

# Manhattan Community Board 4

(All Fields Must Be Completed)

Liquor License/Sidewalk Cafe Stipulations Application

<b>CORPORATION NAME</b> ACR 750 LLC		<b>DOING BUSINESS AS (DBA)</b> Afficionado Coffee Roasters			
<b>STREET ADDRESS</b> 750 11th avenue		<b>CROSS STREETS</b> 53rd		<b>ZIP CODE</b> 10018	
<b>OWNER</b> <i>(Attach a list of all the people that will be associated/listed with the license)</i>	<b>NAME:</b> Adam Bossie	<b>ATTORNEY/ REPRESENTATIVE</b>	<b>NAME:</b> Terry R. Flynn		
	<b>PHONE:</b> 3472251040		<b>PHONE:</b> 7183186162		
	<b>EMAIL:</b> John@afficionadocoffee.com		<b>EMAIL:</b> Terrence Flynn <trflynnjr@gmail.com>		
<b>MANAGER</b>	<b>NAME:</b> Adam Bossie	<b>LANDLORD</b>	<b>NAME:</b> The Clinton Housing Development Company		
	<b>PHONE:</b> 3472251040		<b>PHONE:</b> 2129671644		
	<b>EMAIL:</b> John@afficionadocoffee.com		<b>EMAIL:</b> "Negron, Cesar" <cnegron@clintonhousing.org>		
<b>APPLICATION TYPE</b> ( <input checked="" type="checkbox"/> <i>Liquor License</i> <input checked="" type="checkbox"/> <i>Unenclosed Sidewalk Cafe</i> )					
<input checked="" type="checkbox"/> <b>New</b>	Has applicant owned or managed a similar business?		<b>YES</b>	<b>NO</b>	No
	What is/was the name and address of establishment?		Afficionado Coffee Roasters		
	What were the dates applicant was involved with this former premise?		None		
<input type="checkbox"/> <b>Corp</b> <b>Change/Class Change/Removal</b>	What is the license # and expiration date?				
	Is applicant making any alterations or operational changes?		<b>YES</b>	<b>NO</b>	
	<i>If alterations or operational changes are being made, please describe/list all changes.</i>				
<input type="checkbox"/> <b>Alteration</b>	What is the current license # and expiration date?				
	<i>Please list/describe the nature of all the changes and attach the plans:</i>				
<b>METHOD OF OPERATION</b>					
<b>TYPE OF ALCOHOL</b>	<input type="checkbox"/> Liquor/Wine/Beer & Cider <input type="checkbox"/> Beer & Cider <input checked="" type="checkbox"/> Wine/Beer & Cider				
<b>ESTABLISHMENT TYPE</b>	<input checked="" type="checkbox"/> Restaurant <input type="checkbox"/> Cabaret <input type="checkbox"/> Night Club <input type="checkbox"/> Hotel <input type="checkbox"/> Bar/Tavern <input type="checkbox"/> Catering Establishment <input type="checkbox"/> Adult Entertainment <input type="checkbox"/> Wine Bar <input type="checkbox"/> Dance Club <input type="checkbox"/> Sports Bar <input type="checkbox"/> Club (Fraternal Organization – Members Only)				
Has applicant/owner filed with the SLA? If yes, when? If no, when do you plan to file?		<b>YES</b>	<b>NO</b>		
Is the 500 Foot Rule applicable? If yes, please attach a diagram of the On-Premise liquor license establishments within a 500 ft. radius of your establishment and the Public Interest Statement.		<b>YES</b>	<b>NO</b>	no	
Is the 200 Foot Rule applicable? If yes, please attach a diagram of the schools and houses of worship that trigger the rule.		<b>YES</b>	<b>NO</b>	no	
Has applicant/owner(s) read MCB4 Policy Regarding Concentration and Location of Alcoholic-Serving Establishments?		<b>YES</b>	<b>NO</b>	yes	

**OPERATIONAL DETAILS (\*Closing time will be when establishment is vacated of all patrons)**

HOURS* <i>(Indoor Only)</i>		MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	SUNDAY
	<b>Operation</b>	7a-11p	7a-11p	7a-11p	7a- 12a	7a- 12a	7a- 12a	7a- 12a
	<b>Kitchen</b>	7a-10p	7a- 10p	7a- 10p	7a- 10p	7a- 10p	7a- 10p	7a-10p
	<b>Music</b>	7a- 12p	7a - 12p	7a - 12p	7a- 12p	7a- 12p	7a- 12p	7a- 12p

If you plan to have music, what type(s)?  
(Circle all that apply)

<b>BACKGROUND</b>	<b>LIVE MUSIC</b>	<b>DJ</b>	<b>JUKE BOX</b>	<b>KARAOKE</b>
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**OCCUPANCY**

	Capacity (Certificate of Occupancy)	Maximum # of Persons Occupying Premises (Including Employees)	Number of Tables	Number of Seats	Number of Service Only Bars	Number of Stand-Up Bars	Number of Seats at Stand-Up Bar
<b>INSIDE</b>	22	22	5	10	1	0	6
<b>OUTSIDE</b> <i>(Other than sidewalk café)</i>	0	0	0	0	0	0	0
<b>DCA APPROVED UNENCLOSED SIDEWALK CAFÉ</b>	16	16	8	8	n/a		

How many floors are there? What is the capacity for each floor?	1, 22		
How frequently will the owner(s) be at the establishment?	3-5 days/ week		
Will there be dancing?	YES	NO	no
Will applicant have bottle or table service for beverage alcohol?	YES	NO	no
Will applicant be hosting private; promotional or corporate events?	YES	NO	no
Will outside promoters be used on a regular basis? If yes please describe.	YES	NO	no
Will applicant have a security plan? If, yes please attach.	YES	NO	no
Will security plan be implemented?	YES	NO	no
Will State certified security personnel be used?	YES	NO	no
Will New York Nightlife Association and NYPD Best Practices be followed?	YES	NO	yes
Does applicant agree to notify MCB4 prior to making changes to its method of operation?	YES	NO	yes
Will applicant be using delivery bicycles? If yes, how many?	YES	NO	no
Will delivery bicycles be clearly marked with the name of the restaurant and will staff wear attire clearly noting name as described by NYC Law?	YES	NO	n/a
Where will delivery bicycles be stored during the day when not in use?	n/a		

LOCATION & ZONING			
Is this a Special District? If yes, is it Clinton, West Chelsea or Hudson Yards?	YES	NO	clinton
Does the building have a Certificate of Occupancy ("C of O") or a letter of no objection?	YES	NO	yes
Is a Public Assembly permit required?	YES	NO	no
Are your plans filed with DOB?	YES	NO	yes

Community Notification/Relations			
<b>NOTIFICATION:</b> List all block associations; tenant associations, co-op boards or condo boards of residential buildings; and community groups that applicant has notified regarding its application. For each please list both the organization and individual you contacted	# 1		
	# 2		
	# 3		
	# 4		
	# 5		
Please provide dates when applicant met with the groups listed above.			
Who was your contact person at each group you met with?			
When did applicant post the notice that was provided?			
Where did applicant post the notice that was provided?			
Will applicant provide owner cell phone number to neighbors and respond to complaints that arise? Please provide number in space provided.	YES	NO	yes
Will applicant inform the Community Board office of its job openings and/or provide a hyperlink to applicants jobs webpage?	YES	NO	yes

<b>BUILDING DESIGN</b>			
State the name and type of business previously located in the space.	Ill Baretto - Italian restaurnat		
Has a liquor-licensed establishment previously occupied this space at any time? If yes, please provide the name of the business.	YES	NO	no
Do you plan any changes to the existing façade? If yes, please describe.	YES	NO	no
Has the applicant/owner(s) read MCB 4 ADA Guidelines Memo?	YES	NO	yes
Is the entrance ADA Compliant?	YES	NO	yes
Do you plan any changes to the existing façade? If yes, please describe.	YES	NO	no
Will applicant have a vestibule within the establishment?	YES	NO	no
Will applicant use a storm enclosure?	YES	NO	no
Does applicant agree to keep the sidewalk clear of all items or obstructions, such as sandwich boards, sidewalk signs, freestanding menus and plants, as per the law?	YES	NO	yes
Will applicant comply with the NYC noise code?	YES	NO	yes
Will the establishment have any of the following: (circle all that apply)	<b>FRENCH DOORS</b>		<b>GARAGE DOORS</b>
			<b>WINDOWS THAT CAN BE OPENED</b>
Will applicant close all windows, French doors, garage doors when any music or amplified sound (including televisions) is played inside the establishment?	YES	NO	yes
Will applicant close all windows, French doors, garage doors by 11 PM Friday and Saturday and 10 PM on all other days even if no music or amplified sound is played inside the establishment?	YES	NO	yes
Has applicant obtained an acoustical report from a certified sound engineer to assess potential noise disturbance to the neighboring residents and buildings?	YES	NO	no
Will applicant follow the recommendations of a certified sound engineer to mitigate potential noise disturbance to the neighboring residents and buildings, including placing speakers on the floor of the establishment?	YES	NO	yes
Will the kitchen exhaust system extend to the roof?	YES	NO	no kitchen exhaust
Will the establishment have an illuminated sign?	YES	NO	no
Will the establishment have a canopy extending over the sidewalk?	YES	NO	no
Where will the air conditioner be located? What type is it?	n/a		
When was the air conditioner installed?	n/a		



OUTDOOR ITEMS - OTHER THAN SIDEWALK CAFÉ			
Has the applicant/owner(s) read MCB 4 Rear Yard Rooftop Policy?	YES	NO	yes
Will applicant use any outdoor spaces: rooftop, rear yard, patio, porch, balcony, pavilion, tents, deck, gazebo or open dining in the parking lane? If yes, which one(s)?	YES	NO	No
Are the floorplans for the outdoor space(s) included?	YES	NO	N/A
Will applicant close and vacate the outdoor space(s) by 11PM on Friday & Saturday and 10 PM on all other days?	YES	NO	N/A
Will the service and consumption of alcohol in any outdoor space only be via seated food service?	YES	NO	N/A
Will applicant not allow standing space for patrons to drink or smoke in any outdoor space(s) or on the sidewalk?	YES	NO	N/A
Will there be no amplified music, as per the law?	YES	NO	N/A
If amplified sound is played inside the establishment, will windows and doors be closed?	YES	NO	N/A
Will applicant agree to post signs outside asking customers to respect the neighbors'?	YES	NO	N/A
Will applicant agree to train staff to encourage a peaceful environment?	YES	NO	N/A
Will applicant provide effective sound control (landscaping enclosure, soundproofing tenants apartments)	YES	NO	N/A
Will there be a lighting plan that allows safe usage of the outdoor space without disrupting neighbors?	YES	NO	N/A
If open dining in the parking lane, will applicant agree to leave the sidewalk free of any furniture?	YES	NO	N/A
If open dining, will you comply with all NYC DOT guidelines?	YES	NO	N/A
If open dining, will the installation be year-round?	YES	NO	N/A

## DCA APPROVED UNENCLOSED SIDEWALK CAFÉ

Has the applicant/owner(s) read MCB4 Sidewalk Café Policy?	YES	NO	yes
Will applicant be applying for a sidewalk café now or in the future?	YES	NO	now
Is applicant in this application seeking to include a sidewalk café in its liquor license?	YES	NO	yes
If yes, has applicant submitted an application and plans to NYC Dept. of Consumer Affairs? Please attach application and plans.	YES	NO	yes
Will applicant close and vacate the sidewalk café by 11 PM on Friday & Saturday and 10 PM on all other days?	YES	NO	yes
Will applicant be serving alcohol in the sidewalk café? If so, will you have waiter service?	YES	NO	yes and yes
Will the café have a 3 ft. wide serving aisle running the entire length of the sidewalk cafe?	YES	NO	yes
Will applicant mark the perimeter of the café on the sidewalk?	YES	NO	yes
Will the service and consumption of alcohol in the sidewalk café only be via seated food service?	YES	NO	yes
Will the sidewalk café not provide standing space for drinking or smoking?	YES	NO	yes
Will applicant use any portable natural gas heaters? If so, do you have the requisite approvals from DOB & the Fire Department?	YES	NO	no
Will applicant have a lighting plan that will allow safe usage of the outdoor space without disrupting neighbors?	YES	NO	yes
Will all furniture, plants and barricades be stored inside between the evening closing hours and the morning opening hours?	YES	NO	yes
Will all furniture be stored inside between December 21 <sup>st</sup> and March 21 <sup>st</sup> , and any other day when it rains or snows?	YES	NO	yes
Will applicant use umbrellas?	YES	NO	no
If construction or construction protection has reduced the sidewalk width, will applicant always maintain an 8 foot clear path of sidewalk between the perimeter of the café and the closest obstruction including construction barricades?	YES	NO	yes
If open dining is in the parking lane, will applicant agree to remove its sidewalk café?	YES	NO	yes

**ADDITIONAL STIPULATIONS: (Office Use Only)**

***To the extent any additional stipulation on pages 7 and 8 of this application conflicts with any response on pages 1 – 6 of this application, the stipulations on pages 7 and 8 control.***

**ADDITIONAL STIPULATIONS: (Office Use Only), *Continued***

***To the extent any additional stipulation on pages 7 and 8 of this application conflicts with any response on pages 1 – 6 of this application, the stipulations on pages 7 and 8 control.***



Manhattan Community Board 4 (MCB4) recommends:  
 (MCB4's recommendation is based on a vote taken at its  
**May 5, 2021** full board meeting, with **36** members voting in favor  
 of the recommendation, 0 members opposed, 0 members  
 abstaining and 0 present but not eligible)

Denial unless all stipulations agreed to by applicant/owner are part of the method of operation

Denial  Approval

**CB4 REPRESENTATIVES**

 <b>Nelly Gonzalez</b> <i>CB4 Assistant District Manager</i>	 <b>Frank Holozubiec</b> <i>CB4 BLP Committee Co-Chair</i>	 <b>Burt Lazarin</b> <i>CB4 BLP Committee Co-Chair</i>
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**APPLICANT AGREEMENT WITH THE COMMUNITY**

Applicant agrees to these stipulations as the basis for the community support of this application and acknowledges that all of these stipulations are essential prerequisites to the MCB4 recommendation regarding this application. Applicant agrees to have these stipulations incorporated in the method of operation of its liquor license. The stipulations in this application constitute the entire agreement between MCB4 and applicant and may only be altered in writing signed by MCB4 and applicant. These stipulations supersede any oral statements or representations in connection with this application.

<p><b>SIGN HERE</b> →</p>	<p>Adam Bossie</p> <p><b>PRINT NAME OF APPLICANT</b></p>	<p><i>Adam Bossie</i></p> <p><b>SIGNATURE OF APPLICANT</b></p>	<p>03/25/2021</p> <p><b>DATE</b></p>
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# SCOPE OF WORK

INTERIOR RENOVATION. NO FACADE OR STOREFRONT WORK. NO CHANGE TO USE, EGRESS, OR OCCUPANCY UNDER THIS APPLICATION. DEMOLITION AS REQUIRED. NEW INTERIOR PARTITIONS, CEILINGS, AND SOFFITS. NEW FURRED WALLS AND BRICK VENEER. RELOCATION OF EXISTING PLUMBING FILED UNDER NYC DOB BIZ NO. M00394234-11.

# GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE BUILDING CODE OF NEW YORK TO DATE. THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, AND EQUIPMENT TO COMPLETE ALL WORK AS CALLED FOR IN THE DRAWINGS.
- THE CONTRACTOR MUST OBTAIN ALL PERMITS AND FINAL APPROVAL OF COMPLETION OF WORK FROM THE BUILDING DEPARTMENT.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- ALL EXISTING AREAS OF THE BUILDING THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED TO MATCH EXISTING AT NO ADDITIONAL COSTS TO THE OWNER.
- ALL REMOVED MATERIAL AND DEBRIS SHALL BE LEGALLY DISPOSED OF AWAY FROM THE PREMISES.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK PERFORMED UNDER THIS CONTRACT FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION AND FINAL ACCEPTANCE BY THE OWNER.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE BEFORE BIDDING AND PROCEEDING INTO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR SAME.
- THE CONTRACTOR SHALL COORDINATE ALL OPERATIONS WITH THE OWNER, SUCH AS WORK AREAS USED FOR MATERIALS STORAGE, ACCESS TO AND FROM WORK AREAS, TIMING OF WORK, SPECIAL CONSIDERATION OF NOISY OPERATIONS, INTERRUPTIONS FOR MECHANICAL AND ELECTRICAL SERVICES, ETC. THE CONTRACTOR SHALL NOT INTERRUPT THE ONGOING OPERATION OF THE PREMISES AT ANY TIME.
- THE SCOPE OF DEMOLITION AND REMOVAL TO BE PERFORMED SHALL NOT BE LIMITED BY THE DRAWINGS OR SPECIFICATIONS BUT SHALL INCLUDE ANY AND ALL WORK THAT SHALL BE REQUIRED OR DIRECTED BY THE OWNERS REPRESENTATIVE IN ORDER TO FACILITATE THE NEW WORK.
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE DONE IN A GOOD, WORKMANLIKE MANNER AND TO THE APPROVAL AND ACCEPTANCE OF THE OWNER AND THE ARCHITECT.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR HIS WORK AND FOR COORDINATION BETWEEN HIS RESPECTIVE SUBCONTRACTORS AND THEIR PORTION OF THE WORK.
- THE CONTRACTOR SHALL CHECK DETAILS FOR LOCATIONS OF ALL ITEMS NOT DIMENSIONED ON THE PLANS.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY FACILITIES FOR PROTECTION AND/OR ENCLOSURE OF AREAS OF WORK AND PROTECTION OF AREAS WHERE THERE IS NO FURTHER WORK. REMOVE TEMPORARY FACILITIES WHEN NO LONGER REQUIRED.
- THE CONTRACTORS SHALL LAY OUT HIS OWN WORK AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.)
- PLUMBING WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE OFFICE OF BUILDINGS ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS. PERMITS TO BE FILED SEPARATELY.
- ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE OFFICE OF BUILDINGS ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS. PERMITS TO BE FILED SEPARATELY.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- DESIGN STRENGTHS OF MATERIALS SHALL BE IN CONFORMANCE WITH ACCEPTED ENGINEERING PRACTICE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, OR THE APPROVED RULES IN THE ABSENCE OF APPLICABLE STANDARDS.

# SPECIAL INSPECTIONS

- BUILDING CODE OF THE CITY OF NEW YORK
- CONTROLLED INSPECTIONS SHALL BE MADE AND WITNESSED BY OR UNDER THE SUPERVISION OF A REGISTERED ARCHITECT (RA) OR PROFESSIONAL ENGINEER (PE). THE INSPECTING RA OR PE SHALL BE INDEPENDENT OF THE CONTRACTOR.
  - THE FOLLOWING LIST CONTAINS THE ITEMS SUBJECT TO CONTROLLED INSPECTIONS.  
ITEM:  
FIRE STOP  
ENERGY CODE COMPLIANCE  
FINAL INSPECTION
  - ALL MATERIALS, ASSEMBLIES AND METHODS OF CONSTRUCTION REGULATED BY THE CODE AND NOT LISTED ABOVE SHALL BE SUBJECT TO SEMI-CONTROLLED INSPECTION BY THE PERSON SUPERINTENDING THE CONSTRUCTION. SIGNED COPIES OF ALL TEST AND INSPECTION REPORTS SHALL BE FILED THROUGH THE ARCHITECT, WITH THE DEPARTMENT OF BUILDINGS.

# LOCATION INFORMATION

ADDRESS 750 11TH AVENUE NEW YORK, NY 10019  
 BLOCK 1081  
 LOT 60  
 LOT AREA 14,289 SQ FT  
 ZONING DISTRICT C2-5  
 ZONING MAP 8C  
 COUNTY MANHATTAN  
 OCCUPANCY GROUP COM (PRIOR TO 1968 CODE)  
 CONSTRUCTION CLASS 1-C (1968 CODE)

# SITE PLAN

NTS



# AREA CALCULATIONS

OCCUPANCY LOAD AS PER TABLE 6-2

TOTAL SQ FT	668 SQ FT
TOTAL SQ FT/SQ FT PER OCCUPANT	668/12
# OF OCCUPANTS	55 PERSONS

# FEMA MAP



THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA.

# DRAWING INDEX

SHEET	SHEET TITLE	SHEET #
T 001.00	GENERAL NOTES, ZONING, PLOT PLAN	1 OF 10
EN 001.00	ENERGY CODE COMPLIANCE	2 OF 10
A 001.00	ACCESSIBILITY NOTES	3 OF 10
A 002.00	LIFE SAFETY PLAN	4 OF 10
D 100.00	DEMOLITION PLAN	5 OF 10
A 100.00	CONSTRUCTION PLAN	6 OF 10
A 110.00	REFLECTED CEILING PLAN	7 OF 10
A 120.00	POWER PLAN	8 OF 10
A 130.00	FINISH PLAN	9 OF 10
A 200.00	INTERIOR ELEVATIONS	10 OF 10

# SYMBOLS LEGEND

- ELEVATION SYMBOL
- SECTION CUT
- DATUM
- FINISH SCHEDULE
- PARTITION TYPE
- DOOR TAG
- WINDOW TAG
- ROOM TAG
- NOTE
- DETAIL BUBBLE
- MATERIAL TO BE DEMOLISHED
- NEW WALL CONSTRUCTION
- EXISTING WALL TO REMAIN

**NICKI GITLIN**  
 ARCHITECTURE AND DESIGN  
 T: 516.532.0330  
 nickigitlin@gmail.com  
 www.nickigitlin.com

DATE: ISSUED

PROJECT  
**AFFICIONADO COFFEE ROASTER**

PROJECT ADDRESS  
 750 11TH AVENUE  
 NEW YORK, NY 10019

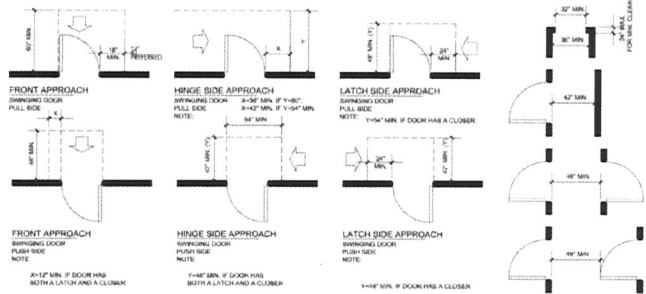
DRAWING TITLE  
 GENERAL NOTES, ZONING, PLOT PLAN

DOB PAGE NUMBER  
 1 OF 10

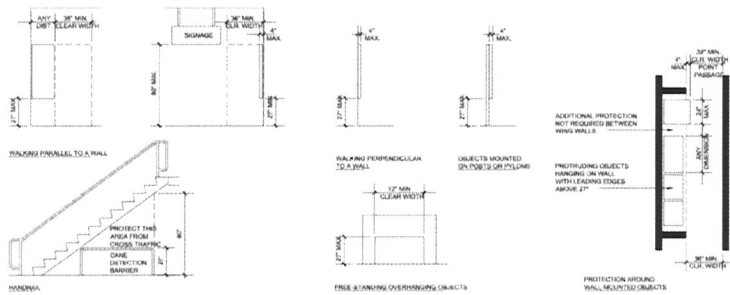
DRAWING NO.

**T 001.00**

DATE  
 10/26/2017



MANEUVERING CLEARANCE AT DOORS 03



PROTRUDING OBJECTS 02

**HANDICAP NOTES:**

ACCESSIBILITY & USABILITY FOR THE PHYSICALLY HANDICAPPED SHALL BE PROVIDED IN PUBLIC AREAS. HANDICAPPED ACCESSIBILITY LANE TO-HALL, SHOW GRAPHICAL ON THIS SHEET AND IN NOTES BELOW.

DOOR HANDLES/HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE "FLAT GRIPPING," THAT IS, GRIPPING OR TWISTING OF THE JOINT TO OPERATE. THEY SHALL BE MOUNTED WITH REACH RANGES SPECIFIED IN A.2. LEVER OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN OPERATING HORIZONTALS SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.

LANDING/RAMP SHALL HAVE LEVEL LANDINGS AT THE BOTTOM AND TOP OF EACH RUN. LANDINGS SHALL HAVE THE FOLLOWING FEATURES:

1. THE LANDINGS SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO IT.
2. THE LANDING LENGTH SHALL BE A MINIMUM OF 60" (58" MIN. CLEAR).
3. IF RAMP'S CHANGE DIRECTION AT A LANDING, THE MINIMUM LANDING SIZE SHALL BE 60" BY 60" (58" MIN. BY 58" MIN.).
4. IF A DOORWAY IS LOCATED AT A LANDING, THEN THE AREA IN FRONT OF THE DOORWAY SHALL COMPLY WITH 4.1.3.4.

HANDRAILS: IF A RAMP RUN HAS A RISE GREATER THAN 1/4" (19 MM) OR A HORIZONTAL PROJECTION GREATER THAN 1/4" (19 MM), THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS SHALL HAVE THE FOLLOWING FEATURES:

1. HANDRAILS SHALL BE PROVIDED ALONG BOTH SIDES OF RAMP SEGMENTS. THE INSIDE HANDRAIL ON ONE SIDE OF A DOUBLE RAMP SHALL ALWAYS BE CONTINUOUS.
2. IF HANDRAILS ARE NOT CONTINUOUS, THEY SHALL EXTEND AT LEAST 12" (305 MM) BEYOND THE TOP AND BOTTOM OF THE RAMP SEGMENT AND SHALL BE PARALLEL WITH THE FLOOR OR GRADING SURFACE.

CHARACTER PROPORTIONS: LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH TO HEIGHT RATIO BETWEEN 3:5 AND 1:10. LETTERS AND NUMBERS SHALL BE AT LEAST 1/8" (3.175 MM) HIGH. LETTERS SHALL BE AT LEAST 3/16" (4.7625 MM) HIGH, BUT NO HIGHER THAN A NOMINAL 2" (51 MM).

TACTILE CHARACTERISTICS: BRaille, TACTILE, OR PICTOGRAPHIC ON TACTILE SIGNS SHALL BE RAISED 1/32" (1.5875 MM) MINIMUM. RAISED LETTERS AND NUMBERS SHALL BE SAND SURF UPPERCASE CHARACTERISTICS. RAISED CHARACTERS OR SYMBOLS SHALL BE AT LEAST 1/8" (3.175 MM) HIGH, BUT NO HIGHER THAN A NOMINAL 2" (51 MM).

DOOR DELAY FOR CAR CAGES: MINIMUM TIME FOR ELEVATOR DOORS TO REMAIN FULLY OPEN IN RESPONSE TO A CAR CALL SHALL BE 3 SECONDS.

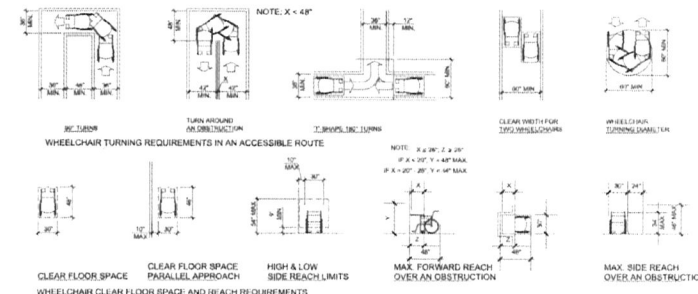
CLEAR FLOOR SPACE: CLEAR FLOOR SPACE 36" BY 60" (58" MIN. BY 138" MIN.) SHALL BE PROVIDED IN FRONT OF ENTRANCES TO ALLOW FORWARD APPROACH. THIS CLEAR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL COMPLY WITH 4.2.4. PRIVATE SHOWERS ALLOWING LESS THAN 36" (914 MM) CLEAR WIDTH SHALL NOT EXTEND BEYOND THE FRONT EDGE OF THE SHOWER PAN.

EMERGENCY ALARMS: EMERGENCY ALARMS SHALL PRODUCE A SOUND THAT EXCEEDS THE PREVIOUSLY EQUIVALENT SOUND LEVEL IN THE ROOM OR SPACE BY AT LEAST 15 DB(A) DETECTABLE BY EXCEEDING ANY MAXIMUM SOUND LEVEL WITH A DURATION OF 10 SECONDS BY 15 DB(A). VISUAL ALARMS: VISUAL ALARMS SHALL BE FLASHING LIGHTS ARRANGED TO FLASH IN CONJUNCTION WITH THE AUDIBLE EMERGENCY ALARMS. THE FLASHING FREQUENCY OF VISUAL ALARMS SHALL BE APPROXIMATELY 1 Hz. SPECIALIZED SYSTEMS USING ADVANCED TECHNOLOGY MAY BE SUBMITTED IF EQUIVALENT PROTECTION IS PROVIDED. HANDICAPPED USES OF THE BUILDING OR FACILITY.

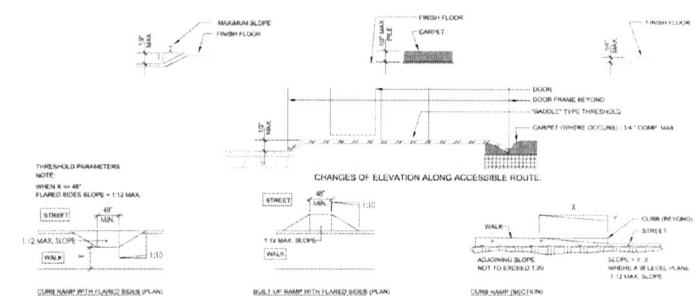
ALARM: ALARMS PROVIDED FOR PERSONS WITH HEARING IMPAIRMENTS SHALL BE CONNECTED TO THE BUILDING EMERGENCY SYSTEM OR THEIR OWN. A STANDARD 100 VOLT ELECTRICAL RECEPTACLE WITH AN ALARM UNIT SHALL BE CONNECTED TO THE BUILDING ALARM SYSTEM. INSTRUCTIONS FOR USE OF THE ALARM SHALL BE PROVIDED.

SYMBOLS OF ACCESSIBLE FACILITIES: FACILITIES ARE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE 1800.

AUTOMATIC OPERATOR/OPERATION SHALL BE AUTOMATIC. EACH CAR SHALL BE EQUIPPED WITH A SELF-LEVELING FEATURE THAT WILL AUTOMATICALLY BRING THE CAR TO LEVEL LANDINGS WITHIN A TOLERANCE OF 1/16" (1.5875 MM) UNLESS IT IS LOADING TO ZERO LOADING CONDITIONS. THIS SELF-LEVELING FEATURE SHALL BE AUTOMATIC AND INDEPENDENT OF THE OPERATING DEVICE AND SHALL CORRECT FOR UNEXPECTED OR UNDESIRABLE



ACCESSIBLE ROUTES & NOTES 01



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DATE: ISSUED:

PROJECT:  
**AFFICIONADO COFFEE ROASTER**

PROJECT ADDRESS:  
750 11TH AVENUE  
NEW YORK, NY 10019

DRAWING TITLE:  
ACCESSIBILITY NOTES

DOB PAGE NUMBER:  
2 OF 10

DRAWING NO:

**A 001.00**

DATE:  
11.20.21





MBL#	TAG	QTY	DESCRIPTION/FIXTURE TYPE	MANUFACTURER	MOUNTING	WATTS PER FIXTURE	TOTAL WATTS	NOTES
F-1	12		NOVA LARGE ROUND SURFACE MT 9" W/ CONDUIT	NOVA	CEILING SURFACE MOUNT	15W/LAMP	180W	SEE SUBMITTAL FOR FURTHER INFO
F-2	10		TECH LIGHTING ELEMENT 2" LED (ROUND FLANGELESS BEVEL)	TECH LIGHTING	CEILING RECESSED	12W/LAMP	120W	SEE SUBMITTAL FOR FURTHER INFO
F-3	4		PENDANT FIXTURE (SPEC TBD - STANDARD J-BOX)	TBD	SUSPENDED	10W/LAMP	40W	SEE SUBMITTAL FOR FURTHER INFO
F-4	4		WALL SCENES (SPEC TBD) (HEIGHT AFF TBD)	TBD	WALL MOUNTED	8W/LAMP	32W	SEE SUBMITTAL FOR FURTHER INFO
F-5	1		LED STRIP LIGHT (SPEC TBD) APPROX. 1/4" LONG LENGTH UNF	TBD	AT ALCOVE	4W/FT	36W	SEE SUBMITTAL FOR FURTHER INFO
							+80W TOTAL	

DOTAL INTERIOR POWER

INTERIOR LIGHTING POWER REQUIREMENTS AS PER NYC ECCC TABLE 505.5.2

W-3: ALLOWED	→ W-3F ALLOWED
F-3: ALLOWED	608 + 9 ALLOWED
W-1:5F	400W/8F
UTUAL 4-9	.81 4-9
HEREFORE, OK.	THEREFORE, OK.

**ENERGY CODE ANALYSIS**

ENERGY CODE PRESCRIPTIVE TABULAR ANALYSIS: 2014 ECCCNY (ECCCNY) COMPLIANCE TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ECCCNY.

COMMENTS: INTERIOR RENOVATION OF EXISTING SPACE, INCLUDING INTERIOR PARTITIONS, FINISHES, PLUMBING, AND HVAC AT FIRST FLOOR ONLY. NO CHANGE TO EXISTING EXTERIOR FACADE.

NYECCC CITATION	ITEM DESCRIPTION	PROPOSED DESIGN VALUE	CODE-PREScribed VALUE AND CITATION
C402.2.1 & T402.2	ABOVE-GRADE WALLS ALL WALLS EXISTING. NO CHANGE UNDER THIS APPLICATION		EXTERIOR OF THE BUILDING AND COMPLETELY ABOVE GRADE OR WALLS THAT ARE MORE THAN 10% ABOVE GRADE. SECTION C402.2.3

MASS	R-11.00
INSULATION	R-9.50
METAL-BUILDING	R-1.3 + R-1.00
METAL-FRAMED	R-1.3 + R-1.00
WOOD-FRAMED	R-1.3 + R-1.00 or R-2.00

C402.3.1 & T402.2 & T402.3 MAXIMUM AREA EXISTING FENESTRATION AREA TO REMAIN THIS APPLICATION

FIXED FENESTRATION	0.38
OPERABLE FENESTRATION	0.45
EXTRANEOUS GLAZES	0.17
GLAZES	0.40
SKYLIGHTS	0.50
ROLL UP SLIDING	144.75
SKYLIGHTS (LESS THAN 50% OF GLASS)	1.00

THE VERTICAL FENESTRATION AREA SHALL NOT EXCEED 30% OF THE GROSS ABOVE-GRADE WALL AREA. THE SKYLIGHT AREA SHALL NOT EXCEED 3% OF THE GROSS ROOF AREA.

C402.4.1.2.2 ASSEMBLIES ALL ASSEMBLIES TO COMPLY WITH REQUIRED VALUE

ASSEMBLIES OF MATERIALS AND COMPONENTS WITH AN AVERAGE AIR LEAKAGE NOT TO EXCEED 0.1 CFM/FT<sup>2</sup> @ 0.25 PSI UNDER A PRESSURE DIFFERENTIAL OF 0.25 PSI OR WATER GAUGE (10.13/75 PA) WHEN TESTED IN ACCORDANCE WITH ASTM

C402.4.1.2.3 BUILDING TEST ALL ASSEMBLIES TO COMPLY WITH REQUIRED VALUE

AIR LEAKAGE RATE OF THE BUILDING ENVELOPE SHALL NOT EXCEED 0.40 CFM/FT<sup>2</sup> AT A PRESSURE DIFFERENTIAL OF 0.25" WATER GAUGE (2.0 L/57M<sup>2</sup> AT 75 PA) IN ACCORDANCE WITH ASTM E-779

C402.4.3 AIR LEAKAGE OF FENESTRATION ALL ASSEMBLIES TO COMPLY WITH REQUIRED VALUE

THE AIR LEAKAGE OF FENESTRATION ASSEMBLIES SHALL TEST THE PROVISIONS OF TABLE C402.4.3.4 OR AS TESTED AT 1.57 PSI (105 PA)

C405.4 EXIT SIGNS SEE NOTE ON RCP

INTERNALLY ILLUMINATED EXIT SIGNS SHALL NOT EXCEED 5 WATTS PER SIDE

C405.5 INTERIOR LIGHTING POWER SEE COMPUTATIONS

A BUILDING COMPLIES WITH THIS SECTION IF ITS TOTAL CONNECTED LIGHTING POWER CALCULATED UNDER SECTION C405.5.1 IS NO GREATER THAN THE INTERIOR LIGHTING POWER CALCULATED UNDER SECTION C405.5.2. THE WATTAGE SHALL BE THE MINIMUM ILLUMINATED WATTAGE OF THE LUMINAIRE. C405.5.2 INTERIOR LIGHTING POWER ALLOWANCES: BUILDING AREA

BUILDING AREA TYPE	LPS (W/FT <sup>2</sup> )	BUILDING AREA (FT <sup>2</sup> )	WATTAGE (W)
RESIDENTIAL FACILITY	0.90	WAREHOUSE	0.60
COMMERCIAL OFFICE	1.20	WORKSHOP	1.50
COURTHOUSE	1.20		
STREET LIGHT FIXTURE	1.20		
DOWNLIGHT (AREA/FOOT) (FOOT)	1.40		
DRINK FOUNTAIN	1.00		
SHOW CASE	1.00		
TRUCK STOP	1.00		
TRUCK STOP	0.80		
STATION	1.10		
RETAIL STORE (LUM.)	1.00		
HOSPITAL	1.20		
TRUCK	1.00		
LIBRARY	1.50		
MANUFACTURING FACILITY	1.20		
RESTAURANT	1.00		
RESTAURANT	1.20		
RESTAURANT	0.70		
RESTAURANT	1.10		
OFFICE	0.90		
STORAGE GARAGE	0.30		
PLUMBING	1.00		
PLUMBING AREA HEATER	1.00		
POOL	1.00		
POOL	1.10		
RECREATION BUILDING	1.20		
RETAIL	1.40		
SCHOOL/UNIVERSITY	1.20		
SPORTS AREA	1.10		
TENNIS COURT	1.10		
TRANSPORTATION	1.00		

**ENERGY INSPECTIONS**

- THE FOLLOWING REQUIREMENTS ARE NECESSARY PRIOR TO OBTAINING FINAL COMPLETION LETTER. THESE ARE NOT FINAL AND SUBJECT TO ANY ADDITIONAL REQUIREMENTS AS REQUESTED BY THE NEW YORK CITY BUILDING DEPARTMENT:
  - INTERIOR LIGHTING POWER
  - LIGHTING CONTROLS
  - EXIT SIGNS
  - MAINTENANCE INFORMATION
- CLIENT TO RETAIN LICENSED ENGINEER/ARCHITECT TO PERFORM THESE PLUS ANY ADDITIONAL ENERGY INSPECTIONS AS REQUESTED BY THE DEPARTMENT OF BUILDINGS APPLICANT HAS NOT BEEN RETAINED FOR FIELD SUPERVISION OR TO PERFORM ENERGY INSPECTIONS.
- CONTRACTOR TO PROVIDE ARCHITECT, CLIENT & LANDLORD A MINIMUM OF 4 BUSINESS DAYS ADVANCE NOTICE IN WRITING PRIOR TO CLOSING UP CEILINGS, PATCHING DUE TO PROBING DUE TO CLOSING WITHOUT ARCHITECT'S REVIEW SHALL BE AT CONTRACTOR'S EXPENSE.

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 NEW YORK, NY 10019

DRAWING TITLE  
 ENERGY CODE COMPLIANCE

DOB PAGE NUMBER  
 4 OF 10

DRAWING NO

**EN 001**

DATE  
 14 JUN 2019

GENERAL NOTES:

REMOVE ALL EXISTING CEILING LIGHT FIXTURES & COVER PLATES  
 DEMO ALL WALL REGIONS AS NOTED. PATCH AND REPAIR AS REQUIRED

- 1 EXISTING ENTRY WALLS AND DOOR TO REMAIN
- 2 DEMO TILE AT ENTRY ONLY
- 3 DEMO WALLS TO FLOOR
- 4 DEMO FRAMED COLUMN
- 5 DEMO FRAMED REGION
- 6 CUT BACK WALL REGION TO ALIGN W/ ADJACENT WALL
- 7 REMOVE EXISTING HEATER GRILLES. REPLACE WITH NEW COVER.
- 8 DEMO EXISTING DRAIN & PLUMBING. FILED UNDER NYC DOB BIZ NO. M00394243-11
- 9 DEMO EXISTING WALLS AND DOOR
- 10 DEMO EXISTING PARTIAL HEIGHT WALL

DEMOLITION KEYED NOTES 03

X

DEMOLITION NOTE TAG - SEE CORRESPONDING  
 KEYED ON THIS SHEET



EXISTING DOOR TO BE REMOVED

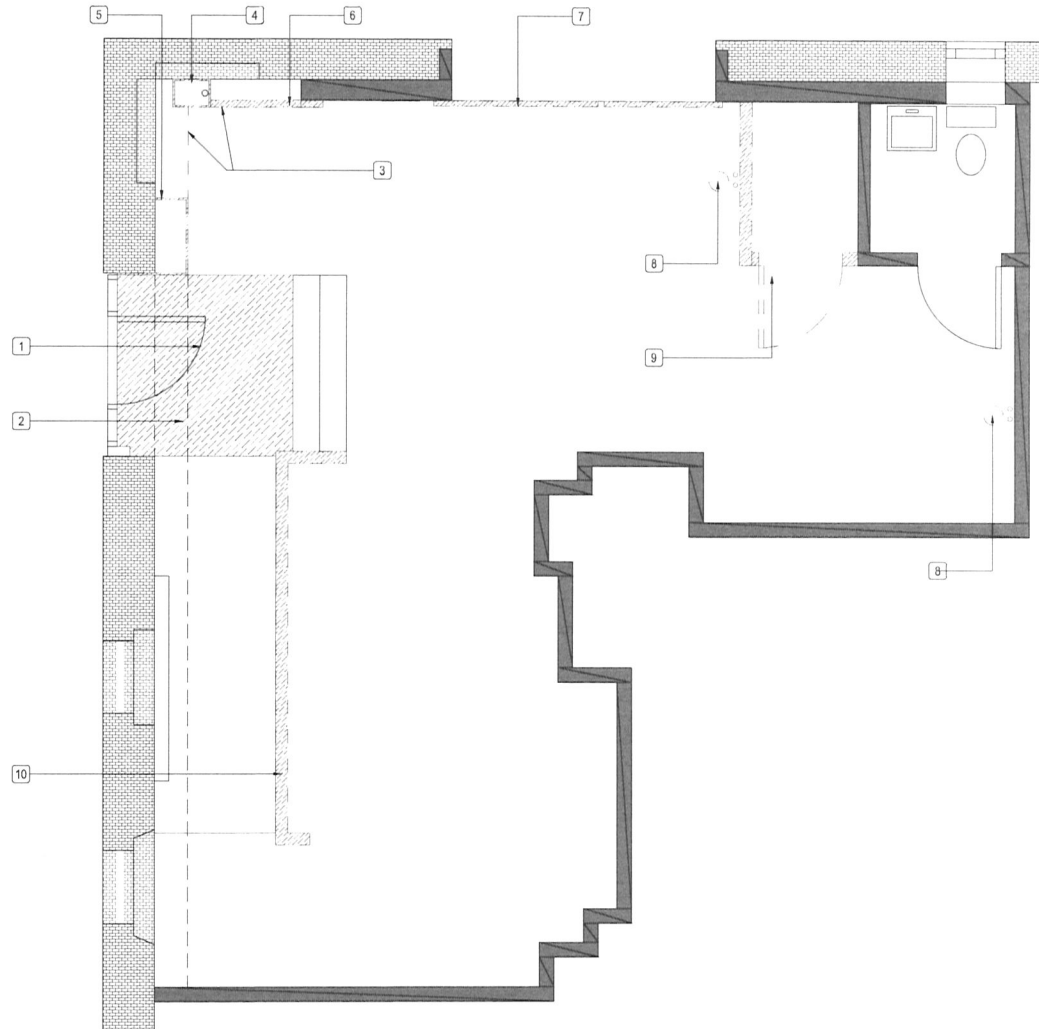


EXISTING PARTITION TO BE REMOVED



EXISTING PARTITION TO REMAIN

LEGEND 02



DEMOLITION PLAN 01  
 SCALE: 1/2" = 1'-0"

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 NEW YORK, NY 10019

DRAWING TITLE:  
 DEMOLITION PLAN

DOB PAGE NUMBER:  
 5 OF 10

DRAWING NO.

**D 100.00**

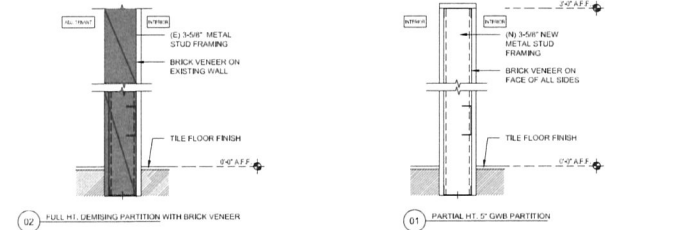
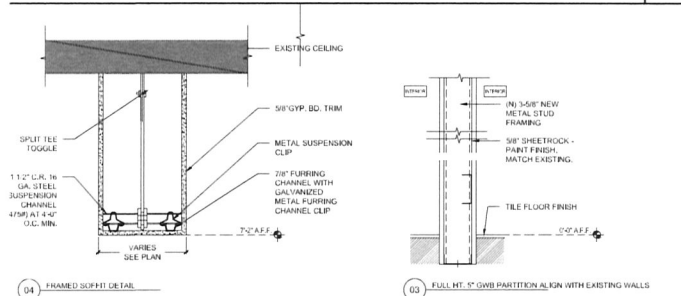
DATE:  
 12/22/21

GENERAL NOTES:

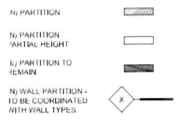
ALL DIMENSIONS TO FACE OF GYP./FINISH FACE

- 1 FRAME SOFFIT HEIGHT AT 7'-2" AFF. SEE DETAIL 04 AT 1/A100
- 2 FRAME BENCH HEIGHT AT 12" AFF. DEPTH ALIGNED WITH SOFFIT ABOVE.

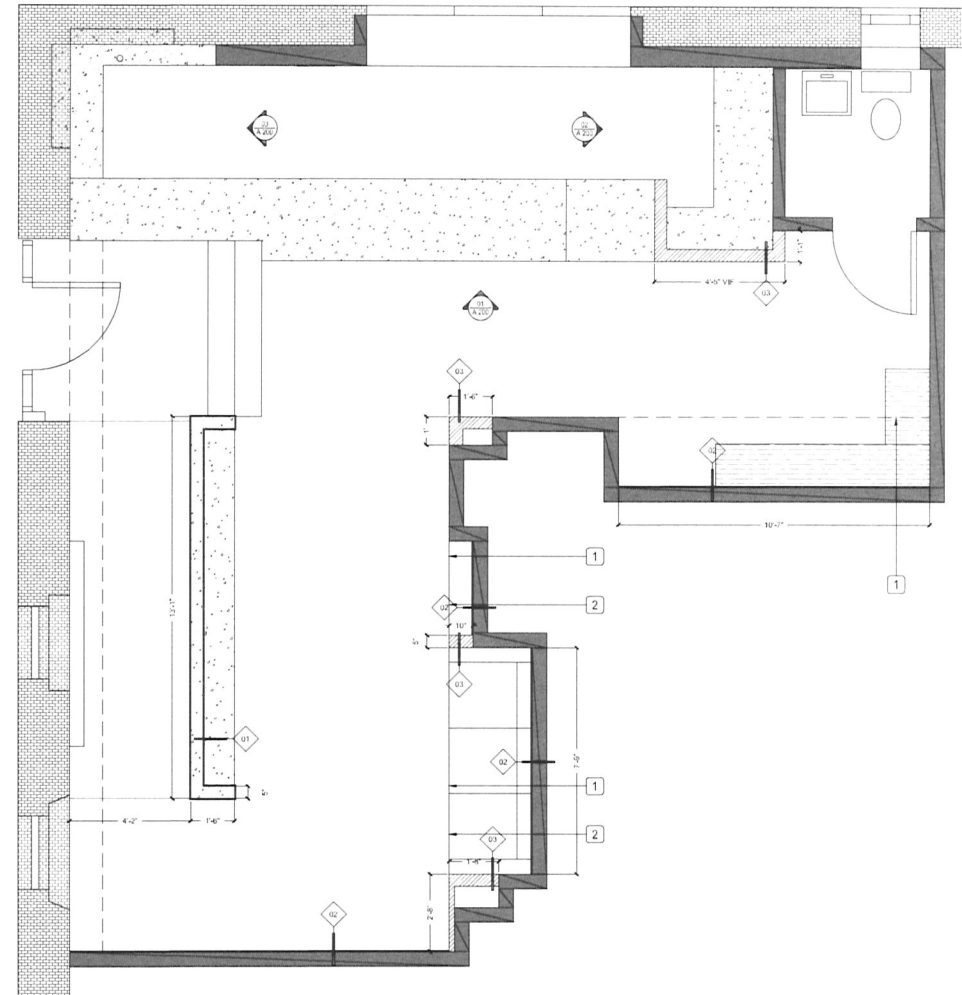
CONSTRUCTION KEYED NOTES 04



WALL TYPES 03  
SCALE: 1-1/2" = 1'-0"



LEGEND 02  
SCALE: 1-1/2" = 1'-0"



CONSTRUCTION PLAN 01  
SCALE: 1/2" = 1'-0"

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DRAWING TITLE:  
CONSTRUCTION PLAN

DOB PAGE NUMBER:  
6 OF 10

DRAWING NO:

A 100.00

DATE:  
10.28.20

1. EMERGENCY LIGHTS EXISTING. ALL NEW LIGHTS INSTALLED ON SEPARATE CIRCUIT.
2. ALL LIGHT FIXTURES SHALL BE FURNISHED BY THE OWNER INSTALLED BY THE CONTRACTOR.
3. ELECTRICAL CONTRACTOR TO VERIFY IF SERVICE PROVIDED IS ADEQUATE, IF NOT NOTIFY ARCHITECT IMMEDIATELY.
4. ALL EQUIPMENT SHALL BEAR UL LABELS.
5. CONTRACTOR TO USE LASER FOR LEVELING OF ALL SOFFITS, CEILINGS, AND SUSPENDED GRIDS.
6. ELECTRICAL CONTRACTOR MUST PROVIDE AN IDENTIFICATION NAMEPLATE ON TENANT'S MAIN ELECTRICAL SERVICE FUSIBLE DISCONNECT SWITCH IN LANDLORD'S DISTRIBUTION PANEL.
7. GC TO INSTALL ACCESS DOORS AS NECESSARY. CONFIRM LOCATIONS. ACCESS PANEL MUST BE FLUSH FRAMELESS GYPSUM PANELS.
8. LIGHT SWITCH INSTALLATION UNLESS OTHERWISE NOTED SHALL BE INSTALLED AT 44" AFF WITH CENTERLINE OF FIRST SWITCH 6" FROM ADJACENT DOOR PUCK OR ADJACENT WALL INTERSECTION UNLESS OTHERWISE NOTED. WHERE MORE THAN ONE SWITCH OCCURS IN THE SAME LOCATION, THEY SHALL BE INSTALLED IN GANG TYPE BOX UNDER ONE PLATE.

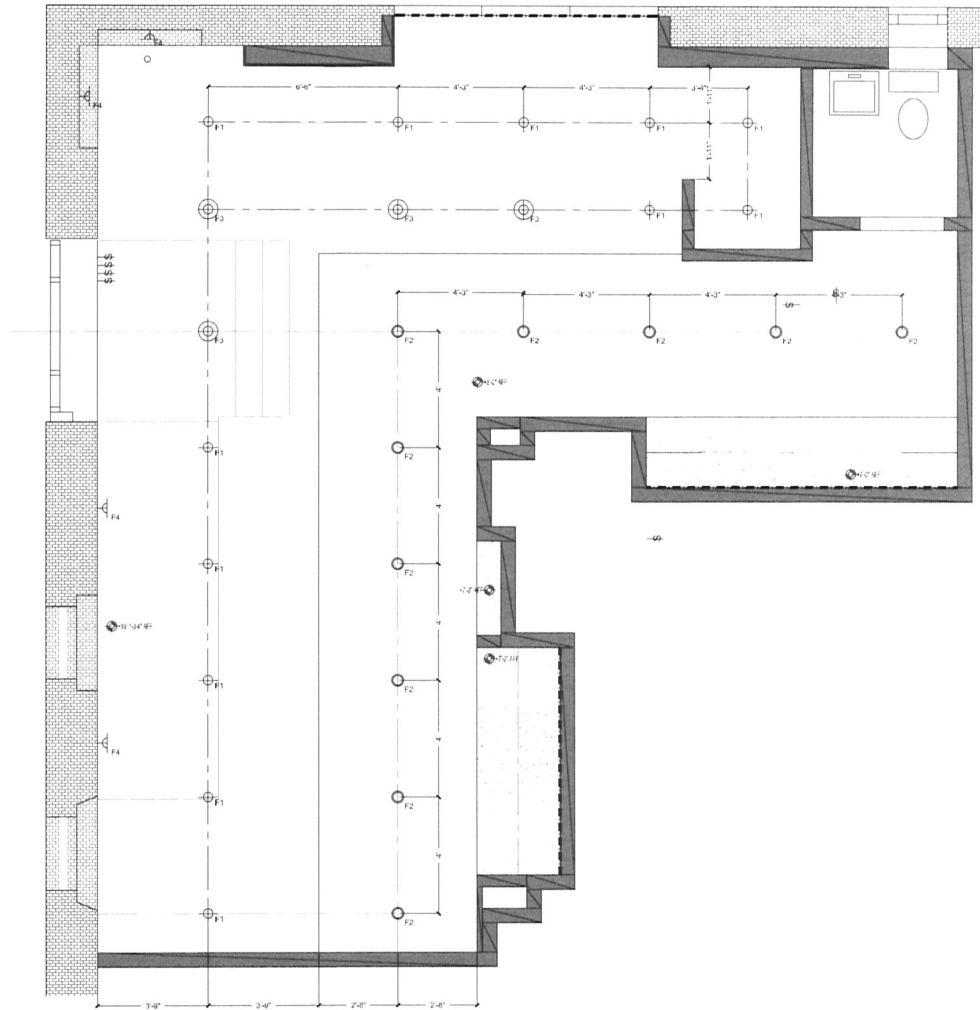
GENERAL NOTES 04

SYMBOL	TYPE	QTY.	DESCRIPTION	MANUF.	WATTS/LAMPS
⊕	F1	12	NOVA LARGE ROUND SURFACE MT 6" W/ CONDUIT	NOVA	15W/1LAMP
○	F2	10	TECH LIGHTING ELEMENT 2" LED (ROUND FLANGELESS BEVEL)	TECH LIGHTING	12W/1LAMP
⊕	F3	4	PENDANT FIXTURE (SPEC TBD - STANDARD J-BOX)	TBD	10W/1LAMP
▽	F4	4	WALL SCONCES (SPEC TBD) (HEIGHT AFF TBD)	TBD	8W/1LAMP
---	F5	1	LED STRIP LIGHT (SPEC TBD) APPROX. 9'-0" LONG, LENGTH VIF	TBD	4W/FT

LIGHTING SCHEDULE 03

NOVA LARGE ROUND SURFACE MT 6" W/ CONDUIT	⊕
TECH LIGHTING ELEMENT 2" LED (ROUND FLANGELESS BEVEL)	○
PENDANT FIXTURE (SPEC TBD - STANDARD J-BOX)	⊕
WALL SCONCES (SPEC TBD) (HEIGHT AFF TBD)	▽
LED STRIP LIGHT (SPEC TBD)	---
EXPOSED CONDUIT	---

LEGEND 02



REFLECTED CEILING PLAN 01  
SCALE: 1/2" = 1'-0"

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DRAWING TITLE  
REFLECTED CEILING PLAN

DOB PAGE NUMBER  
7 OF 10

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A 110.00

DATE  
12-18-20



1. ALL OUTLETS SHALL BE INSTALLED AS DIMENSIONED. ON THIS PLAN ANY DISCREPANCIES AS TO LOCATION BETWEEN PLAN AND EXISTING FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT BEFORE COMMENCEMENT OF WORK.
2. ALL ELECTRICAL AND TELEPHONE WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE ELECTRICAL CODE, NATIONAL BOARD OF FIRE UNDERWRITERS, PUBLIC UTILITIES COMPANY, TELEPHONE COMPANY, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
3. THE GENERAL CONTRACTOR SHALL PROVIDE ALL CUTTING AND PATCHING OF ALL CHASES IN FLOOR, WALLS, AND CEILING AS REQUIRED.
4. ALL SURFACES WITH EXISTING OUTLETS TO BE REMOVED, SHALL BE PATCHED FLUSH WITH ADJAENT WALL SURFACES.
5. GC SHALL VERIFY THE AVAILABLE ELECTRIC SERVICE IN THE TENANT'S SPACE AND ADVISE THE ARCHITECT OF HIS FINDING S PRIOR TO SUBMITTING A BID. GC MUST VERIFY PRIOR TO BIDS, AND INCLUDE COST FOR A PROPERLY SIZED AND TYPE SERVICE REGARDLESS OF EXISTING CONDITIONS AND LOCATION OF ELECTRIC ROOMS.
6. CENTERLINE TO CENTERLINE DIMENSIONS OF ANY OUTLET PAIR OR GROUP SHALL NOT EXCEED 6".
7. PROVIDE MINIMUM 10% SPARE CIRCUITS IN EXISTING ELECTRICAL PANEL.
8. EXISTING SEPARATE CIRCUITS OR OTHER CIRCUITS BEING REMOVED DURING DEMOLITION AND NOT REVISED IN THIS PROJECT SHALL BE DISCONNECTED AT THE PANEL BOARD CIRCUIT BREAKER. CIRCUIT BREAKER SHALL BE PLACED IN THE "OFF" POSITION AND THE PANEL BOARD DIRECTLY CONNECTED TO INDICATE SPACE FOR RESPECTIVE CIRCUITS.
9. GC IS RESPONSIBLE FOR PROVIDING ANY REQUIRED CONDUITS, JUNCTION BOXES, AND DRAG LINES NEEDED FOR AV EQUIPMENT. COORDINATE WITH ALL OTHER VENDORS.
10. GC TO PROVIDE DISPOSAL CONTAINER FOR AV PACKING AND INSTALL MATERIALS.

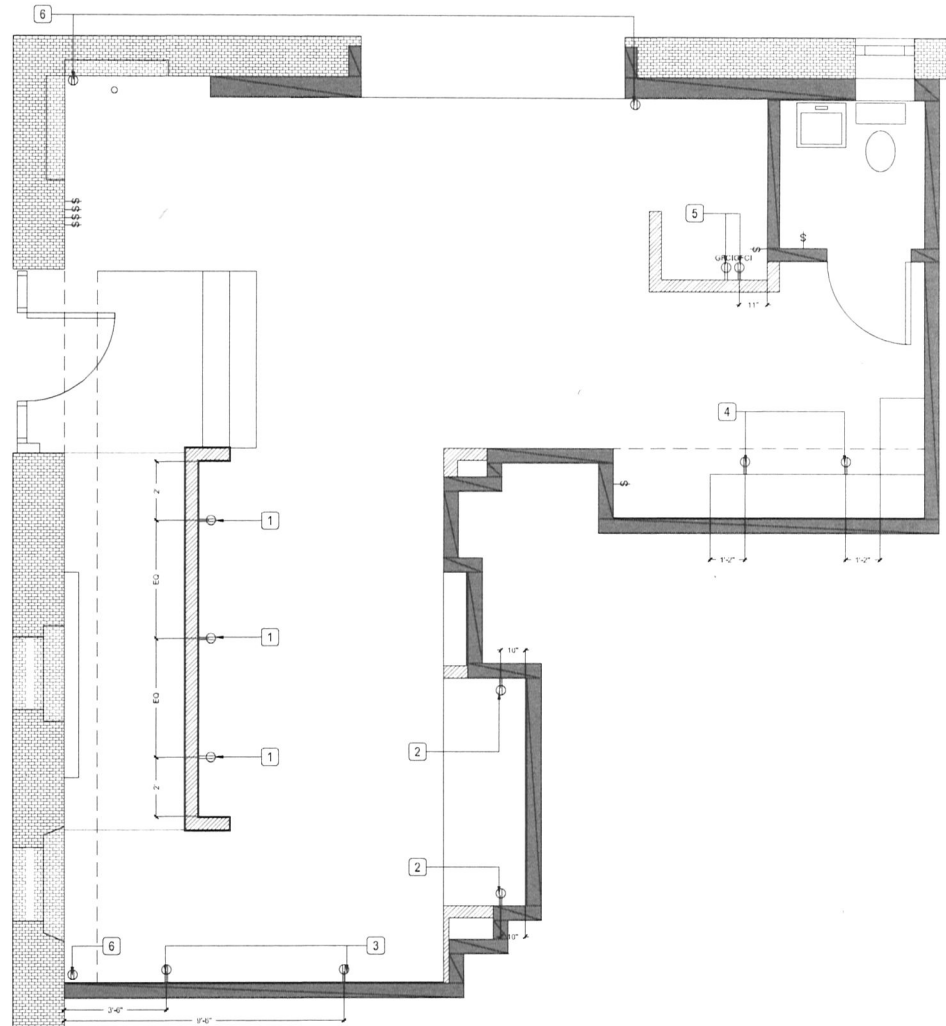
GENERAL NOTES 04

- 1 RECEPTACLES BELOW COUNTER
- 2 RECEPTACLES ABOVE SOFA
- 3 CONVENIENCE OUTLET 12" AFF
- 4 RECEPTACLE AT BENCH BASE
- 5 RECEPTACLES ABOVE COUNTER
- 6 CEILING MOUNTED FOR SONOS

POWER PLAN KEYED NOTES 03

SYMBOL	QTY.	DESCRIPTION	MANUFACTURER	PRODUCT
Ⓚ	10	DUPLEX RECEPTACLE	STANDARD BY GC	STANDARD BY GC
Ⓚ GFCL	2	GFCL DUPLEX RECEPTACLE	STANDARD BY GC	STANDARD BY GC
Ⓚ	3	DUPLEX RECEPTACLE CEILING MOUNTED	STANDARD BY GC	STANDARD BY GC
Ⓚ	7	LIGHT SWITCH	STANDARD BY GC	STANDARD BY GC

POWER SCHEDULE 02



POWER PLAN 01

SCALE: 1/2" = 1'-0"

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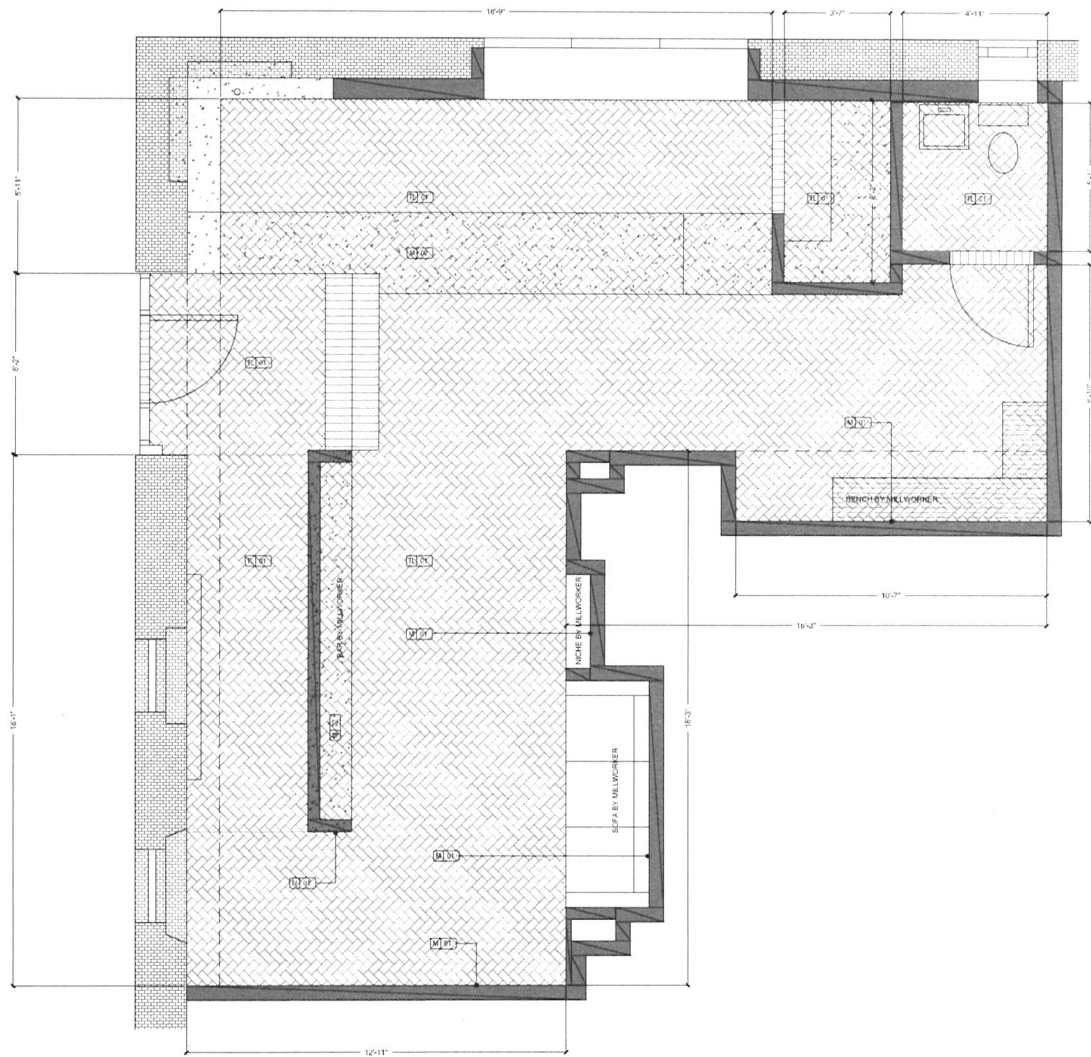
DRAWING TITLE  
 POWER PLAN

DOB PAGE NUMBER  
 8 OF 10

DRAWING NO

**A 120.00**

DATE:  
 10/22/20



DATE:	ISSUED

TYPE	KEY	DESCRIPTION	PRODUCT	COLOR/FINISH
TILE	TL 01	TERRACOTTA TILE	SPEC BY OWNER	HERRINGBONE PATTERN
	PT 01	WALL / CEILING PAINT	SPEC BY OWNER	SPEC BY OWNER
MASONRY	M 01	BRICK VENEER ON WALLS		
	M 02	STONE COUNTERTOPS	BY MILLWORKER	BY MILLWORKER
WOOD	W 01	WIRE BRUSHED OAK PANELS	BY MILLWORKER	BY MILLWORKER

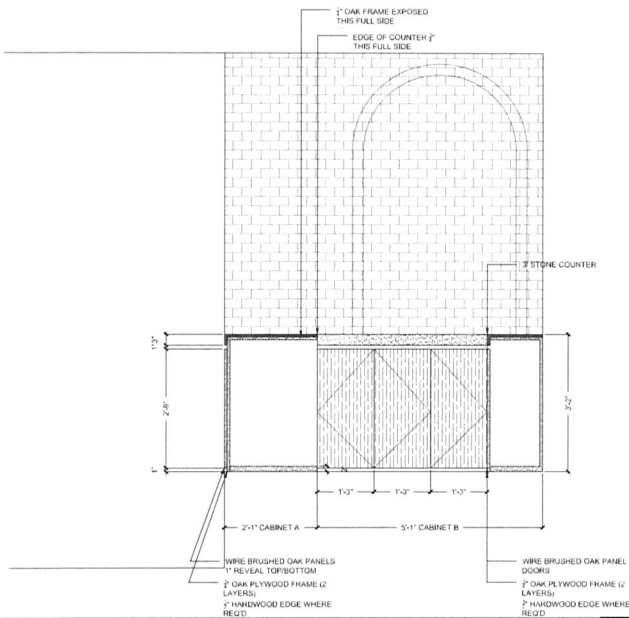
FINISH SCHEDULE 02

FINISH PLAN 01

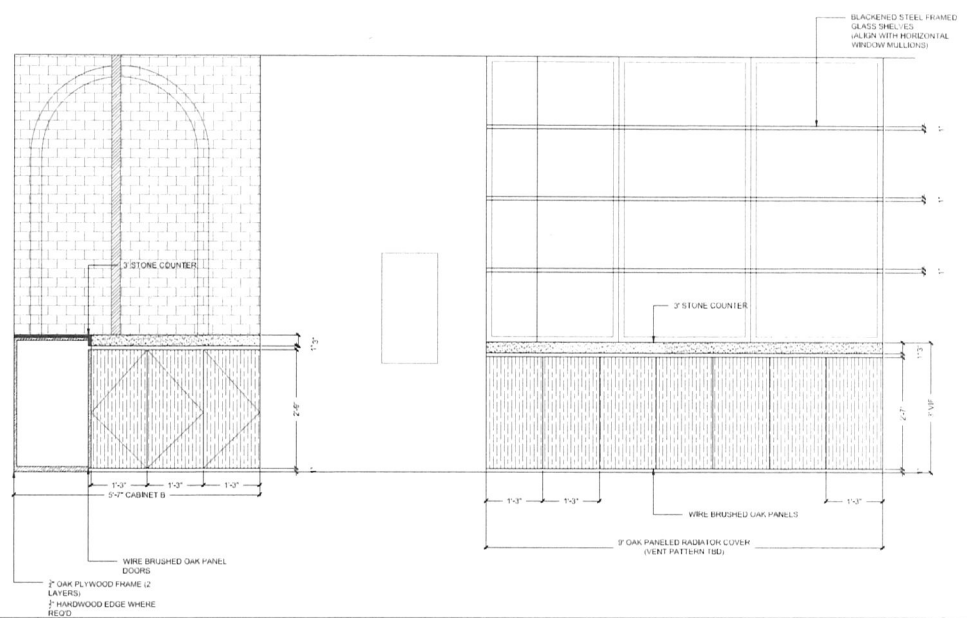
SCALE: 1/2" = 1'-0"

PROJECT	AFFICIONADO COFFEE ROASTER
PROJECT ADDRESS:	750 11TH AVENUE NEW YORK, NY 10019
DRAWING TITLE	FINISH PLAN
DOB PAGE NUMBER	9 OF 10
DRAWING NO.	A 130.00

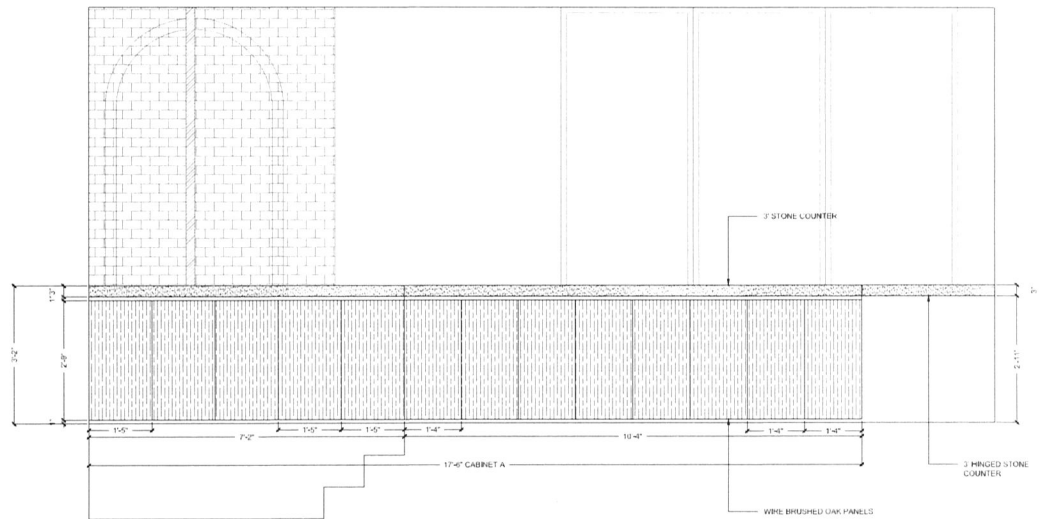
DATE: 11.22.20



MILLWORK ELEVATION C  
SCALE: 3/4" = 1'-0"



MILLWORK ELEVATION B  
SCALE: 3/4" = 1'-0"



MILLWORK ELEVATION A  
SCALE: 3/4" = 1'-0"

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DRAWING TITLE  
INTERIOR ELEVATIONS

DOB PAGE NUMBER  
9 OF 10

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A 200.00

DATE  
11.22.20







AFFICIONADO  
C O F F E E R O A S T E R S

• BITES •

House Focaccia	5
Puffy taboon baked bread brushed with olive oil, rosemary, sage, fleur de sel	
Hummus	14
Homemade hummus with schoog, lemon, olive oil(add brown egg for \$3)	
Trio	15
Hummus, tzaziki, spicy feta	
Cauliflower	17
Au gratin, whipped feta & za'atar, crushed tomato, olive oil	
Brunch Sambusak	15
Taboon bread stuffed with feta cheese, jalapeño, onion, brown egg	
Baby Gem & Freese Salad	17
Medjool dates, watermelon, radish, nigella, red onion, pumpkin seeds, aged parmigiano reggiano, avocado champagne vinaigrette	
Atlantic Salmon	26
Grilled multigrain toast, Mediterranean avocado mash, shishito peppers, soft boiled egg	
Chef's Granola	15
Homemade toasted granola, oats, honey, greek yogurt, fresh seasonal fruit	

• COFFEE •

Drip Coffee Signature 12oz	2.5
Drip Coffee Signature 16oz	3
Pour Over 12oz	5
Pour Over 16oz	6
Espresso	3.5
Americano	3.5
Macchiato	4
Cortado	4.25
Cappuccino 8oz	4.5
Latte 12oz	4.75

• WINE •

WHITE

Bollini Pinot Grigio, Vigneti Delle Dolomiti '18  
Chablis 1erCru, Billaud-Samuel 'Les Vaillons,' '17  
Aphros Vinho Verde, Loureiro, Portugal '19

RED

Alta Vista Estate Malbec, Mendoza, Argentina '19  
Vino Nobile di Montepulciano, Salcheto, Tuscany '17  
Aphros Vinho Verde, Loureiro, Portugal '19

ROSÉ

Bieler Pere & Fils Rosé, Sabine '19  
Jean-Max Roger Rosé, Sancerre, France '19

• COCKTAILS •

Japanese Blossom	13
Afficionado Blossom tea, gin, fresh lime juice, yuzu, lemongrass prosecco foam	
Cold Brewtini	15
Afficionado Magical Cold Brew, vodka, Licor 43, cinny syrup, ancho chile & Madagascar vanilla reduction	
La Flor	12
Afficionado Sparkling Cascara, mezcal, solerno liquer, sage, cranberry & blood orange reduction	



NYC Department of Buildings  
Property Profile Overview

<b>750 11 AVENUE</b>		<b>MANHATTAN 10019</b>	<b>BIN# 1086230</b>
11 AVENUE	750 - 750	Health Area : 4500	Tax Block : 1081
WEST 53 STREET	554 - 554	Census Tract : 135	Tax Lot : 60
		Community Board : 104	Condo : NO
		Buildings on Lot : 1	Vacant : NO
<a href="#">View DCP Addresses...</a>	<a href="#">Browse Block</a>		
<a href="#">View Zoning Documents</a>	<a href="#">View Challenge Results</a>	<a href="#">Pre - BIS PA</a>	<a href="#">View Certificates of Occupancy</a>

**VIOLATION FOR FAILURE TO CERTIFY CORRECTION OF CLASS 1 VIOLATION EXISTS ON THIS PROPERTY - DOB CIVIL PENALTIES DUE**

Cross Street(s):	WEST 52 STREET, WEST 53 STREET		
DOB Special Place Name:			
DOB Building Remarks:	BLOCK 1081/ NEW LOT 60 (5.10) LTS. 61,160,60 MERGE		
Landmark Status:		Special Status:	N/A
Local Law:	NO	Loft Law:	NO
SRO Restricted:	NO	TA Restricted:	NO
UB Restricted:	NO		
Environmental Restrictions:	N/A	Grandfathered Sign:	NO
Legal Adult Use:	NO	City Owned:	NO
Additional BINs for Building:	<a href="#">1081716</a>		
HPD Multiple Dwelling:	Yes		

Special District: CL - CLINTON

This property is not located in an area that may be affected by Tidal Wetlands, Freshwater Wetlands, Coastal Erosion Hazard Area, or Special Flood Hazard Area. [Click here for more information](#)

Department of Finance Building Classification: D5-ELEVATOR APT  
 Please Note: The Department of Finance's building classification information shows a building's tax status, which may not be the same as the legal use of the structure. To determine the legal use of a structure, research the records of the Department of Buildings.

	Total	Open	<a href="#">Elevator Records</a>
<a href="#">Complaints</a>	31	1	<a href="#">Electrical Applications</a>
<a href="#">Violations-DOB</a>	37	5	<a href="#">Permits In-Process / Issued</a>
<a href="#">Violations-OATH/ECB</a>	23	3	<a href="#">Illuminated Signs Annual Permits</a>
<a href="#">Jobs/Filings</a>	51		<a href="#">Plumbing Inspections</a>
<a href="#">ARA / LAA Jobs</a>	6		<a href="#">Open Plumbing Jobs / Work Types</a>
Total Jobs	57		<a href="#">Facades</a>
Total Actions	0		<a href="#">Marquee Annual Permits</a>
OR Enter Action Type: <input type="text"/>			<a href="#">Boiler Records</a>
OR Select from List: <input type="text" value="Select..."/>			<a href="#">DEP Boiler Information</a>
AND <input type="text" value="Show Actions"/>			<a href="#">Crane Information</a>
			<a href="#">After Hours Variance Permits</a>