



CITY OF NEW YORK  
**MANHATTAN COMMUNITY BOARD FOUR**  
330 West 42<sup>nd</sup> Street, 26<sup>th</sup> floor New York, NY 10036  
tel: 212-736-4536 fax: 212-947-9512  
[www.nyc.gov/mcb4](http://www.nyc.gov/mcb4)

**Burt Lazarin**  
Chair

**Jesse R. Bodine**  
District Manager

May 16, 2018

Luis Sanchez  
Manhattan Borough Commissioner  
NYC Department of Transportation  
59 Maiden Lane, 37<sup>th</sup> Floor  
New York, NY 10037

Edward Schnell  
Director of Revocable and Security Consents  
NYC Department of Transportation  
59 Maiden Lane  
New York, NY 10037

William Castro  
Manhattan Borough Commissioner  
NYC Department of Parks & Recreation  
24 W. 61st Street, 5<sup>th</sup> Floor  
New York, NY 10023

**Re: Streetscape Review for Public Design Commission Streetscape and Safety submission with DOT - Hudson Yards East – 33<sup>rd</sup> Street – 11<sup>th</sup> Avenue**

Dear Commissioner Sanchez, Director Schnell, and Commissioner Castro,

At its May 2nd Full Board meeting, with a vote of 40 in favor, 1 against, 2 abstaining and 0 present but not eligible to vote, Manhattan Community Board 4 (MCB4) approves

(1) The consent for the plaza distinctive paving to be extended to the sidewalk and  
(2) Crushed granite to be installed in the tree pits - provided the applicant agrees to modify its design and add the following pedestrian safety features:

- Reduce the tree pit width from 5'6" to 4', thus making the pedestrian path 9'6" wide
- Reduce the eastern driveway width by at least 6' from 30' to 24'

- Install a signal to protect pedestrians crossing 33<sup>rd</sup> Street from vehicles exiting the eastern driveway
- Create a neck down on the western side of the eastern driveway.
- Widen the pedestrian crossings of 33<sup>rd</sup> Street on each side of the eastern driveway

At its meeting on March 18, 2018, the Transportation Committee of MCB4 identified several concerns related to the implications of this consent on overall pedestrian safety on what will be a very busy street providing access to the # 7 subway station for the Hudson Yards complex.

These concerns are related to how the proposal will impact pedestrian safety in view of the projected pedestrian crowding due to insufficient sidewalk capacity and the interactions of the driveways with the pedestrians and other obstacles on the sidewalk.

The applicant subsequently met with a few committee members to understand in detail the various safety implications and concerns related to this consent. In light of such, they agreed to install the safety features described above. Their commitment letter and new plans are attached.

Sincerely,



Burt Lazarin  
Chair  
Manhattan Community  
Board 4



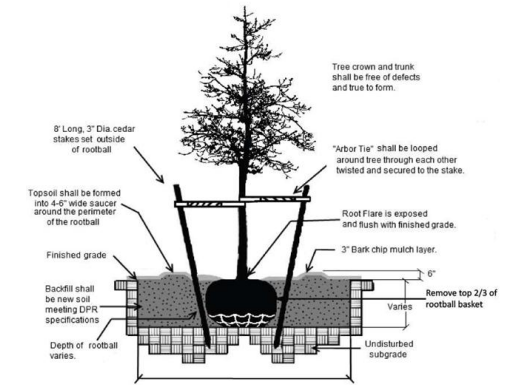
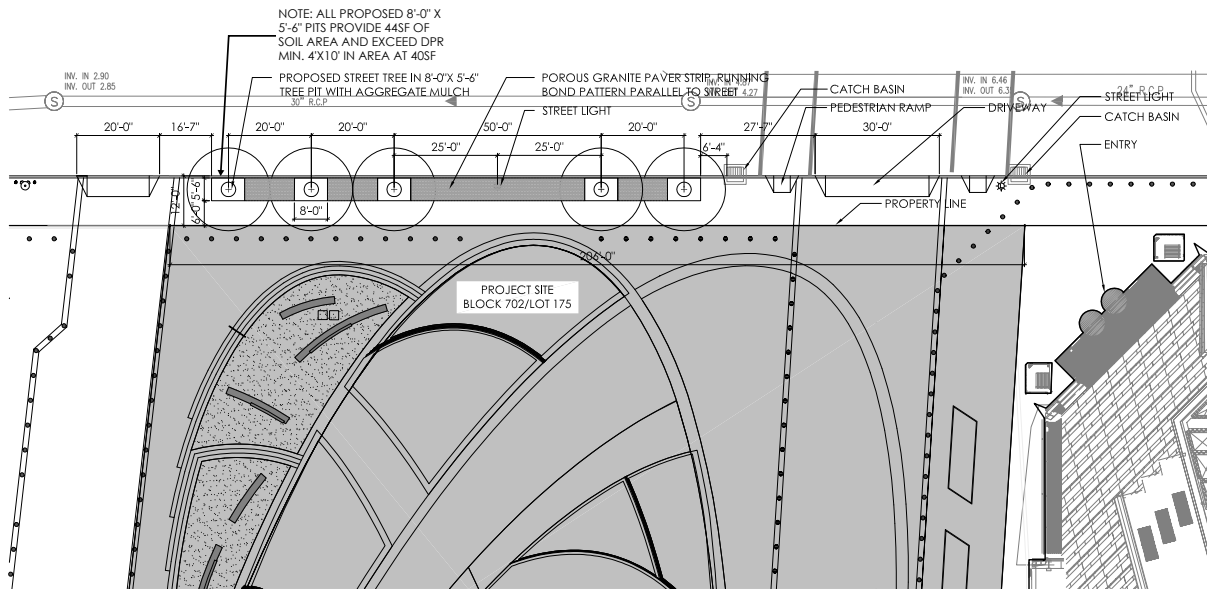
Christine Berthet  
Co-Chair  
Transportation Planning  
Committee



Dale Corvino  
Co-Chair  
Transportation Planning  
Committee

Enclosure

Cc: Signe Nielson, President, NYC Public Design Commission  
Colleen Chattergoon, NYC Department of Transportation  
Russell Kempf, Related Companies



1 TREE PLANTING AND STAKE DETAIL  
SCALE: N.T.S.

NOTES:

|  |   |
|--|---|
| Total number of trees required by NYC DOB: |   |
| • Existing trees to protect                | 0 |
| • Proposed trees to remove/relocate        | 0 |
| • Proposed trees to plant onsite           | 5 |
| • Trees to plant offsite                   | 0 |
| • Trees to pay into tree fund - onsite     | 0 |
| • Trees to pay into tree fund - offsite    | 3 |

\*\* All pit sizes indicated are to be fully excavated to the dimensions labeled and replaced with new top soil to NYC Parks Standards

NOTES CONTINUED:

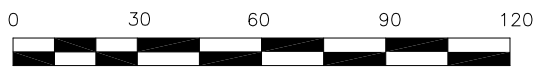
Will follow all NYC Parks tree planting specifications. All pit sizes indicated are to be fully excavated to the dimensions labeled and replaced with new topsoil to NYC Parks Standards.

NYC Parks reserves the right to revoke an approved plan at any time. Any subsequent changes (i.e. utilities and/or infrastructure – gas/water/electric etc.) to the site after plan approval, nullifies approval. Changes must be disclosed to NYC Parks and the applicant must submit amended plans for re-approval.

Plan approval by NYC Parks does not constitute permission to plant, remove, transplant, or to work around existing trees under Parks jurisdiction. Any work done on or near a city tree requires a permit from NYC Parks. This includes utility, sidewalk, pruning or any other work within the drip line of a tree (within the right of way) done by the general contractor or any subcontractors. All trees within 50 ft. of construction must be protected in accordance with Parks standards throughout the duration of construction. Proper permit(s) and work order(s) must be obtained from the appropriate forestry office.



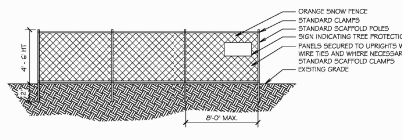
ENGLISH SCALE: 1 INCH = 30 FEET



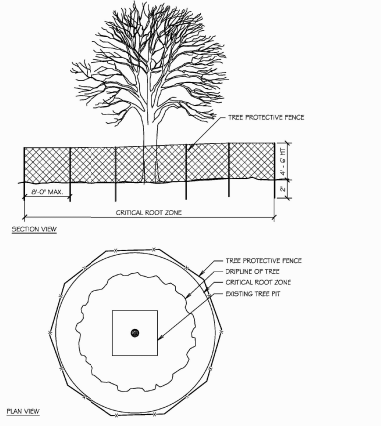
|  |           |                   |  |
|--|-----------|-------------------|--|
| HUDSON YARDS<br>530 WEST 33RD STREET<br>MANHATTAN              |           |                   |  |
| STREET TREE PLAN   |           |                   |  |
| NELSON BYRD WOLTZ<br>214 W. 29TH STREET,<br>NEW YORK, NY 10001 | SUITE 900 | DWE<br>01/05/2018 |  |
| Scale: 1" = 30'  |           | Sheet 1 of 3      |  |
| DOB Ref. No.: 140362104  |           | PARKS Ref. No.:   |  |

NOTE:  
Filed in conjunction with BIS # 140362104

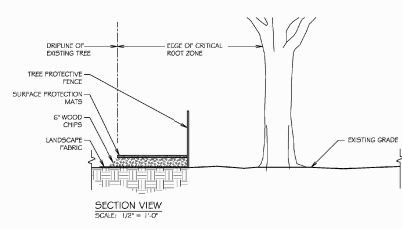
**1 TREE PROTECTIVE FENCE**  
SCALE: 1/4" = 1'-0"



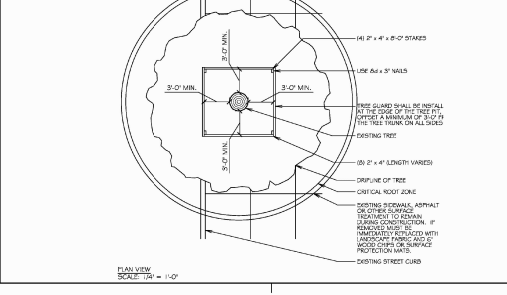
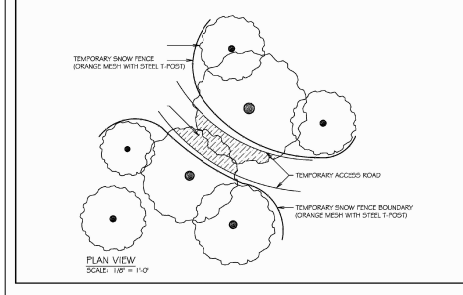
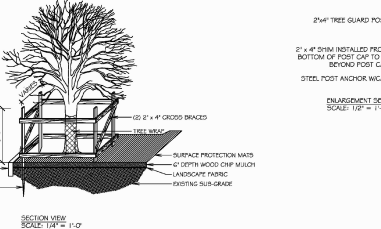
**3 TREE PROTECTIVE FENCE AT CRITICAL ROOT ZONE**  
SCALE: 1/4" = 1'-0"



**2 TREE PROTECTIVE FENCE WITH GROUND PROTECTION**  
SCALE: AS SHOWN

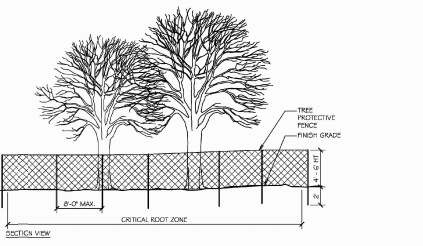


**4 TREE GUARD WITH CRITICAL ROOT ZONE GROUND PROTECTION**  
SCALE: AS SHOWN

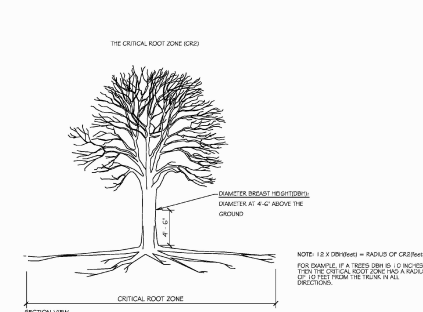


**2 PROTECTIVE FENCING AND TREE DECOMPACTION**  
SCALE: N.T.S.

**5 TREE PROTECTIVE FENCE FOR GROVES**  
SCALE: 1/4" = 1'-0"



**6 CALCULATING CRITICAL ROOT ZONE**  
SCALE: 1/4" = 1'-0"

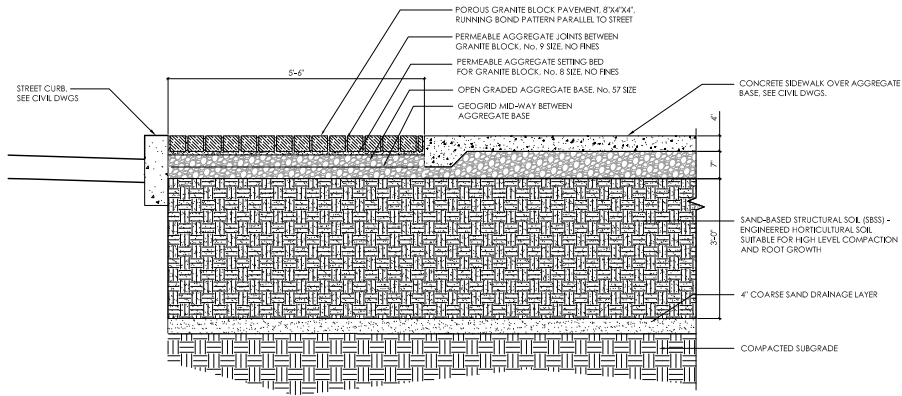


**Standard Tree Protection Notes for Permits and Plan Review**

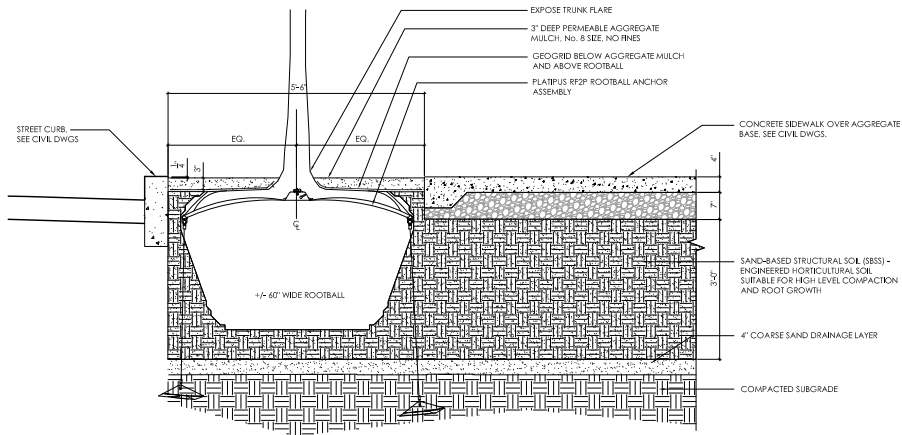
- Anyone performing Any and All work performed within 50 feet of a city tree must possess a permit issued by the NYC Parks Department to avoid unsafe, hazardous and other conditions which may be detrimental or potentially detrimental to any city tree. It is incumbent upon the applicant to ascertain as to whether or not there are any trees or tree roots situated within the city right of way. Any and all trees that fall within the jurisdiction of the NYC Parks Department are protected by law from any and all damage thereto including but not limited to any incidental damages, damage to the canopy, or damage to the trunk or root zone during and in the course of any and all construction activities, and also the aftermath of any and all construction activities. No cutting or otherwise damaging of tree roots is permitted. Any and all tree work must be performed in accordance with the terms of a permit can precipitate serious financial and legal repercussions. Violations and misdemeanors are punishable by a fine not to exceed \$15,000 and/or imprisonment for up to one year. Any and all applications relating to construction activities must be accompanied by the appropriate documentation as requested per P-A Forestry Application or upon Forester request.
- Applicant shall notify NYC Parks/ Forestry at least 20 business days prior to the commencement of any work requiring a permit.
- Temporary wooden tree guards and temporary snow fence boundary shall be installed immediately around each tree impacted by demolition and/or construction and maintained throughout the course of the entire demolition and construction process.
- The contractor shall take extreme care to protect the root systems of the existing trees. Bulk material, equipment, scaffold footings, or vehicles shall not be stockpiled or parked within the critical root zone (CRZ) of any tree, or within ten (10) ft. of the trunk (whichever is greater). This is done to minimize surface and subsurface root and soil compaction. This applies to all CRZs within or outside the project limit line. Every inch of DBH (diameter breast height) of the tree represents one required radial foot of tree protection.
- If stockpiling occurs within the CRZ, a stop work order shall be issued immediately to the NYC Department of Buildings. Additional violations may be issued and may require remedial work to remain within forestry inspectors prescribed timeframe. Work shall not re-commence until all stockpiled material is removed from the CRZ and tree remediation is satisfied.
- If any machinery is operating within the CRZ the affected area shall be covered with mulch to a depth of at least twelve (12)-inches and covered with plywood or metal plates to distribute weight in order to protect roots from damage caused by heavy equipment. Such covering shall be maintained during the course of construction and removed by hand or as specified by the contracted certified arborist or forestry inspector with associated photos reported accordingly. Heat sources, flames, ignition sources, and smoking are prohibited. The contractor shall perform remedial work to damaged trees at the contractor's expense; this work shall meet all NYC Parks regulations. Contractor is responsible for obtaining all necessary permits to comply with NYC Parks regulations. Additional resources are available at the NYC Parks website <http://www.nycgovparks.org/services/forestry/>.
- Contractor will contact NYC Parks if any underground infrastructure (gas, water/electric etc.) affects any proposed/existing trees onsite. Project manager is aware that any work done on or within 50 feet of a city tree requires a permit from NYC parks. This includes utility, sidewalk, pruning, or any other work within the CRZ of a tree (within the city right of way) done by the general contractor or any subcontractors. Contractor will be familiar with and follow NYC parks plantings and forestry specifications. In some instances, utilities may not be labeled on proposed site plan. If utilities are unknown, the project manager must amend the plans and request their plans be reapproved by NYC parks.
- When a deficiency in tree protection is determined by a forestry inspector it must be remedied immediately. Failure to correct the deficiency immediately may result in violations and summons.
- Construction access route is to be diagrammed and routed to minimally impact any existing trees. Final route shall be established on site and approved by the forestry inspector. Site plans are to be included and amended accordingly when requesting NYC Parks approval.
- Roots over one (1)-inch in diameter shall not be cut without the written permission of the borough director of forestry.
- To best protect tree roots the contractor shall exercise extreme care in removing concrete or asphalt within the CRZ of existing trees. Pavement should be lifted rather than dragged, any excavation within the CRZ, or elsewhere on site, as indicated on tree protection plan, shall be done by hand or pneumatic excavation and in the presence of the forestry inspector or contracted certified arborist with associated photos and report to be filed with NYC Parks forestry inspector. Contractor is to schedule appointment with forestry inspector accordingly.
- The excavation area within the CRZ shall be backfilled immediately and/or roots shall be kept constantly moist with burlap covered with white plastic and checked a minimum of two (2) times a day, once in the morning and once in the afternoon, for a maximum of forty-eight (48) hours, until backfill is complete as directed by the director of landscape construction and the resident engineer. If directed, soaker hoses shall be installed to facilitate property moist conditions. No pooling of water or continuous running water shall occur within the drip line of existing trees or within the tree protection zones other than that during the irrigation process.
- If roots are to be exposed for a period greater than forty-eight (48)-hours, the exposed area shall be covered with at least six (6)-inches of mulch and maintained moist during the course of construction until the area can be properly backfilled. Photos to be taken periodically and reported to the forestry inspector by landscape contractor or contracted certified arborist.
- No runoff or spillage of noxious materials while mixing, placing, or storing construction material shall occur within the tree pit or CRZ. No ponding, eroding, or excessive wetting caused by deactivating operations shall occur within tree pit or critical root zone.
- All existing trees being protected on proposed jobsite are to be watered 20 gallons once weekly between March 1 and October 30 accordingly to best preserve existing trees during demolition and construction processes. Watering shall be done in a manner that there should not be standing water around the tree.
- Unless otherwise noted it is best to keep existing concrete within tree protection zone as long as possible until removal and reinstallation of new sidewalk. Concrete should be left intact throughout the demolition and construction process to prevent further soil compaction on existing tree roots. Other work may be specified by forestry inspector to be done within a prescribed timeframe. Metal grates are to be removed immediately. Cobblestones are to be removed immediately and the void created is to be amended with soil level to the sidewalk. Pit expansion may be required by forestry inspector.
- Preparatory pruning work shall be performed only when directed by a forestry inspector. This work shall be performed in accordance with ANSI Z300 standards and by a qualified/licensed & insured arborist or tree service company. Contractor is to follow all NYC Parks Forestry permit, & work order regulations. Contractor is responsible for scheduling the appointment with forestry inspector.
- All new indicated tree pits are to be fully excavated to the dimensions labeled and replaced with new quality topsoil to NYC Parks standards.

NOTE:  
Filed in conjunction with BIS # 140362104

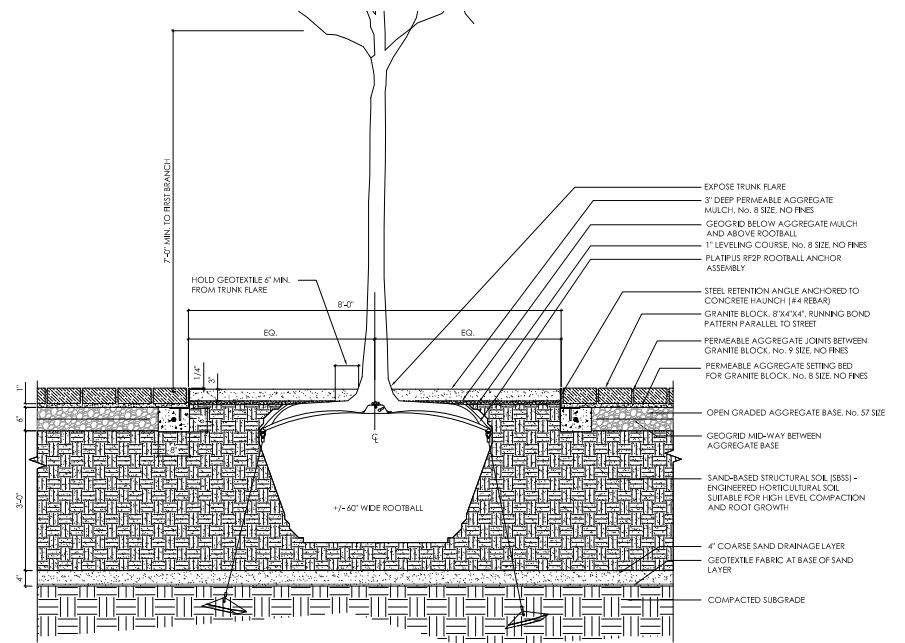
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| <b>HUDSON YARDS</b>  |                   |                 |
| 530 WEST 33RD STREET   |                   |                 |
| MANHATTAN  |                   |                 |
| <b>STREET TREE PLAN</b>  |                   |                 |
| NELSON BYRD WOLTZ<br>214 W. 29TH STREET, SUITE 900<br>NEW YORK, NY 10001 | DWG<br>01/05/2018 |                 |
| Scale: 1" = 30'  |                   | Sheet 2 of 3    |
| DOB Ref. No.: 140362104  |                   | PARKS Ref. No.: |



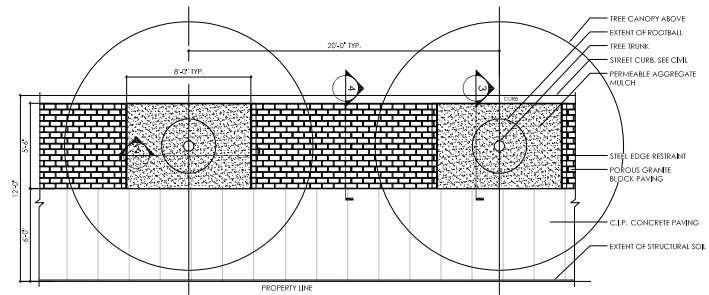
4 GRANITE BLOCK STRIP OVER STRUCTURAL SOIL - CROSS SECTION  
SCALE: N.T.S.



3 STREET TREE PLANTING - CROSS SECTION  
SCALE: N.T.S.



2 STREET TREE PLANTING - LONGITUDINAL SECTION  
SCALE: N.T.S.



1 STREET TREE PLANTING - DETAIL PLAN  
SCALE: N.T.S.



NOTE:  
Filed in conjunction with BIS # 140362104

|  |                         |                 |
|--|-------------------------|-----------------|
| <b>HUDSON YARDS</b><br><b>530 WEST 33RD STREET</b><br><b>MANHATTAN</b> |                         |                 |
| <b>STREET TREE PLAN</b>  |                         |                 |
| NELSON BYRD WOLTZ<br>214 W. 29TH STREET,<br>NEW YORK, NY 10001         | SUITE 900<br>01/05/2018 |                 |
| Scale: 1" = 30'  |                         | Sheet 3 of 3    |
| DOB Ref. No.: 140362104  |                         | PARKS Ref. No.: |

Following our smaller group meeting last Wednesday, we have worked expeditiously to address CB4's concerns. Toward that end, attached please find drawings showing multiple proposed changes aimed at enhancing the pedestrian experience on 33<sup>rd</sup> street; as noted herein, the third party approvals required and timeline to implementation are unique for each of the changes, keeping in mind that the street is currently under construction per DDC-approved plans. Details of the pdf file are as follows:

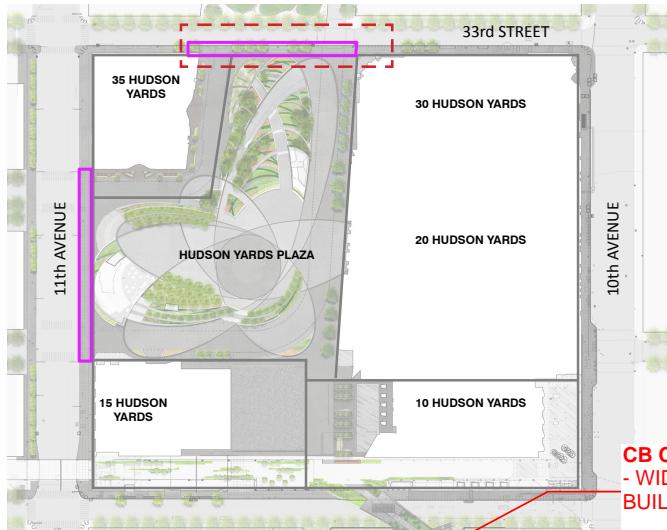
1. Page 1 – Original CB4 Presentation w/ Annotated CB Feedback
2. Page 2 – Proposed Streetscape Adjustments, Option 1A (changes listed in estimated increasing order of coordination/approvals required and timeline to implement).
  - A. Addition of signage at the intersection of HB and 33<sup>rd</sup> Street directing cars where to stop when the signal is red. Related can implement this change day 1.
  - B. Narrowing of the tree pit detail on 33<sup>rd</sup> Street sidewalk adjacent to 35 Hudson Yards from 5'6" to 4'0". Related can implement this change day 1 subject to Parks' approval of the revised tree pit detail.
  - C. Narrowing the curb cut for HB at 33<sup>rd</sup> Street from 30' to 24'. This change is subject to DOB approvals; if approved in a timely manner, Related can implement this change day 1.
  - D. Widening the crosswalks at HB and 33<sup>rd</sup> Street from 12' to 15'. The street is currently under DDC control for reconstruction; once complete, the street is turned over to DOT. Related can discuss this change with DOT to gauge interest, and recommend change implementation day 1.
  - E. Bulb-outs at the intersection of HB and 33<sup>rd</sup> Street. Any change to the geometry of 33<sup>rd</sup> Street would be subject to a more lengthy coordination and approvals process with DOT. Setting aside whatever DOT's appetite may be to make changes to 33<sup>rd</sup> street immediately following its completion, changes would be subject to coordination with all sub-grade street utilities which has presented problems previously. That said, we remain aligned with CB's interest in enhancing the pedestrian experience in this area, and look forward to further collaboration for a day 2 solution. We will explore alternatives aimed at improving pedestrian safety to the extent a physical bulb-out is not approved.
3. Page 3 - Proposed Streetscape Adjustments, Option 1B
  - A. In addition to the changes noted above, a narrowed tree pit detail on the sidewalk adjacent to the Plaza (narrowed from 5'6" to 4'0").

As a reminder, the design approvals we were originally seeking were (1) the custom tree pit details as previously approved by Parks, and (2) a continuation of the non-standard 2'x6' Plaza concrete scoring onto the sidewalk at contained areas on 33<sup>rd</sup> Street and 11<sup>th</sup> Avenue adjacent to the Plaza. We request that CB4 provide approval of these non-standard designs (or of the narrower tree pit detail if that is CB's desire) as we continue our dialogue, and we look forward to continuing to work with CB4 to address areas of concern at Hudson Yards

Thanks

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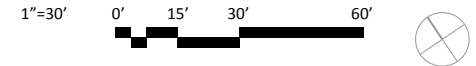
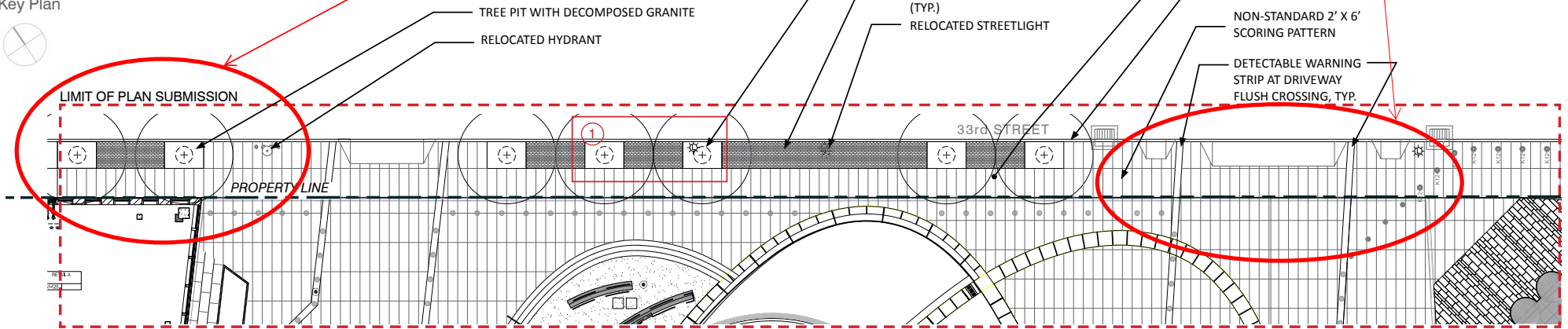
Russell Kempf  
Related Companies



Key Plan

**CB COMMENTS/ FEEDBACK:**  
 - WIDEN SIDEWALK WIDTH BETWEEN BUILDING FACE/ TREE PIT

**CB COMMENTS/ FEEDBACK:**  
 - CONSIDER BULB-OUT  
 - REDUCE DRIVE WIDTH  
 - SHORTEN CROSSING DISTANCES



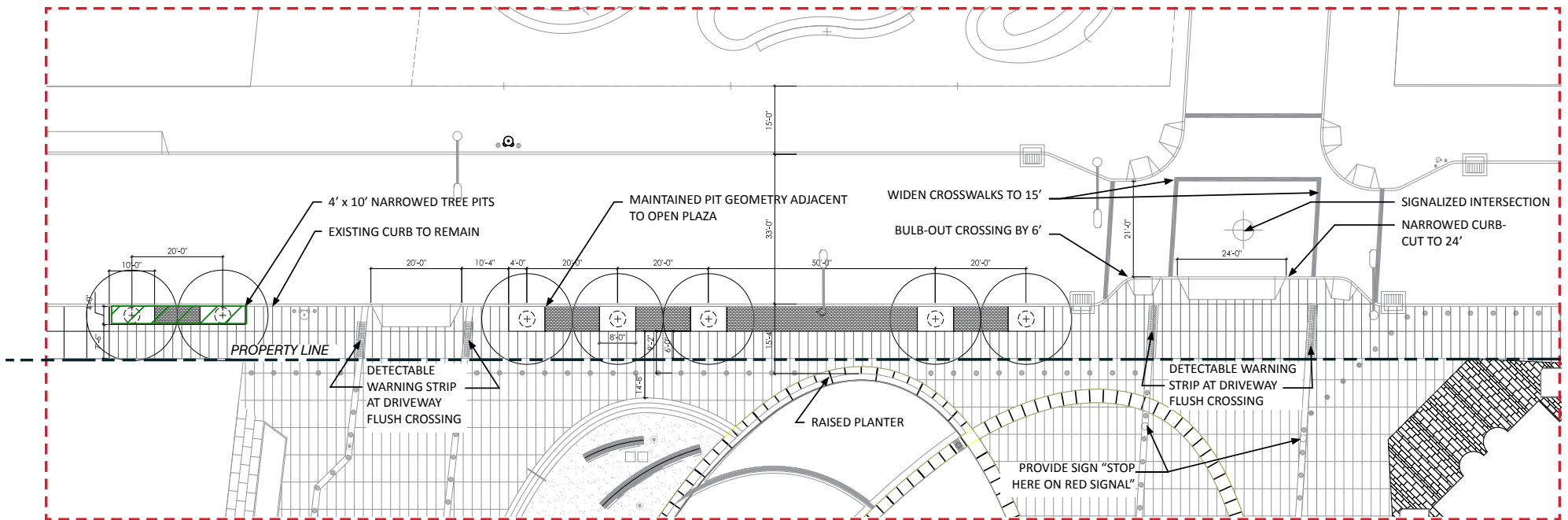
HUDSON YARDS PLAZA STREETSCAPE: AS PRESENTED TO CB ON APRIL 18, 2018



**HUDSON YARDS PLAZA STREETSCAPE**  
 MANHATTAN COMMUNITY BOARD 4 PRESENTATION RESPONSE

MAY 01, 2018





HUDSON YARDS PLAZA STREETSCAPE: (33RD STREET) OPTION 1A



NELSON  
BYRD  
WOLTZ  
LANDSCAPE  
ARCHITECTS

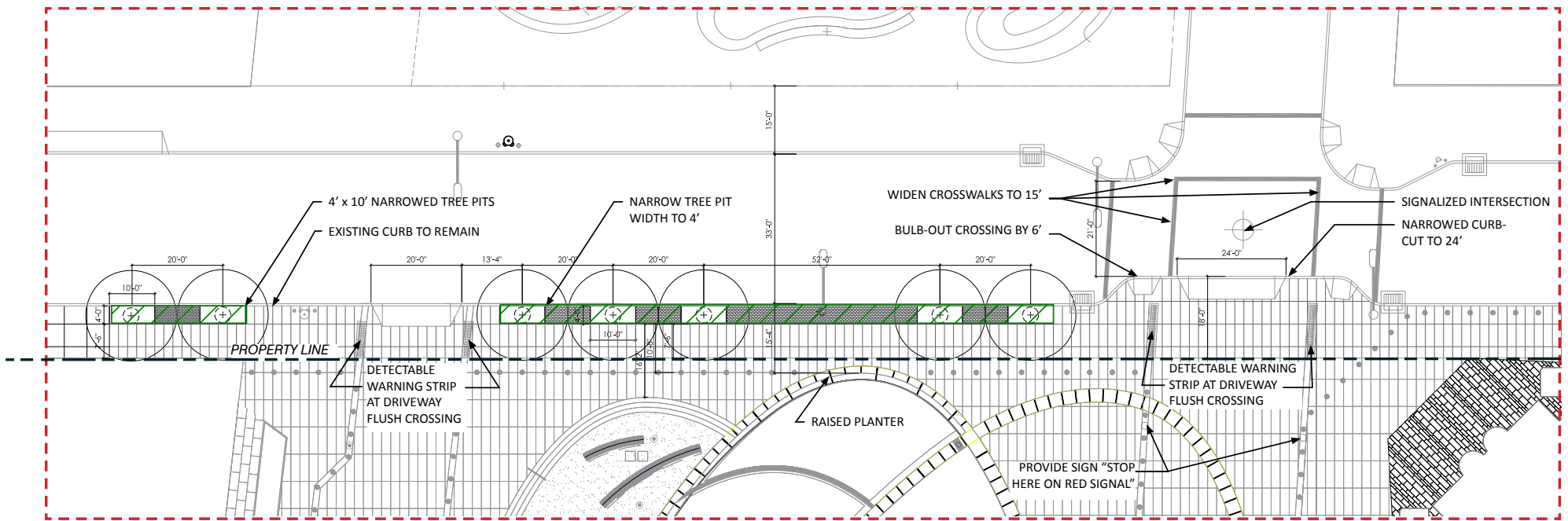


RELATED



HUDSON YARDS PLAZA STREETSCAPE  
MANHATTAN COMMUNITY BOARD 4 PRESENTATION RESPONSE

MAY 01, 2018



HUDSON YARDS PLAZA STREETSCAPE: (33RD STREET) OPTION 1B



NELSON  
BYRD  
WOLTZ  
LANDSCAPE  
ARCHITECTS



RELATED



HUDSON YARDS PLAZA STREETSCAPE

MANHATTAN COMMUNITY BOARD 4 PRESENTATION RESPONSE

MAY 01, 2018