



Levy Premium Foodservice LP; Restaurant Associates Inc and New York Convention Center Operating Corporation

May 11, 2021 Meeting

Questionnaire for an Alteration Application

1. Overview of New Building
2. The Expansion of the Jacob K. Javits Convention Center

BERNSTEIN REDO, P.C.

1177 Avenue of the Americas, 5th floor

New York, NY 10036

Tel. 212.651.3100

www.brpclaw.com

Manhattan Community Board 4

Liquor License/Sidewalk Cafe Stipulations Application

(All Fields Must Be Completed)

CORPORATION NAME		DOING BUSINESS AS (DBA)	
Levy Premium Foodservice LP; Restaurant Associates Inc and New York Convention Center Operating Corporation		Levy@Javits Center	
STREET ADDRESS		CROSS STREETS	ZIP CODE
655 West 34th Street		11th and 12th Avenues	10001
OWNER <i>(Attach a list of all the people that will be associated/listed with the license)</i>	NAME: New York Convention Center Operating Corporation	ATTORNEY/ REPRESENTATIVE	NAME: Donald M. Bernstein / Bernstein Redo PC
	PHONE: 212 216 2122		PHONE: 212 651 3100
	EMAIL: BSiciliano@javitscenter.com		EMAIL: donald@brpclaw.com
MANAGER	NAME: Daniel Palawasta	LANDLORD	NAME: New York Convention Center Development Corporation c/o Robin Stout
	PHONE: 312 335 5034		PHONE: 212 803 3819
	EMAIL: dpalawasta@levyrestaurants.com		EMAIL: robin.stout@esd.ny.gov
APPLICATION TYPE (<input checked="" type="checkbox"/> Liquor License _____ Unenclosed Sidewalk Cafe)			
<input type="radio"/> New	Has applicant owned or managed a similar business?	YES	NO
	What is/was the name and address of establishment?		
	What were the dates applicant was involved with this former premise?		
<input type="radio"/> Corp Change/Class Change/Removal	What is the license # and expiration date?		
	Is applicant making any alterations or operational changes?	YES	NO
	If alterations or operational changes are being made, please describe/list all changes.		
<input checked="" type="radio"/> Alteration	What is the current license # and expiration date?	Serial #1318444 - 11/30/2021	
	Please list/describe the nature of all the changes and attach the plans: A new five level building with rooftop totaling 1.2M square feet		
METHOD OF OPERATION			
TYPE OF ALCOHOL	<input checked="" type="radio"/> Liquor/Wine/Beer & Cider <input type="radio"/> Beer & Cider <input type="radio"/> Wine/Beer & Cider		
ESTABLISHMENT TYPE	<input type="radio"/> Restaurant <input type="radio"/> Cabaret <input type="radio"/> Night Club <input type="radio"/> Hotel <input type="radio"/> Bar/Tavern <input type="radio"/> Catering Establishment Convention Center with Event Space <input type="radio"/> Adult Entertainment <input type="radio"/> Wine Bar <input type="radio"/> Dance Club <input type="radio"/> Sports Bar <input type="radio"/> Club (Fraternal Organization – Members Only)		
Has applicant/owner filed with the SLA? If yes, when? If no, when do you plan to file?	YES	<input checked="" type="radio"/> NO	May 2021
Is the 500 Foot Rule applicable? If yes, please attach a diagram of the On-Premise liquor license establishments within a 500 ft. radius of your establishment and the Public Interest Statement.	YES	<input checked="" type="radio"/> NO	
Is the 200 Foot Rule applicable? If yes, please attach a diagram of the schools and houses of worship that trigger the rule.	YES	<input checked="" type="radio"/> NO	
Has applicant/owner(s) read MCB4 Policy Regarding Concentration and Location of Alcoholic-Serving Establishments?	<input checked="" type="radio"/> YES	NO	

OPERATIONAL DETAILS (*Closing time will be when establishment is vacated of all patrons)

HOURS* <i>(Indoor Only)</i>		MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	SUNDAY
	Operation	6am-12am	6am-12am	6am-12am	6am-12am	6am-12am	6am-12am	6am-12am
	Kitchen	All hours of operation						
	Music	Will depend on event						
If you plan to have music, what type(s)? (Circle all that apply)			<input checked="" type="radio"/> BACKGROUND	<input checked="" type="radio"/> LIVE MUSIC	<input checked="" type="radio"/> DJ	JUKE BOX	KARAOKE	

OCCUPANCY

	Capacity (Certificate of Occupancy)	Maximum # of Persons Occupying Premises (Including Employees)	Number of Tables	Number of Seats	Number of Service Only Bars	Number of Stand-Up Bars	Number of Seats at Stand-Up Bar
INSIDE	See enclosed		Will depend on event			Current 37	
OUTSIDE <i>(Other than sidewalk café)</i>	See enclosed		Will depend on event				
DCA APPROVED UNENCLOSED SIDEWALK CAFÉ	N/A						

How many floors are there? What is the capacity for each floor?	See attached	
How frequently will the owner(s) be at the establishment?	Daily	
Will there be dancing?	<input checked="" type="radio"/> YES <input type="radio"/> NO	Private Events
Will applicant have bottle or table service for beverage alcohol?	<input checked="" type="radio"/> YES <input type="radio"/> NO	
Will applicant be hosting private; promotional or corporate events?	<input checked="" type="radio"/> YES <input type="radio"/> NO	
Will outside promoters be used on a regular basis? If yes please describe.	YES <input checked="" type="radio"/> NO	Only trade show event companies
Will applicant have a security plan? If, yes please attach.	<input checked="" type="radio"/> YES <input type="radio"/> NO	Event specific
Will security plan be implemented?	<input checked="" type="radio"/> YES <input type="radio"/> NO	
Will State certified security personnel be used?	<input checked="" type="radio"/> YES <input type="radio"/> NO	
Will New York Nightlife Association and NYPD Best Practices be followed?	YES <input checked="" type="radio"/> NO	
Does applicant agree to notify MCB4 prior to making changes to its method of operation?	<input checked="" type="radio"/> YES <input type="radio"/> NO	
Will applicant be using delivery bicycles? If yes, how many?	YES <input checked="" type="radio"/> NO	
Will delivery bicycles be clearly marked with the name of the restaurant and will staff wear attire clearly noting name as described by NYC Law?	YES <input checked="" type="radio"/> NO	
Where will delivery bicycles be stored during the day when not in use?	N/A	

LOCATION & ZONING			
Is this a Special District? If yes, is it Clinton, West Chelsea or Hudson Yards?	YES	<input checked="" type="radio"/> NO	
Does the building have a Certificate of Occupancy ("C of O") or a letter of no objection?	YES	<input checked="" type="radio"/> NO	Pending
Is a Public Assembly permit required?	<input checked="" type="radio"/> YES	NO	
Are your plans filed with DOB?	YES	<input checked="" type="radio"/> NO	Plans are filed with DASNY

Community Notification/Relations			
NOTIFICATION: List all block associations; tenant associations, co-op boards or condo boards of residential buildings; and community groups that applicant has notified regarding its application. For each please list both the organization and individual you contacted	# 1	See attached list	
	# 2		
	# 3		
	# 4		
	# 5		
Please provide dates when applicant met with the groups listed above.	N/A -the groups were notified by email		
Who was your contact person at each group you met with?	See attached list		
When did applicant post the notice that was provided?	March 18, 2021		
Where did applicant post the notice that was provided?	All doors of the premises		
Will applicant provide owner cell phone number to neighbors and respond to complaints that arise? Please provide number in space provided.	<input checked="" type="radio"/> YES	NO	
Will applicant inform the Community Board office of its job openings and/or provide a hyperlink to applicants jobs webpage?	<input checked="" type="radio"/> YES	NO	

BUILDING DESIGN			
State the name and type of business previously located in the space.	N/A - Jacob K. Javits Convention Center since April 1987		
Has a liquor-licensed establishment previously occupied this space at any time? If yes, please provide the name of the business.	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Levy Premium Foodservice LP; Restaurant Associates Inc and New York Convention Center Operating Corporation
Do you plan any changes to the existing façade? If yes, please describe.	<input checked="" type="radio"/> YES	<input type="radio"/> NO	N/A
Has the applicant/owner(s) read MCB 4 ADA Guidelines Memo?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Is the entrance ADA Compliant?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Do you plan any changes to the existing façade? If yes, please describe.	<input checked="" type="radio"/> YES	<input type="radio"/> NO	N/A
Will applicant have a vestibule within the establishment?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will applicant use a storm enclosure?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Does applicant agree to keep the sidewalk clear of all items or obstructions, such as sandwich boards, sidewalk signs, freestanding menus and plants, as per the law?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will applicant comply with the NYC noise code?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will the establishment have any of the following: (circle all that apply)	FRENCH DOORS	<input checked="" type="radio"/> GARAGE DOORS	WINDOWS THAT CAN BE OPENED
Will applicant close all windows, French doors, garage doors when any music or amplified sound (including televisions) is played inside the establishment?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will applicant close all windows, French doors, garage doors by 11 PM Friday and Saturday and 10 PM on all other days even if no music or amplified sound is played inside the establishment?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Has applicant obtained an acoustical report from a certified sound engineer to assess potential noise disturbance to the neighboring residents and buildings?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	Report is being prepared
Will applicant follow the recommendations of a certified sound engineer to mitigate potential noise disturbance to the neighboring residents and buildings, including placing speakers on the floor of the establishment?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will the kitchen exhaust system extend to the roof?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will the establishment have an illuminated sign?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will the establishment have a canopy extending over the sidewalk?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Where will the air conditioner be located? What type is it?	New		
When was the air conditioner installed?	To be installed		

OUTDOOR ITEMS - OTHER THAN SIDEWALK CAFÉ			
Has the applicant/owner(s) read MCB 4 Rear Yard Rooftop Policy?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will applicant use any outdoor spaces: rooftop, rear yard, patio, porch, balcony, pavilion, tents, deck, gazebo or open dining in the parking lane? If yes, which one(s)?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	4th floor rooftop
Are the floorplans for the outdoor space(s) included?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will applicant close and vacate the outdoor space(s) by 11PM on Friday & Saturday and 10 PM on all other days?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	
Will the service and consumption of alcohol in any outdoor space only be via seated food service?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	
Will applicant not allow standing space for patrons to drink or smoke in any outdoor space(s) or on the sidewalk?	<input type="radio"/> YES	<input type="radio"/> NO	Yes, to smoking / No for drinking
Will there be no amplified music, as per the law?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	
If amplified sound is played inside the establishment, will windows and doors be closed?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	
Will applicant agree to post signs outside asking customers to respect the neighbors'?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	
Will applicant agree to train staff to encourage a peaceful environment?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will applicant provide effective sound control (landscaping enclosure, soundproofing tenants apartments)	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
Will there be a lighting plan that allows safe usage of the outdoor space without disrupting neighbors?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	
If open dining in the parking lane, will applicant agree to leave the sidewalk free of any furniture?	<input type="radio"/> YES	<input type="radio"/> NO	N/A
If open dining, will you comply with all NYC DOT guidelines?	<input type="radio"/> YES	<input type="radio"/> NO	N/A
If open dining, will the installation be year-round?	<input type="radio"/> YES	<input type="radio"/> NO	N/A

DCA APPROVED UNENCLOSED SIDEWALK CAFÉ

Has the applicant/owner(s) read MCB4 Sidewalk Café Policy?	YES	NO	
Will applicant be applying for a sidewalk café now or in the future?	YES	NO	
Is applicant in this application seeking to include a sidewalk café in its liquor license?	YES	NO	
If yes, has applicant submitted an application and plans to NYC Dept. of Consumer Affairs? Please attach application and plans.	YES	NO	
Will applicant close and vacate the sidewalk café by 11 PM on Friday & Saturday and 10 PM on all other days?	YES	NO	
Will applicant be serving alcohol in the sidewalk café? If so, will you have waiter service?	YES	NO	
Will the café have a 3 ft. wide serving aisle running the entire length of the sidewalk cafe?	YES	NO	
Will applicant mark the perimeter of the café on the sidewalk?	YES	NO	
Will the service and consumption of alcohol in the sidewalk café only be via seated food service?	YES	NO	
Will the sidewalk café not provide standing space for drinking or smoking?	YES	NO	
Will applicant use any portable natural gas heaters? If so, do you have the requisite approvals from DOB & the Fire Department?	YES	NO	
Will applicant have a lighting plan that will allow safe usage of the outdoor space without disrupting neighbors?	YES	NO	
Will all furniture, plants and barricades be stored inside between the evening closing hours and the morning opening hours?	YES	NO	
Will all furniture be stored inside between December 21 st and March 21 st , and any other day when it rains or snows?	YES	NO	
Will applicant use umbrellas?	YES	NO	
If construction or construction protection has reduced the sidewalk width, will applicant always maintain an 8 foot clear path of sidewalk between the perimeter of the café and the closest obstruction including construction barricades?	YES	NO	
If open dining is in the parking lane, will applicant agree to remove its sidewalk café?	YES	NO	

ADDITIONAL STIPULATIONS: (Office Use Only), *Continued*

To the extent any additional stipulation on pages 7 and 8 of this application conflicts with any response on pages 1 – 6 of this application, the stipulations on pages 7 and 8 control.

Manhattan Community Board 4 (MCB4) recommends:
 (MCB4's recommendation is based on a vote taken at its
 June 2, 2021 full board meeting, with 44 members voting in favor
 of the recommendation, 0 members opposed, 2 members
 abstaining and 0 present but not eligible)

Denial unless all stipulations agreed to by applicant/owner are part of the method of
 operation
 Denial Approval

CB4 REPRESENTATIVES

<p>Nelly Gonzalez <i>CB4 Assistant District Manager</i></p>	<p>Frank Holozubiec <i>CB4 BLP Committee Co-Chair</i></p>	<p>Burt Lazarin <i>CB4 BLP Committee Co-Chair</i></p>
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APPLICANT AGREEMENT WITH THE COMMUNITY

Applicant agrees to these stipulations as the basis for the community support of this application and acknowledges that all of these stipulations are essential prerequisites to the MCB4 recommendation regarding this application. Applicant agrees to have these stipulations incorporated in the method of operation of its liquor license. The stipulations in this application constitute the entire agreement between MCB4 and applicant and may only be altered in writing signed by MCB4 and applicant. These stipulations supersede any oral statements or representations in connection with this application.

<p>SIGN HERE →</p>	<p>Bradley A. Siciliano PRINT NAME OF APPLICANT</p>	<p> SIGNATURE OF APPLICANT</p>	<p>DATE May 11, 2021</p>
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First name	Last name	ORGANIZATION	E-MAIL
Kathleen	Treat	HKNA (incl. Dog Run)	kathleentreat123@gmail.com
Frank	Strock	West 36th Street	mcgee79@aol.com
Brian	Weber	West 36th Street Block Association	brianscottweber@gmail.com
Joe	Restuccia	CHDC (incl. Bob's & bird parks)	info@clintonhousing.org; jrestuccia2@clintonhousing.org
Ryan	Marcano	CHDC (incl. Bob's & bird parks)	rmarcano@clintonhousing.org
Bob	Berfatto	Hudson Yards Hell's Kitchen Alliance	rjberfatto@hyhkaalliance.org
Patty	Gouris	Hudson Yards Hell's Kitchen Alliance	pgouris@hyhkaalliance.org
		Hotel Americano	(212) 216-0000
Scott	Hupe	Highline537	212-838-3700
Donna	Langman	Donna Langman Costumes	donna@donnalangman.com
Bill	Borock	Council Chelsea Block Association	wborock@hotmail.com
Christine	Berthet	CHEKPEDS	cberthet@me.com
Julia	Campanelli	Hell's Kitchen Block Association (W 33rd/34th/35th Streets (8th to 12th Avenues)	juliacampanelli@gmail.com

Lindsey Farina

From: Lindsey Farina
Sent: Thursday, March 18, 2021 11:47 AM
To: 'kathleentreat123@gmail.com'; 'mcgee79@aol.com'; 'brianscottweber@gmail.com'; 'info@clintonhousing.org'; 'jrestuccia2@clintonhousing.org'; 'marcano@clintonhousing.org'; 'rjbenfatto@hykalliance.org'; 'pgouris@hykalliance.org'; 'donna@donnalangman.com'; 'wborock@hotmail.com'; 'cberthet@me.com'; 'juliacampanelli@gmail.com'
Cc: Gonzalez, Nelly (CB)
Subject: Upcoming Community Board hearing for expansion of the Javits Center
Attachments: 655 W 34th Street - Levy Premium Foodservice LP, New York Convention Center Operating Corp. and Restaurant Associates Inc. - Serial# 1318444 - Notice.pdf

Dear all

Please be advised that we represent Levy Premium Foodservice, LP with regard to their alcoholic beverage regulatory matters. Levy Premium Foodservice, LP, along with Restaurant Associates, Inc. and NY Convention Center Operating Corp., jointly hold the existing liquor license at Javits Center. We will soon be filing an application for permission to make alterations on behalf of the liquor license at Javits Center because the building is undergoing an expansion. The expansion will extend the expo halls and convention center spaces that currently exist, and meeting rooms and banquet halls will be added within two new levels. The building is now three levels high. After the expansion the building will consist of five levels and a rooftop area. The new levels being added will be primarily used for private events such as conventions and meetings.

The Community Board hearing notice is attached, in the event you would like to attend. If you should have any questions or concerns, please do not hesitate to contact me. Thank you for your kind attention to this matter.

*Lindsey Farina, Esq.
Skene Law Firm, P.C.
2614 Highway 516, 2nd Floor
Old Bridge, NJ 08857
Phone: 732-727-5030
Fax: 732-727-5028
Lfarina@skenelawfirm.com*



Overview of New Building



JAVITS
CENTER®

EXPANSION FLOORPLANS





Meeting spaces

with views of the Hudson River, Rooftop Farm and Green Roof



Private entrance

off of 11th Avenue

480k
square-foot, 4-level marshaling facility



Rooftop pavilion accommodating

1,500
persons



State-of-the-Art
Kitchens
equipped with the Latest Culinary Technology

90k
square feet of new prime exhibit space



Meeting space allows groups of
2,000 to 5,000
to be self-contained

27
new loading docks



100k
square feet of pre-function space

107k
square feet of new meeting room space

54k
square-foot special event space

1
acre rooftop farm



Rooftop farm

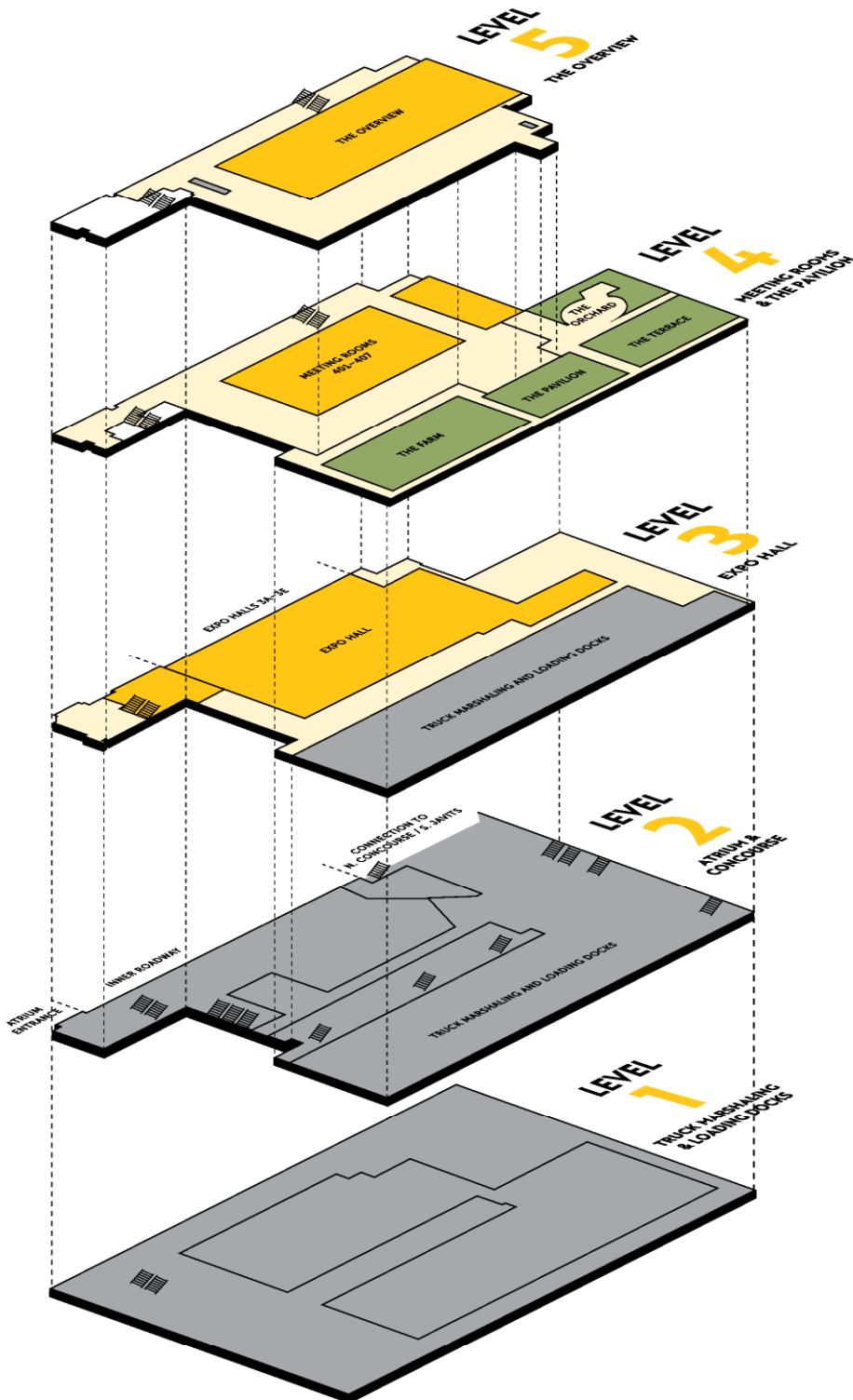
supplying 40,000 lbs of produce annually

GET READY TO EXPLORE
THE UNPRECEDENTED
TRANSFORMATION OF
A NEW YORK ICON.



As New York's largest convention center,

the Javits Center is in the midst of a major expansion project bringing 1.2 million square feet of total new space to Manhattan's resurgent West Side. With more dynamic spaces than ever before, the Javits Center will be able to host any event, of any size. The project is set for completion by early 2021.



LEVEL 5 / THE OVERVIEW

- 54,400 gsf of pillar-free event space with natural light, divisible by 4
- Over 26,000 gsf prefunction space
- Dedicated catering kitchen

LEVEL 4 / MEETING ROOMS & THE PAVILION

- Up to 15 flexible meeting rooms, some with natural light
- Over 32,000 gsf prefunction space
- Dedicated catering kitchens
- 15,000 gsf Pavilion for up to 1,500 people, including the roof Terrace, and the Orchard
- 1-acre Farm

LEVEL 3 / HALL 3

- 90,140 gsf exhibit hall with 125-foot column span
- Adjacent to level 3 Halls creating 500,000 gsf of contiguous exhibit space
- 20 loading docks

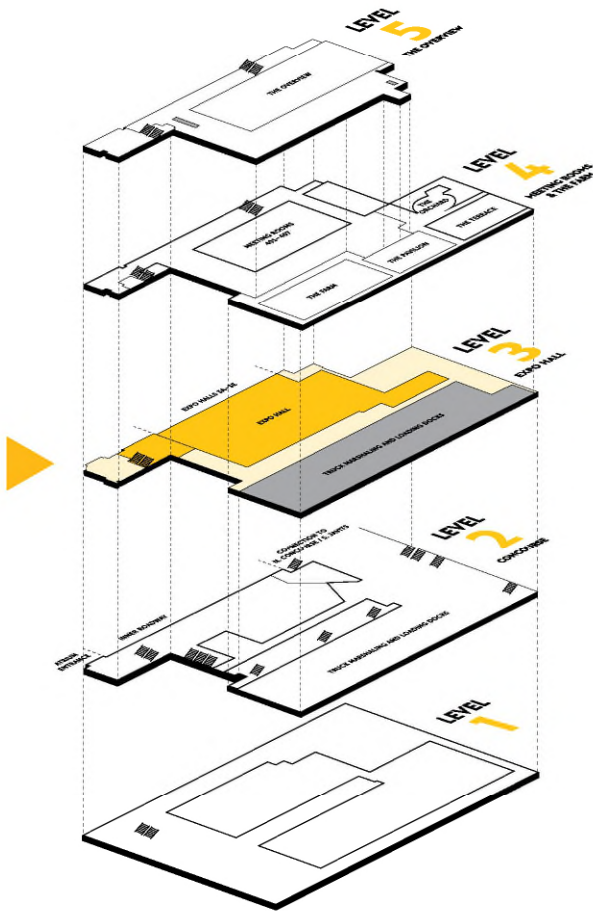
LEVEL 2 / ATRIUM & CONCOURSE

- Private Atrium entrance from the inner roadway off of 11th Avenue
- Extension to the North Concourse
- Coat Check

LEVEL 1 / TRUCK MARSHALING AND LOADING DOCKS

- 4-Level, 633,000 gsf truck marshaling facility
- 7 loading docks
- Space for over 200 trucks

LEVEL 3 EXPO HALL



LEVEL 3 EXPO HALL SPECS

GROSS SQ. FT.	SQ. METERS	DIMENSIONS (LXW)	CEILING HEIGHT	BANQUETS WITH STAGE	CLASSROOM WITH STAGE	THEATER WITH STAGE	BOOTH LAYOUT
90,140	8,424	402'-0" X 206'-8"	38'-0"	3,000/5,010	3,015	3,024	458

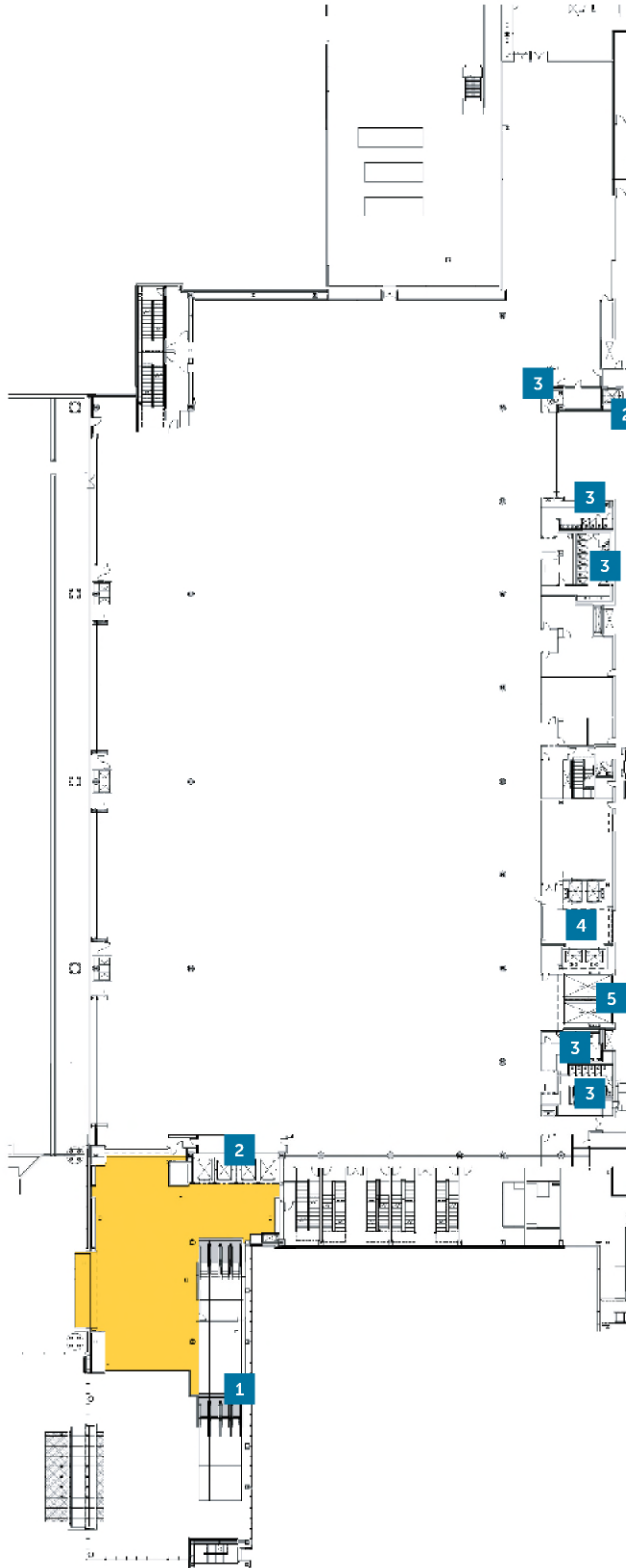
PREFUNCTION SPECS

ROOM	GROSS SQ. FT.	SIZE/METERS	CEILING HEIGHT
PREFUNCTION	7,000	654	48'-6"

12TH AVENUE



HALL 3A

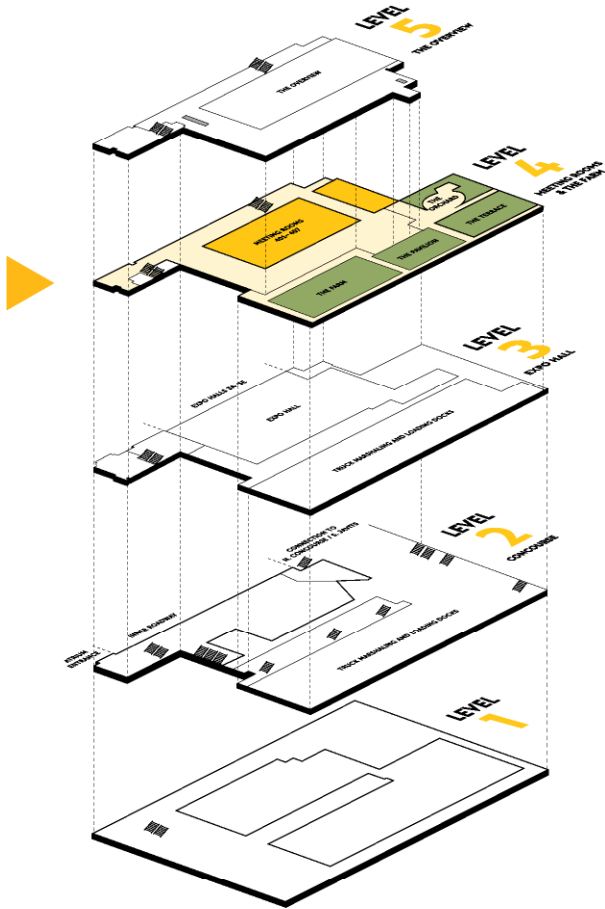


LOADING DOCKS &
MARSHALING BUILDING

- 1 ESCALATORS
- 2 ELEVATORS
- 3 RESTROOMS
- 4 SERVICE ELEVATORS
- 5 FREIGHT ELEVATORS

- ATRIUM / PREFUNCTION

LEVEL 4 MEETING ROOMS



- 1 ESCALATORS
- 2 ELEVATORS
- 3 RESTROOMS
- 4 SERVICE ELEVATORS
- 5 FREIGHT ELEVATORS

- 6 KITCHEN
- 7 FOOD SERVICE
- 8 PAVILION ENTRANCE
- 9 GREEN ROOM

- ATRIUM
- PREFUNCTION

LEVEL 4 MEETING ROOMS SPECS

ROOM	GROSS SQ. FT.	SQ. METERS	DIMENSIONS (LXW)	CEILING HEIGHT	BANQUET WITH STAGE 5'-0" ROUNDS, 8 CHAIRS	BANQUET WITH STAGE 5'-0" ROUNDS, 10 CHAIRS	CLASSROOM WITH STAGE	THEATER WITH STAGE
401ABC	5,970	554	40'-5" X 140'-2"	20'-0"	280	350	237	624
401A	2,038	189	40'-5" X 46'-8"	20'-0"	88*	110*	63	177
401B	2,095	194	40'-5" X 49'-8"	20'-0"	120*	150*	72	201
401C	1,837	170	40'-5" X 43'-6"	20'-0"	88*	110*	60	164
403ABC (PLAN 1)	9,666	898	70'-3" X 140'-3"	20'-0"	576	720	456	1,188
403A	3,312	307	70'-3" X 46'-8"	20'-0"	192*	240*	126	315
403B	3,367	312	70'-3" X 49'-8"	20'-0"	216*	270*	129	371
403C	2,987	277	70'-3" X 43'-6"	20'-0"	192*	240*	120	313
403ABC (PLAN 2)	12,483	1,159	87'-4" X 140'-3"	20'-0"	816	1,020	588	1,368
403A	4,254	395	87'-4" X 46'-8"	20'-0"	256*	320*	180	441
403B	4,317	401	87'-4" X 49'-8"	20'-0"	288*	360*	180	509
403C	3,912	363	87'-4" X 43'-6"	20'-0"	240*	300*	180	416
404ABC	9,666	898	70'-3" X 140'-3"	20'-0"	576	720	456	1,188
404A	3,312	307	70'-3" X 46'-8"	20'-0"	192*	240*	126	315
404B	3,367	312	70'-3" X 49'-8"	20'-0"	216*	270*	129	371
404C	2,987	277	70'-3" X 43'-6"	20'-0"	176*	220*	132	313
406ABC	5,927	550	40'-2" X 140'-3"	20'-0"	280	350	234	608
406A	2,024	188	40'-2" X 46'-8"	20'-0"	88*	110*	60	172
406B	2,073	192	40'-2" X 49'-8"	20'-0"	104*	130*	75	198
406C	1,830	170	40'-2" X 43'-6"	20'-0"	72*	90*	54	146
407ABC	9,617	893	64'-6" X 142'-9"	20'-0"	544	680	453	1,157
407A	3,161	293	64'-6" X 46'-8"	20'-0"	176*	220*	126	343
407B	3,322	308	64'-6" X 49'-8"	20'-0"	200*	250*	156	386
407C	3,134	291	64'-6" X 45'-10"	20'-0"	176*	220*	126	327

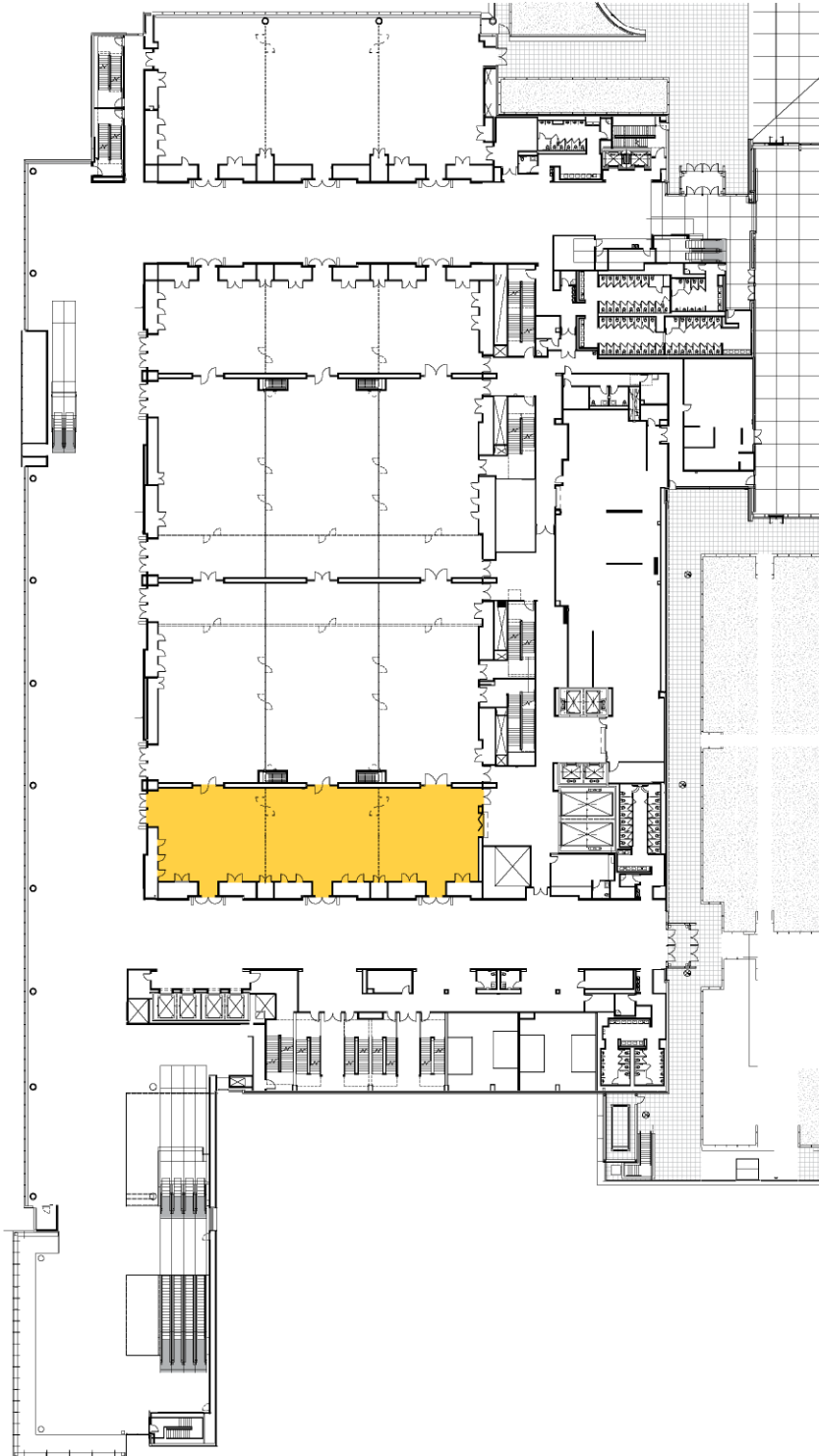
ATRIUM AND PREFUNCTION SPECS

ROOM	GROSS SQ. FT.	SIZE/METERS	CEILING HEIGHT
ATRIUM	10,628	993	20'-0"
PREFUNCTION	32,120	3,002	20'-0"

*No Stage

LEVEL 4

401ABC



401ABC SPECS

GROSS SQ. FT.
5,970

SQ. METERS
554

DIMENSIONS (LXW)
40'-5" X 140'-2"

CEILING HEIGHT
20'-0"

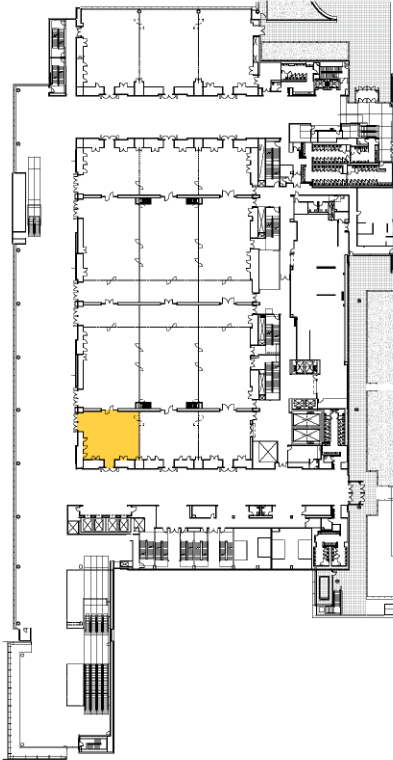
BANQUET WITH STAGE 5'-0" ROUNDS,
8 CHAIRS
280

BANQUET WITH STAGE 5'-0" ROUNDS, 10 CHAIRS
350

CLASSROOM WITH STAGE
237

THEATER WITH STAGE
624

401A



401A SPECS

GROSS SQ. FT.
2,038

SQ. METERS
189

DIMENSIONS (LXW)
40'-5" X 46'-8"

CEILING HEIGHT
20'-0"

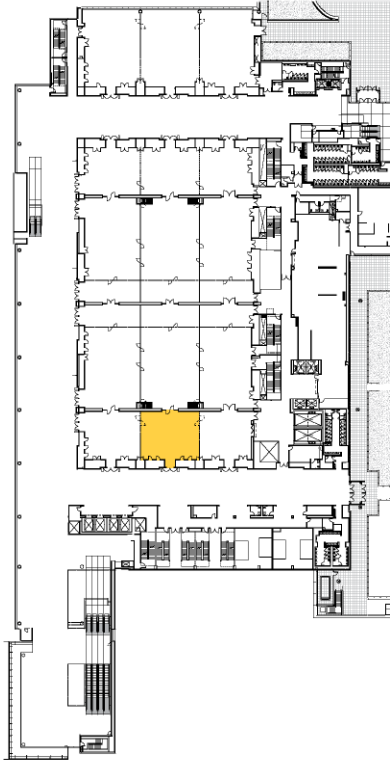
BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
88

BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
110

CLASSROOM WITH STAGE
63

THEATER WITH STAGE
177

401B



401B SPECS

GROSS SQ. FT.
2,095

SQ. METERS
194

DIMENSIONS (LXW)
40'-5" X 49'-8"

CEILING HEIGHT
20'-0"

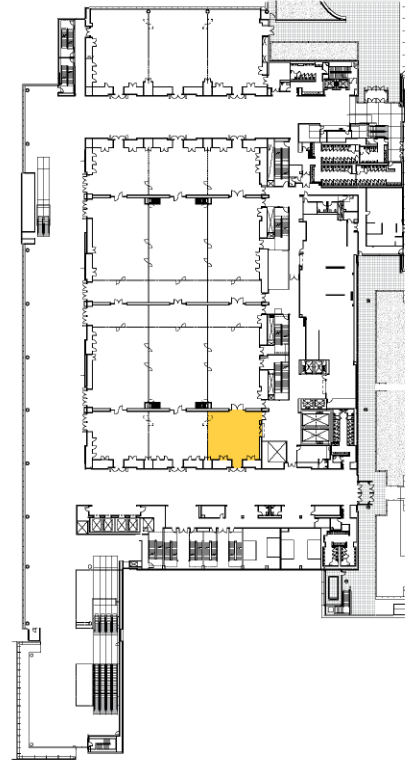
BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
120

BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
150

CLASSROOM WITH STAGE
72

THEATER WITH STAGE
201

401C



401C SPECS

GROSS SQ. FT.
1,837

SQ. METERS
170

DIMENSIONS (LXW)
40'-5" X 43'-6"

CEILING HEIGHT
20'-0"

BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
88

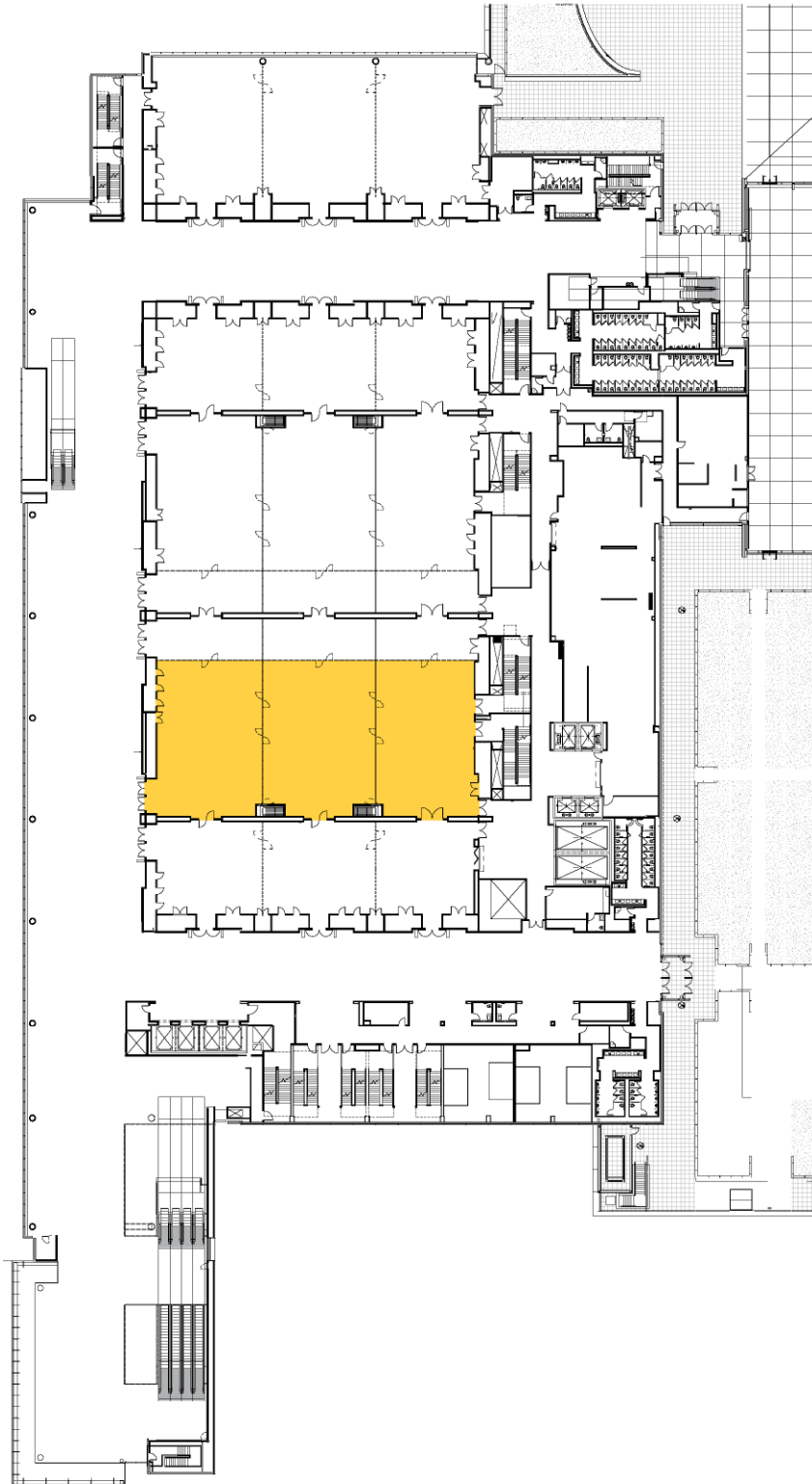
BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
110

CLASSROOM WITH STAGE
60

THEATER WITH STAGE
164

LEVEL 4

PLAN 1 / 403ABC



403ABC SPECS

GROSS SQ. FT.
9,666

SQ. METERS
898

DIMENSIONS (LXW)
70'-3" X 140'-3"

CEILING HEIGHT
20'-0"

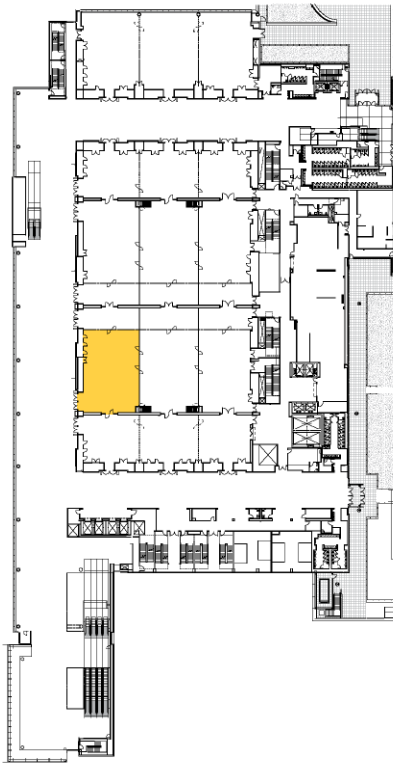
BANQUET WITH STAGE 5'-0" ROUNDS, 8 CHAIRS
576

BANQUET WITH STAGE 5'-0" ROUNDS, 10 CHAIRS
720

CLASSROOM WITH STAGE
456

THEATER WITH STAGE
1,188

403A



403A SPECS

GROSS SQ. FT.
3,312

SQ. METERS
307

DIMENSIONS (LXW)
70'-3" X 46'-8"

CEILING HEIGHT
20'-0"

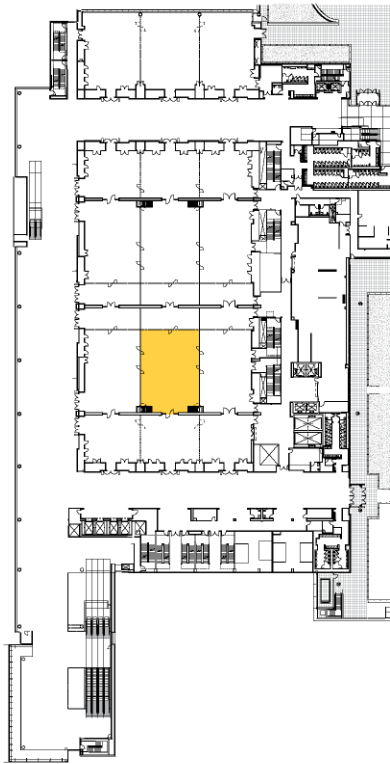
BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
192

BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
240

CLASSROOM WITH STAGE
126

THEATER WITH STAGE
315

403B



403B SPECS

GROSS SQ. FT.
3,367

SQ. METERS
312

DIMENSIONS (LXW)
70'-3" X 49'-8"

CEILING HEIGHT
20'-0"

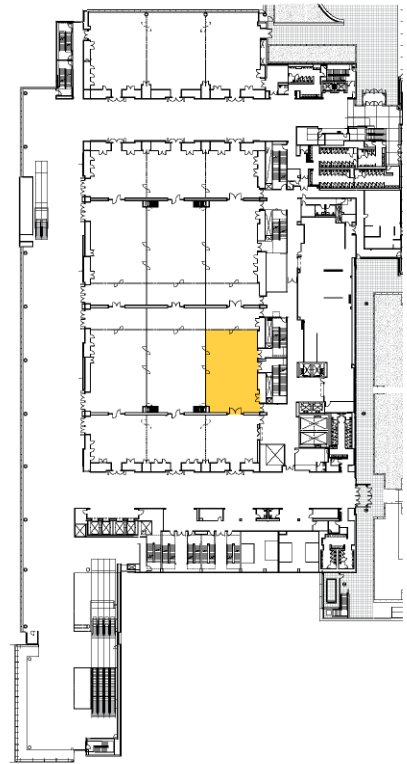
BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
216

BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
270

CLASSROOM WITH STAGE
129

THEATER WITH STAGE
371

403C



403C SPECS

GROSS SQ. FT.
2,987

SQ. METERS
277

DIMENSIONS (LXW)
70'-3" X 43'-6"

CEILING HEIGHT
20'-0"

BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
192

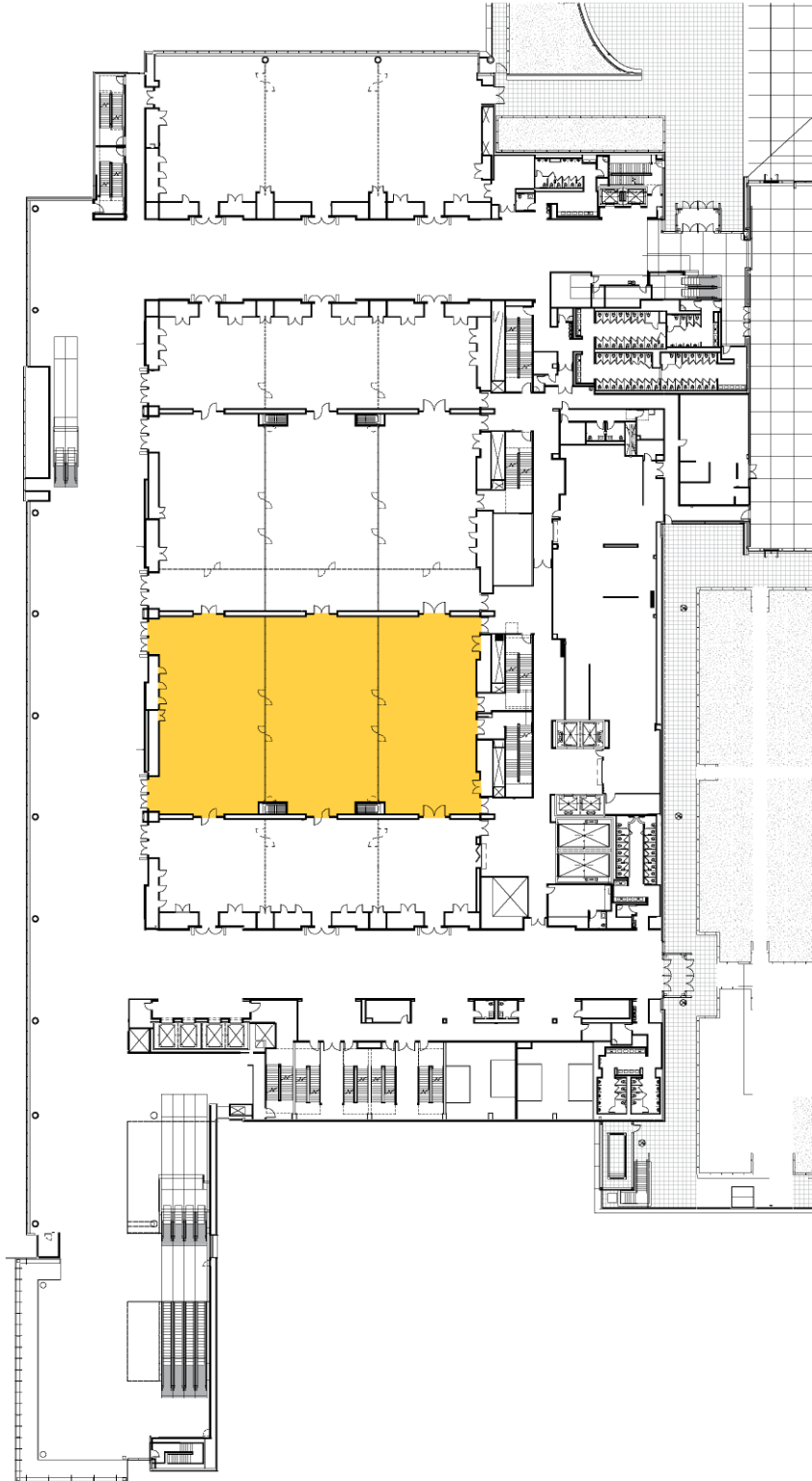
BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
240

CLASSROOM WITH STAGE
120

THEATER WITH STAGE
313

LEVEL 4

PLAN 2 / 403ABC



403ABC SPECS

GROSS SQ. FT.
12,483

SQ. METERS
1,159

DIMENSIONS (LXW)
87'-4" X 140'-3"

CEILING HEIGHT
20'-0"

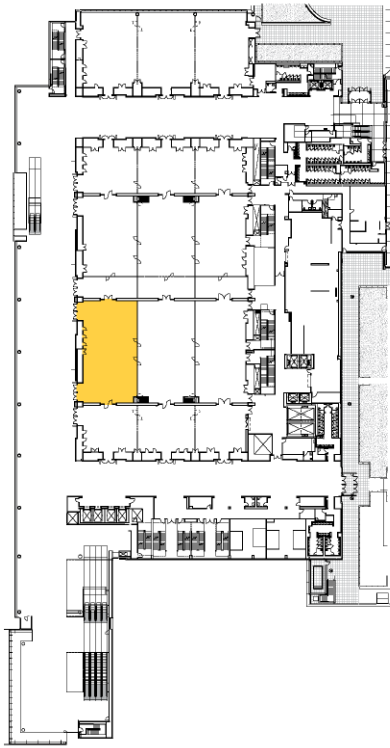
BANQUET WITH STAGE 5'-0" ROUNDS, 8 CHAIRS
816

BANQUET WITH STAGE 5'-0" ROUNDS, 10 CHAIRS
1,020

CLASSROOM WITH STAGE
588

THEATER WITH STAGE
1,368

403A



403A SPECS

GROSS SQ. FT.
4,254

SQ. METERS
395

DIMENSIONS (LXW)
87'-4" X 46'-8"

CEILING HEIGHT
20'-0"

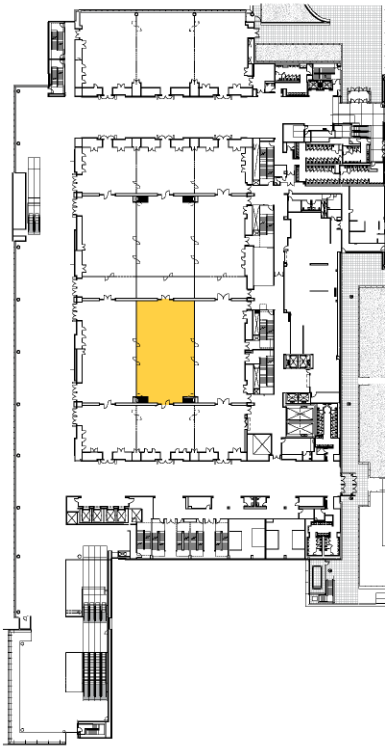
BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
256

BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
320

CLASSROOM WITH STAGE
180

THEATER WITH STAGE
441

403B



403B SPECS

GROSS SQ. FT.
4,317

SQ. METERS
401

DIMENSIONS (LXW)
87'-4" X 49'-8"

CEILING HEIGHT
20'-0"

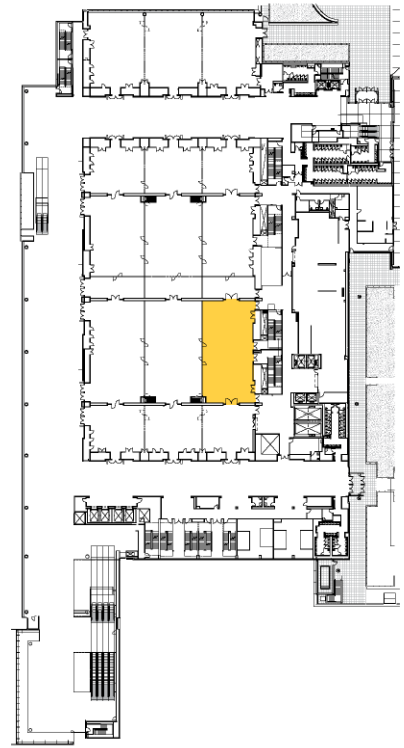
BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
288

BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
360

CLASSROOM WITH STAGE
180

THEATER WITH STAGE
509

403C



403C SPECS

GROSS SQ. FT.
3,912

SQ. METERS
363

DIMENSIONS (LXW)
87'-4" X 43'-6"

CEILING HEIGHT
20'-0"

BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
240

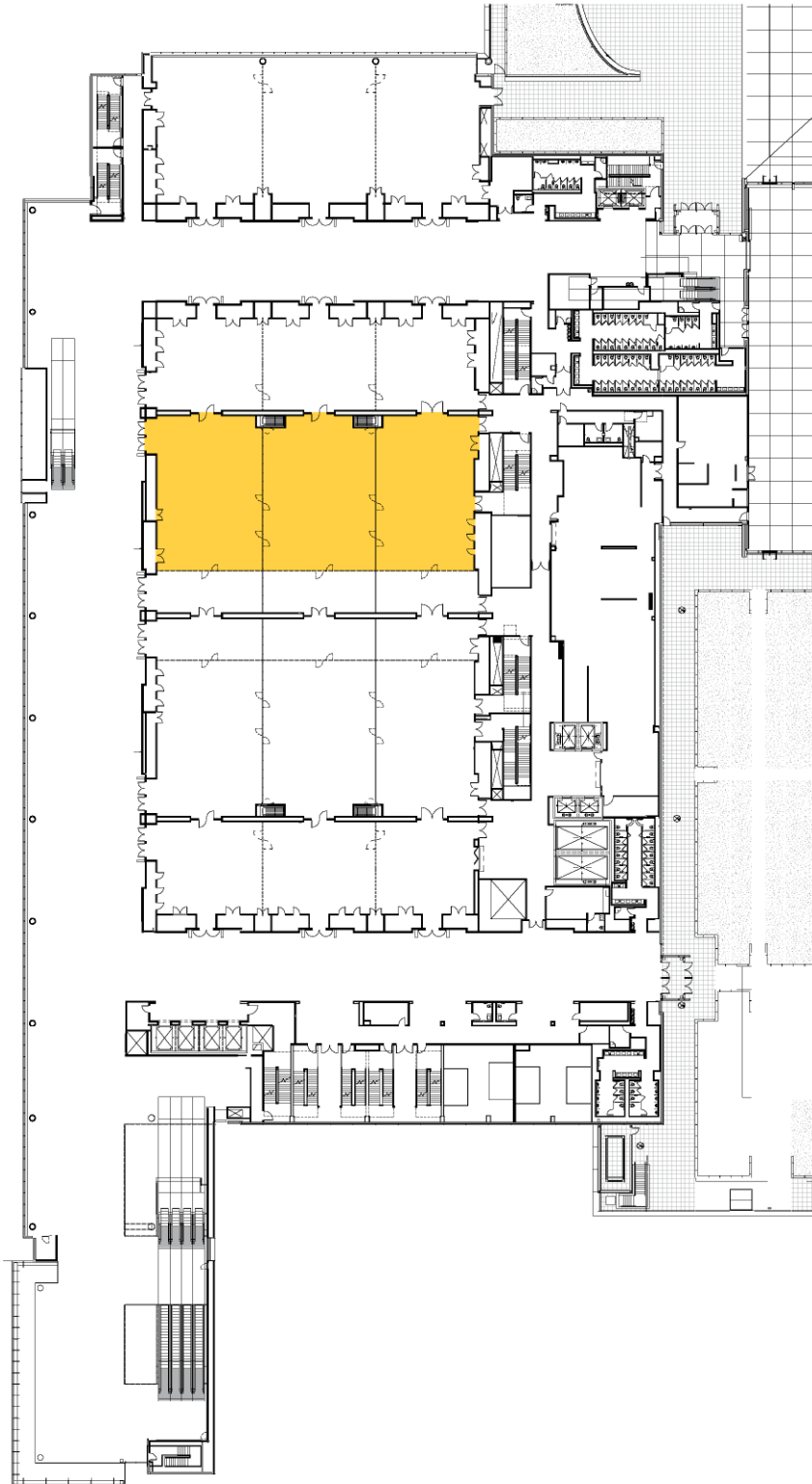
BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
300

CLASSROOM WITH STAGE
180

THEATER WITH STAGE
416

LEVEL 4

404ABC



404ABC SPECS

GROSS SQ. FT.
9,666

SQ. METERS
898

DIMENSIONS (LXW)
70'-3" X 140'-3"

CEILING HEIGHT
20'-0"

BANQUET WITH STAGE 5'-0" ROUNDS, 8 CHAIRS
576

BANQUET WITH STAGE 5'-0" ROUNDS, 10 CHAIRS
720

CLASSROOM WITH STAGE
456

THEATER WITH STAGE
1,188

404A



404A SPECS

GROSS SQ. FT.
3,312

SQ. METERS
307

DIMENSIONS (LXW)
70'-3" X 46'-8"

CEILING HEIGHT
20'-0"

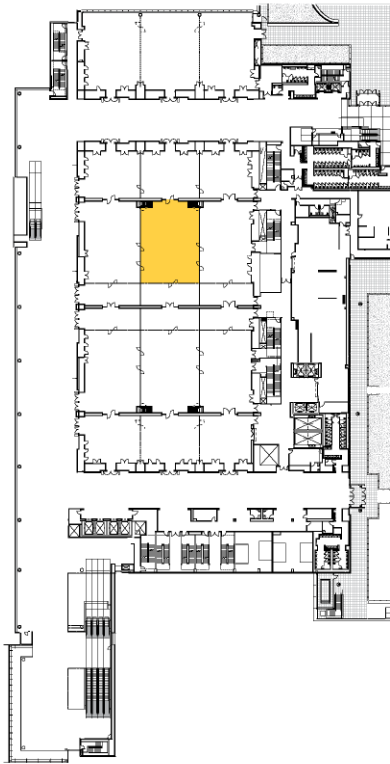
BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
192

BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
240

CLASSROOM WITH STAGE
126

THEATER WITH STAGE
315

404B



404B SPECS

GROSS SQ. FT.
3,367

SQ. METERS
312

DIMENSIONS (LXW)
70'-3" X 49'-8"

CEILING HEIGHT
20'-0"

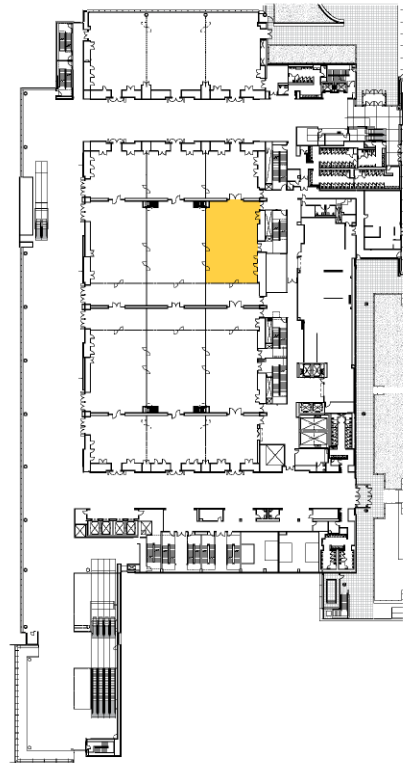
BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
216

BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
270

CLASSROOM WITH STAGE
129

THEATER WITH STAGE
371

404C



404C SPECS

GROSS SQ. FT.
2,987

SQ. METERS
277

DIMENSIONS (LXW)
70'-3" X 43'-6"

CEILING HEIGHT
20'-0"

BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
176

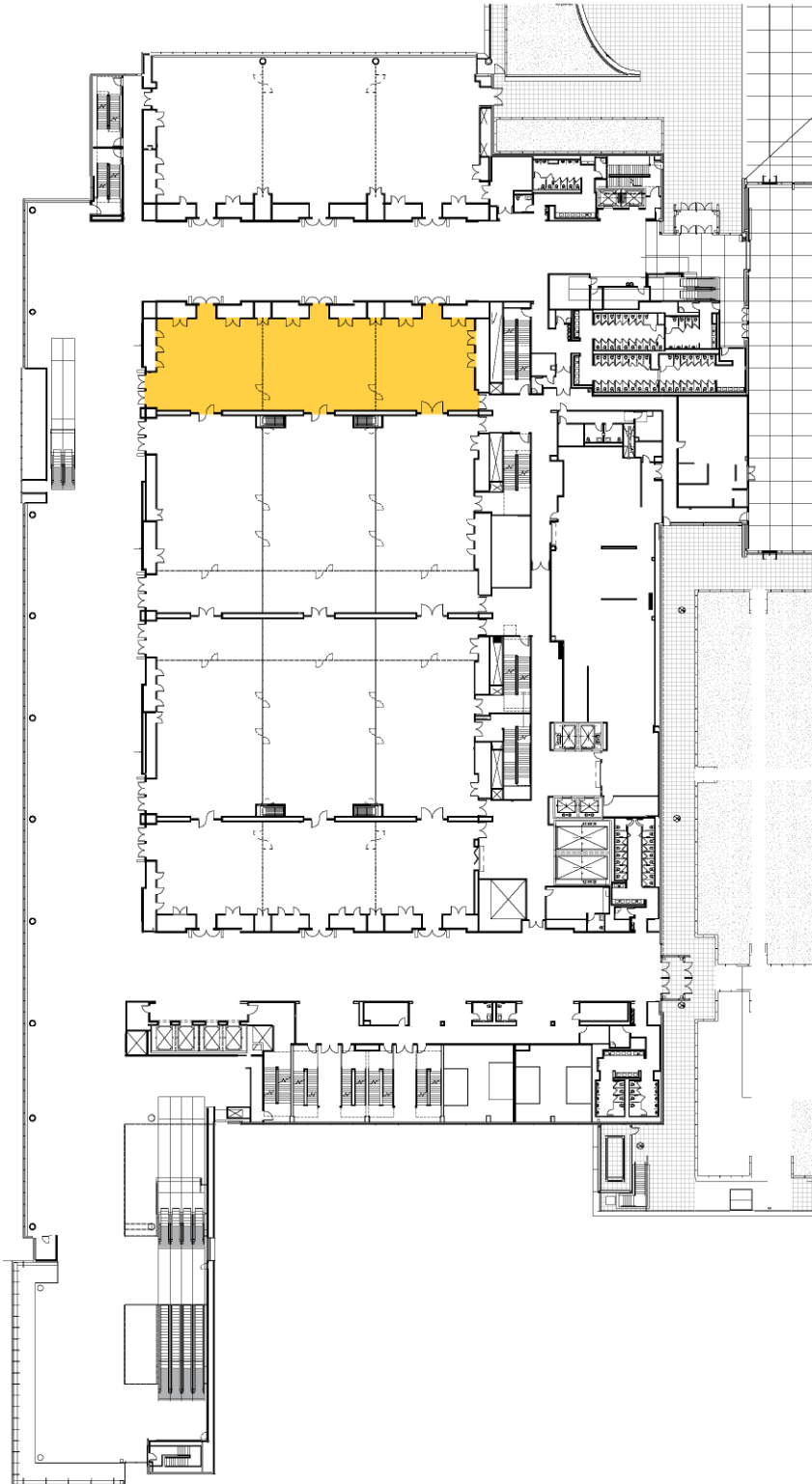
BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
220

CLASSROOM WITH STAGE
132

THEATER WITH STAGE
313

LEVEL 4

406ABC



406ABC SPECS

GROSS SQ. FT.
5,927

SQ. METERS
550

DIMENSIONS (LXW)
40'-2" X 140'-5"

CEILING HEIGHT
20'-0"

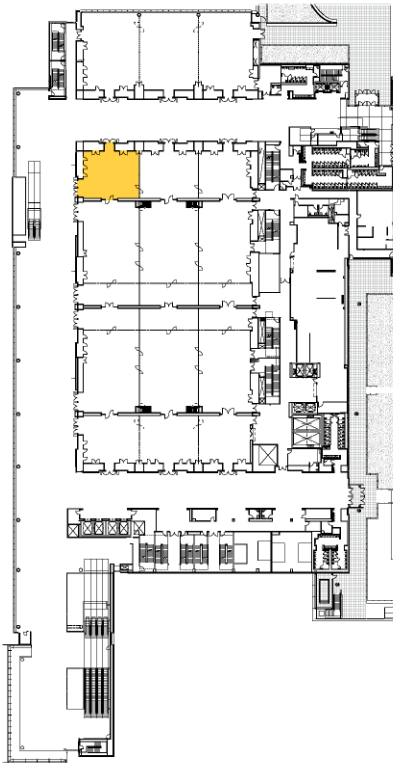
BANQUET WITH STAGE 5'-0" ROUNDS, 8 CHAIRS
280

BANQUET WITH STAGE 5'-0" ROUNDS, 10 CHAIRS
350

CLASSROOM WITH STAGE
234

THEATER WITH STAGE
608

406A



406A SPECS

GROSS SQ. FT.
2,024

SQ. METERS
188

DIMENSIONS (LXW)
40'-2" X 46'-8"

CEILING HEIGHT
20'-0"

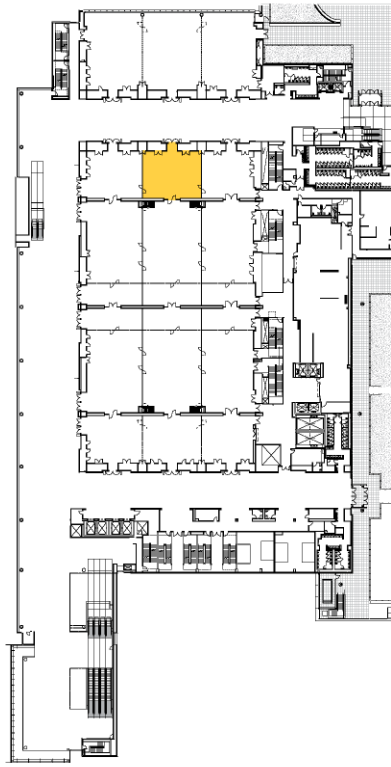
BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
88

BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
110

CLASSROOM WITH STAGE
60

THEATER WITH STAGE
172

406B



406B SPECS

GROSS SQ. FT.
2,073

SQ. METERS
192

DIMENSIONS (LXW)
40'-2" X 49'-8"

CEILING HEIGHT
20'-0"

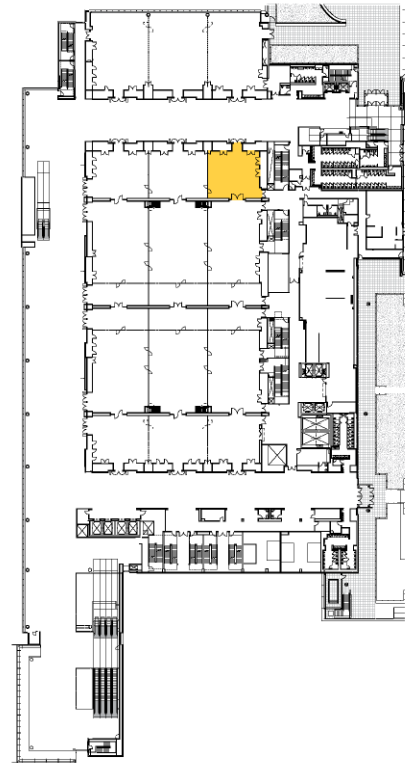
BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
104

BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
130

CLASSROOM WITH STAGE
75

THEATER WITH STAGE
198

406C



406C SPECS

GROSS SQ. FT.
1,830

SQ. METERS
170

DIMENSIONS (LXW)
40'-2" X 43'-6"

CEILING HEIGHT
20'-0"

BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
72

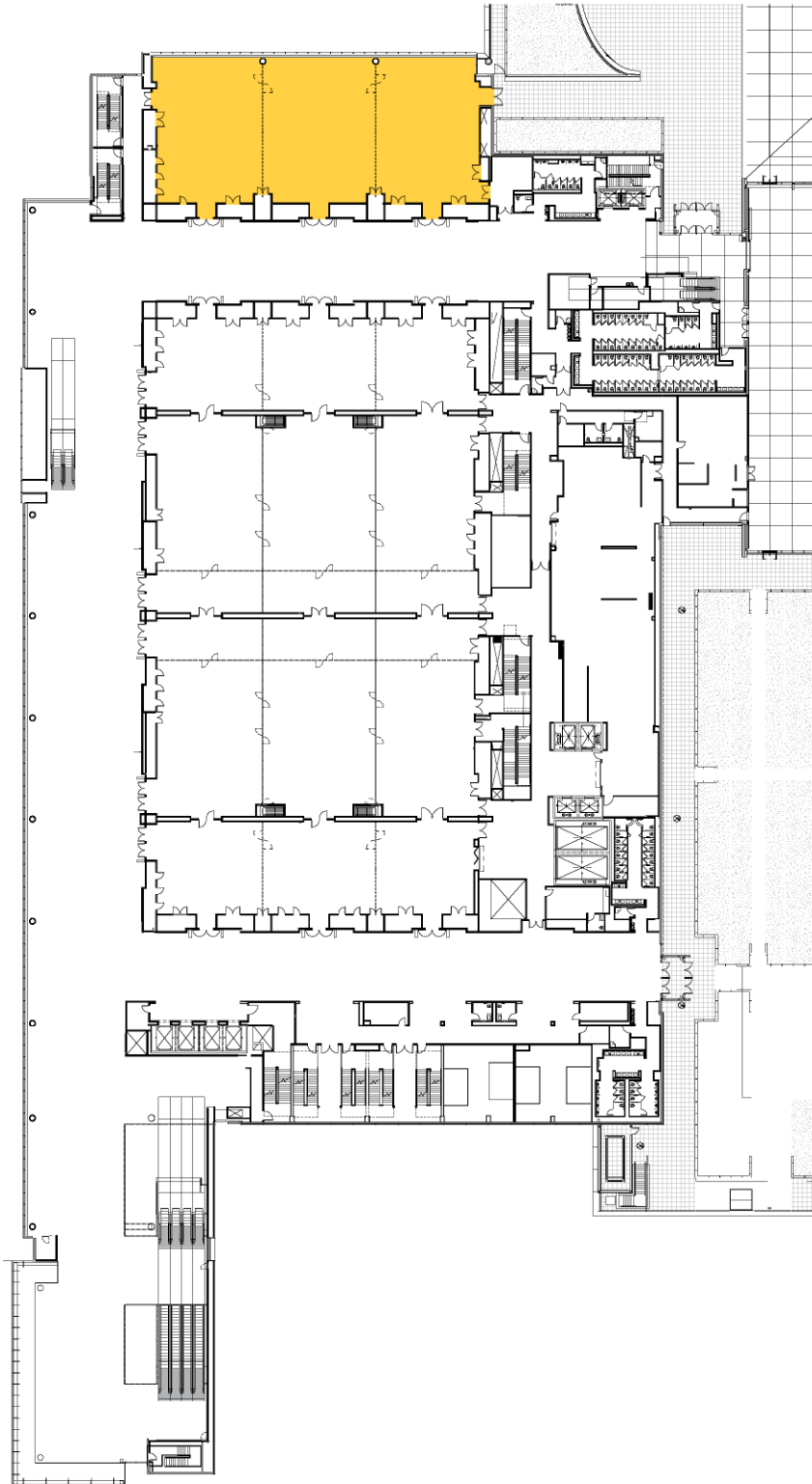
BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
90

CLASSROOM WITH STAGE
54

THEATER WITH STAGE
146

LEVEL 4

407ABC



407ABC SPECS

GROSS SQ. FT.
9,617

SQ. METERS
893

DIMENSIONS (LXW)
64'-6" X 142'-9"

CEILING HEIGHT
20'-0"

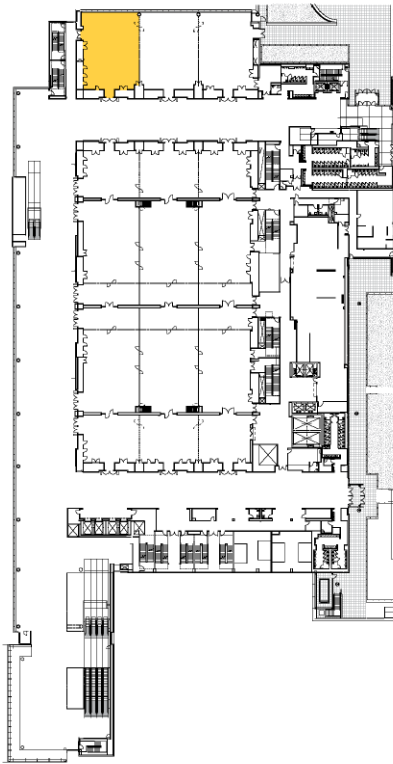
BANQUET WITH STAGE 5'-0" ROUNDS, 8 CHAIRS
544

BANQUET WITH STAGE 5'-0" ROUNDS, 10 CHAIRS
680

CLASSROOM WITH STAGE
453

THEATER WITH STAGE
1,157

407A



407A SPECS

GROSS SQ. FT.
3,161

SQ. METERS
293

DIMENSIONS (LXW)
64'-6" X 46'-8"

CEILING HEIGHT
20'-0"

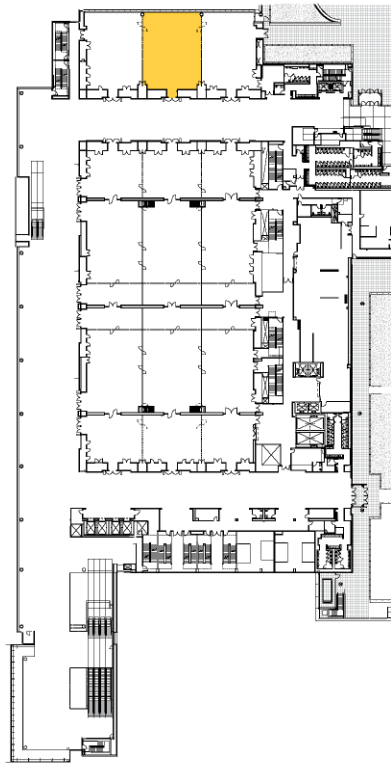
BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
176

BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
220

CLASSROOM WITH STAGE
126

THEATER WITH STAGE
343

407B



407B SPECS

GROSS SQ. FT.
3,322

SQ. METERS
308

DIMENSIONS (LXW)
64'-6" X 49'-8"

CEILING HEIGHT
20'-0"

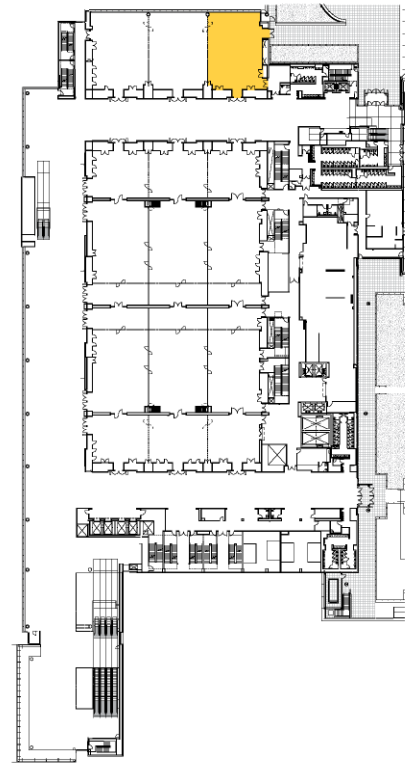
BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
200

BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
250

CLASSROOM WITH STAGE
156

THEATER WITH STAGE
386

407C



407C SPECS

GROSS SQ. FT.
3,134

SQ. METERS
291

DIMENSIONS (LXW)
64'-6" X 45'-10"

CEILING HEIGHT
20'-0"

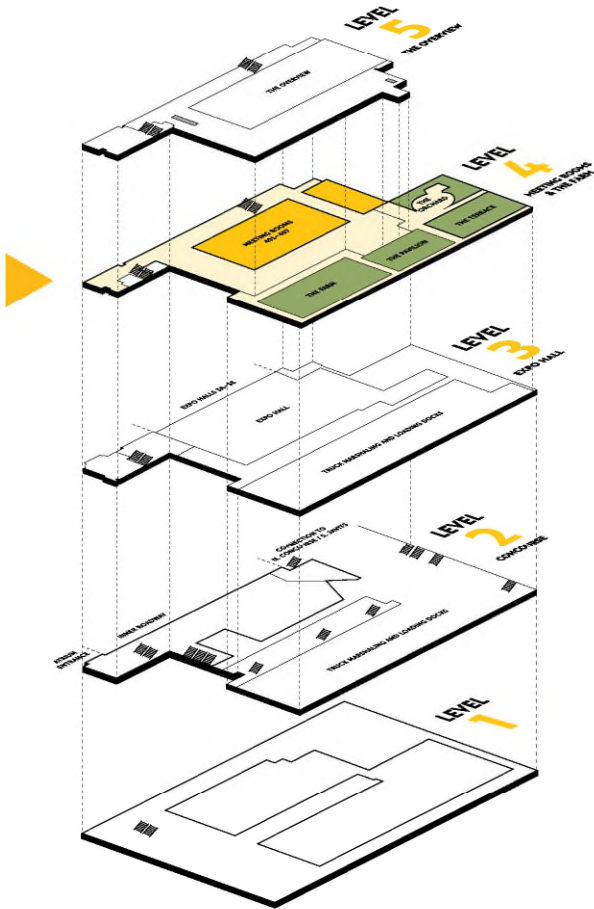
BANQUET WITH 5'-0" ROUNDS, 8 CHAIRS
176

BANQUET WITH 5'-0" ROUNDS, 10 CHAIRS
220

CLASSROOM WITH STAGE
126

THEATER WITH STAGE
327

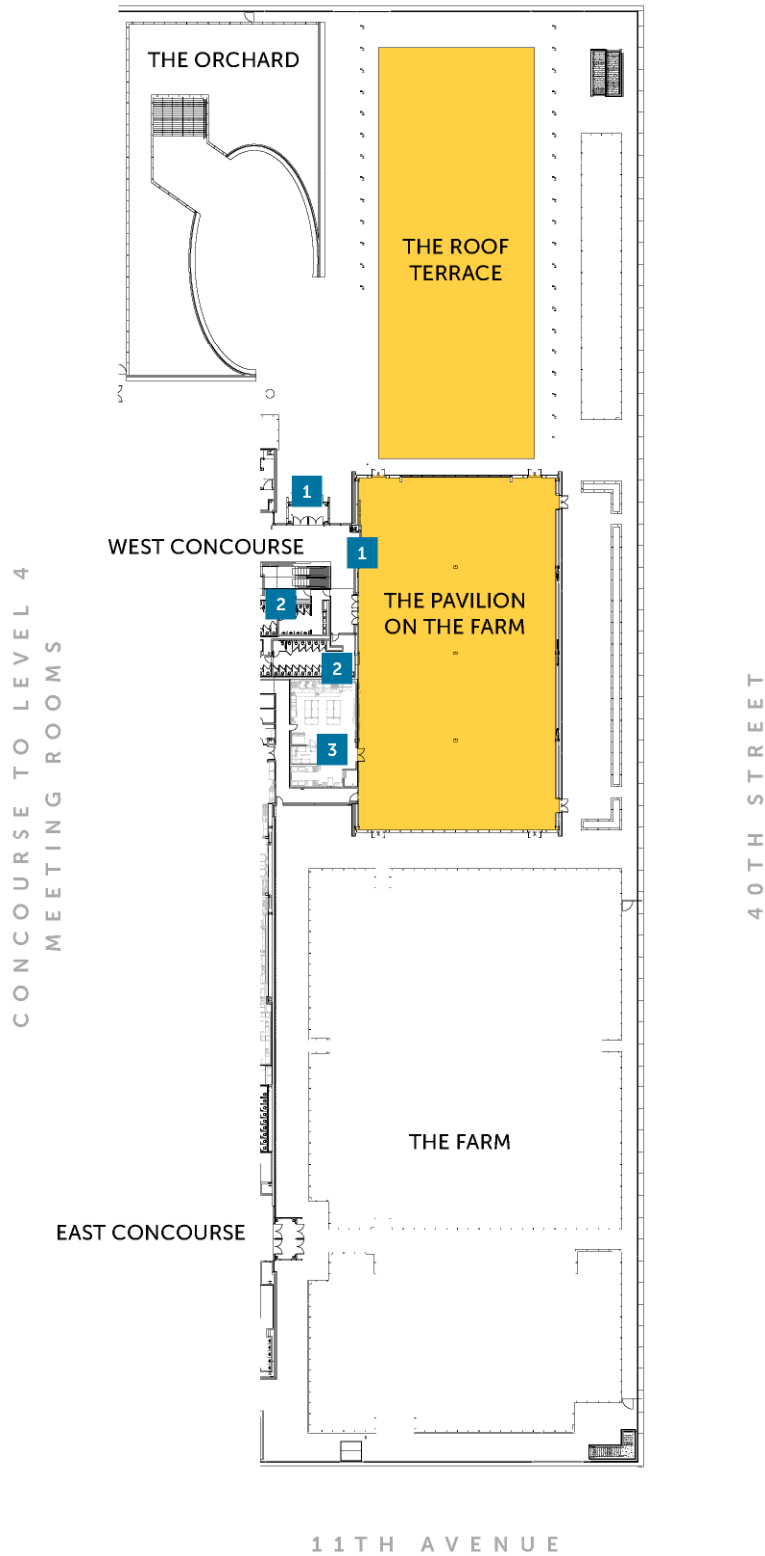
LEVEL 4 THE FARM



LEVEL 4 THE FARM							
ROOM	SIZE/METERS	SIZE/SQ. FT.	DIMENSIONS (LXW)	CEILING HEIGHT	BANQUET WITH STAGE	CLASSROOM WITH STAGE	THEATER WITH STAGE
THE PAVILION ON THE FARM	1,402	15,000	163'-0" X 91'-0"	20'-0"	1,000	657	1,444
THE ROOF TERRACE	1,262	13,500	—	—	1,080	—	—

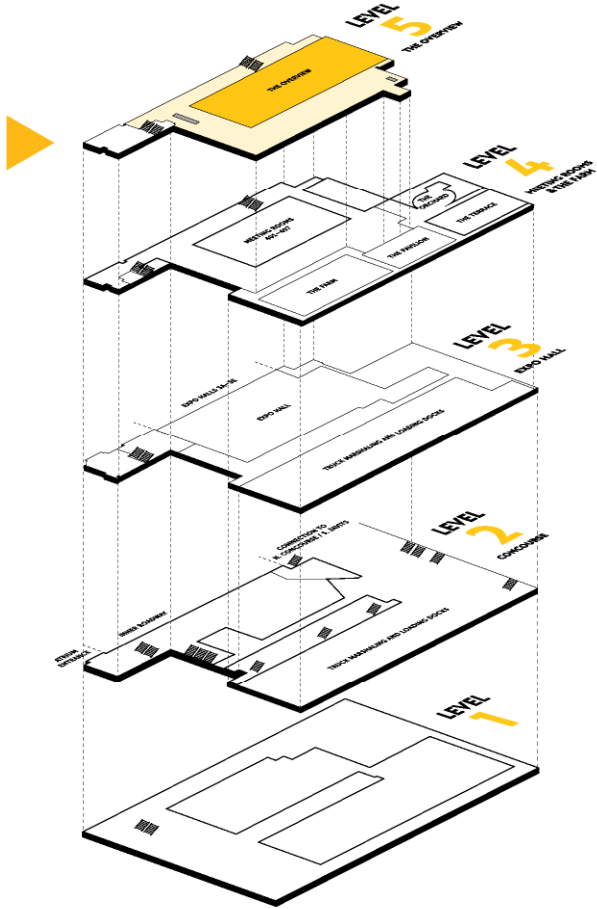


HUDSON RIVER



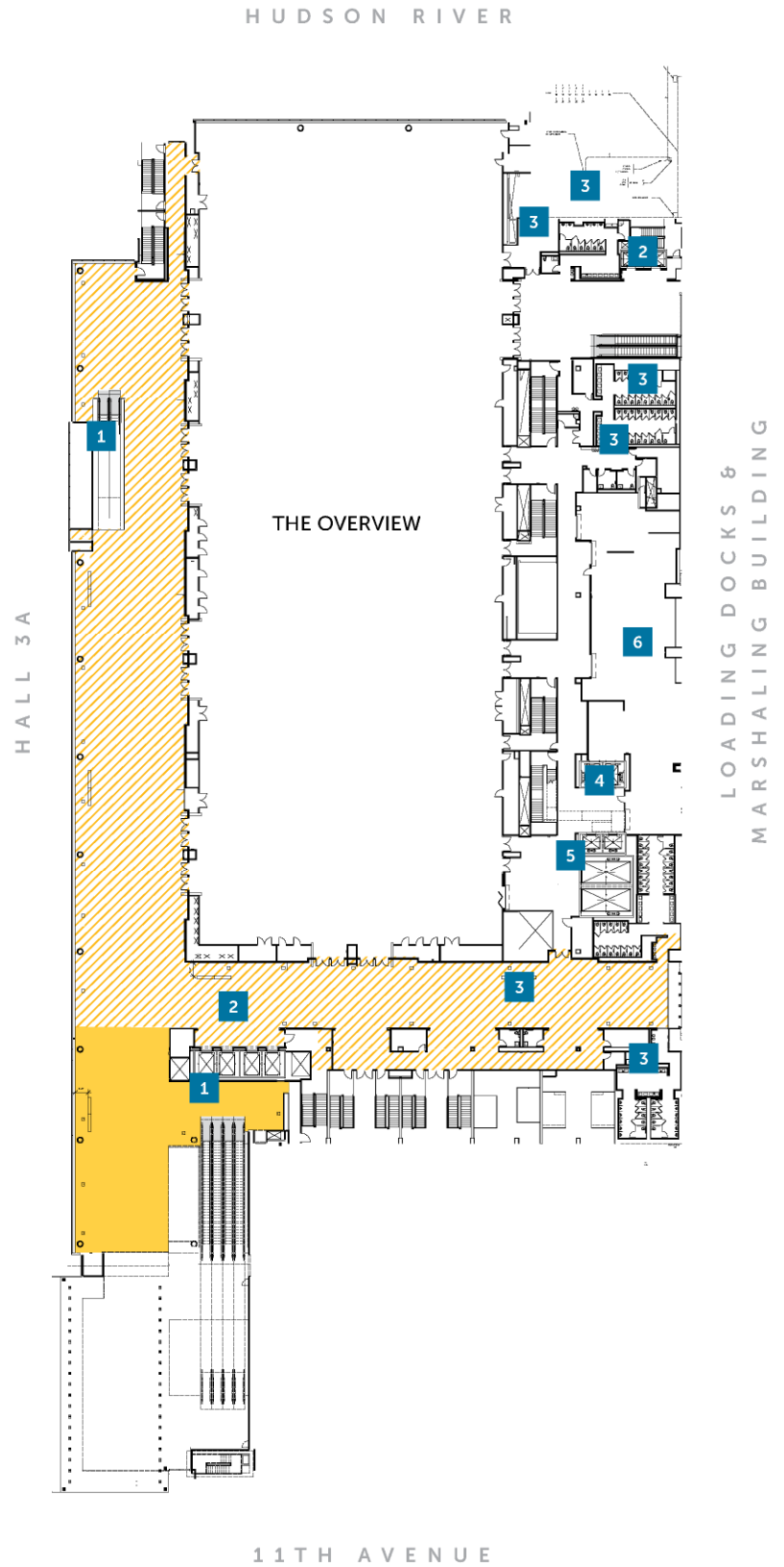
- 1 PAVILION ENTRANCE
- 2 RESTROOMS
- 3 FOOD SERVICE

LEVEL 5 THE OVERVIEW



- 1** ESCALATORS
- 2** ELEVATORS
- 3** RESTROOMS
- 4** SERVICE ELEVATORS
- 5** FREIGHT ELEVATORS
- 6** KITCHEN

- ATRIUM
- PREFUNCTION





LEVEL 5 THE OVERVIEW SPECS

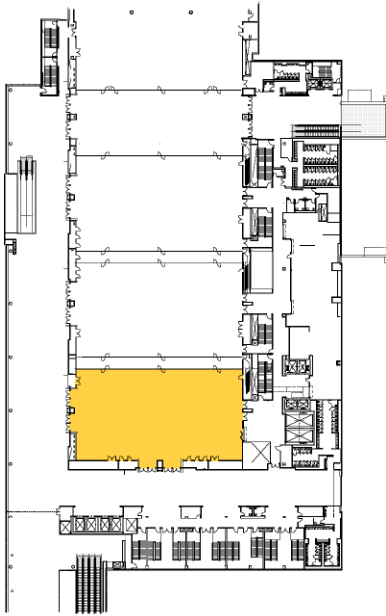
ROOM	GROSS SQ. FT.	SQ. METERS	DIMENSIONS (LXW)	CEILING HEIGHT	BANQUET WITH STAGE	CLASSROOM WITH STAGE	THEATER WITH STAGE
THE OVERVIEW (WEST STAGE LAYOUT)	54,400	5,053	380'-0" X 139'-11"	47'-0"	4,050	3,003	6,540
THE OVERVIEW (NORTH STAGE LAYOUT)	54,400	5,053	380'-0" X 139'-11"	47'-0"	3,950	2,868	6,633
501	11,160	1,036	68'-2" X 139'-11"	47'-0"	620	486	1,234
502	11,406	1,059	79'-8" X 139'-11"	47'-0"	660	528	1,329
503	11,328	1,052	79'-8" X 139'-11"	47'-0"	660	528	1,329
504 (PLAN 1)	9,730	903	76'-7" X 139'-11"	47'-0"	630	444	1,145
504 (PLAN 2)	16,583	1,540	113'-0" X 139'-11"	47'-0"	1,080	822	1,949

ATRIUM AND PREFUNCTION SPECS

ROOM	GROSS SQ. FT.	SIZE/METERS	CEILING HEIGHT
ATRIUM	5,686	531	20'-0"
PREFUNCTION	26,336	2,461	20'-0"

LEVEL 5

501



501 SPECS

GROSS SQ. FT.
11,160

SQ. METERS
1,036

DIMENSIONS (LXW)
68'-2" X 139'-11"

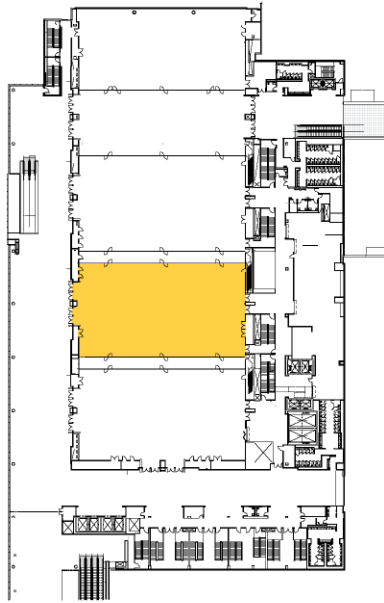
CEILING HEIGHT
47'-0"

BANQUET WITH STAGE
620

CLASSROOM WITH STAGE
486

THEATER WITH STAGE
1,234

502



502 SPECS

GROSS SQ. FT.
11,406

SQ. METERS
1,059

DIMENSIONS (LXW)
79'-8" X 139'-11"

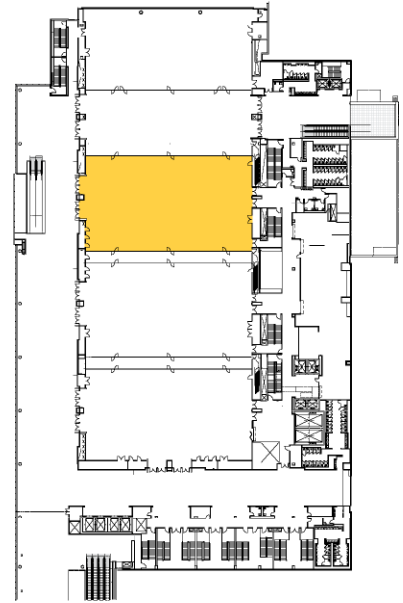
CEILING HEIGHT
47'-0"

BANQUET WITH STAGE
660

CLASSROOM WITH STAGE
528

THEATER WITH STAGE
1,329

503



503 SPECS

GROSS SQ. FT.
11,328

SQ. METERS
1,052

DIMENSIONS (LXW)
79'-8" X 139'-11"

CEILING HEIGHT
47'-0"

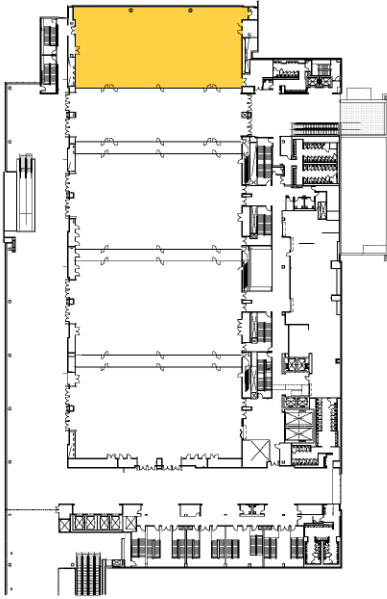
BANQUET WITH STAGE
660

CLASSROOM WITH STAGE
528

THEATER WITH STAGE
1,329

LEVEL 5

504 / PLAN 1



504 PLAN 1 SPECS

GROSS SQ. FT.
9,730

SQ. METERS
903

DIMENSIONS (LXW)
76'-7" X 139'-11"

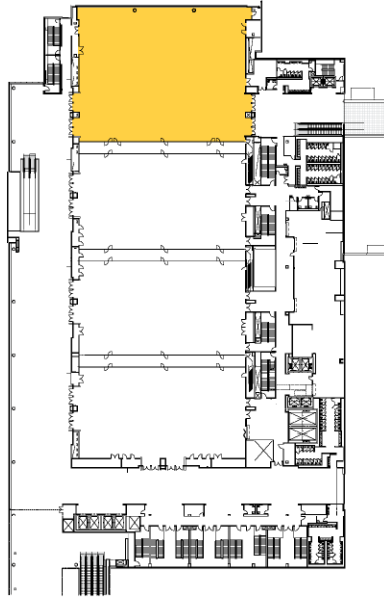
CEILING HEIGHT
47'-0"

BANQUET WITH STAGE
630

CLASSROOM WITH STAGE
444

THEATER WITH STAGE
1,145

504 / PLAN 2



504 PLAN 2 SPECS

GROSS SQ. FT.
16,583

SQ. METERS
1,540

DIMENSIONS (LXW)
113'-0" X 139'-11"

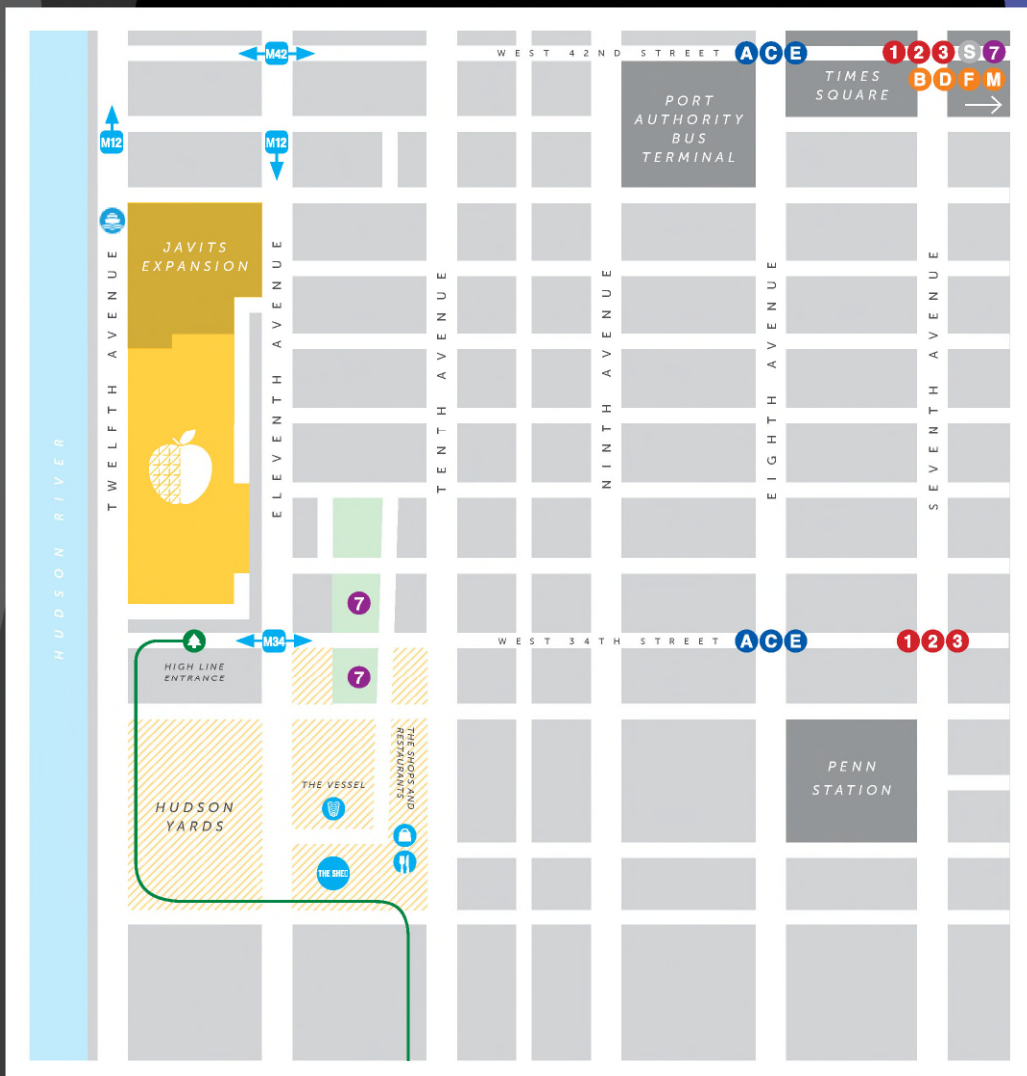
CEILING HEIGHT
47'-0"

BANQUET WITH STAGE
1,080

CLASSROOM WITH STAGE
822

THEATER WITH STAGE
1,949

GETTING TO THE NEW HEART OF NYC.



BY SUBWAY

A C E 1 2 3
N Q R B D F M 7 S

BY BUS

M34 crosstown
M42 crosstown
M12 uptown / downtown

BY TRAIN

Amtrak
New Jersey Transit
Long Island Rail Road
Metro North Railroad

BY PLANE

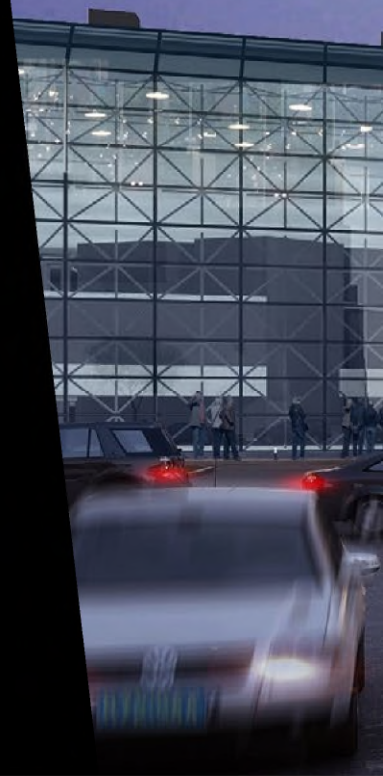
LaGuardia Airport
JFK Airport
Newark Airport

BY FERRY

NY Waterway operates a ferry from Weehawken, NJ. In just eight minutes, the ferry takes you to West 39th Street and 12th Avenue, just one block away from the Javits Center.



SALES & MARKETING 212-216-2335 | sales@javitscenter.com





The Expansion of the Jacob K. Javits Convention Center



**The Expansion
of the
Jacob K Javits Convention Center.
Opening 2021**





EXPANSION OVERVIEW





EXPANSION OVERVIEW



SOUTH-NORTH SECTION



Expansion - By the Numbers

- 480,000 square foot, 4-level on-site marshaling facility with 27 new loading docks
- 90,000 square feet of new prime exhibit space
- 107,000 square feet of new state-of-the-art meeting room and ballroom space;
- 113,000 square feet of pre-function space
- 27 additional loading docks
- Roof terrace accommodating 1,500 people for outdoor events
- One-acre working farm
- Minimum LEED Silver certification



NEW 11TH AVENUE ENTRANCE





New Marshalling Building



1(D) INTERIOR
Truck Marshalling Area
Level 1 Truck Marshalling Looking East





NEW ATRIUM





EXPANDED SHOW FLOOR





NEW PRE-FUNCTION SPACE





NEW MEETING ROOM SPACE





NEW SPECIAL EVENT SPACE





NEW ROOFTOP PAVILION





NEW ROOFTOP PAVILION





THE FARM





Solar Panels over HVAC Units



JAVITS CENTER NORTH ROOF TERRACE
NOISE STUDY
05.17.2021

CERAMI

Cerami conducted a study to evaluate the potential noise impact from the proposed roof terrace at the North Extension of the Javits Center. The programming includes a proposed maximum occupancy of 1,500 persons, and amplified sound for presentations, and amplified music for social gatherings. The study sought to determine the potential noise impact of people socializing (voices) at the nearest residential buildings to the north and east in the context of typical weekend ambient sound levels. We analyzed the maximum allowable sound levels from a sound amplification system to meet the NYC Noise Code requirements for music.

1. Acoustic Terminology and Criteria

The following summarizes the commonly used acoustical terminology and criteria that are applicable to this project:

1.1. A-Weighted Sound Pressure Level (dBA)

A-weighted sound levels provide excellent correlation to the human response to noise at low to moderate sound levels. The A-weighting network approximates the sensitivity of the human ear at moderate sound levels by de-emphasizing high and low frequencies because the ear is less sensitive to these ranges. Unless otherwise indicated, all noise levels are expressed in decibels referenced to 20×10^{-6} Pa.

1.2. C-Weighted Sound Pressure Level (dBC)

The C weighting network follows the frequency sensitivity of the human ear at very high noise levels. The C-weighting scale is quite flat, and therefore includes much more of the low-frequency range of sounds than the A-scale. Unless otherwise indicated, all noise levels are expressed in decibels referenced to 20×10^{-6} Pa.

1.3. NYC Noise Code Section 24-231 – Music

Section 24-231 of the NYC Noise Code states that:

"No person shall make or cause or permit to be made or caused any music originating from or in connection with the operation of any commercial establishment or enterprise when the level of sound attributable to such music, as measured inside any receiving property dwelling unit:

- (1) is in excess of 42 dB(A) as measured with a sound level meter; or
- (2) is in excess of 45 dB in any one-third octave band having a center frequency between 63 hertz and 500 hertz (ANSI bands numbers 18 through 27, Inclusive), in accordance with American National Standards Institute standard S1.6-1984; or
- (3) causes a 6 dB(C) or more increase in the total sound level above the ambient sound level as measured in decibels in the "C" weighting network provided that the ambient sound level is in excess of 62 dB(C).

1.4. NYC Noise Code Section 24-218 – General Prohibitions

1.4.1. Section 24-218(a) of the NYC Noise Code states that "No person shall make, continue or cause or permit to be made or continued any unreasonable noise."

1.4.2. Section 24-218(b) states that unreasonable noise shall include but shall not be limited to sound, attributable to any device, that exceeds the following prohibited noise levels as measured at any point within a receiving property or as measured at a distance of 15 feet or more from the source on a public right-of-way:

- Non-Impulsive Sound 7 dB(A) or more above the ambient, 10PM-7AM
- Non-Impulsive Sound 10 dB(A) or more above the ambient, 7AM-10PM
- Impulsive sound 15 dB(A) or more above the ambient sound level

Section 24-218 can also be enforced subjectively based on the definition of unreasonable noise in Section 24-203 of the Code which includes *"any excessive or unusually loud sound that disturbs the peace, comfort or repose of a reasonable person of normal sensitivities, injures or endangers the health or safety of a reasonable person of normal sensitivities or which causes injury to plant or animal life, or damage to property or business."*

2. Ambient Noise Monitoring results

On Friday May 7, 2021, we deployed noise monitors at the northeast and northwest corners of the roof of the North Extension building, as shown in Figures 1, 2 and 3. The monitors were configured to log sound data for the entire weekend. The purpose of having the two monitors was to assess potential differences between ambient noise levels at 11th Avenue versus 12th Avenue. The hourly L90 readings are summarized in the following table. The L90 is statistical level commonly used to indicate the ambient sound levels. By definition, L90 is the level that was exceeded 90% of the time during each 1-hour measurement logging period.

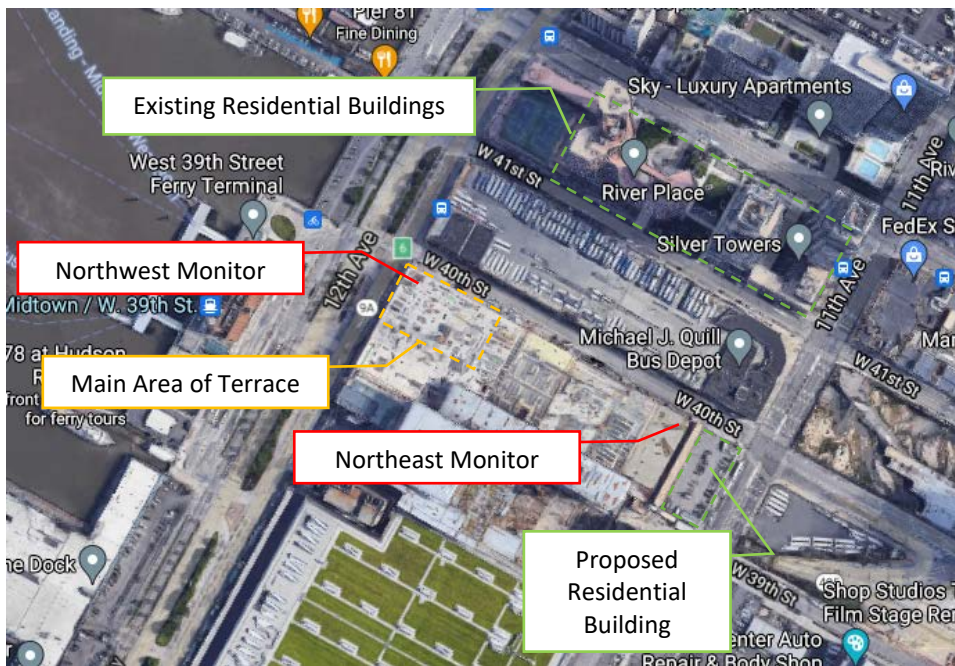


Figure 1- Overhead View Showing Monitor Locations



Figure 2 - Monitor at Northwest Corner of North Extension Roof

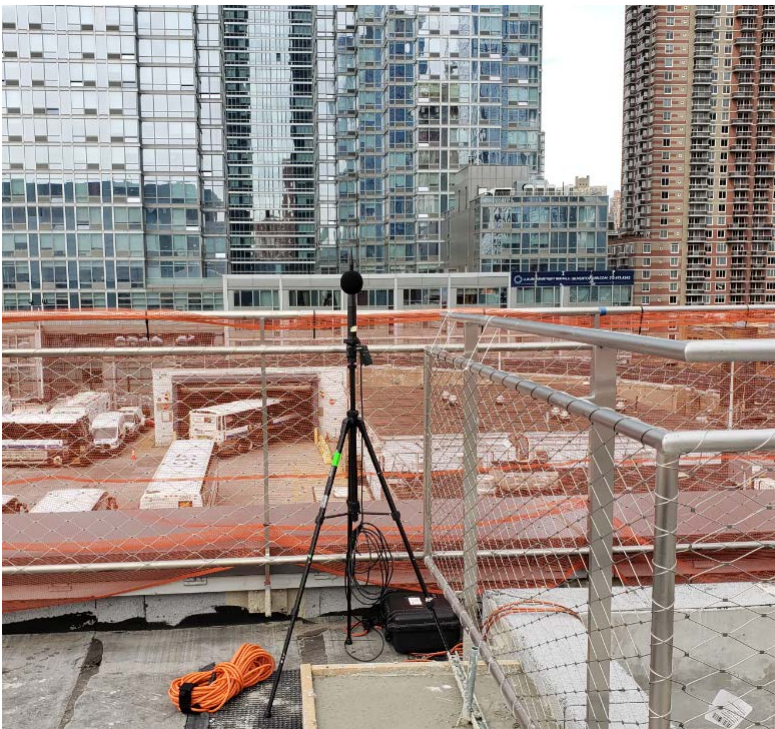


Figure 3- Monitor at Northeast Corner of North Extension Roof

Table 1

Date	Time	Northwest Monitor (dBA)	Northeast Monitor (dBA)
		L90	L90
5/7/2021	16:00:00	63	63
5/7/2021	17:00:00	59	62
5/7/2021	18:00:00	60	60
5/7/2021	19:00:00	58	60
5/7/2021	20:00:00	57	59
5/7/2021	21:00:00	58	59
5/7/2021	22:00:00	58	58
5/7/2021	23:00:00	57	58
5/8/2021	0:00:00	57	58
5/8/2021	1:00:00	56	57
5/8/2021	2:00:00	55	57
5/8/2021	3:00:00	55	56
5/8/2021	4:00:00	54	57
5/8/2021	5:00:00	54	57
5/8/2021	6:00:00	56	58
5/8/2021	7:00:00	56	58
5/8/2021	8:00:00	59	59
5/8/2021	9:00:00	58	59
5/8/2021	10:00:00	60	59
5/8/2021	11:00:00	58	59
5/8/2021	12:00:00	59	60
5/8/2021	13:00:00	57	60
5/8/2021	14:00:00	58	59
5/8/2021	15:00:00	59	59
5/8/2021	16:00:00	59	59
5/8/2021	17:00:00	59	59
5/8/2021	18:00:00	58	59
5/8/2021	19:00:00	58	59
5/8/2021	20:00:00	58	59
5/8/2021	21:00:00	57	59
5/8/2021	22:00:00	57	59
5/8/2021	23:00:00	56	59
5/9/2021	0:00:00	56	59
5/9/2021	1:00:00	55	59
5/9/2021	2:00:00	55	59
5/9/2021	3:00:00	55	58
5/9/2021	4:00:00	55	58
5/9/2021	5:00:00	55	58
5/9/2021	6:00:00	56	59
5/9/2021	7:00:00	56	57
5/9/2021	8:00:00	56	57
5/9/2021	9:00:00	56	57
5/9/2021	10:00:00	57	58
5/9/2021	11:00:00	57	58
5/9/2021	12:00:00	57	58
5/9/2021	13:00:00	57	57
5/9/2021	14:00:00	57	58
5/9/2021	15:00:00	57	58
5/9/2021	16:00:00	57	59

Date	Time	Northwest Monitor (dBA)	Northeast Monitor (dBA)
		L90	L90
5/9/2021	17:00:00	57	59
5/9/2021	18:00:00	58	59
5/9/2021	19:00:00	58	60
5/9/2021	20:00:00	57	60
5/9/2021	21:00:00	58	61
5/9/2021	22:00:00	56	60
5/9/2021	23:00:00	56	58
5/10/2021	0:00:00	55	58
5/10/2021	1:00:00	55	57
5/10/2021	2:00:00	54	57
5/10/2021	3:00:00	55	57
5/10/2021	4:00:00	55	58
5/10/2021	5:00:00	57	60
5/10/2021	6:00:00	60	63
5/10/2021	7:00:00	60	64
5/10/2021	8:00:00	62	64
5/10/2021	9:00:00	61	64
5/10/2021	10:00:00	60	62
5/10/2021	11:00:00	61	61

The ambient readings for the northwest corner of the roof (54 dB(A)) were approximately 2 decibels lower than those at the northeast corner of the roof (56 dB(A)). As seen in the tabulated data highlighted in yellow, the lowest ambient sound levels were measured at around 3am-5am on Saturday. Weather conditions were dry during this period. Periods of rain are noted with gray shading. Daytime/Evening exterior ambient noise levels over the weekend ranged between 56 and 60 dB(A). We would anticipate similar levels at the residential building at 41st Street and 12th Avenue, and at 40th and 11th Avenue where a residential building is planned on the west side of the Avenue. Accounting for a worst-case scenario of an open window condition, we would anticipate corresponding interior ambient sound levels to be approximately 8 dB(A) lower than the exterior readings or between 46-52 dB(A).

3. Noise Impact Analysis

3.1. Amplified Music

To evaluate the impact from amplified music on the roof terrace, we utilized the decibel limits of NYC Noise Code Section 24-231 as would be measured at the closest residential building to the north. We then back calculated the maximum allowable music sound levels at the north edge of the roof terrace to meet the requirements of Section 24-231.

For amplified sound, the maximum sound levels at the north edge of the terrace should be no greater than approximately 91 dB(A) and no greater than approximately 91 dB(A) each 1/3 octave band frequency from 63 Hertz to 500 Hertz, inclusive, in order to meet the decibel limits prescribed in section 24-231 of the NYC Noise Code as would be measured inside an apartment at the closest building that is directly to the north. Buildings further east on 41st Street, as well as those proposed on the west side of 11th Avenue, will be less affected due to the increased distance from the terrace area and due to the acoustical barrier provided, in part, by the event space structure at the roof level.

If amplified music is kept at or below these levels, the impact at the nearest apartments should meet the requirements of section 24-231 of the NYC Noise Code and is also anticipated to be at or about the lowest overnight interior ambient noise levels as determined from our weekend noise monitoring. During daytime/evening hours when ambient noise is around 2-4 dB(A) higher and when other transient noises from cars, trucks and buses occur with greater frequency, the music would be even less noticeable.

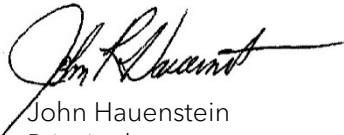
The sound system can be designed with safeguards to help ensure that the sound level limits are met, such as electronic limiting devices in tamper-proof cabinetry. Additionally, speaker selections having narrower focus, higher distribution and select orientation can be employed in the sound system design to further mitigate potential noise impact to noise sensitive buildings. Upon installation, acoustical testing can be performed to establish maximum speaker outputs and fix the settings on the limiting devices.

3.2. Patron Activity

Lastly, we evaluated the potential noise impact from the proposed anticipated occupancy of 1,500 persons gathered on the roof. Utilizing past measurements of similar venues, we calculated the projected impact at the nearest residential buildings in comparison with ambient sound levels and the NYC Noise Code section pertaining to unreasonable noise. Accounting for variations in voice levels, direction, and number of people speaking simultaneously, we estimate that the noise impact from this occupancy will not be significant at the nearest residential building to the north. Buildings further east on 41st Street, as well as the one proposed on the west side of 11th Avenue will be less affected due to the increased distance from the terrace area and due to the acoustical barrier afforded by the event space structure at the roof level.

The above summarizes our comments and recommendations at this time. Should you have any questions or if we can be of further assistance, please do not hesitate to contact us.

Best Regards,



John Hauenstein
Principal

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