Manhattan Community Board 4 (All Fields Must Be Completed)

Liquor License/Sidewalk Cafe Stipulations Application

CORPORATION NA	AME		DOING BUSINESS AS (DBA)							
SC LIC LLC			SHAKING CR	AB						
STREET ADDRESS			CROSS STREETS		ZIP CO	DE				
735 NINTH A	VENUE		50th St. and 9	th Ave. 10019						
OWNER	NAME:	Nicholas Xi Wu		NAME: William W. Chuang						
(Attach a list of all the people that will be associated listed	PHONE:	(617) 216-4681	ATTORNEY/ REPRESENTAIVE	PHONE: (212) 898-3700						
with the license)	EMAIL:	nick@shakingcrab.com		EMAIL: Willia	m@jclawll	p.com				
	NAME:	Allen Sharma		NAME: 735	-739 Ninth	Avenue Realty Corp.				
MANAGER	PHONE;	(347) 776-1232	LANDLORD	PHONE: (917)	PHONE: (917) 733-5336					
	EMAIL:	allen@shakingcrab.com		EMAIL:						
APPLICATION	ON TYP	E (_X_ Liquor Licens	e	Unenclosed S	Sidewalk C	afe)				
	Has applican	nt owned or managed a similar business?		X ES	NO					
⊗ New	What is/was	the name and address of establishment?		Shaking Crab locations at 2869 Broadway, Manhattan; 230 5th Ave., Brooklyn; 37-02 Prince St., Flushing						
	What were th	ne dates applicant was involved with this former pren	nise?	2869 Broadway: April, 2017; Brooklyn: Sept, 2017 FLushing: June, 2016, All through current day,						
Corp	What is the li	icense # and expiration date?								
Change/Class Change/Removal	Is applicant r	making any alterations or operational changes?		YES	NO					
	If alterations	or operational changes are being made, please desc	cribe/list all changes.							
Alteration	What is the c	current license # and expiration date?								
	Please list/de	escribe the nature of all the changes and attach the p	plans:	***		-				
METHOD O	F OPER	ATION								
TYPE OF ALCOH	HOL		O Beer & 0	Cider	O Win	e/Beer & Cider				
ESTABLISHMEN	Т ТҮРЕ	Restaurant			_	Catering Establishment ernal Organization – Members Only)				
Has applicant/owne you plan to file?	er filed with t	the SLA? If yes, when? If no, when do	YES X NO	Applicant plans	to file after MC	CB4 approval.				
	icense estal	? If yes, please attach a diagram of the blishments within a 500 ft. radius of your sterest Statement.	x ES NO		ishments withi	from NYS SLA LAMP system, n 500 ft. radius, and				
		? If yes, please attach a diagram of the that trigger the rule.	YES X NO							
	er(s) read M	CB4 Policy Regarding Concentration and	d ×® NO			el .				

		MONDAY	TUESDA	Y	WED	NESDAY	THU	RSDAY		FRIDAY	SATURDAY		sut	NDAY
HOURS*	Operation	noon to midnight	noon to midr	night	noon midni		noon to midnight		noon to midnight		noon to midnight		noon t	
(Indoor Only)	Kitchen	same	same		same		same same		same		same		same	:
	Music	same	same	same)			same		same		same	
If you plan to ha (Circle all that a		type(s)?	X BACKGRO	UND	LIV	E MUSIC		DJ	١.	JUKE BOX		KA	ARAOKE	
territ.		44-6				OCCUP.	ANCY	jing.		11-6		THE.		
	Capac (Certifi of Occup:	cate	Maximum # of Persons You Anticipate Occupying remises (Including Employees)	Numb of Tab		Number of Seats		er of Servi dy Bars	ce	Number Stand-Up I		Number of at Stand-U		
INSIDE	<75	<75 60		24		44	C	i		1		10		
OUTSIDE (Other than sidewalk café)	NONE													
SIDEWALK CAFÉ	NONE													
How many floors	are there? W	hat is the cap	acity for each floor	?			Two Floors, Basement: 0 First Floor: <75							
How frequently v	will the owner(s	s) be at the es	tablishment?				Full-ti	me man	age	r present a	t all t	imes resta	urant is	oper
Will there be dar	ncing?						YES	6						
Will applicant ha	ve bottle or tak	ole service for	beverage alcohol'	?			YES	NO		ividual alcoved at tabl				
Will you be hosti	ng private; pro	motional or co	orporate events?				YES	NO						_
Will outside pron	noters be used	on a regular	basis? If yes pleas	e descril	be.		YES	NO						
Will you have a	security plan?	lf, yes please	attach.				YES	NO						
Will security plar	n be implement	ted?					YES	(O)						
Will State certifie	ed security pers	sonnel be use	d?				YES	(10)						
Will New York N	ightlife Associa	ation and NYP	D Best Practices t	e follow	ed?		(YES)	NO						
Will applicant be	using delivery	bicycles? If y	es, how many?				YES	№	N	/A.				
Will delivery bicy wear attire clearl			the name of the re by NYC Law?	staurant	and w	ill staff	YES	0	N/A	A .s:				
			the day when not						_					

LOCATION & ZONING			
Is this a Special District? If yes, is it Clinton, West Chelsea or Hudson Yards?	(VES)	NO	Clinton Special District.
Does the building have a Certificate of Occupancy ("C of O") or a letter of no objection?	6	NO	Letter of no objection.
Is a Public Assembly permit required?	YES	(10)	
Are your plans filed with DOB?	YES	10	Do not foresee any construction requiring DOB permits.

Community Notification/Relation	tions		-							
NOTIFICATION:	# 1	Midtown N, Precin	ct. Sgt. Ch	ristopher	Hewis	ton. Christophe.hewitson@nypd.org				
List all block associations; tenant associations, co-op boards or condo boards of residential buildings; and	# 2	50th/51st St. Bloc	50th/51st St. Block Association hk5051@gmail.com							
community groups that applicant has notified regarding its application. For	# 3									
each please list both the organization and individual you contacted	# 4									
	# 5					a				
Please provide dates when applicant met v	vith the gro	oups listed above.								
Who was your contact person at each grou	p you met	with?	Steve Belinda at 50th/51st St. Block Association							
When did applicant post the notice that wa	s provided	?	Octoer 1, 2019							
Where did applicant post the notice that wa	s provide	1?	At premises and nearby locations.							
Will applicant provide owner cell phone number to neighbors and respond to complaints that arise? Please provide number in space provided.				(15)	NO	Full-time manager.				
Will applicant inform the Community Board office of its job openings and/or provide a hyperlink to applicants jobs webpage?				(ES)	NO					

State the name and type of business previously located in the space.	The Sound Bite Restaurant. Restaurant.							
Has a liquor-licensed establishment previously occupied this space at any time? If yes, please provide the name of the business.	0	NO	Th	ne Sound Bite Restau	urant.			
Do you plan any changes to the existing façade? If yes, please describe.	YES	(P)						
Has the applicant/owner(s) read MCB 4 ADA Guidelines Memo?	YES	NO						
Is the entrance ADA Compliant?	YES	NO						
Do you plan any changes to the existing façade? If yes, please describe.	YES	NO						
Will applicant have a vestibule within the establishment?	YES	(NO)						
Will applicant use a storm enclosure?	YES	NO	Wi	I abide by current sti	pulation.			
Will applicant agree not to place any items or obstructions on the sidewalk, for example, sandwich boards, sidewalk signs, freestanding menus and plants, as per the law?	(ES)	NO						
Will applicant comply with the NYC noise code?	YES	NO						
Will the establishment have any of the following: (circle all that apply)	REN	н рооі	RS	GARAGE DOORS	WINDOWS THAT CAN BE OPENED			
Will applicant close all windows, French doors, garage doors when any music or amplified sound (including televisions) is played inside the establishment?	(VES)	NO						
Will applicant close all windows, French doors, garage doors by 11 PM Friday and Saturday and 10 PM on all other days even if no music or amplified sound is played inside the establishment?	ŒS	NO						
Has applicant obtained an acoustical report from a certified sound engineer to assess potential noise disturbance to the neighboring residents and buildings?	YES	6		90				
Will applicant follow the recommendations of a certified sound engineer to mitigate potential noise disturbance to the neighboring residents and buildings, including placing speakers on the floor of the establishment?	YES	0						
Will the kitchen exhaust system extend to the roof?	YES	NO						
Will the establishment have an illuminated sign?	YES	Ю						
Will the establishment have a canopy extending over the sidewalk?	YES	(vo						
Where will the air conditioner be located? What type is it?	On the roof. Split air system.							
When was the air conditioner installed?	Installe	ed by pri	or te	nants.				

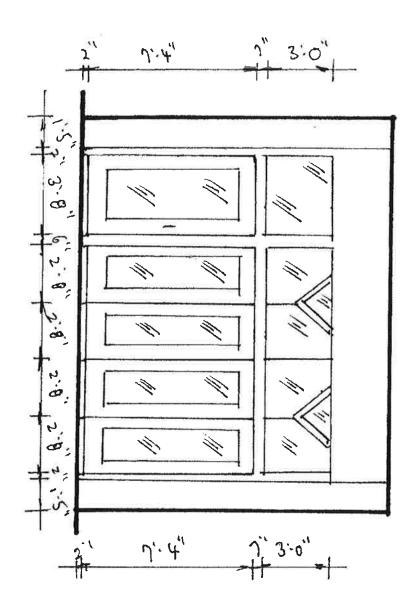
OUTDOOR ITEMS - OTHER THEN SIDEWALK CAFÉ	Left bl	ank as	there is no outdoor items.
Has the applicant/owner(s) read MCB 4 Rear Yard Rooftop Policy?	YES	NO	
Will applicant use any outdoor spaces: rooftop, rear yard, patio, porch, balcony, pavilion, tents, deck or gazebo? If yes, which one(s)?	YES	NO	
Are the floorplans for the outdoor space(s) included?	YES	NO	
Will applicant close and vacate the outdoor space(s) by 11PM on Friday & Saturday and 10 PM on all other days?	YES	NO	
Will the service and consumption of alcohol in any outdoor space only be via seated food service?	YES	NO	
Will applicant not allow standing space for patrons to drink or smoke in any outdoor space(s)?	YES	NO	_
Will there be no amplified music, as per the law?	YES	NO	
If amplified sound is played inside the establishment, will windows and doors be closed?	YES	NO	
Will applicant agree to post signs outside asking customers to respect the neighbors'?	YES	NO	
Will applicant agree to train staff to encourage a peaceful environment?	YES	NO	
Will applicant provide effective sound control (landscaping enclosure, soundproofing tenants apartments)	YES	NO	
Will there be a lighting plan that allows safe usage of the outdoor space without disrupting neighbors?	YES	NO	

Has the applicant/owner(s) read MCB4 Sidewalk Café Policy?	YES	NO	
Vill applicant be applying for a sidewalk café now or in the future?	YES	NO	
s applicant in this application seeking to include a sidewalk café in its liquor icense?	YES	NO	
f yes, has applicant submitted an application and plans to NYC Dept. of Consumer Affairs? Please attach application and plans.	YES	NO	
Will applicant close and vacate the sidewalk café by 11 PM on Friday & Saturday and 10 PM on all other days?	YES	NO	
Will applicant be serving alcohol in the sidewalk café? If so, will you have waiter service?	YES	NO	
Will the café have a 3 ft. wide serving aisle running the entire length of the sidewalk cafe?	YES	NO	
Will applicant mark the perimeter of the café on the sidewalk?	YES	NO	
Will the service and consumption of alcohol in the sidewalk café only be via seated food service?	YES	NO	
Will the sidewalk café not provide standing space for drinking or smoking?	YES	NO	
Will applicant use any portable natural gas heaters? If so, do you have the requisite approvals from DOB & the Fire Department?	YES	NO	7
Will applicant have a lighting plan that will allow safe usage of the outdoor space without disrupting neighbors?	YES	NO	
Will all furniture, plants and barricades be stored inside between the evening closing nours and the morning opening hours?	YES	NO	
Nill all furniture be stored inside between December 21st and March 21st, and any other day when it rains or snows?	YES	NO	
Will applicant use umbrellas?	YES	NO	
If construction or construction protection has reduced the sidewalk width, will applicant always maintain an 8 foot clear path of sidewalk between the perimeter of the café and the closes obstruction including construction barricades?	YES	NO	

ADDITIONAL STIPULATIONS: (Office Use Only)									
Any storm enclosures will extend no further than eighteen (18) inches from building facade.									
To the extent any additional stipulation on pages 7 and 8 of this application conflicts with any response on pages 1 – 6 of this application, the stipulations on pages 7 and 8 control.									

ADDITIONAL STIPULATIONS: (Office Use Only), Continued								
×								
To the extent any additional stipulation on pages 7 and 8 of this application conflicts with any response on pages 1 – 6 of this application, the stipulations on pages 7 and 8 control.								

Manhattan Community Board 4 (MCB4's recommendation is based November 6, 2019 full board meeting of the recommendation, _0 mendabstaining and _0 present but n	d on a vote taken at its ng, with <u>37</u> members voting in favor nbers opposed, <u>0</u> members	Denial unless all stipe operation Denial O Appr		ant/owner are part of the method of
CB4 REPRESENTATIVE	S			
Nelty Gonzalež 184 Assistant District Manager	Frank Holozubiec (CB4 BLP Committee Co-Chair	7,	Voni Bokser CB+ BLP Commute Co-C	ihair
APPLICANT AGREEME	NT WITH THE COMMUNIT	r y		32 32 100
stipulations are essential prerect stipulations incorporated in the agreement between MCB4 and	ations as the basis for the commun quisites to the MCB4 recommendat method of operation of its liquor lic applicant and may only be altered or representations in connection w	ion regarding this ap ense. The stipulatior in writing signed by	oplication. Applicant agns in this application c	grees to have these constitute the entire
SIGN HERE	Nicholas Xi Wu PRINT NAME OF APPLICAN	# T SIGNATURE C	OF APPLICANT	DATE
	William Chu Attorney of Record	any will	h	10/17/19



FRONT ELEVATION

137 9 1 AVENUE

NEW YORK, N.Y.

OCTOBER 30. 2017:

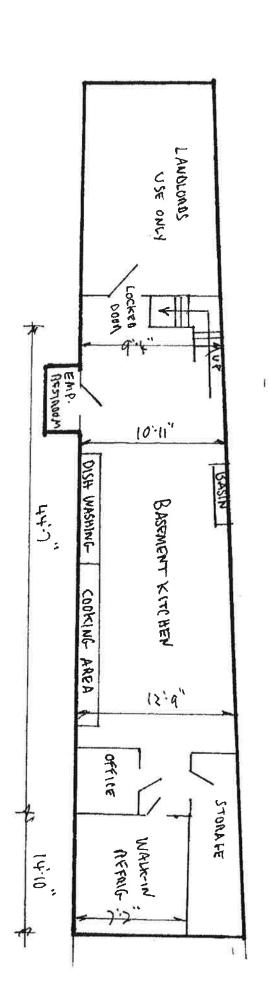
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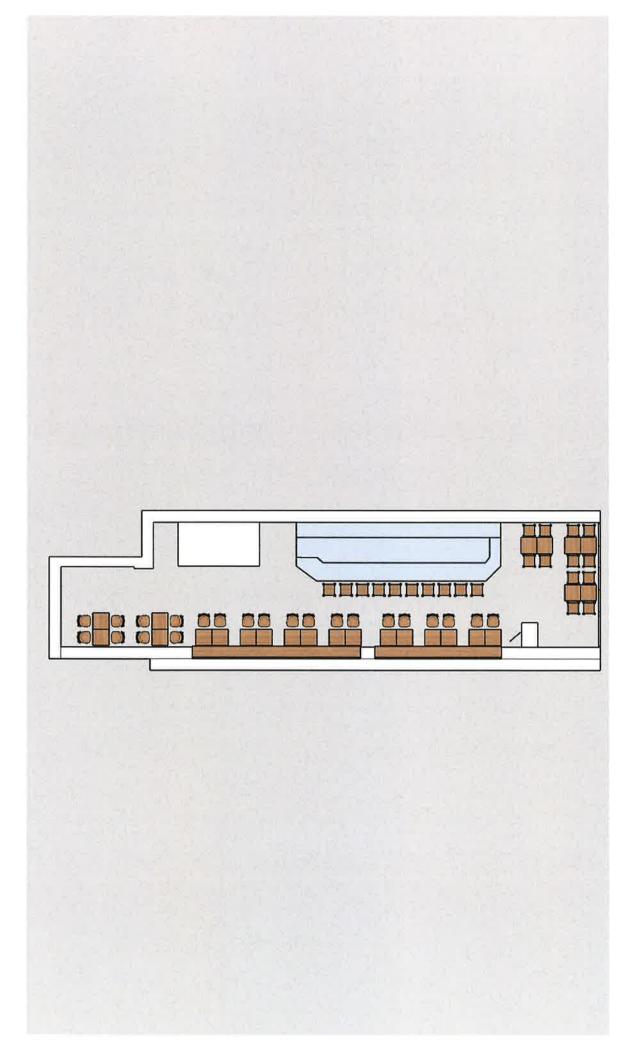
INTERIOR DIAGRAM - BASEMENT

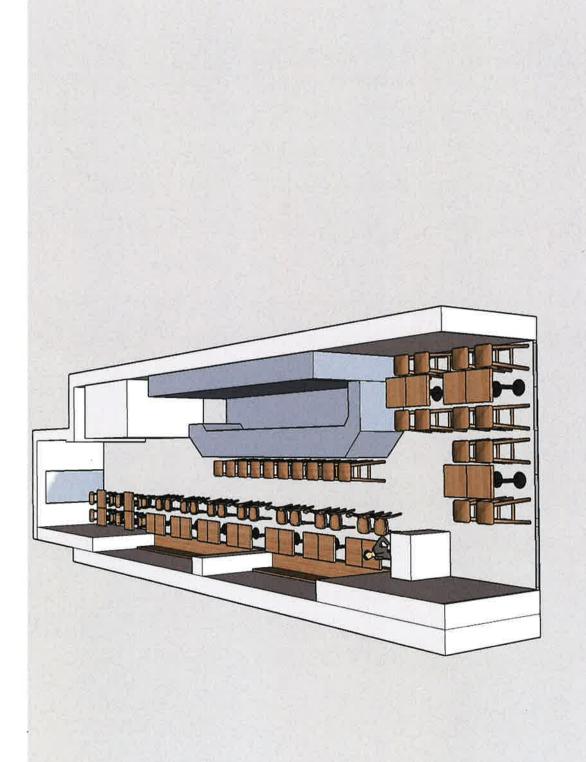
737 9th AVENUE

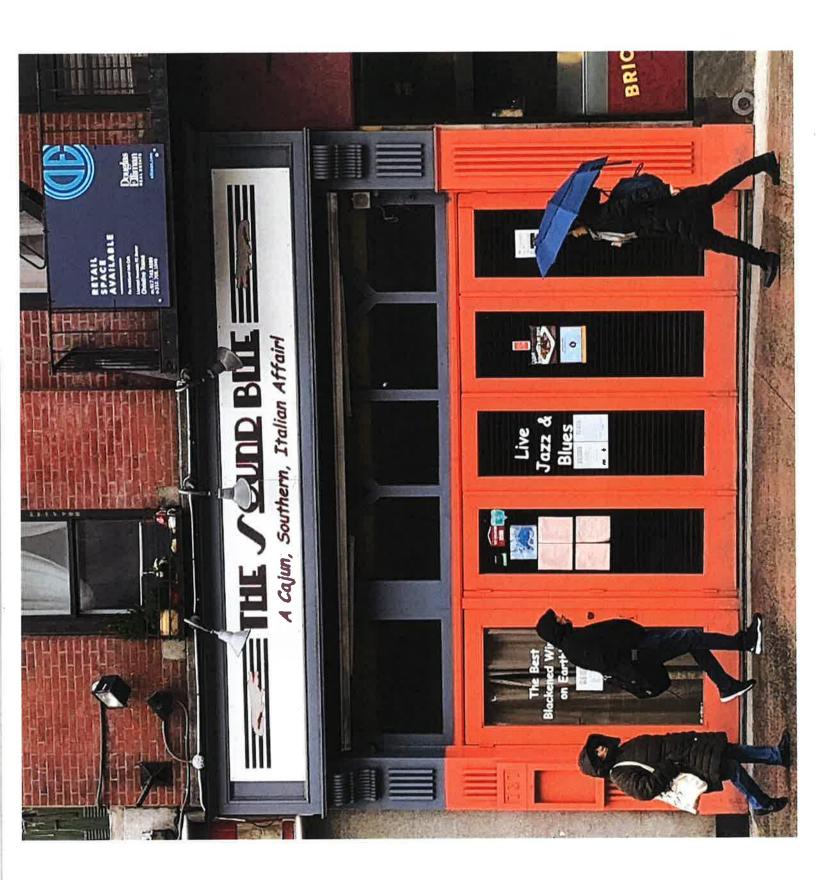
OCTOBER 30. 2017:

NOT-TO' SCALE









STARTERS

15	12		111		10		10	G	0	7		9	9	u	,
Fried Lobster Tail Served w/ fries. Pair of Tails (+13)	Fried Catfish Basket	Battered, served w/ fries	Battered Shrimp Basket	Served w/ fries	Spicy Calamari	Tossed w/ banana peppers	Fried Oysters	Chicken Wings	BBQ / Buffalo / Cajun / Shakin' (+1)	Chicken Tenders	BBQ / Buffalo / Cajun / Shakin' (+1)	Onion Rings	Sweet Potato Fries	French Fries	Plain / Cajun

SHAKING CARBS

Served w/fries or house chips & coleslaw.

17		14			13			12		
Lobster Roll	Toasted roll stuffed with our lobster salad	Catfish Po' Boy	French bread, lettuce, tomato, house	tartar sauce	Shrimp Po' Boy	French bread, lettuce, tomato,	house Cajun aioli	Calamari Po' Boy	French bread, lettuce, tomato, house	

chipotle mayo Before placing your order, please inform your server if a person in your party has a food allergy, especially to shellfish.

A 20% gratuity will be added for parties of 6 or more

Hours: M-Th: 12PM – 11PM Fri - Sat: 12PM – 12AM Sun: 12PM – 10PM



STEP 1: CRABS & FRIENDS

Poached in a blend of spices & herbs, shaken with one of our signature sauces and served in the bag to preserve the warmth as you shake away

**punod	48	34	MP	19	14	12	12	п	10	10	21	16	
Priced by the pound	Dungeness Crab	Seasonal, served as a whole crab Alaskan King Crab Legs	Whole Lobster	Snow Crab Legs	Lobster Tail	Pair of tails (+13) Argentinian Shrimp Head-On / Head-Off (+1)	Blue Crab	Crawfish	Seasonal Little-Neck Clams	Mussels	COINIBO BAGS 1 lbs Shrimp + 1 lbs Crawfish	1 lbs Shrimp + ½ lbs Clams	

Cool off with a home-brewed Sweet Tea!

STEP 2: FLAVOR

Seoul	Sweet Chili Miso	Envie	Cilantro Lime
Shakin'	House Cajun	eulf 🗾	Rich & Tangy

STEP 3: SPICE

Hot	
	Hoti
Medium	Shakin'

ADD ONS

6	æ	2	2	2
Shake It Up! + 1/2lbs Shrimp & small fries	Sausage	Corn	Baby Potato	Quail Eggs

SIDES & SOUPS

Take-Out: (857) 259 – 6149 Order Online at: www.shakingcrab.com 1815 Massachussetts Ave. Cambridge, MA 02140

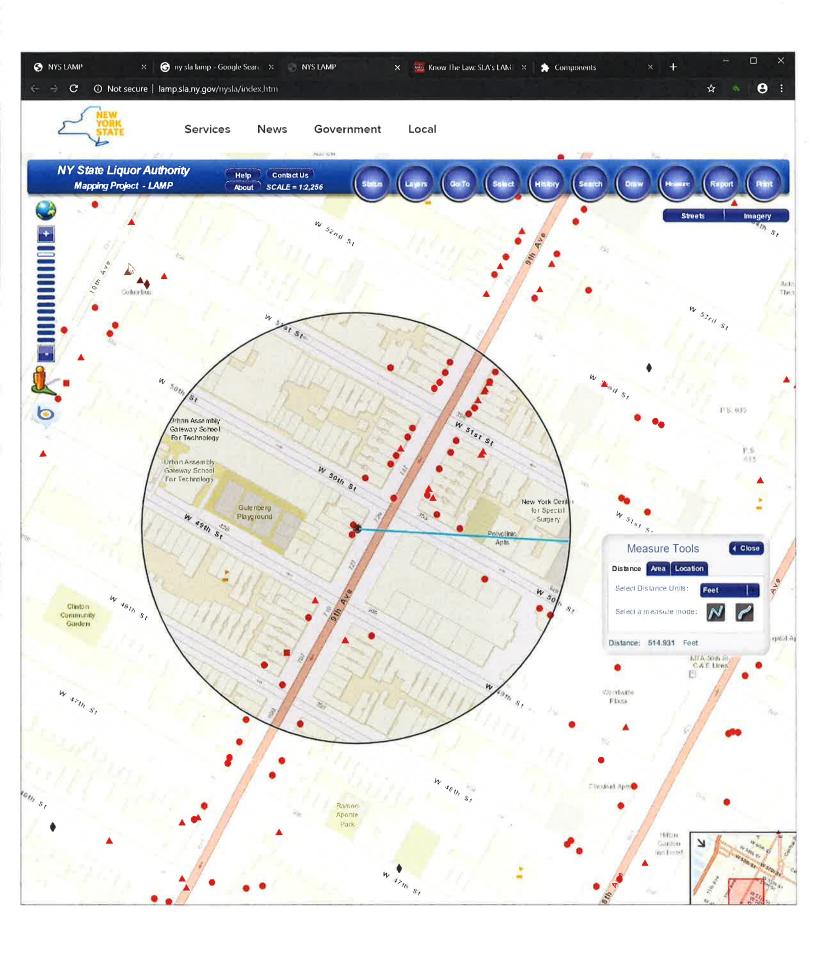
500 Foot Rule Addendum - SC LIC LLC

Granting an on-premises liquor license to SC LIC LLC at the Premises located at 735 9th Avenue, New York, NY would be to the public convenience and advantage and in the public interest for the following interests:

- 1. The restaurant will add diversity to the food and restaurant service options to the neighborhood. The proposed establishment is a bona fide sit-down restaurant offering New Orleans Cajun-style seafood that is meant to target a family crowd. The menu will include, but is not limited to, Alaskan king crab legs, blue crabs, mussels, shrimp, crawfish, and lobster that are poached, then shaken in spices and served. None of the other establishments within 500 feet of the Premises that have an on-premises liquor license serves primarily seafood, so it is in the public interest to expand the dining and entertainment options for the local community. The service of liquor will be strictly ancillary to the operation of the restaurant, and the full menu will be served whenever the restaurant is open.
- 2. The Premises were formerly operated as a restaurant with an on-premises liquor license, doing business as The Sound Bite Restaurant. The Premises has a letter of no objection allowing its use as a restaurant. The Premises are already equipped with a kitchen, food and alcohol storage area, and restrooms. The applicant is ready to promptly obtain the necessary licenses to operate under its own name, and obtain the required sales tax authority permit, and the worker's compensation and unemployment insurance.
- 3. The grant of the license is not expected to have significant effects on vehicular traffic and parking in proximity to the location. As an initial matter, the Premises was already operated as a restaurant. Applicant intends to operate the restaurant in a similar manner: without live music or DJs, no dancing, and no music outdoors. Therefore, the applicant does not expect that there will be too much additional traffic and noise caused by its opening.
- 4. Furthermore, the premises are situated on Ninth Avenue in midtown Manhattan, which is a bustling commercial area with many restaurants and retail businesses. The sidewalks are wide and conducive to pedestrian traffic. Furthermore, the Premises are located close to public transportation. The 50th Street subway station is an avenue away, and there is a bus stop in front of the location.
- 5. The previous establishment at the subject premises was also a restaurant holding an on-premises liquor license, which was in good standing. There have been no adverse liquor violations or reported criminal activities at the proposed premises. Furthermore, the principal of the applicant is also a principal of three other Shaking Crab restaurants with same menu and currently serving alcoholic beverages in New York City: 2869 Broadway, New York, NY; 230 5th Avenue, Brooklyn, NY; and 37-02 Prince Street, New York, NY. There has been no adverse liquor license history at any of these locations.
- 6. The principal is an experienced restaurant operator who will bring fresh, high-quality seafood to the area in full compliance with the applicable rules. None of the other alcohol-serving locations that the principal is associated with has had any criminal issues or liquor license violations. The increased diversity that a seafood restaurant brings will only benefit the

community, and as there was a restaurant with a liquor license at the Premises, whose manner of conducting business will be continued by the applicant, we do not expect there to be any increased vehicular or pedestrian traffic, or any increase in noise that would detrimentally affect the community.

7.	For these reasons, we respectfully submit that the application should be granted, as it would be in furtherance of the public interest.
	•
	William W. Chuang, Esq.



Two Big Boys, Inc. DBA Posh 405 W. 51st St., New York, NY 10019

Ageha Japanese Fusion Inc. 767 9th Ave., New York, NY 10019

PGNV LLC 765 9th Avenue, New York, NY 10019

Covadonga, Inc. DBA Empanada Mama 763 9th Avenue, New York, NY 10019

Aggiepolo, Inc. DBA Jasper's Taphouse & Kitchen 761 9th Avenue, New York, NY 10019

Morningside Terrace Corp. DBA K Rico 772 9th Avenue, New York, NY 10019

Inistioge, Inc. 768 9th Avenue

NMN Food LLC DBA Hummus Kitchen 768 9th Avenue

Hung Zone, Inc. DBA Pure Thai Restaurant 766 9th Avenue, North Store,

Island Rest I Corp. DBA Island Burger & Shakes 766 Ninth Avenue

Option Restaurant Corp. 764 9th Avenue,

Arriba Arriba Mexican Restaurants, Inc. DBA Arriba Arriba Mexican Rest. 762 9th Avenue,

7 Washington Lane Corp DBA Aria Hell's Kitchen 369 W. 51st Street, New York, NY 10019

Oxido Corp 753 9th Avenue

Larry Kevin K Corp. 751 9th Avenue,

BR Chicken Manhattan II LLC DBA Blue Ribbon Fried Chicken 749 9th Avenue

Uncle Nick's Inc. DBA Uncle Nick's 747 9th Avenue

Basera Indian Cuisine, Inc. 745 9th Avenue

Morales Cabrera Corp. DBA Green Rancho 741 9th Avenue

401 W 50 Tavern Inc. DBA Hibernia 401 W 50th Street,

Sound Bite Restaurant, THE (Closed) 735 739 9th Avenue, New York, NY 10018

Briciola LLC DBA Briciola 370 W 51st Street, New York, NY 10019

NPD West 51 Inc. DBA B-Side 370 W. 51st St, Stores 1 & 2, New York, NY 10019

Highlanders 756 Inc. DBA VYNL 756 Ninth Avenue, New York, NY 10019

VYNL LLC DBA Hell's Kitchen 754 9th Avenue, New York, NY 10019

Hells Kitchen Thai Inc DBA Esanation 750 9th Avenue, New York, NY 10019

Lucky Riceburger LTD DBA Curry-Ya 746 9th Avenue, New York, NY 10019

Dream Team Partners LLC DBA Rice N Beans 744 9th Avenue, New York, NY 10019

Akanoren Inc. DBA Mentoku 744 9th Avenue, New York, NY 10019

Boxers Enterprises LLC DBA Boxers HK 742 9th Avenue, New York, NY 10019

Elymar Restaurant Corporation DBA Chez Napolean 365 W. 50th Street, New York, NY 10019

Woo Lae Oak 50, Inc. 350 West 50 Street, New York, NY 10019

New World Stages Holding Co LLC DBA New World Stages Operating Co. LLC 340 W. 50th Street, New York, NY 10019

Kiosk 50 Corp. 322 W. 50th Street, New York, NY 10019

733 Restaurant Corp. DBA Gossip 733 9th Avenue, New York, NY 10019

Aura LLC and Scott Sternick and Richard Winkelman DBA Mickey Spillane's Hell's Kitchen NYC 350 W. 49th Street, New York, NY 10019

D & B Foodies LLC DBA Talad Wat 714 9th Avenue, New York, NY 10019

Chaufa Inc. 698 700 9th Avenue, New York, NY 10036

Pam Real Thai Food, Inc. 404 W. 49th Street New York, NY 10019

Rhungrueng Inc. DBA VIV Thai Restaurant 717 9th Avenue, New York, NY 10019

003 Venus Tacos LLC DBA Otto's Tacos 705 9th Avenue, New York, NY 10019

701 Restaurant LLC DBA The Jolly Monk 701 9th Avenue, New York, NY 10019

GAF West Ltd. 401 W. 48th Street, New York, NY 10036