Manhattan Community Board 4 (All Fields Must Be Completed)

CORPORATION NAME			DOING BUSINESS AS (DBA)						
PMACS 7 LLC	,		TBD						
STREET ADDRESS	CROSS STREETS			ZIP CODE					
783 8th Avenu	West 47th/W	est 48th S	Streets	100	36				
OWNER	NAME:	Michael Kelleher		NAME:	NAME: Michael Paleudis				
(Attach a list of all the people that will be associated/listed	PHONE:	(973) 619-5961	ATTORNEY/ REPRESENTAIVI		PHONE: (212) 835-6768				
with the license)	EMAIL:	mikekelleher@pmacshospitality.com		EMAIL:	EMAIL: mjp@kplawyers.com				
	NAME:	Bryan Hannon		NAME:	Letter	beg Real	ty LLC		
MANAGER	PHONE:	(347) 526-6250	LANDLORD	PHONE:	phone: (212) 957-6931				
	EMAIL:	bryan@vidaverdeny.com		EMAIL:	EMAIL:				
APPLICATI	ON TYP	E (X Liquor License		Unence	losed Si	idewalk C	Cafe)		
	Has applican	t owned or managed a similar business?		Y	ES	NO			
New	See addend			dum					
	What were th	e dates applicant was involved with this former premi	nise? See addend			dum			
O Corp	What is the li	cense # and expiration date?							
Change/Class Change/Removal	ls applicant n	naking any alterations or operational changes?	; or operational changes?			NO			
Change/Kemovai	If alterations	or operational changes are being made, please desci	ribe/list all changes.						
Alteration	What is the c	urrent license # and expiration date?							
O Alteration	Please list/de	escribe the nature of all the changes and attach the pl	lans:	L.					
METHOD O	F OPER	ATION							
TYPE OF ALCOR	Liquor/Wine/Beer & Cider	O Beer	& Cider		O w	ine/Beer & Cider			
O Restaurant O Cabaret O			ů –	otel	Bar/Tavern	0	Catering Establishment		
TYPE O Adult Entertainment O Wine E			ar O Dance Cl	ıb () Sp	orts Bar	O Club (Fra	aternal Organization – Members Only)		
Has applicant/owne you plan to file?	YES N	D Appr	oximate	ely one m	onth				
Is the 500 Foot Rule On-Premise liquor I establishment and t	YES) See	attache	ed					
		? If yes, please attach a diagram of the that trigger the rule.	YES N						
Has applicant/owne Location of Alcoholi	CB4 Policy Regarding Concentration and stablishments?	YES N)						

Principals of PMACS 7 LLC

- 1. Michael McNamee
- 2. Patrick McNamee
- 3. Michael Kelleher
- 4. Bryan Hannon
- 5. Deirdre Coote

Entities Owned by Michael and Patrick McNamee

Ahascra, LLC

Vida Verde 248 West 55th Street New York, NY 10019 Serial Nos.: 1298035, 1298036 07/2014 - present

Castleknock Inc.

The Mean Fiddler 264 266 West 47th Street New York, NY 10036 Serial No. 1176912 03/2006 - present

Castleparknyc Inc.

Tanner Smith's 204 West 55th Street New York, NY 10019 Serial Nos.: 1181447, 1181448 06/2013 - present

Donegal Inc.

The Three Monkeys 236 West 54th Street New York, NY 10019 Serial Nos.: 1244977, 1281493 02/2010 - present

Dutch Freds Inc.

Dutch Fred's 307 West 47th Street New York, NY 10036 Serial No.: 1291607 05/2015 - present

Knickerbocker Social LLC

Haswell Green 240 West 52nd Street New York, NY 10019 Serial Nos.: 1307838, 1307839 05/2017 - present

		MONDAY	TUESDAY	τ –	WEDNESDAY	THU	RSDAY	FRI	DAY	SATURDAY	st	JNDAY
HOURS*	Operation	11:00am- 4:00am	11:00an 4:00am	11:00am- 11:00am-			00am- 0am	11:00am- 4:00am 11:00am- 4:00am		11:00am- 11:00a 4:00am 4:00ar		:00am- 00am
(Indoor Only)	Kitchen	11:00am-	11:00am- 4:00am			11:0 4:00	0am-			11:00am- 4:00am	11:00am- 4:00am	
		4:00am 11:00am-	4.00am 11:00am	-	4.00am 11:00am-		1:00am- 11:00am-		-	11:00am-	11:00am- 11:00an	
	Music	4:00am	4:00am		4:00am	4:00)am	4:00	am			0am
If you plan to have music, what type(s)? (Circle all that apply) (Cive MUSIC					> <	DJ JUKE BOX KARAOKE						
					OCCU	PANCY						
	(Certi	oacity ificate of upancy)	Maximum # of Persons Occupying Premises (Including Employees)	Numt of Tab			er of Servic nly Bars		Number o tand-Up B			
INSIDE	296	6	296	63	118		0		3	48		
OUTSIDE	_			50 11 40			1					
(Other than sidewalk café)	50)	50						0	N/A		
DCA APPROVED UNENCLOSE SIDEWALK CAFÉ	D N/A	۹										
How many floors	are there? Wh	nat is the capac	ity for each floor?		I.		s: Cellar loor (100		st Floor (100), Second	Floor (1'	1),
How frequently w	II the owner(s) be at the esta	blishment?			Daily						
Will there be dan	cing?					YES	NO					
Will applicant hav	e bottle or tab	le service for b	everage alcohol?			YES	NO					
Will applicant be	nosting private	e; promotional o	or corporate event	ts?		YES	NO					
Will outside prom	oters be used	on a regular ba	sis? If yes please	e descrit	De.	YES	NO					
Will applicant hav	e a security p	lan? If, yes plea	ase attach.			YES	NO	See at	tached;	security pers	sonnel	will be h
Will security plan	be implement	ed?				YES	NO					
Will State certified	l security pers	onnel be used?	>			YES	NO					
Will New York Nightlife Association and NYPD Best Practices be followed?					YES	NO						
Does applicant agree to notify MCB4 prior to making changes to its method of operation?					YES	NO						
Will applicant be using delivery bicycles? If yes, how many?					YES	NO)					
Will delivery bicycles be clearly marked with the name of the restaurant and will staff wear attire clearly noting name as described by NYC Law?						YES	NO	N/A				
Where will delivery bicycles be stored during the day when not in use?												

MULTPLE SPACES/FLORRS CAPACITY BREAKDOWN								
Space Floor	Description/Use of Space	Capacity	Hours	# of Tables	# of Seats	# of Service Only Bars	# of Stand-Up Bars/Seats at Bar	Music
Cellar	Storage/Kitchen/ Restrooms	5		0	0	0	0	No
First	Eating and Drinking/ Restrooms	100	11:00am -4:00am	16	34	0	1 Bar/ 25 Stools	Yes
Second	Eating and Drinking/ Restrooms	111	11:00am -4:00am	13	22	0	1 Bar/ 14 Stools	Yes
Third	Eating and Drinking/ Restrooms/Storage	80	11:00am -4:00am	34	62	0	1 Bar/ 9 Stools	Yes
Rooftop	Eating and Drinking	50	11:00am- 10:00pm (Mon-Thur 11:00am- 11:00pm (Fri & Sat)	11 \$)	40	1	0	Yes (ambient background music only)

LOCATION & ZONING	
Is this a Special District? If yes, is it Clinton, West Chelsea or Hudson Yards?	VES NO Clinton
Does the building have a Certificate of Occupancy ("C of O") or a letter of no objection?	YES NO
Is a Public Assembly permit required?	YES NO
Are your plans filed with DOB?	YES NO

Community Notification/Relations									
NOTIFICATION:	#1	All association	All associations on the CB4 list were notified.						
List all block associations; tenant associations, co-op boards or condo boards of residential buildings; and	# 2								
community groups that applicant has notified regarding its application. For	# 3								
each please list both the organization and individual you contacted	# 4								
	# 5								
Please provide dates when applicant met with the groups listed above.									
Who was your contact person at each group you met with?									
When did applicant post the notice that was provided?									
Where did applicant post the notice that was	?								
Will applicant provide owner cell phone num complaints that arise? Please provide numb)	YES	NO	Bryan Hannon (347) 526-6250				
Will applicant inform the Community Board provide a hyperlink to applicants jobs webp	s job openings and/or		YES	NO					

BUILDING DESIGN	
State the name and type of business previously located in the space.	Latitude Bar & Grill
Has a liquor-licensed establishment previously occupied this space at any time? If yes, please provide the name of the business.	VES NO Latitude Bar & Grill
Do you plan any changes to the existing façade? If yes, please describe.	VES NO New signage, paint
Has the applicant/owner(s) read MCB 4 ADA Guidelines Memo?	VES NO
Is the entrance ADA Compliant?	YES NO
Do you plan any changes to the existing façade? If yes, please describe.	YES NO New signage, paint
Will applicant have a vestibule within the establishment?	YES NO
Will applicant use a storm enclosure?	VES NO As per code
Does applicant agree to keep the sidewalk clear of all items or obstructions, such as sandwich boards, sidewalk signs, freestanding menus and plants, as per the law?	YES NO
Will applicant comply with the NYC noise code?	YES NO
Will the establishment have any of the following: (circle all that apply)	FRENCH DOORS GARAGE DOORS WINDOWS THAT CAN BE OPENED
Will applicant close all windows, French doors, garage doors when any music or amplified sound (including televisions) is played inside the establishment?	YES NO
Will applicant close all windows, French doors, garage doors by 11 PM Friday and Saturday and 10 PM on all other days even if no music or amplified sound is played inside the establishment?	YES NO
Has applicant obtained an acoustical report from a certified sound engineer to assess potential noise disturbance to the neighboring residents and buildings?	YES NO
Will applicant follow the recommendations of a certified sound engineer to mitigate potential noise disturbance to the neighboring residents and buildings, including placing speakers on the floor of the establishment?	YES NO
Will the kitchen exhaust system extend to the roof?	YES NO
Will the establishment have an illuminated sign?	YES NO
Will the establishment have a canopy extending over the sidewalk?	YES NO
Where will the air conditioner be located? What type is it?	unknown
When was the air conditioner installed?	unknown

OUTDOOR ITEMS - OTHER THAN SIDEWALK CAFÉ			
Has the applicant/owner(s) read MCB 4 Rear Yard Rooftop Policy?	YES	NO	
Will applicant use any outdoor spaces: rooftop, rear yard, patio, porch, balcony, pavilion, tents, deck, gazebo or open dining in the parking lane? If yes, which one(s)?	YES) NO	Rooftop
Are the floorplans for the outdoor space(s) included?	YES	NO	
Will applicant close and vacate the outdoor space(s) by 11PM on Friday & Saturday and 10 PM on all other days?	YES) NO	
Will the service and consumption of alcohol in any outdoor space only be via seated food service?	YES) NO	
Will applicant not allow standing space for patrons to drink or smoke in any outdoor space(s) or on the sidewalk?	YES	NO	
Will there be no amplified music, as per the law?	YES	NO	
If amplified sound is played inside the establishment, will windows and doors be closed?	YES) NO	
Will applicant agree to post signs outside asking customers to respect the neighbors'?	YES	NO	
Will applicant agree to train staff to encourage a peaceful environment?	YES	NO	
Will applicant provide effective sound control (landscaping enclosure, soundproofing tenants apartments)	YES) NO	
Will there be a lighting plan that allows safe usage of the outdoor space without disrupting neighbors?	YES) NO	
If open dining in the parking lane, will applicant agree to leave the sidewalk free of any furniture?	YES	NO	N/A
If open dining, will you comply with all NYC DOT guidelines?	YES) NO	
If open dining, will the installation be year-round?	YES	NO	

DCA APPROVED UNENCLOSED SIDEWALK CAFÉ	N/A		
Has the applicant/owner(s) read MCB4 Sidewalk Café Policy?	YES	NO	
Will applicant be applying for a sidewalk café now or in the future?	YES	NO	
Is applicant in this application seeking to include a sidewalk café in its liquor license?	YES	NO	
If yes, has applicant submitted an application and plans to NYC Dept. of Consumer Affairs? Please attach application and plans.	YES	NO	
Will applicant close and vacate the sidewalk café by 11 PM on Friday & Saturday and 10 PM on all other days?	YES	NO	
Will applicant be serving alcohol in the sidewalk café? If so, will you have waiter service?	YES	NO	
Will the café have a 3 ft. wide serving aisle running the entire length of the sidewalk cafe?	YES	NO	
Will applicant mark the perimeter of the café on the sidewalk?	YES	NO	
Will the service and consumption of alcohol in the sidewalk café only be via seated food service?	YES	NO	
Will the sidewalk café not provide standing space for drinking or smoking?	YES	NO	
Will applicant use any portable natural gas heaters? If so, do you have the requisite approvals from DOB & the Fire Department?	YES	NO	
Will applicant have a lighting plan that will allow safe usage of the outdoor space without disrupting neighbors?	YES	NO	
Will all furniture, plants and barricades be stored inside between the evening closing hours and the morning opening hours?	YES	NO	
Will all furniture be stored inside between December 21 st and March 21 st , and any other day when it rains or snows?	YES	NO	
Will applicant use umbrellas?	YES	NO	
If construction or construction protection has reduced the sidewalk width, will applicant always maintain an 8 foot clear path of sidewalk between the perimeter of the café and the closest obstruction including construction barricades?	YES	NO	
If open dining is in the parking lane, will applicant agree to remove its sidewalk café?	YES	NO	

- Applicant agrees to implement all recommendations of Acoustilog Report dated Feb 23, 2022

- No music or amplified sound on rooftop

- On rooftop, applicant will install glass barriers on 8th Avenue side and sound dampening materials elsewhere on rooftop

- Live music will cease no later than midnight nightly
- DJ will cease no later than 2 a.m. nightly

- So long as permited by NYC Dept. of Buildings and NYC Fire Dept. regulations, applicant will install an inner door within vestibule

To the extent any additional stipulation on pages 7 and 8 of this application conflicts with any response on pages 1 – 6 of this application, the stipulations on pages 7 and 8 control.

To the extent any additional stipulation on pages 7 and 8 of this application conflicts with any response on pages 1 – 6 of this application, the stipulations on pages 7 and 8 control.

Manhattan Community Board 4 (MCB4) red (MCB4's recommendation is based on a vote ta <u>April 6, 2022</u> full board meeting, with <u>42</u> of the recommendation, <u>0</u> members oppose abstaining and <u>0</u> present but not eligible) CB4 REPRESENTATIVES	aken at its	 Denial unless all stipulations agreed to by applicant/owner are part of the method of operation Denial O Approval 				
Nelly Gonzalez	Frank Holozubiec	Hali	Burt Lazarin			
CB4 Assistant District Manager	CB4 BLP Committee Co-Chair		CB4 BLP Committee Co-Chair			

APPLICANT AGREEMENT WITH THE COMMUNITY

Applicant agrees to these stipulations as the basis for the community support of this application and acknowledges that all of these stipulations are essential prerequisites to the MCB4 recommendation regarding this application. Applicant agrees to have these stipulations incorporated in the method of operation of its liquor license. The stipulations in this application constitute the entire agreement between MCB4 and applicant and may only be altered in writing signed by MCB4 and applicant. These stipulations supersede any oral statements or representations in connection with this application.



Michael McNamee

ner Michael 03/01/2022

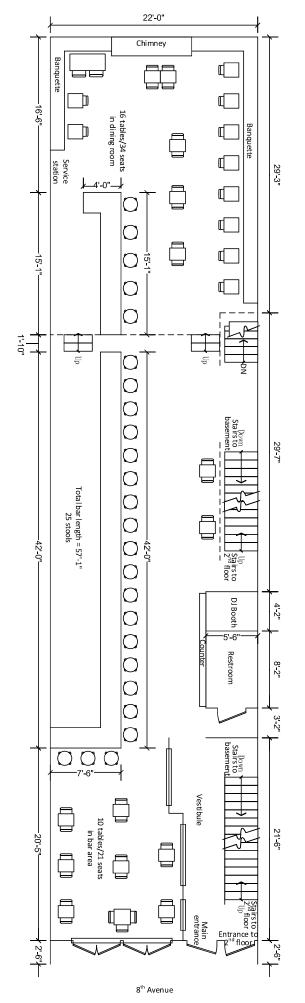


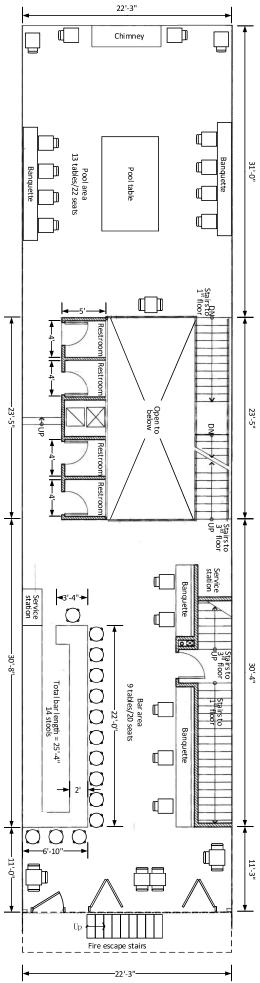
Business Licenses & Permits Committee

10 of



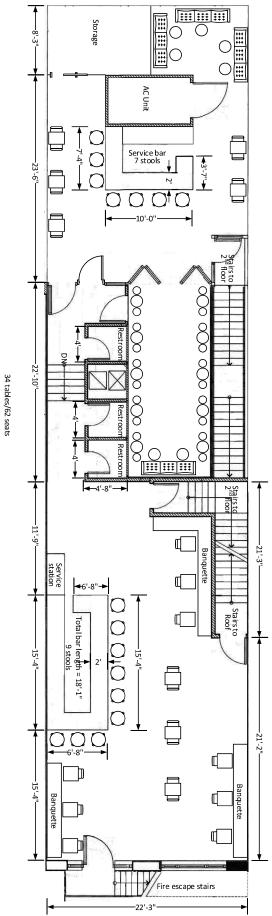
INTERIOR DIAGRAM - 1st Floor 783 8th Avenue New York, NY February 23, 2022





NOT TO SCALE

INTERIOR DIAGRAM – 2nd Floor 783 8th Avenue New York, NY February 23, 2022



NOT TO SCALE

8th Avenue

INTERIOR DIAGRAM – 3rd Floor 783 8th Avenue New York, NY February 23, 2022

←2'-11"**←**▼ Stairs to 3rd floor þ Service bar 8 stools -13'-0"--13'-0" þ 7 Ì \square 11 tables/40 seats Ċ -25'-11"--24'-3"-Ì D . * Fire escape stairs -24'-2"

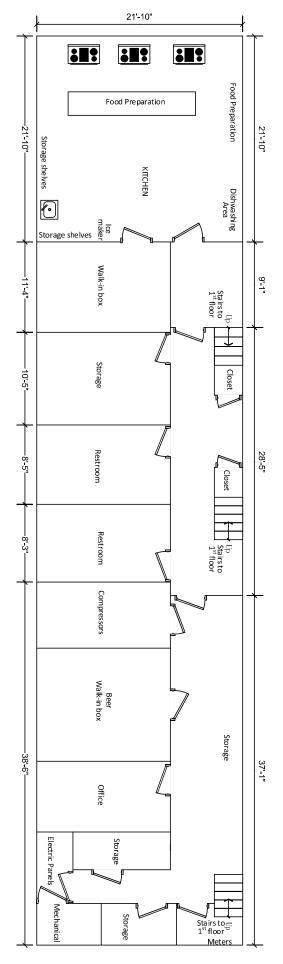
-17'-8"-

Ladder to other roof area

NOT TO SCALE

INTERIOR DIAGRAM - Roof 783 8th Avenue New York, NY February 23, 2022

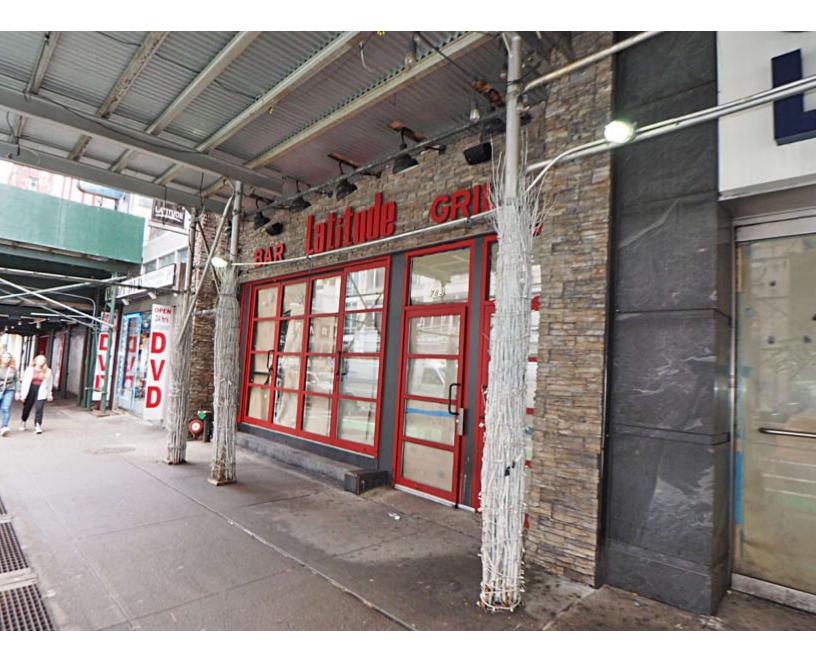
8th Avenue



NOT TO SCALE

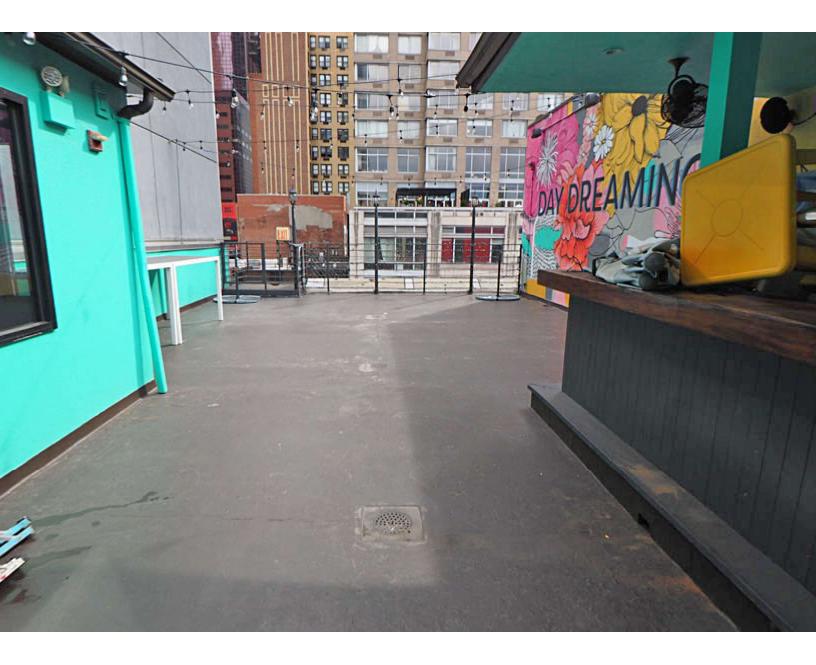
INTERIOR DIAGRAM - Basement 783 8th Avenue New York, NY February 23, 2022





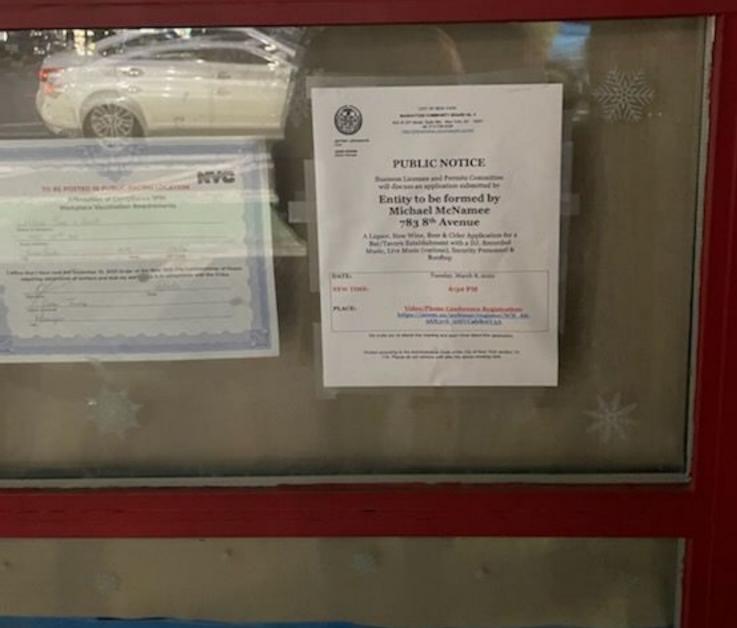
















JEFFREY LEFRANCIOS

JESSE BODINE District Manager CITY OF NEW YORK MANHATTAN COMMUNITY BOARD No. 4 424 W 33rd Street, Suite 580 New York, NY 10001 tel: 212-736-4536 https://ctmanhattan.chyotheavyork.us/cb4/

PUBLIC NOTICE

Business Licenses and Permits Committee will discuss an application submitted by

Entity to be formed by Michael McNamee 783 8th Avenue

A Liquor, New Wine, Beer & Cider Application for a Bar/Tavern Establishment with a DJ, Recorded Music, Live Music (various), Security Personnel & Rooftop

DATE:

Tuesday, March 8, 2022

NEW TIME:

6:30 PM

PLACE:

Video/Phone Conference Registration: https://zoom.us/webinar/register/WN_66-6SX3vS_6HVC2bBstV3A

We invite you to attend this meeting and learn more about this application.

Posted according to the Administrative Code of the City of New York section 10. 119. Please do not remove until after the above meeting date. Landess-Simon, Inc.

Legal & Commercial Photography 45 Lawlins Park Wyckoff, NJ 07481 Phone: (201) 848-5652 E-mail: landess@att.net landessphotographers.com

Re: 783 8th Avenue

1. Lillie's - 249 West 49th St. - (433') 2. Eugene O'Neill Theatre - 230 West 49th St. - (481) 3. Walter Kerr Theatre - 219 West 48th St. - (447!) 4. Hurley's Saloon - 232 West 48th St. - (374') 5. La Macarena - 234 West 48th St. - (329') 6. An'nam - 234 West 48th St. - (2481) 7. Pongari - 244 Wast 48th St. - (238) 8. P.S. Kitchen - 246 West 48th St. - (2081) 9. Biltmore Theatre _ 261-265 West 47th St. - (2741) 10. Brooklyn Chop House - 253 Wet 47th St. - (381) 11. Glass House Tavern - 252 West 47th St. - (401') 12. Trecolori - 254 West 47th St. - (3691) 13. Brooks Atkinson Theatre - 256 West 47th St. - (330') 14. The Mean Fiddler - 264-266 West 47th St. - (275') 15. Dotch Fred's - 302 West 47th St. - (1801) 16. Sombrero - 303 West 48th St. - (1421) 17. Times Square Diner - 807 8th Ave. - (2771) 18. West End Bar & Grill - 813 8th Ave. - (316') 19. Churrascaria Plataforma - 316 West 49th st. - (4391) 20. La Masseria - 235-237 West 48th St. - (2761) 21. Nisi - 250 West 47th Street - (3951) 22. Rooftop 760-760 8th Avenue-(258') 23. Sony Hall - 235 West 46th Street - (4971) 24. Brasserie 46-729 8th Avenue-(4571) 25. Fashion Bar Restaurant - 305 West 46th Street- (4171) 26. Barbetta - 319-323 Weit 46th Street - (4771) 27. The Q-7958m Avenue-(1601) 28. Civilian Hotel - 305 West 48th Street - (172')

Schools & Churches

1. P.S. 212 Professional Performing Arts High School - 328 West 48th St. - (3761)

2. St. Malachy's The Actors Chapel - 239 West 49th St. - (4701)

3. St. Luke's Lutheran Church - 308 West 46th Street - (483')





MICHAEL J. PALEUDIS, MEMBER + ♦ ★∆ BENJAMIN A. KORNGUT, MEMBER + LEONARD M. FOGELMAN, OF COUNSEL + DAVID M. DAHAN, OF COUNSEL $+\Omega$ ADAM I. KLEINBERG, OF COUNSEL $+\Delta$ PAUL C. TAYLOR, OF COUNSEL △

ADMITTED TO PRACTICE +NY, \diamond CT, \star PA, Δ NJ, Ω MA

March 1, 2022

New York State Liquor Authority 317 Lenox Avenue New York, NY 10027

> Re: PMACS 7 LLC 783 8th Avenue, New York, New York Premises:

To Whom It May Concern:

Our office represents PMACS 7 LLC, a limited liability company formed for the purpose of operating a bar/tavern business at 783 8th Avenue in Manhattan. For the reasons set forth below, the applicant submits that its application should be granted under Section 64(7)(f) of the New York Alcoholic Beverage Control Law (ABC) because granting the on-premises liquor license creates "public convenience and advantage" and is "in the public interest" as contemplated by Section 64(6-a) of the ABC.

Until COVID, the previous operator was a successful, well-established (a) cocktail bar that had been operating for more for almost ten years.

(b) The applicant has, or will, obtain all necessary state and local permits and licenses to operate the restaurant.

The applicant is located a few short blocks from the subway trains and (c) buses that service the downtown area. There are parking garages within walking distance of the premises. In light of the abundant parking and nearby public transportation, granting the instant application will not negatively impact vehicular traffic or parking.

The establishment has been operating for many years without incident. (d) Because the applicant will continue to operate under the same method of operation, there will be no increase in the noise level as a result of this license being issued.

The establishment maintains much-needed jobs and promotes (e) competitive pricing within the restaurant industry and generates additional City and State tax revenues.

(f) The applicant has taken affirmative steps to notify Manhattan Community Board 4 (CB4). After meeting with CB4's BLP Committee on and agreeing to CB4's stipulations



For the reasons stated above, the undersigned respectfully submits that the instant application should be approved under Section 64(7)(f) of the ABC because the applicant has demonstrated that granting the instant application is "in the public interest".

Respectfully submitted,

Michael J. Paleudis, Esq.





SECURITY PLAN

- There will be a minimum of one licensed and trained security guard on every floor when 75 or more patrons are present at the same time. For larger groups, there will be one such security guard for every 75 patrons present. Any full-time security supervisor shall be included when counting the total number of security guards employed. Discretion should be used by management to determine the appropriate number of security personnel based on the event or crowd to ensure safety and lawfulness.
- 2. PMACS use the services of self-employed security guards, they will be licensed by the NYS Department of State.
- **3.** Security guards will be trained in techniques to de-escalate dangerous encounters and difficult situations.
- 4. For every five (5) security guards there be one (1) security supervisor to ensure a minimum span of control of one (1) security supervisor for every five (5) subordinates.
- 5. Security guards will be distinctively and uniformly attired very easily identified.
- 6. Security guards be spread throughout the establishment and not just at the door.
- 7. Our Coat check will include the customer's ability to check bags. We ensure control and order are maintained in coat check area, especially at closing time. Customers will be encouraged to check coats and bags to avoid thefts.
- 8. Digital video will be provided to the NYPD when requested.
- 9. Identifying information on ejected and/or arrested patrons will be retained on a "banned list" database. These patrons will not be allowed subsequent re-entry.
- **10.** Properly working and maintained digital cameras will be mounted in front of the establishment (both inside and outside), at all entry doors and outside the bathroom doors.
- 11. Applicant will hire an independent security consultant to ensure security and other laws and policies, including laws prohibiting sales to minors, are being adhered to.
- **12.** Ensure that levels of lighting inside and outside the establishment are sufficient for observation by security.
- 13. At closing, security will be present to ensure orderliness when patrons are exiting the establishment.

Suggested schedule for the Location

Monday – 1 security on the main door and 1 on each open floor.

Tuesday - 1 security on the main door and 1 on each open floor.

Wed thru Sunday - 2 security on the main door and 1 on each open floor.

<u>The Dickens</u>

Hoping to Join Your Neighborhood Soon!

783 8th Avenue, NY 10036



- Upscale, Yet Approachable Cocktail Lounge
- Offering Fresh and Unique Cocktails
- Sharable Small Plates
- **Relaxing & Fun Environment**
- Great for Groups, Specials Celebrations, Corporate Events, Pre/Post Broadway and More
- Bar & Table Seating with Private, Reservable, Larger Areas
- Rooftop Seating with Margarita Bar

- Opening Hours: 11am 4am Daily
- Kitchen: Open until 2am Daily
- Security: On Site Through Multiple Levels & Entry



Sample Menu

Tacos Flatbreads Sliders **Charcuterie Boards** Salads Spring Rolls Wraps/Sandwiches **Brunch Specialties** House Made Desserts & Much More...





Brought To You by **PMAC's Hospitality**

Owners of: Dutch Freds Haswell Greens Vida Verde Tanner Smiths The Three Monkeys The Mean Fiddler

Small Plates

Everything Pretzels \$13.00IPA Cheese Sauce And Spicy Mustard

Buffalo Chicken Spring Rolls \$16.00Blue Cheese Dip and Buffalo Sauce

Crispy Chicken Tenders \$15.00 Spicy lime aioli, celery-jicama slaw

Mediterranean Mezze Dips \$16.00Fresh Citrus Hummus, Roasted Eggplant Dip, White Bean Truffle Dip with Grilled Pita Bread or Veggie Sticks

Thai Deviled Eggs \$11.00Curried toast

Eggplant Chips \$14.00Clover honey and Sea Salt

Chickpea 3 Ways \$17.00Falafel, classic hummus, fried chickpea polenta, grilled pita & local vegetables

Salsa & Chips \$6.00Seasoned Tortilla Chips, House Made Salsa

Soup of the Day \$10.00Butternut Squash - roasted Brussels sprouts, Fuji apple and crushed hazelnuts (contains nuts)

Large Plate Burgers and Sandwiches

Double Smoked Cheeseburger \$20.00 American cheese, iceberg, pickles, bacon marmalade, and red wine onion on a sesame potato bun

Grilled Beef Sliders \$19.00 Potato bun, IPA cheese sauce, LTOP, and bacon Beef Burger

Spicy Hot Chicken Sandwich \$19.00 Shaved iceberg, sweet & sour pickles, and buttermilk aioli on a sesame potato bun Fried Chicken Sandwich \$16.00 With arugula, roasted red peppers, mozzarella, tomatoes, lemon garlic aioli, ciabatta bread Grilled Chicken Sandwich

Double Cut Bacon BLT \$17.00 Scallion Aioli, Lettuce, Tomato, Ciabatta Bread Fried Egg and Bacon Sammy

Fried Egg, Apple Wood Smoked Bacon, Jack Cheese, Chipotle Aioli, Ciabatta Bread Grilled Veggie Burger

Flatbread and Plzzettes

Classic Margherita Flatbread \$17.00

Tomato marmalade, whole milk mozzarella, and basil Forest Mushroom Flatbread \$18.00

Cheddar, mozzarella, local mushrooms, and truffle oil Hot Capicola Ham Sourdough Pizzette \$14.00

Whole Milk Mozzarella, Crushed Tomato, Basil, Hot Honey Heirloom Tomato Sourdough Pizzette \$14.00

Oregano, Parmesan, Crispy Garlic, Whole Milk Mozzarella Chicken Yasa Sourdough Pizzette \$14.00

Jack Cheese, Marinated Onion, African Spices, Habanero Truffle Cheese Sourdough Pizzette \$14.00

Herb Ricotta, Parmesan, Whole Milk Mozzarella, Truffle Oil Butternut Squash Sourdough Pizzette \$14.00

Butternut Squash, Roasted Brussel Sprouts, Cashew Ricotta

Salads and Bowls

Ancient Grain Bowl \$13.00

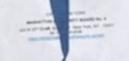
Quinoa, local vegetables, and baby kale in a balsamic dressing Kale Caesar Salad \$14.00 Baby kale, Parmesan crisp, classic anchovy dressing, herbed croutons Classic Greek Salad \$14.00

Mixed greens, feta cheese, roasted red peppers, kalamata olives, cucumbers, tomatoes, red wine vinaigrette Green Market Salad \$14.00

Local Greens, Shaved Radishes, Cucumbers, Grape Tomatoes, Sherry Vinaigrette Tuna Nicoise Salad \$18.00

•

Yellowfin tuna grilled to your liking, mixed greens, soft boiled egg, roasted red pepper, tomato, cucumber, red wine vinaigrette



PUBLIC NOTICE

Business Licenses and Permits Committee will docum at application submitted by

Entity to be formed by Michael McNamee 783 8th Avenue

A Lapor, New Wine, Berr & Cider Application for a DayTowers Establishment with a DJ, Recorded Maie, Live Music (various), Security Personnel & Rooftop

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PUBLIC NOTICE

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Entity to be formed by Michael McNamee 783 8th Avenue

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PUBLIC NOTICE

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Entity to be formed by Michael McNamee 783 8th Avenue

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ACOUSTIOG® www.acoustilog.com

19 Mercer Street, New York, NY 10013 (212) 925-1365 acoustilog1@verizon.net

February 23, 2022

Mr. Michael McNamee c/o PMac's Hospitality 240 West 52nd Street, Fourth Floor New York, NY 10019

Re: New Restaurant Acoustic Issues, Latitude, 783 Eighth Avenue, New York, NY 10036

Dear Mr. McNamee,

Pursuant to your request, I have studied the noise issues at the above premises.

SUMMARY

You are opening a new restaurant at the above premises that will include 3 floors for indoor dining and bars, plus a rooftop terrace. The design of the spaces and the level of ambient noise in the area will keep sound levels within Noise Code limits. I have provided soundproofing recommendations to reduce transmission of music and voice noise to nearby residential buildings.

DBA VS ONE-THIRD OCTAVE BAND MUSIC LEVELS

One way that sound levels are often measured is by using the "A scale", the A-weighted decibel scale. This dBA scale (see Noise Code Section §24-231 a1) is the most common type of sound measurement, which represents a summation of middle (midrange) and high frequencies (treble), but largely ignores low-frequency "bass" sounds. Measuring the dBA levels requires only a simple sound level meter. DBA is what the City DEP inspectors usually use, and they normally consider anything above 42 dBA to be unreasonable.

C-weighted decibels or dBC (see Noise Code Section §24-231 a3) are also a measurement of all frequencies, but this method includes the important low-frequency "bass" sounds. However, dBC readings pick up so many frequencies at the same time that they usually do not distinguish between normal background noise and music beats.

Octave and one-third-octave band sound level readings (see Noise Code Section §24-231 a2) were also taken, which are measured in decibels, or dB. Sounds with frequencies below 250 Hertz are called bass or low frequencies, which sound like thumping or vibration. This range of low frequencies is addressed in the Noise Code regulations and is the sound most likely to cause neighbor complaints. Bass and drums usually cause sounds in these frequency ranges. These sounds require a complex spectrum analyzer to measure them.

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THE NOISE CODE - MUSIC

§24-231 Commercial music.

(a) No person shall make or cause or permit to be made or caused any music originating from or in connection with the operation of any commercial establishment or enterprise when the level of sound attributable to such music, as measured inside any receiving property dwelling unit:

(1) is in excess of 42 dB(A) as measured with a sound level meter; or

(2) is in excess of 45 dB in anyone-third octave band having a center frequency between 63 hertz and 500 hertz (ANSI bands numbers 18 through 27, Inclusive), in accordance with American National Standards Institute standard \$1.6-1984; or

(3) causes a 6 dBC or more increase in the total sound level above the ambient sound level as measured in decibels in the "C" weighting network provided that the ambient sound level is in excess of 62 dBC.

THE NOISE CODE - UNREASONABLE NOISE

§24-203 General definitions. When used in the New York city noise control code the following terms shall have the following meanings:

(62) Unreasonable noise means any excessive or unusually loud sound that disturbs the peace, comfort or repose of a reasonable person of normal sensitivities, injures or endangers the health or safety of a reasonable person of normal sensitivities or which causes injury to plant or animal life, or damage to property or business.

§24-218 General prohibitions.

(a) No person shall make, continue or cause or permit to be made or continued any unreasonable noise.

(a-1) No person shall make, continue or cause to permit or be made or continued any unreasonable noise:

(1) for any commercial purpose or during the course of conducting any commercial activity; or

(2) through the use of a device, other than a device used within the interior living space of an individual residential unit, installed within or upon a multiple dwelling or a building used in part or in whole for non-residential purposes.

(b) Unreasonable noise shall include but shall not be limited to sound, attributable to any device, that exceeds the following prohibited noise levels:

(1) Sound, other than impulsive sound, attributable to the source, measured at a level of 7 dB(A) or more above the ambient sound level at or after 10:00 p.m. and before 7:00 a.m., as measured at any point within a receiving property or as measured at a distance of 15 feet or more from the source on a public right-of-way.

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(2) Sound, other than impulsive sound, attributable to the source, measured at a level of 10 dB(A) or more above the ambient sound level at or after 7:00 a.m. and before 10:00 p.m., as measured at any point within a receiving property or as measured at a distance of 15 feet or more from the source on a public right-of-way.

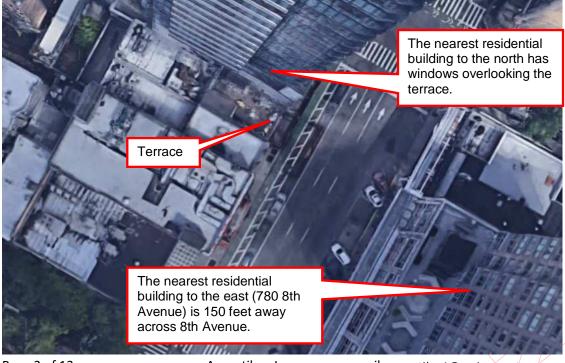
(3) Impulsive sound, attributable to the source, measured at a level of 15 dB(A) or more above the ambient sound level, as measured at any point within a receiving property or as measured at a distance of 15 feet or more from the source on a public right-of-way. Impulsive sound levels shall be measured in the A-weighting network with the sound level meter set to fast response. The ambient sound level shall be taken in the A-weighting network with the sound level meter set to slow response.

(c) Notwithstanding the provisions of subdivision b of this section, where a particular sound source or device is subject to decibel level limits and requirements specifically prescribed for such source or device elsewhere in this code, the decibel level limits set forth in this section shall not apply to such source or device.

Note that Section §24-218 (b) applies to devices, not to people (such as the voices of your customers) but these are only examples ("shall include but shall not be limited to"). This section is used in this report as a reasonable guideline. §24-218 (a) prohibits unreasonable noise.

MAP

The nearest / most-affected residential locations are shown in the Google Maps photo below.



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email: acoustilog1@verizon.net

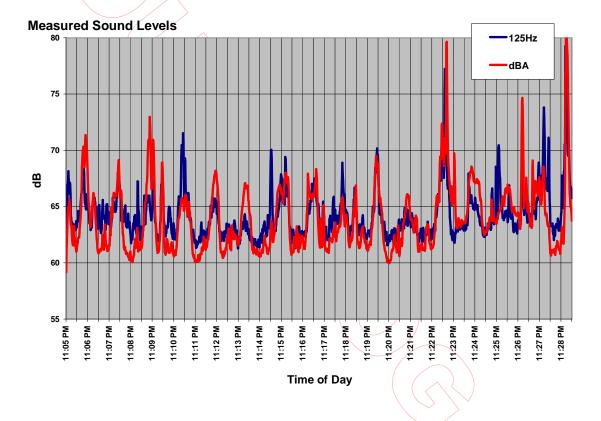
AMBIENT NOISE ANALYSIS

I took ambient noise readings on the roof terrace until 11:30 PM on a Monday night. This was later than the expected operating hours. Therefore, this was a worst-case (quietest) late-night reading. These measurements allow determination of the proper sound recommendations for the outdoor space.

Traffic noise was loud and continuous.

The outdoor ambient sound level on the roof terrace using the A-weighting or "dBA" scale was a minimum of 60 dBA. Measured 3 feet inside the nearest open window, the ambient sound level would be approximately 49 dBA.

The low-frequency sound was a minimum of 61 decibels at 125 Hertz. See the chart below.



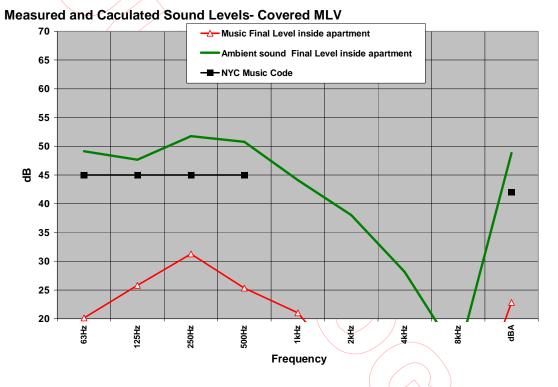
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ANALYSIS

The nearest residential building is to the north and has windows overlooking the terrace. The nearest residential building to the east is across the street at 780 8th Avenue and is 150 feet away.

Sound is attenuated by travel distance, by bending and also by passing through an open window. There will be mass-loaded vinyl, which will provide additional attenuation.

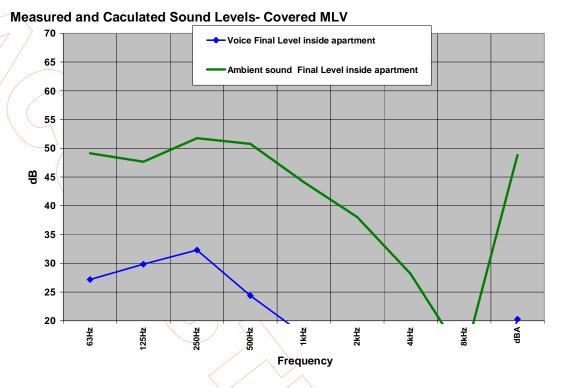
The graph below shows the music calculations for the terrace. Background music will be played at an electronically-limited level as described below. The graph shows that the music levels will comply with the Code limits of 45 decibels for bass sounds and 42 dBA for midrange sounds. In addition, the music level will be far lower than the level of ambient noise.



The voice noise level was analyzed by calculating the noise from people on the rooftop and deducting the predicted sound attenuation. In order to be Code-compliant, the voice sound must not exceed the ambient by 7 or 10 decibels (night/day). Since the sound will be far below the ambient noise, it will easily meet Code requirements.

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Acoustilog, Inc



The interior walls are primarily sheetrock spaced away from the brick.

There was insulation in most wall cavities as determined by listening tests. There have been no reported noise complaints or violations from the existing space.

RECOMMENDATIONS

These recommendations are based on a moderate sound level on the 1st – 3rd floors and background music on the roof terrace. These levels are described in the Sound System section.

TERRACE MLV SOUNDPROOFING LAYER

1. The MLV layers will be overlapped by at least 4 inches and attached on top of a sealed canvas roof, completely covering the roof terrace. The material will weigh 1 pound per square foot and must be reinforced for outdoor use. The vinyl is available from Acoustical Surfaces Inc. Ask for Tyler at 800 448 0737. Email: tyler@stopnoise.com. The front area over the parapet wall can remain open.

TERRACE SOUND SYSTEM

- 2. At least 8 small speakers should be used as a distributed system. The woofers must not exceed 6" in diameter.
 - (a) I have included a wiring diagram so that one amplifier can power all 8 speakers

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instead of using multiple power amplifiers. Alternatively, a zone control box can be used.

- (b) The speakers should be no higher than 36" above the roof.
- (c) Data for one suitable speaker model is attached.
- (d) Do not use subwoofers.
- (e) The system should be set up in stereo. Stereo sounds louder to people without actually increasing the sound level.
- 3. The terrace sound system will incorporate an equalizer and limiter. Both functions can be accomplished with a DBX DriveRack PA2 or similar processor. Data attached. Installed in the system right before the amplifier and electronically locked with a combination, it will prevent the sound system from exceeding a pre-determined sound level, set by the sound installer. If the sound system is turned up too high, the limiter will activate and guarantee that the actual sound never exceeds the desired maximum.
 - (a) Using the graphic equalizer section, attenuate (lower) all frequencies 125 Hertz and below. Do this by setting a high-pass filter on both stereo channels to a cutoff frequency of 125 Hertz and a slope of 12 dB/octave.
 - (b) Set the Stereo Output Limiters to COUPLE both channels together, which makes the Channel 1 controls affect both channels. The rest of the instructions are thus for the left channel only.
 - (c) Set the limiter's Ratio control to infinity, the Peak Stop to off, the Attack and Release time to midway and Auto, Over-Easy to off, and the Threshold control so as to normally limit only 3 decibels during typical music playing. If the music tries to get louder for any reason, the sound will stay at the same volume.
 - (d) The amplifier and zone control box must be set to maximum level during this process so they cannot be turned up further at a later time.
 - (e) Using the unit's output level control, set the maximum sound level to 83 dBC, measured 3 feet from any speaker. The sound installer can do this with a simple Radio Shack sound level meter (these are still available used). Set the meter to read "C", and "Slow". This will be a good starting point from which to operate the sound system.
 - (f) To ensure the accuracy of the meter, you can bring it my office to be calibrated.
 - (g) The DBX unit could be set in conjunction with tests made of noise levels in the neighboring buildings.
- 4. The indoor sound systems will also have a limiter which must be set to a maximum level of 98 dBC. The existing dbx Zone Pro 260 processors should continue to be utilized.

OPTIONAL TERRACE SOUND ABSORPTION

5. Optional – install sound-absorbing panels on the terrace side walls where practical, to prevent reverberant sound build-up. This is primarily to benefit your customers because of the high level of noise from 8th avenue traffic and the reverberation between the walls, which causes a "muddy" sound.

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- (a) One suitable choice is the 1" thick Sound Silencer panel from Acoustical Surfaces.
- (b) These can be hidden behind a trellis or plantings but must not be blocked with any solid material such as wood or closed fencing. Data attached.

DOORS

6. The front doors should not be propped open since a small amount of sound will exit onto the sidewalk, which could lead to Noise Code Section 24-244 violations, as described below.

THE NOISE CODE - OUTDOOR NOISE

Noise Code Section § 24-244 states,

Sound reproduction devices.

- (a) Except as otherwise provided in section 10-108 of the code, no person shall operate or use or cause to be operated or used any sound reproduction device in such a manner as to create unreasonable noise.
- (b) No person shall operate or use or cause to be operated or used any sound reproduction device, for commercial or business advertising purposes or for the purpose of attracting attention to any performance, show, sale or display of merchandise, in connection with any commercial or business enterprise (including those engaged in the sale of radios, television sets, compact discs or tapes),
- (i) outside or in front of any building, place or premises or in or through any aperture of such building, place or premises, abutting on or adjacent to a public street, park or place...

This section is used by inspectors incorrectly. This section is intended to prohibit music used for "commercial or business advertising purposes", not for accidental street leakage through the front door. Even though the application of the law is wrong, DEP inspectors often issue these violations without even having to measure the sound level, if there is noise heard on the sidewalk from a business. You will reduce your chances of getting a violation if you implement the recommendations and never prop your front doors open.

If I can be of further assistance, please call.

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It is strongly recommended that all complicated construction projects get regular inspection visits at critical times, to make sure the system performs properly. This is an optional service which I can provide. All Acoustilog, Inc.-designed information supplied is for the original client and may not be copied in any way for different projects by any architect, consultant, engineer or other party. Copyright Acoustilog, Inc. ® 2022. All rights reserved. No reproduction of any type permitted without written permission of Acoustilog, Inc.

Yours Truly,

Alan Fierstein

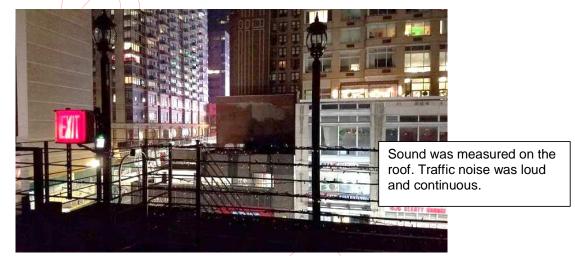
President acoustilog1@verizon All readings re: .0002 microbar. Readings taken with Bruel & Kjaer 2250/2260/2270 Analyzer, Bruel & Kjaer 4134, 4135, 4145, 4155, 4165, 4189 or 4190 Microphone, Acoustilog 232A Reverberation Timer. Calibrated to Bruel & Kjaer 4220 Sound Source or Quest CA-15.

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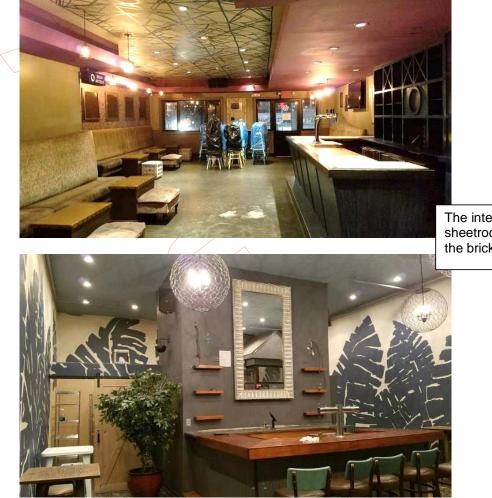
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The future level in the closest apartment, with the windows open, will be far below the loise Code 45-decibel limit.

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The interior walls are primarily sheetrock spaced away from the brick.

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ACOUSTICAL SURFACES, Inc.

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NOISE S .T.O.P.™ Vinyl BARRIER

Mass Loaded Vinyl Noise Barrier

- Reduces Sound Transmission
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When noise and sound transmission needs to be effectively controlled, Mass Loaded Vinyl Noise Barrier is the solution to build noise barriers and soundproof walls.

MATERIAL: Mass Loaded Vinyl Barrier PATTERN: Smooth Finish FEATURES: High density limp material to reduce noise transmission. APPLICATIONS: Reduced noise transmission through ceilings, walls, floors, machinery enclosures, duct- work. Apply over suspended ceilings on studs or joists. THICKNESS: 1/16" - 1/2lb./sq.ft. 1/8" - 1lb./sq.ft. 1/4" - 2lb./sq.ft. SIZES: 54" Wide x 20', 30', 60' Rolls - 2'x2', 2'x4' Sheets, Die Cutting Available COLOR: Black, Grey (Reinforced), Tan and Clear (Transparent or Translucent) FLAMMABILITY: UL 94VO

INSTALLATION: Material can be nailed, screwed, stapled or can be reinforced and grometted and hung like a curtain.

Product Tests & Information:

Acoustical Tests

<u>MSDS</u>

• Flammability

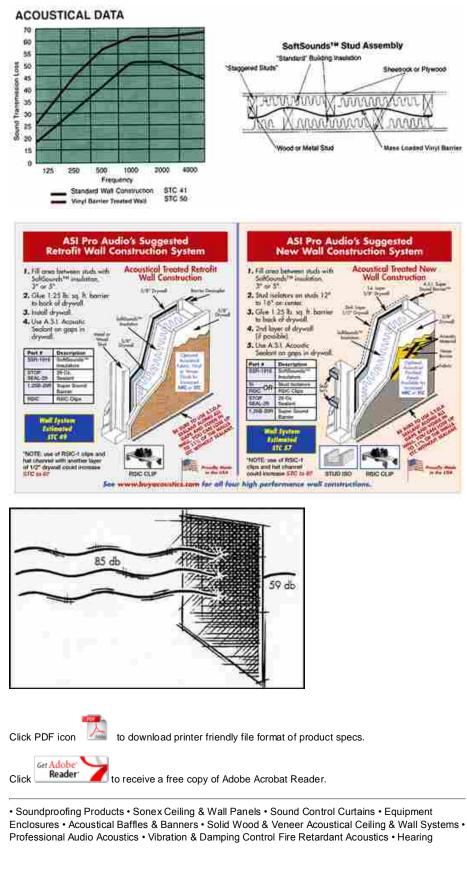
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Noise Transmission Loss (dB) Per Octave Band (HZ) Barriers STC 125 250 500 1000 2000 4000 2 lb. PSF 22 26 32 35 31 16 40 1.25 lb. PSF 33 14 18 24 27 38 28 1 lb. PSF 13 17 22 26 32 37 27 1/2 lb. PSF 8 13 17 22 27 31 20





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Control[®] 1 Pro

Two-Way Professional Compact Loudspeaker System

Professional Series

Key Features:

- ▶ 150 Watts Continuous Power Handling
- ▶ Professional Drivers and Crossover Network
- Included Mounting Bracket
- Transparent and Faithful Sonic Performance
- Magnetically Shielded Transducers
- ► SonicGuard[™] Overload Protection
- Available in Black or White Finishes

Applications:

Representing the next-generation in professional high-performance, compact loudspeaker systems, the Control[®] 1 Pro builds on its proud heritage while incorporating the latest innovations in JBL Professional loudspeaker systems design. Featuring proven JBL transducer technologies, the Control 1 Pro is perfect for a wide variety of critical near-field audio applications.

With independent, monitor-grade high and low frequency drivers, the Control 1 Pro's professional crossover network provides steep slopes for exceptional sonic performance and incorporates full-range SonicGuard™ overload protection into the design ensuring network and transducer protection from excessive power surges from the amplifier.

The Control 1 Pro's rugged and durable molded enclosure houses magnetically shielded transducers making it ideal for use with video and computer monitors or other magnetically sensitive equipment. Moreover, the Control 1 Pro's compact design makes it ideal for audio-visual applications, computer workstations, recording and broadcast studios, mobile audio-video control rooms and foreground and background music.

The Control 1 Pro can easily be mounted against a wall or other flat surface with the enclosed brackets or simply used as a bookshelf speaker.



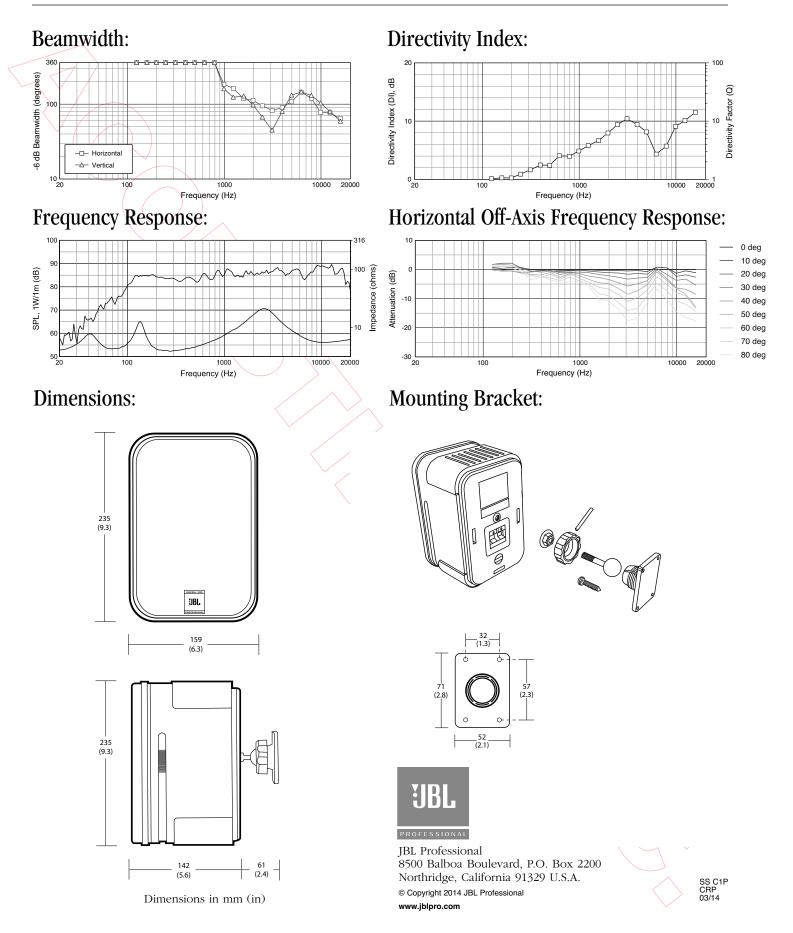
Specifications:

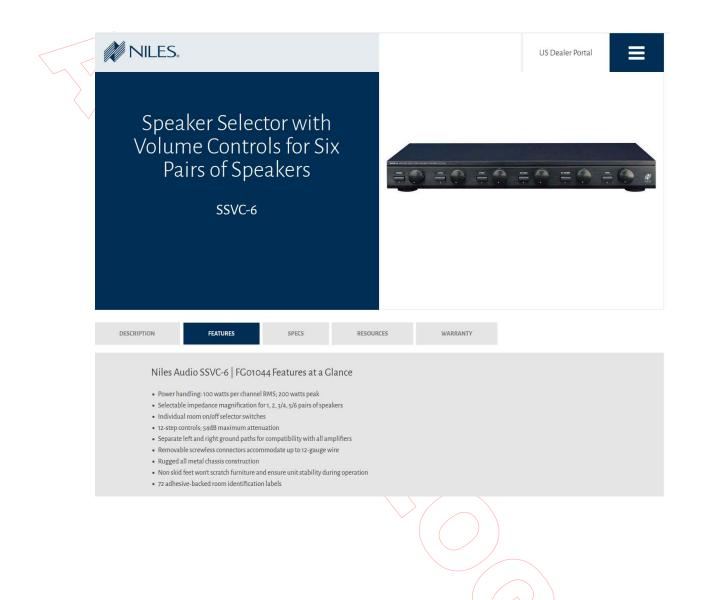
System:
Frequency Range (-10 dB): 80 Hz - 20 kHz
Frequency Response (+/- 3 dB): 100 Hz - 18 kHz
Power Capacity ¹ : 150 W
Sensitivity ² : 87 dB SPL, 1 W 1 m (3.3 ft)
Maximum SPL ³ : 108 dB continuous, 114 dB peak
Directivity Factor (Q) ² : 6.0
Directivity Index (DI): 7.8 dB
Nominal Impedance: 4 ohms
Crøssover Frequency: 4.2 kHz
Overload Protection: Full-range SonicGuard [™] power limiting to
protect network and transducers
Transducers:
LF Driver: 135 mm (5.25 in) low frequency loudspeaker
HF Driver: 19 mm (.75 in) polycarbonate dome tweeter
Input Connectors: Spring-loaded terminals
Enclosure:
Enclosure Material: Polypropylene Structural Foam
Finish: Black (C1Pro) or White (C1Pro-WH)
Dimensions: 235 mm x 159 mm x 143 mm
(9.3 in x 6.3 in x 5.6 in)
Net Weight (each): 1.8 kg (4 lb)
Shipping Weight (pair): 4.6 kg (10 lb)
Included Accessories: Mounting Bracket Assembly

'IEC Standard, full bandwidth pink noise with 6 dB crest factor; 2 hour duration. ²Average 1 kHz to 10 kHz ⁴Calculated based on power rating and sensitivity, exclusive of power compression.

JBL continually engages in research related to product improvement. Some materials, production methods and design refinements are introduced into existing products without notice as a routine expression of that philosophy. For this reason, any current JBL product may differ in some respect from its published description, but will always equal or exceed the original design specifications unless otherwise stated.

Control 1 Pro Two-Way Professional Compact Loudspeaker







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Larger Images

ALL YOU NEED TO GET THE MOST FROM YOUR PA. NOW WITH COMPLETE CONTROL FROM YOUR MOBILE DEVICE.

The DriveRack® PA2 provides all the processing you need between your mixer and amplifiers to optimize and protect your loudspeakers. With the latest advancements in dbx's proprietary AutoEQ[™] and AFS[™] algorithms, a new input delay module for delaying the FOH system to the backline, Ethernet control via an Android®, iOS®, Mac®, or Windows® device, and updated Wizards, the DriveRack PA2 continues the DriveRack legacy of great-sounding, powerful, and affordable loudspeaker management processors, for a whole new generation.



New, improved AutoEQ algorithm ensures an extremely accurate, fast, and non-intrusive automatic EQ experience.

With the RTA Mic "listening" to your room, the new, updated DriveRack PA2 AutoEQ algorithm sets speaker levels and room EQ automatically in a matter of seconds. This means room adjustments can now be made very quickly, without subjecting the audience to annoying, lengthy broadcasts of pink noise.

ENHANCED AFS[™] FEEDBACK ELIMINATION

Enhanced AFS[™] algorithm for faster, more precise feedback elimination, without adversely affecting your system's tone.

Nothing turns audiences away like annoying and potentially painful audio feedback. Fortunately, dbx engineers have revisited their already-stellar Advanced Feedback Suppression algorithm and made it work even better. The DriveRack PA2 listens for and anticipates feedback and adjusts speaker output automatically before it even has a chance, while never altering your sound.

UPDATED WIZARD SETUP FUNCTIONS

Updated Wizards make initial set up easy, while ensuring speaker tunings and other settings are up-to-date.

Wizard functions on the DriveRack PA2 guide you through easy, step-by-step processes to help you get the most from your loudspeaker system. Helps you easily configure level balancing, AutoEQ, Advanced Feedback Suppression, and provides access to built-in and constantly updating speaker tunings from most major speaker manufacturers.

AVAILABLE INPUT PROCESSING

- > dbx Compression
- > AFS[™] (Advanced Feedback
- Suppression)
- > Graphic EQ
- 8-Band Parametric EQ (adjusted when using the AutoEQ)
- > Subharmonic Synthesis
- AVAILABLE OUTPUT PROCESSING
- Crossover (supports full range, 2-way, and 3-way systems)
- > 8-Band Parametric EQs (used for
- speaker tunings)
 dbx Limiting
- > Driver Alignment Delays



Complete Loudspeaker Management System





OVERVIEW

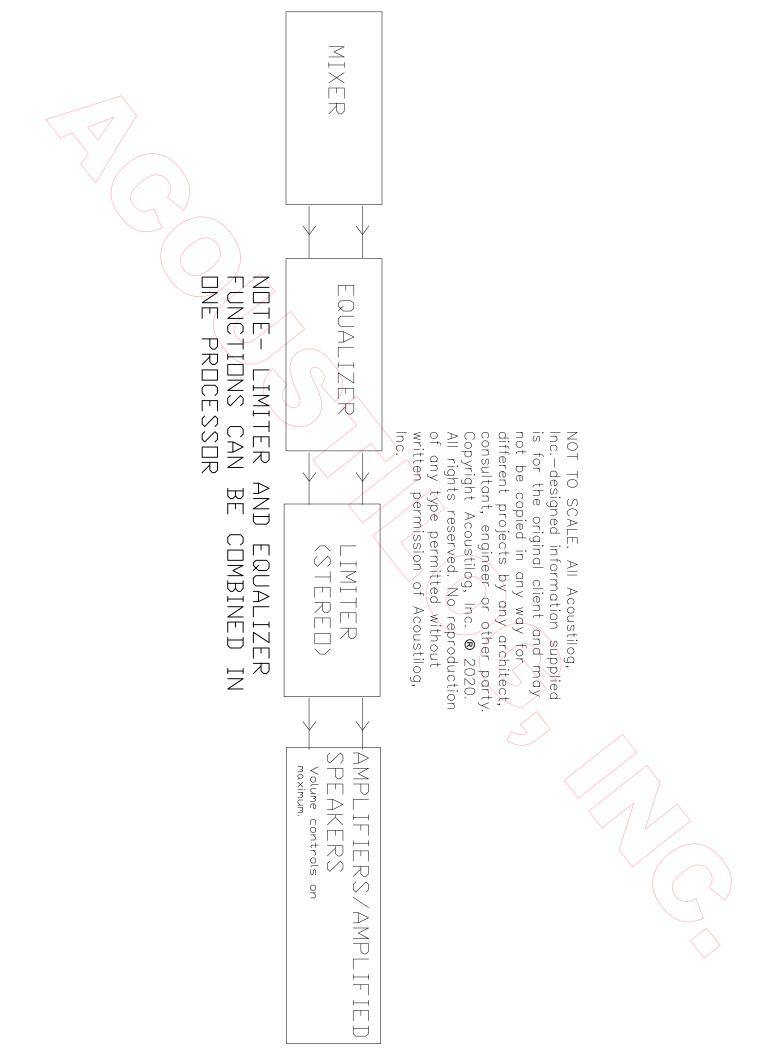
FEATURES MANUALS/DOCUMENTATIO DOWNLOADS SPECIFICATIONS NEWS SUPPORT/FAQS

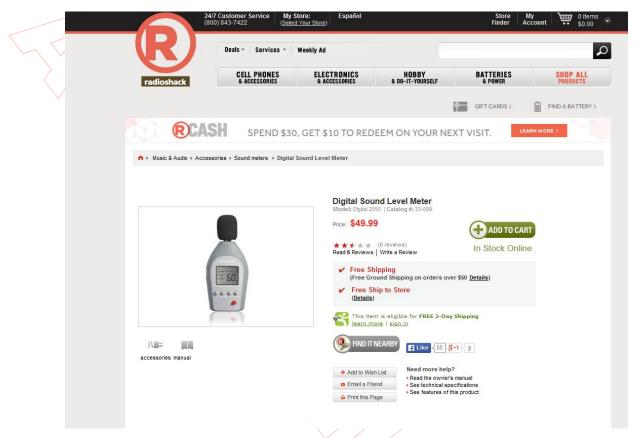




Features

- > All New Setup Wizard
- > Streamlined AutoEQ[™]
- > All New AFS[™] (Advanced Feedback Suppression)
- > Mobile Control (Android®, iOS®, Mac®, Windows®)
- > dbx Compression
- > Graphic EQ
- > 8-Band Parametric EQ (adjusted when using the AutoEQ) Input
- Subharmonic Synthesis
- > Crossover (supports full range, 2-way, and 3-way systems)
- > 8-Band Parametric EQs (used for speaker tunings) Output
- > dbx Limiting
- > Driver Alignment Delays





Product Summary

Fine-tune your audio.

Fine-tune your PA or stereo systems audio response to match the acoustic environment with this Digital Sound Level Meter. It comes with a carrying case for travel and features an easy-to-read display.

- Carrying case protects the meter when traveling
- Easy-to-read display, sound range 30-130db, digit LCD display
- You can fine-tune your PA or stereo systems audio response to match the acoustic environment

Pricing and availability: Please note that all prices are subject to change without prior notice. Prices advertised on this site are for online orders only. Prices on some items may differ from those advertised in RadioShack stores. All merchandise may not be available at all stores, and all stores may not participate in all sales promotions. We recommend you contact the store to confirm product availability and price.

Shipping

Usually ships in 1 - 2 business days

In store: <u>Check availability</u> By phone: 1-800-843-7422

Manufacturer Warranty

- Parts: 12 month
- Labor: 12 month