE SWITCH PANEL TO BE USED AS A MASTER SWITCH.
2	CIRCUIT CONTROLS ALL LIGHTING ON THE 1ST FLOOR. CONTROLLABLE FROM THE MAIN BAR SWITCH PANEL.
3	CIRCUIT CONTROLS LIGHTING IN THE PRIVATE DINING ROOMS. CONTROLLABLE FROM THE MAIN BAR SWITCH PANEL AND INSIDE THE PRIVATE DINING ROOM.
4	CIRCUIT CONTROLS ALL LIGHTING ON THE MEZZANINE. CONTROLLABLE FROM THE MEZZANINE BAR SWITCH PANEL.
5	CIRCUIT CONTROLS ALL LIGHTING FOR PERFORMANCES. CONTROLLABLE FROM THE SPEAK AMP LOCATION.
6	CIRCUIT CONTROLS KITCHEN AREA. TO BE DETERMINED BY KITCHEN DESIGNER.
7	CIRCUIT CONTROLS FACADE LIGHTING CONTROLLABLE FROM THE ENTRANCE SWITCH PANEL.

NOTE: ALL LIGHTING TO BE CONTROLLED WITH DIMMER SWITCHES

ELECTRICAL PLAN
D5.0 SCALE: 1/4"=1'-0"

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35TH STREET LOUNGE
1ST FLOOR – ELECTRICAL PLAN

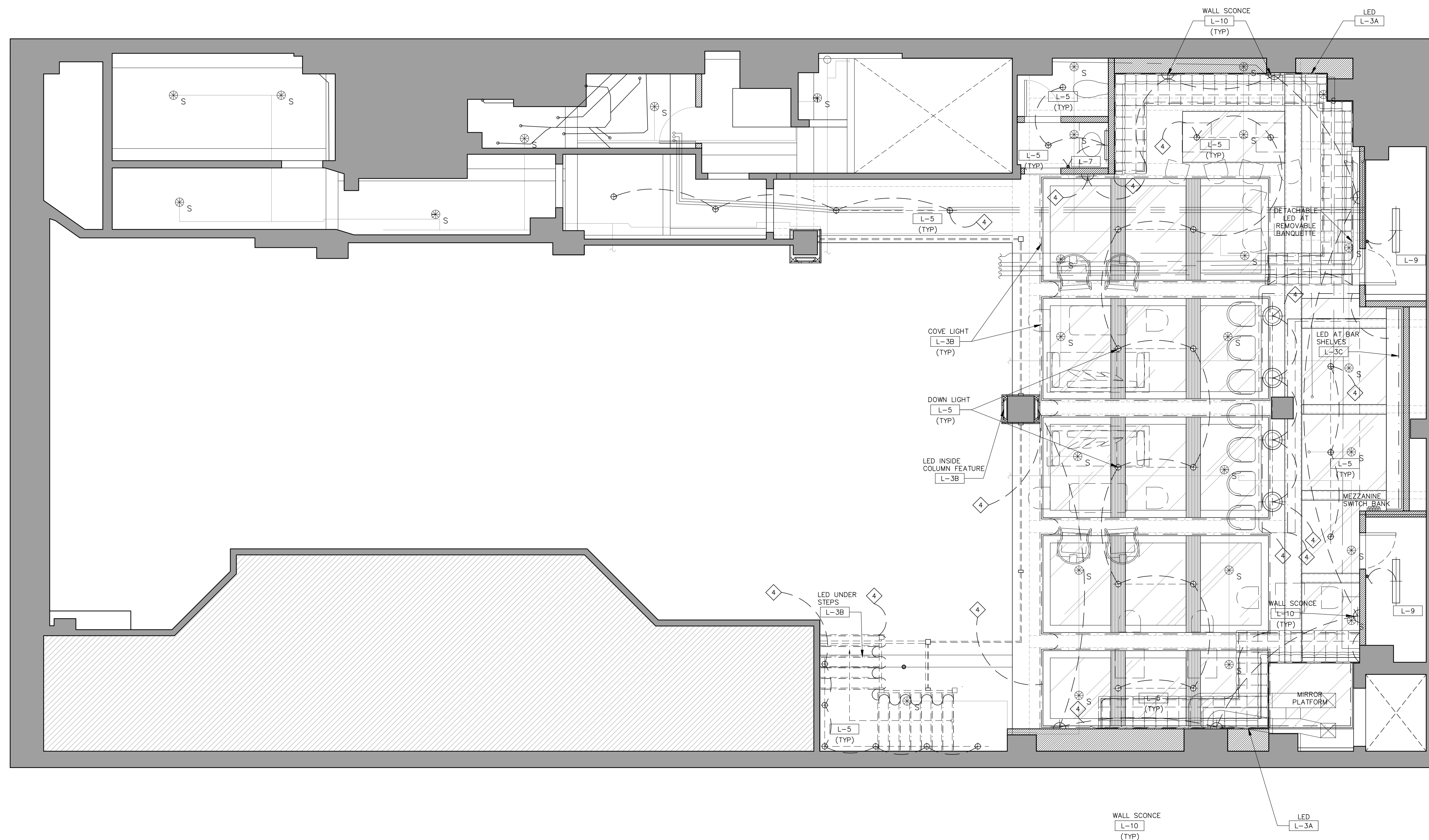
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D5.0

DATE: 09.15.2023 SCALE: AS NOTED

NOTE:

1. DRAWINGS ARE FOR REFERENCE ONLY. ALL DIMENSIONS NEED TO BE VERIFIED ON SITE. 2. ALL DRAWINGS TO BE VERIFIED BY ARCHITECT ON THE FOLLOWING BUT NOT LIMITED TO: ADA/BUILDING CODES, FIRE REGULATIONS, ZONING LAWS, ETC.



RCP LEGEND:

	CHANDELIER
	LED STRIP LIGHTING
	LED SHEET TO LIGHT THE STONE
	WALL SCONCE
	WALL MIRROR WITH LIGHT
	SURFACE MOUNTED LIGHT (RECESSED WHERE POSSIBLE)
	PENDANT LIGHT
	FLUSH MOUNT LIGHT
	RIGGING POINT FOR SHOW PERFORMANCES ATTACHED TO EXISTING BEAMS
	SPRINKLER HEAD

NOTE: FINAL RIGGING POINTS AND SHOW PERFORMANCE INFORMATION REQUIREMENTS ARE TO BE COORDINATED AND PROVIDED BY SHOW PERFORMANCE CONSULTANT.

ELECTRICAL LEGEND

	LIGHT SWITCH; CONTROLS COORDINATING #D LIGHT
	LIGHT SWITCH; CONTROLLABLE AT 1 LOCATION
	LIGHT SWITCH; CONTROLLABLE AT 2 LOCATION
	SWITCH BANK; HOUSES MANY SWITCHES IN ONE LOCATION

NOTE: ALL SWITCHES TO BE ON DIMMERS

LIGHTING CONTROL NOTES:

1	CIRCUIT CONTROLS ALL LIGHTING IN THE ENTIRE SPACE. CONTROLLABLE FROM THE ENTRANCE SWITCH PANEL. TO BE USED AS A MASTER SWITCH.
2	CIRCUIT CONTROLS ALL LIGHTING ON THE 1ST FLOOR. CONTROLLABLE FROM THE MAIN BAR SWITCH PANEL.
3	CIRCUIT CONTROLS LIGHTING IN THE PRIVATE DINING ROOMS. CONTROLLABLE FROM THE MAIN BAR SWITCH PANEL AND INSIDE THE PRIVATE DINING ROOM.
4	CIRCUIT CONTROLS ALL LIGHTING ON THE MEZZANINE. CONTROLLABLE FROM THE MEZZANINE BAR SWITCH PANEL.
5	CIRCUIT CONTROLS ALL LIGHTING FOR PERFORMANCES. CONTROLLABLE FROM THE SPEAK AMP LOCATION.
6	CIRCUIT CONTROLS KITCHEN AREA. TO BE DETERMINED BY KITCHEN DESIGNER.
7	CIRCUIT CONTROLS FACADE LIGHTING CONTROLLABLE FROM THE ENTRANCE SWITCH PANEL.

NOTE: ALL LIGHTING TO BE CONTROLLED WITH DIMMER SWITCHES

ELECTRICAL PLAN
D5.1 SCALE: 1/4"=1'-0"

DMDESIGN, LLC
33A WEST 131ST STREET
NEW YORK, NY 10037
T: 646.895.4020
DM@DelphineMauroit.com
www.DMDesign-Architecture.com

35TH STREET LOUNGE
MEZZANINE – ELECTRICAL PLAN

REVISION SCHEDULE

REV. #	DATE	REV. #	DATE	REV. #	DATE

D5.1

DATE: 09.15.2023 SCALE: AS NOTED

NOTE:

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INSPIRATION IMAGE FOR OUTLETS AND USB STRIPS UNDER BAR COUNTERS

IT OUTLET NOTES:

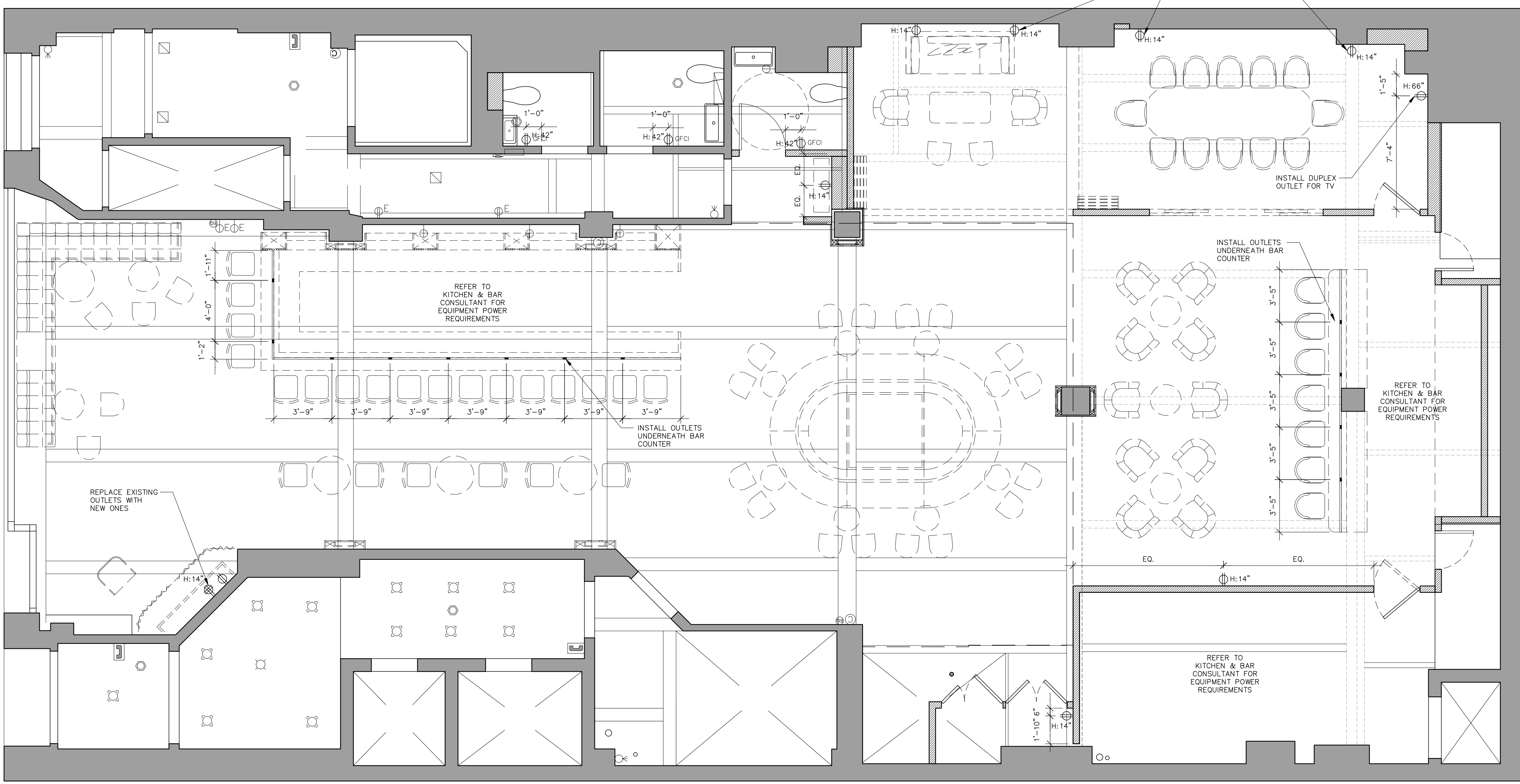
- KEEP ALL EXISTING OUTLETS.
- REVISE WITH CLIENT FOR LOCATIONS OF ALL ELECTRICAL OUTLETS TO BE INSTALLED. OUTLETS SHOWN ARE FOR EXAMPLE AND TO BE REVIEWED.
- DETERMINE OUTLET LOCATIONS & QUANTITIES FOR EQUIPMENT WITH THE KITCHEN DESIGNER.
- REFER TO KITCHEN & BAR CONSULTANT FOR EQUIPMENT POWER REQUIREMENTS.

OUTLET LEGEND

	DUPLEX OUTLET
	GFCI DUPLEX OUTLET
	QUADRUPLEX OUTLET
	DUPLEX RECEPTACLE OUTLET; CEILING MOUNTED
	DUPLEX RECEPTACLE OUTLET; FLOOR MOUNTED
	EXISTING
	DUPLEX OUTLET POWER STRIP UNDER BAR COUNTERS

SYMBOL LEGEND LIST

	SWITCH
	DUPLEX OUTLET
	CEILING MOUNTED FIXTURE
	FIRE ALARM PULLBOX
	EMERGENCY LIGHT W/ EXIT
	EQUIPMENT- MISC.
	FIRE EXTINGUISHER
	WALL MOUNTED FIXTURE
	FIRE ALARM STROBE
	SMOKE ALARM
	VENT
	DOME SECURITY CAMERA
	COVER PLATE
	SQUARE RETURN
	FLUORESCENT LIGHT
	QUADRUPLEX OUTLET
	EXIT SIGN
	RECESSED FIXTURE
	FIREFIGHTER'S TELEPHONE
	CEILING DUPLEX
	SINGLE OUTLET
	WALL COVER PLATE
	HANGING FIXTURE



IT OUTLET PLAN
D6.0 SCALE: 1/4"=1'-0"

REVISION SCHEDULE

REV. #	DATE	REV. #	DATE	REV. #	DATE

NOTE:

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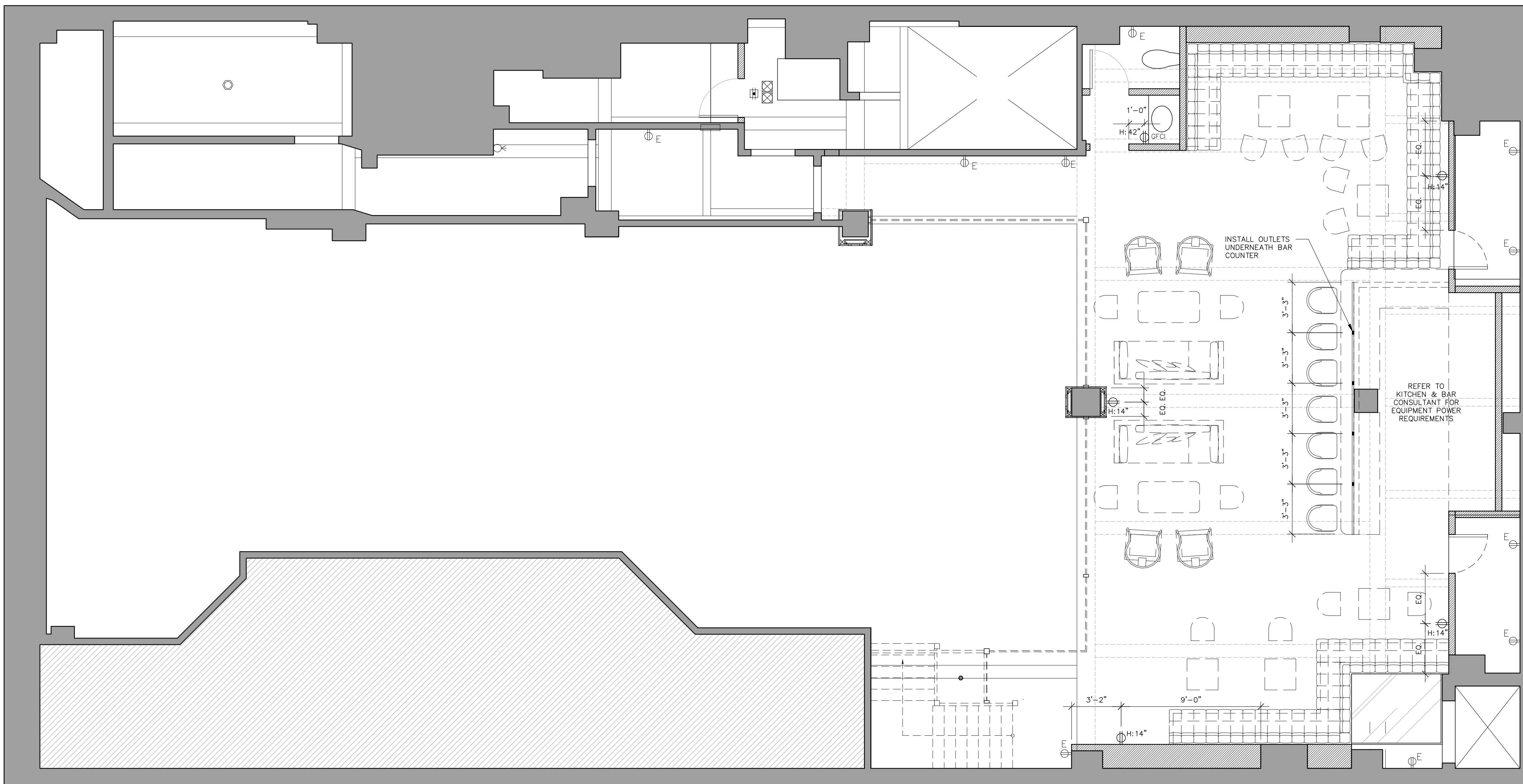
INSPIRATION IMAGE FOR OUTLETS AND USB STRIPS UNDER BAR COUNTERS

IT OUTLET NOTES:

- KEEP ALL EXISTING OUTLETS.
- REVISE WITH CLIENT FOR LOCATIONS OF ALL ELECTRICAL OUTLETS TO BE INSTALLED. OUTLETS SHOWN ARE FOR EXAMPLE AND TO BE REVIEWED.
- DETERMINE OUTLET LOCATIONS & QUANTITIES FOR EQUIPMENT WITH THE KITCHEN DESIGNER.
- REFER TO KITCHEN & BAR CONSULTANT FOR EQUIPMENT POWER REQUIREMENTS.

OUTLET LEGEND	
⊕	DUPLEX OUTLET
⊕ ^{GFCI}	GFCI DUPLEX OUTLET
⊕	QUADRUPLEX OUTLET
⊕ ^{CM}	DUPLEX RECEPTACLE OUTLET; CEILING MOUNTED
⊕ ^{FM}	DUPLEX RECEPTACLE OUTLET; FLOOR MOUNTED
E	EXISTING
—	DUPLEX OUTLET POWER STRIP UNDER BAR COUNTERS

SYMBOL LEGEND LIST	
⊕	SWITCH
⊕	DUPLEX OUTLET
⊕ ^{CM}	CEILING MOUNTED FIXTURE
⊕ ^{FM}	FIRE ALARM PULLBOX
⊕	EMERGENCY LIGHT W/ EXIT
⊕	EQUIPMENT- MISC.
⊕	FIRE EXTINGUISHER
⊕	WALL MOUNTED FIXTURE
⊕	FIRE ALARM STROBE
⊕	SMOKE ALARM
⊕	VENT
⊕	DOME SECURITY CAMERA
⊕	COVER PLATE
⊕	SQUARE RETURN
⊕	FLUORESCENT LIGHT
⊕	QUADRUPLEX OUTLET
EXIT	EXIT SIGN
⊕	RECESSED FIXTURE
⊕	FIREFIGHTER'S TELEPHONE
⊕	CEILING DUPLEX
⊕	SINGLE OUTLET
⊕	WALL COVER PLATE
⊕	HANGING FIXTURE



IT OUTLET PLAN
D6.1 SCALE: 1/4"=1'-0"

REVISION SCHEDULE					
REV. #	DATE	REV. #	DATE	REV. #	DATE

Date: October 23, 2023
To: Eric Biberman
From: Andy Swerdlow, David Kotch – Criterion Acoustics
Re: 315 W 35th Street – Noise Egress Study

Criterion Acoustics (CA) was hired by Eric Biberman to analyze the sound isolation properties of the ground level of 315 W 35th Street, the location of a proposed restaurant and lounge space. Music will be played through an audio reinforcement system on the first floor restaurant/lounge, and quieter, “background” music will be played in separated private dining and mezzanine areas.

On October 20, 2023, Andy Swerdlow from CA visited the site to perform acoustic measurements and a physical inspection of the building. This study outlines our findings and recommendations.

The properties adjacent to 315 W 35th are 317, an active construction site that will be a hotel, and 311, which is occupied by West Midtown Medical Group. The second level of 315 is an office space.

1) Summary and Recommendations

The construction envelope of the first floor is heavy masonry which is advantageous to sound isolation. If no construction is added, the restaurant/lounge will be able to operate within code using “background” level music playback of approximately 80 dBA / 85 dBC.

The following recommendations allow for an increased sound level in the restaurant/lounge areas:

- A. Overall Sound Level: The sound egress from the proposed restaurant/lounge area will satisfy the noise code on the second level and in neighboring properties provided that the sound level within the restaurant is maintained at a maximum level of 90 dBA / 97 dBC as measured 5' from an individual sound source.
- B. The sound egress from the proposed restaurant/lounge area is most significant through the main entrance door and storefront glazing. CA recommends improving the sound isolation properties of the storefront by the following means:

- a. A supplemental glazing system typical of vendors Citiquiet or Soundproof Windows shall be implemented. The glazing shall be a minimum of 3/8 inch (Figure 1).
 - i. Alternatively, a system with a noise control curtain utilizing 2lb/sf mass-loaded-vinyl hung on the interior side of the storefront glazing. Products such as Kinetics KNC are suitable. Seams should overlap by a minimum of 6 inches, and the product should be hung a minimum of 4 inches interior of the existing glazing.
- b. An interior vestibule shall be built around the main entrance door (see figure 3 for plan locations).

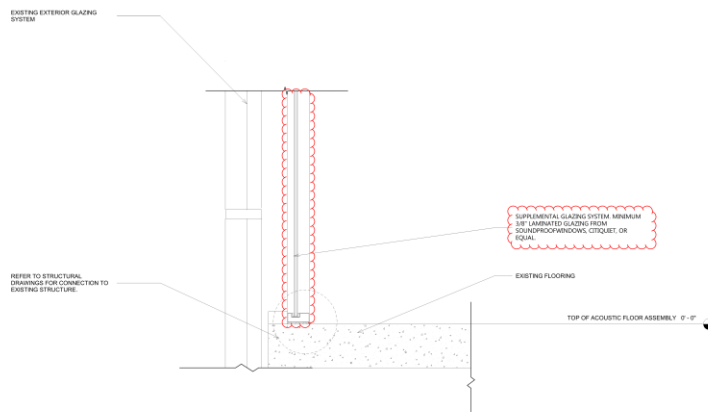


Figure 1 - Supplemental Glazing

- C. An interior wall between the private dining area and the restaurant/lounge shall be built. This partition shall be 3/8" glazing or one (1) layer of 5/8" Gyp. Bd. on each side of a 3-5/8" insulated stud partition (see figure 4 for plan locations).
- D. Should elevated sound levels be used during business hours, the addition shown in Figure 2 shall be added to the demising wall between the restaurant/lounge and 311 W35th shall be constructed (see figure 3 for plan locations).
 - a. Alternative: Kinetics KNC (2 lb/sq. ft.) hung with a 4" air gap between the existing wall and the curtain product.

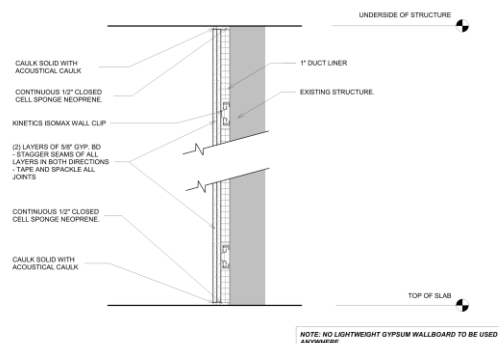


Figure 2 - Isolated furring wall construction

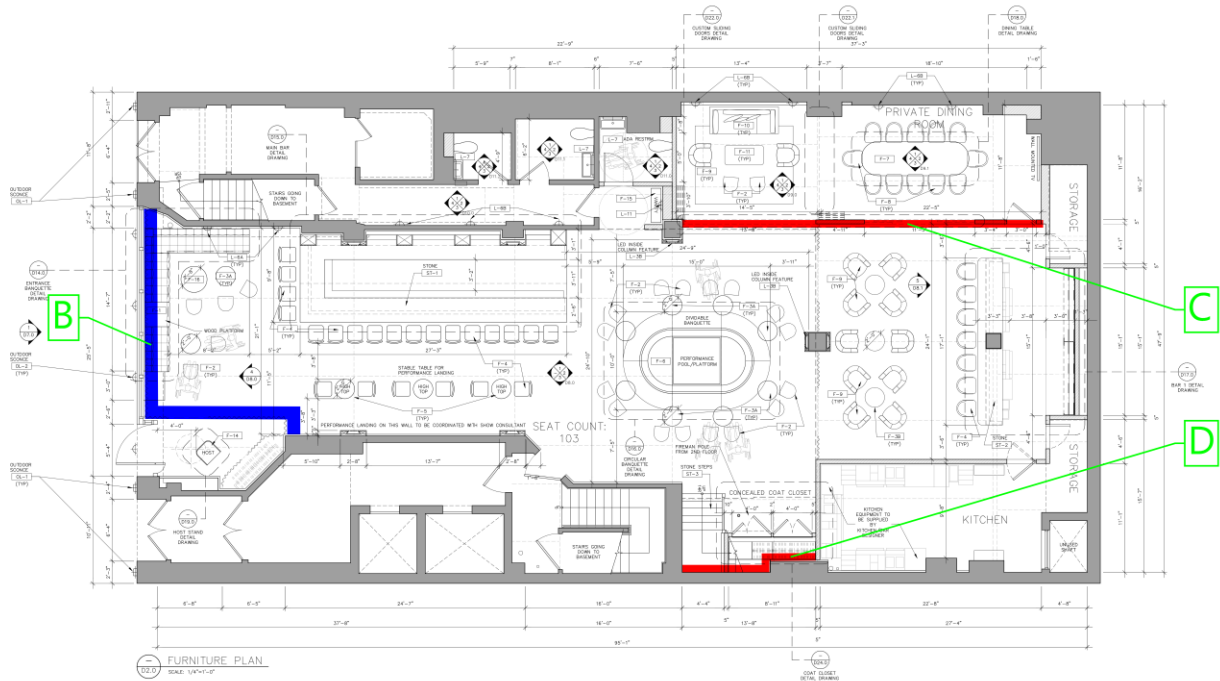


Figure 3 - Recommended Sound Partition Locations

- E. Wastewater and sprinkler pipes connecting other spaces shall be lagged with Soundseal B10lag or equivalent.

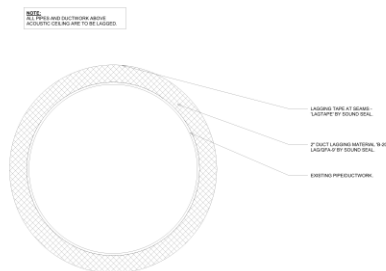


Figure 4 - Acoustical Pipe Lag

- F. Audio Reinforcement Systems:
- The loudspeakers should be distributed to reduce sound level of individual speakers.
 - Subwoofers should be positioned at least 3 feet away from demising walls.
 - A digitally controlled sound level limiter shall be added to the system input, and the output gain settings shall be determined empirically in the field following construction. The settings will be locked and available only to management.

- d. Speakers should be pendant hung or mounted to a wall with spring or elastomer bearings designed for the weight of the loudspeaker.

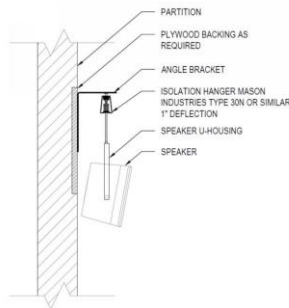


Figure 5 – Spring Isolated Speaker Detail

2) NYC Noise Code Overview

The applicable sections of the 2005 New York City Noise Code are highlighted in **red** below.

A. §24-218 General prohibitions.

(a) No person shall make, continue or cause or permit to be made or continued any unreasonable noise.

(b) Unreasonable noise shall include but shall not be limited to sound, attributable to any device, that exceeds the following prohibited noise levels:

(1) Sound, other than impulsive sound, attributable to the source, measured at a level of 7 dB(A) or more above the ambient sound level at or after 10:00 p.m. and before 7:00 a.m., as measured at any point within a receiving property or as measured at a distance of 15 feet or more from the source on a public right-of-way.

(2) Sound, other than impulsive sound, attributable to the source, measured at a level of 10 dB(A) or more above the ambient sound level at or after 7:00 a.m. and before 10:00 p.m., as measured at any point within a receiving property or as measured at a distance of 15 feet or more from the source on a public right-of-way.

B. §24-231 Commercial music.

(a) No person shall make or cause or permit to be made or caused any music originating from or in connection with the operation of any commercial establishment or enterprise when the level of sound attributable to such music, as measured inside any receiving property dwelling unit:

(1) is in excess of 42 dB(A) as measured with a sound level meter; or

(2) is in excess of 45 dB in any one-third octave band having a center frequency

between 63 hertz and 500 hertz (ANSI bands numbers 18 through 27, Inclusive), in accordance with American National Standards Institute standard S1.6-1984; or

(3) causes a 6 dB(C) or more increase in the total sound level above the ambient sound level as measured in decibels in the "C" weighting network provided that the ambient sound level is in excess of 62 dB(C).

3) On-Site Testing

A. Equipment:

A B&K 2270 handheld analyzer ("meter") was used for the acoustical measurements. The meter has the following software packages installed:

- BZ-7223 - Frequency analyzer software
- BZ-7224 - Logging software
- BZ-7225 - Enhanced logging software
- BZ-7226 - Sound recording option

The meter was calibrated by B&K in the past year, in addition to daily calibration with a B&K 4231 ½" microphone calibrator.

To produce test noise, a NTI Minirator MR-PRO signal generator was used. Signal was sent to a JBL 515 loudspeaker and an EV ELX200-18SP subwoofer with an 18" bass driver.

B. Testing Procedure

CA produced pink noise on the first floor at a sound level of approximately 90 dBA/98 dBC spatial average in the room. This sound level is typical for a restaurant/lounge with music reproduction with bass emphasis typical of modern music. Conversation is possible at this sound level with some vocal strain.

Table 1 is the octave band spectrum of the sound source used for testing in the restaurant/lounge area.

Table 1 – Sound Pressure Level in Lounge Area with Pink Noise Test Signal											
	31.5 [Hz]	63 [Hz]	125 [Hz]	250 [Hz]	500 [Hz]	1000 [Hz]	2000 [Hz]	4000 [Hz]	8000 [Hz]	Overall [dBA]	Overall [dBC]
Sound Level	80	95	92	89	88	83	79	80	77	90	98

With the test signal on, "received" sound was measured adjacent spaces.

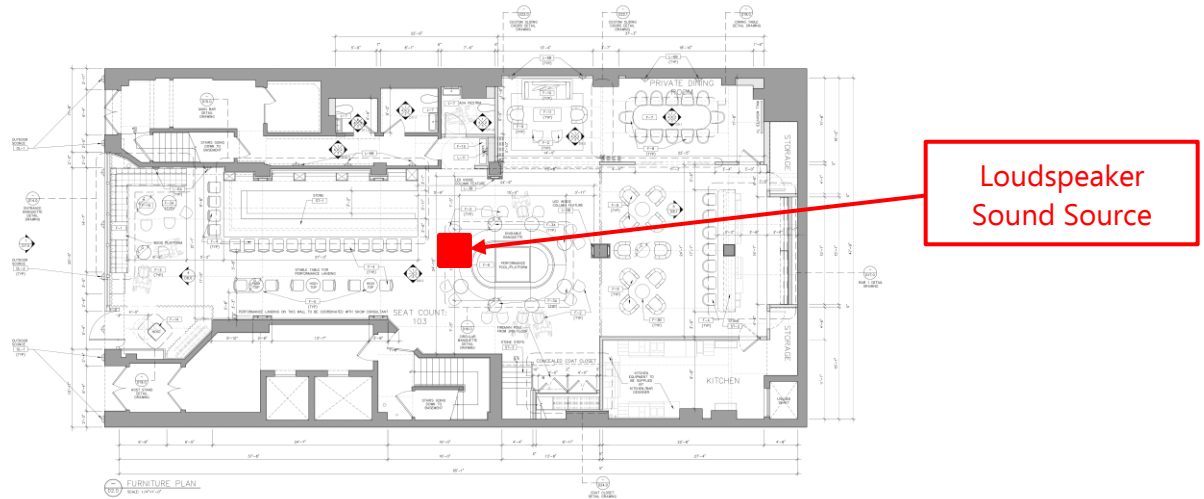


Figure 6 - Floor Plan showing test location

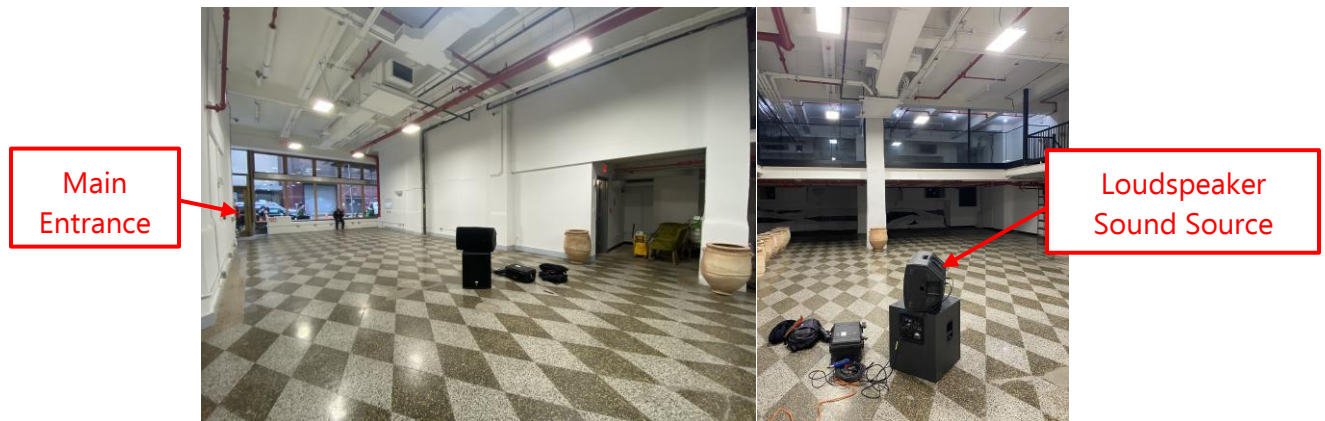


Figure 7 - Speaker setup for lounge area testing, facing south (left) and facing north (right).



Figure 8 - Testing locations: sidewalk (left), second floor office (right)

C. Testing Results

The results from testing are as follows:

Table 2: Airborne Noise Transmission Test Results, Restaurant/Lounge Source				
Receiver Location:	2nd Level	Neighbor West (317)	Neighbor East (311)	35th St Sidewalk
Measured NIC Value:	>55 ¹	>55 ¹	>55 ²	22 ¹
Measured 63 Hz Band Transmission Loss	38 dB	36 dB	36 dB ²	27 dB
Measured "Received" Sound Level	53 dBA ³	56 dBA ³		66 dBA ³
Measured "Ambient" Sound Level	53 dBA ³	57 dBA ³		60 dBA ³

¹ Background noise limited the validity of the NIC test. Only bass sound was measured, the NIC value is extrapolated.

² During testing, CA was not able to access 311 W15th for testing. The sound egress is expected to be the same as that of 315-to-317, which has a similar masonry construction and represents a worst-case scenario ignoring any interior partition construction which is not yet built in 317 and is not known in 311.

³ LF₉₅ "minimum" level

Conclusions and analysis are as follows:

1. Testing on the 2nd level was limited by ambient noise. No sound was clearly audible from the test signal.
2. Sound from the test signal was audible outside, the ambient noise was increased by 6 dB.

Please call to further discuss.

Sincerely,



David Kotch, Andy Swerdlow

APPENDIX OF ACOUSTIC TERMS AND DEFINITIONS

Ambient:

Ambient noise includes all sounds present in an environment. The ambient noise level may be measured at any moment, but it will vary widely with time, e.g., with the coming and going of trucks, cars, aircraft, sirens, etc.

Decibel (dB):

A unit of the intensity of sound. The decibel (abbreviated dB) is a relational measure, expressing the relative intensity of the described sound to a reference sound. The decibel is a logarithmic measure, specifically 10 times the logarithm of the ratio of two voltages, currents, or sound pressures. Decibels are a logarithmic scale, so every 3dB increase is a doubling of sound pressure and subjectively it requires 10dB for a perceived doubling of loudness. See Figure A for a chart illustrating comparative dB & SPL values.

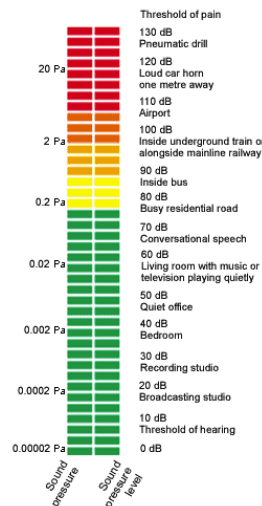


Figure A – Chart illustrating comparative dB & SPL values.

A-Weighting:

The A-contour filters out a significant amount of the bass in order to approximate the way humans hear at the 40 phon level. It is useful for eliminating inaudible low frequencies and is commonly used at SPLs below 70 dB. Sound pressure level values obtained using this weighting are referred to as A-weighted sound pressure levels and are signified by the identifier dBA. See Figure B for a visual comparison of weighting curves.

C-Weighting:

The C-contour is nearly flat, with only a slight reduction at the high and low frequencies. It approximates the way humans hear at very high sound levels and is commonly used for SPLs above 70 dB. Sound pressure level values obtained using this weighting are referred to as C-weighted sound pressure levels and are signified by the identifier dBC. See Figure B for a visual comparison of weighting curves.

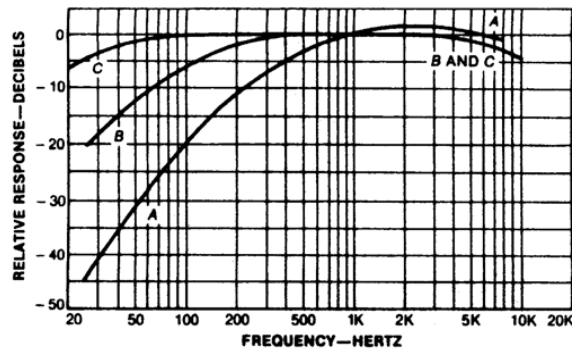


Figure B – A visual comparison of weighting curves.

L_{EQ}:

Equivalent continuous sound level. The steady level which would produce the same sound energy over the test period as the specified time-varying sound. This figure is useful for studying long-term trends in environmental noise.

L_{MAX}:

Highest, or loudest, Sound Pressure Level (in dBA, dBC, or dBZ) measured during the test period.

L_{MIN}:

Lowest, or quietest, Sound Pressure Level (in dBA, dBC, or dBZ) measured during the test period.

Perception of Sound:

The threshold of perception of the human ear is approximately three decibels and a five-decibel change is considered to be clearly noticeable to the ear. This is primarily due to the logarithmic measuring metric typically associated with decibels. See Chart 1 for perceived change in decibel levels.

Perceived Change in Decibel Levels	
Change in sound level	Perceived change to the human ear
± 1dB	Not perceptible
± 3dB	Threshold of perception
± 5dB	Clearly noticeable
± 10dB	Twice (or half) as Loud
± 20dB	Fourfold (4x) change

Chart 1 - Perceived change in decibel levels.

10.24.2023

MEMO

To:

Dear Mr. Chetrit,

CLIENT: 35th Street
Lounge llc
315 W. 35th St. NY NY
c/o Eli Chetrit
25 W 36TH Street
New York, NY 10018
Echetrit@absons.com
212-226-5795

Please be advised that our office is working with the various city agencies in regard to the process and costs associated with placing a tree (and possibly multiple trees) at 315 W. 35th st. NY NY front.

The city agencies involved (but not limited to) our;

1. Community board 4
2. Department of transportation (DOT)
3. Department of Buildings (DOB)
4. Parks and Recreation

From

Allen Azarkian, President



Allen Azarkian AIA RA,
filing rep id 06998

CC:

Eric

Re:

315 W. 35th St. NY NY

Building **Violation** Services Inc

T 212.961.1900
F 212.918.7964

130 W. 37th St.
New York, NY 10018

www.bvs.nyc
admin@bvs.nyc

