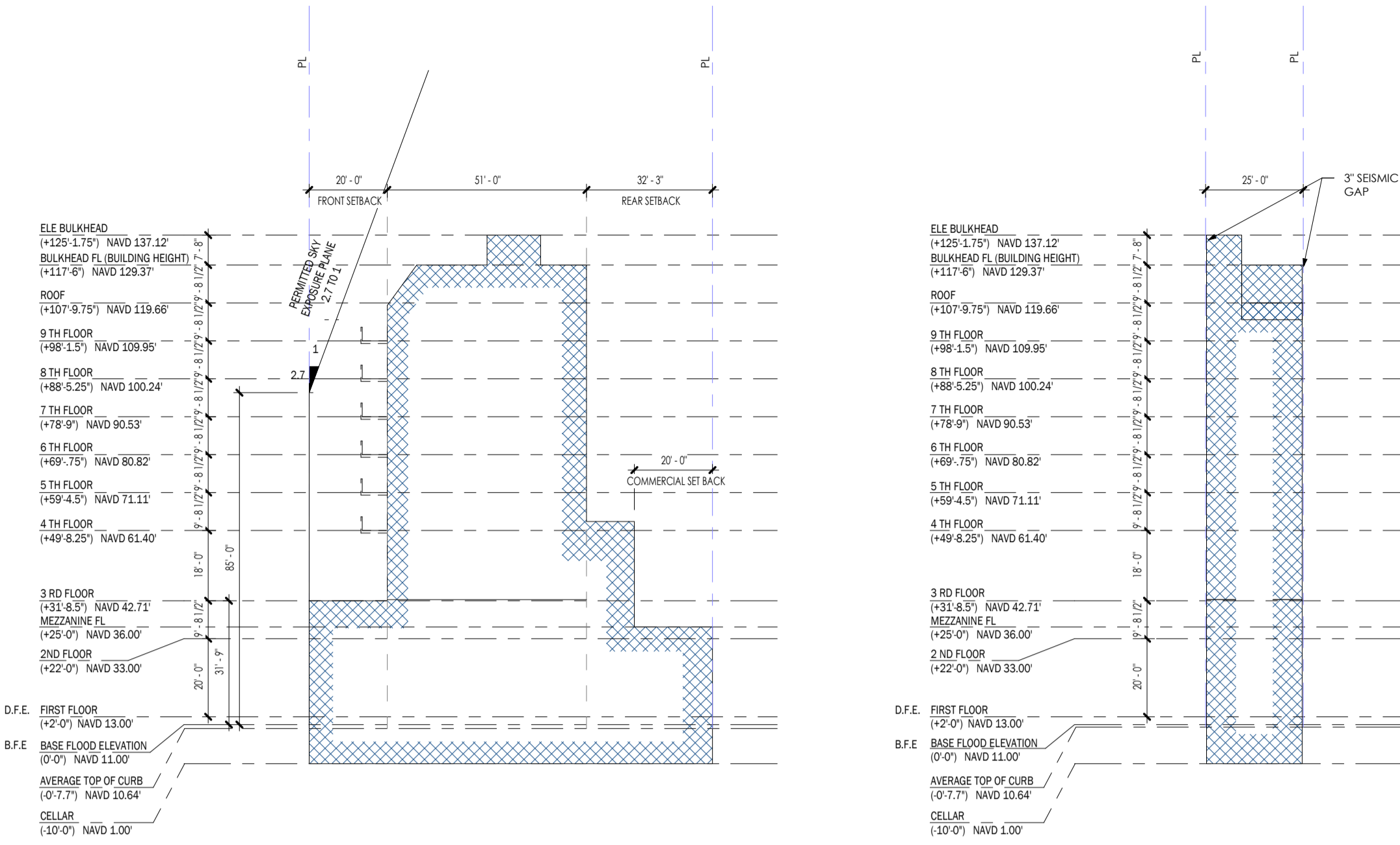


PROPOSED BUILDING



① HEIGHT & SETBACK DIAGRAM
1/32" = 1'-0"

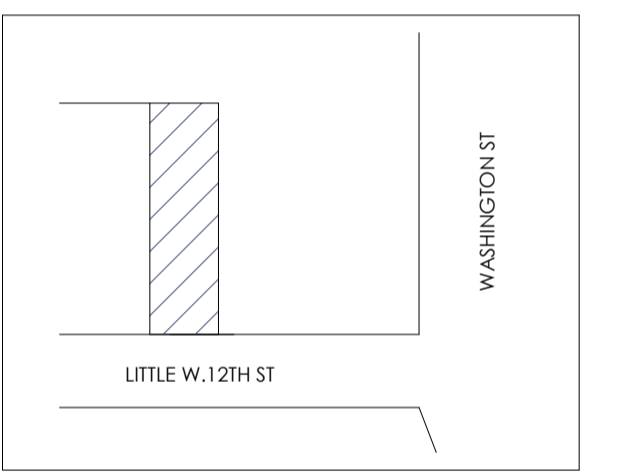
	BUILDING GROSS FLOOR AREA	USE		DEDUCTIONS			ZONING FA		TOTAL ZONING FA
		RESIDENTIAL GROSS	COMMERCIAL GROSS	BALCONY/ TERRACE	MEP	ENERGY BUILDING 5% DEDUCTION	RESIDENTIAL	COMMERCIAL	
CELLAR	2,525 SQ.FT								0 SQ.FT
1ST FLOOR	2,184 SQ.FT	711 SQ.FT	1,473 SQ.FT		10 SQ.FT	109.20 SQ.FT	711 SQ.FT	1,353.80 SQ.FT	2,064.80 SQ.FT
2 ND FLOOR	2,108 SQ.FT	1,622 SQ.FT		486 SQ.FT	1,078 SQ.FT		317 SQ.FT	227 SQ.FT	544 SQ.FT
3 RD FLOOR	2,039 SQ.FT	317 SQ.FT	1,687 SQ.FT		40 SQ.FT	101.95 SQ.FT	277.70 SQ.FT	1,111.05 SQ.FT	1,388.75 SQ.FT
4 TH FLOOR	1,724 SQ.FT	1,724 SQ.FT		382.50 SQ.FT	40 SQ.FT	71.20 SQ.FT	1,230.30 SQ.FT		1,230.30 SQ.FT
5 TH FLOOR	1,424 SQ.FT	1,424 SQ.FT		165/2 = 82.5 SQ.FT	40 SQ.FT	71.20 SQ.FT	1,230.30 SQ.FT		1,230.30 SQ.FT
6 TH FLOOR	1,424 SQ.FT	1,424 SQ.FT		165/2 = 82.5 SQ.FT	40 SQ.FT	71.20 SQ.FT	1,230.30 SQ.FT		1,230.30 SQ.FT
7 TH FLOOR	1,424 SQ.FT	1,424 SQ.FT		165/2 = 82.5 SQ.FT	40 SQ.FT	71.20 SQ.FT	1,230.30 SQ.FT		1,230.30 SQ.FT
8 TH FLOOR	1,424 SQ.FT	1,424 SQ.FT		165/2 = 82.5 SQ.FT	40 SQ.FT	71.20 SQ.FT	1,230.30 SQ.FT		1,230.30 SQ.FT
9 TH FLOOR	1,424 SQ.FT	1,424 SQ.FT		165/2 = 82.5 SQ.FT	40 SQ.FT	71.20 SQ.FT	1,230.30 SQ.FT		1,230.30 SQ.FT
MECHANICAL ROOF	1,249 SQ.FT	1,249 SQ.FT			1,249 SQ.FT	-	0 SQ.FT		0 SQ.FT
BULKHEAD	1,115 SQ.FT	1,115 SQ.FT			1,115 SQ.FT	-	0 SQ.FT		0 SQ.FT
TOTAL	20,064 SQ.FT	13,858.70 SQ.FT	3,160 SQ.FT	1,755 SQ.FT	3,732 SQ.FT	638.35 SQ.FT	8,687.50 SQ.FT	2,691.85 SQ.FT	11,379.35 SQ.FT

ZONING ANALYSIS

ZONING REGULATION	ZR SECTION	PERMITTED / REQUIRED BY UNDERLYING ZONING DISTRICT	PROPOSED	COMPLIANCE / LACK OF COMPLIANCE AND NOTES
PERMITTED USE	ZR 42-10	IN M1-5 AND M1-6 DISTRICTS, EXCEPT FOR M1-6D DISTRICTS, LOCATED WITHIN THE RECTANGLE FORMED BY WEST 23RD STREET, FIFTH AVENUE, WEST 31 TH STREET, AND EIGHT AVENUE, NO NEW DWELLING UNITS SHALL BE PERMITTED. USE GROUP III - COMMUNITY FACILITIES USE GROUP VI - COMMERCIAL	USE GROUP II - RESIDENTIAL USE GROUP VI - SERVICE ESTABLISHMENTS (EATING AND DRINKING ESTABLISHMENT)	VARIANCE REQUIRED FOR USE GROUP II
FLOOR AREA	ZR 43-10	MAX PERMITTED FLOOR AREA RATIO = 5.0 X 2,581 SF = 12,905 SF MAX PERMITTED FLOOR AREA RATIO FOR COMMUNITY FACILITY = 6.5 X 2,581 SF = 16,776 SF	RESIDENTIAL ZFA: 8,687.50 SF COMMERCIAL ZFA: 2,691.85 SF TOTAL ZFA: 11,379.35 SF / 2,581 SF = 4.41 F.A.R.	VARIANCE REQUIRED FOR RESIDENTIAL ZFA
NUMBER OF DWELLING UNITS	ZR 23-22	FOR RESIDENTIAL USE IN R6-R10, FACTOR FOR DETERMINING MAX NUMBER OF DWELLING UNITS = 680 8,412.20 / 680 = 12.4 UNITS	6 UNITS	COMPLIES
YARDS	ZR 43-25	SIDE YARDS	NO SIDE YARD IS REQUIRED. IF PROVIDED, AT LEAST 8FT	NONE PROVIDED
	ZR 43-26	REAR YARDS	MIN 20 FT	32' - 3" FT REAR YARD PROVIDED
HEIGHT AND SETBACK REGULATIONS	ZR 43-43	MAX. BUILDING HEIGHT: 85 FT OR 6 STORIES, WHICHEVER IS LESS ABOVE SUCH MAX HEIGHT AND BEYOND THE INITIAL SETBACK DISTANCE, THE BUILDING SHALL NOT PENETRATE THE SKY EXPOSURE PLANE. SKY EXPOSURE PLANE, AFTER 85 FT SLOPE OVER ZONING LOT: ON NARROW STREET; VERTICAL DISTANCE = 2.7, HORIZONTAL DISTANCE = 1 INITIAL SETBACK DISTANCE: 20 FT ON NARROW STREET & 15 FT ON WIDE STREET	MAX BUILDING HEIGHT: 117'-6" INITIAL SETBACK DISTANCE: 20'-0"	COMPLIES
PERMITTED OBSTRUCTIONS	ZR 23-411 ZR 23-412	IN ALL M DISTRICTS, THE OBSTRUCTIONS SET FORTH IN SECTION 23-411 AS WELL AS THE FOLLOWING OBSTRUCTIONS SHALL BE PERMITTED TO PENETRATE A MAXIMUM HEIGHT LIMIT OR A SKY EXPOSURE PLANE SET FORTH IN SECTION 43-43. ZR 23-412: IN ALL RESIDENCE DISTRICTS, THE FOLLOWING OBSTRUCTIONS SHALL BE PERMITTED TO PENETRATE A MAXIMUM HEIGHT LIMIT OR SKY EXPOSURE PLANE. BALCONIES, UNENCLOSED, SUBJECT TO THE PROVISIONS OF SECTION 23-62 (BALCONIES) ZR 23-62: BALCONIES MAY PROJECT NOT GREATER THAN SEVEN FEET, FROM BUILDING WALL FROM WHICH IT PROJECTS.		
BALCONIES	ZR 23-62	IN THE DISTRICT R6-R10, BALCONIES MAY PROJECT INTO OR OVER ANY REQUIRED OPEN AREA WITHIN A PUBLICLY ACCESSIBLE OPEN AREA, A REAR YARD, AN INITIAL SETBACK DISTANCE, ANY OPEN AREAS NOT OCCUPIED BY TOWERS, ANY REQUIRED SIDE OR REAR SETBACKS, OR ANY REQUIRED OPEN SPACE, PROVIDED THAT SUCH BALCONY SHALL: A) NOT PROJECT BY A DISTANCE GREATER THAN 7FT AS MEASURED FROM THE PLANE SURFACE OF THE BUILDING WALL FROM WHICH IT PROJECTS. B) NOT PROJECT INTO THE MINIMUM REQUIRED DISTANCE BETWEEN BUILDINGS ON THE SAME ZONING LOT F) HAVE AN AGGREGATE WIDTH, AT THE LEVEL OF ANY STORY, NOT EXCEEDING 50% OF THE WIDTH AT THAT LEVEL OF THE PLANE SURFACE OF THE BUILDING WALL FROM WHICH IT PROJECTS.	BALCONY WIDTH: 6'-9"	COMPLIES
ACCESSORY OFF-STREET PARKING	ZR 13-10	NO PARKING SHALL BE REQUIRED WITHIN THE MANHATTAN CORE	NONE PROVIDED	COMPLIES
BICYCLE PARKING	ZR 25-81	1 PER 2 DWELLING UNITS	6 PARKING SPOTS	COMPLIES
STREET TREE PLANTING	ZR 26-41	1 FOR EVERY 25'-0" FOR LOT FRONTAGE: 25 FT / 25 = 1 TREE REQUIRED		COMPLIES
FLOOD MAP	ZR 64-11	APPENDIX G STRUCTURAL OCCUPANCY CATEGORY II. MINIMUM ELEVATION OF LOWEST FLOOR: DFE = BFE	MINIMUM ELEVATION OF LOWEST FLOOR: DFE= 11'-0" + 2'-0" = 13'-0" BASE PLAN ELEVATION: 13'-0"	COMPLIES
FLOOD-RESISTANT BUILDING			MINIMUM ELEVATION OF LOWEST FLOOR: DFE= 11'-0" + 2'-0" = 13'-0" BASE PLAN ELEVATION: 13'-0"	COMPLIES
FLOOD-RESISTANT CONSTRUCTION ELEVATION			MINIMUM ELEVATION OF LOWEST FLOOR: DFE= 11'-0" + 2'-0" = 13'-0" BASE PLAN ELEVATION: 13'-0"	COMPLIES
FLOOD-RESISTANT CONSTRUCTION STANDARDS			MINIMUM ELEVATION OF LOWEST FLOOR: DFE= 11'-0" + 2'-0" = 13'-0" BASE PLAN ELEVATION: 13'-0"	COMPLIES
HIGH-RISK FLOOD ZONE			MINIMUM ELEVATION OF LOWEST FLOOR: DFE= 11'-0" + 2'-0" = 13'-0" BASE PLAN ELEVATION: 13'-0"	COMPLIES
MEASUREMENT OF HEIGHT	ZR 64-22	ALL HEIGHT MEASUREMENTS IN FLOOD ZONES, INCLUDING THE NUMBER OF STORIES PERMITTED, AS APPLICABLE, MAYBE MEASURED FROM THE REFERENCE PLANE.	BUILDING HEIGHTS ARE MEASURED FROM THE REFERENCE PLANE	COMPLIES

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KEY PLAN



CLIENT:

NOVAC NOURY

PROJECT NAME:

51 LITTLE W.12TH ST PROPOSED RESTAURANT & RESIDENTIAL SCENARIO

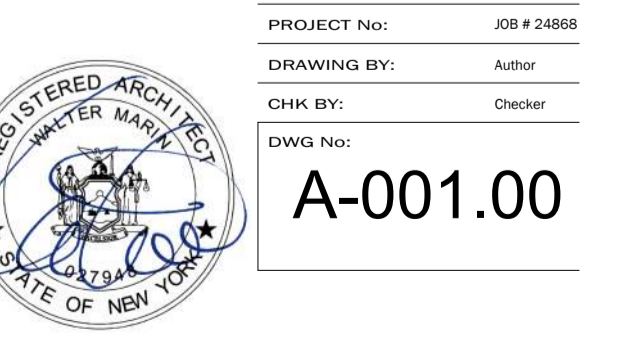
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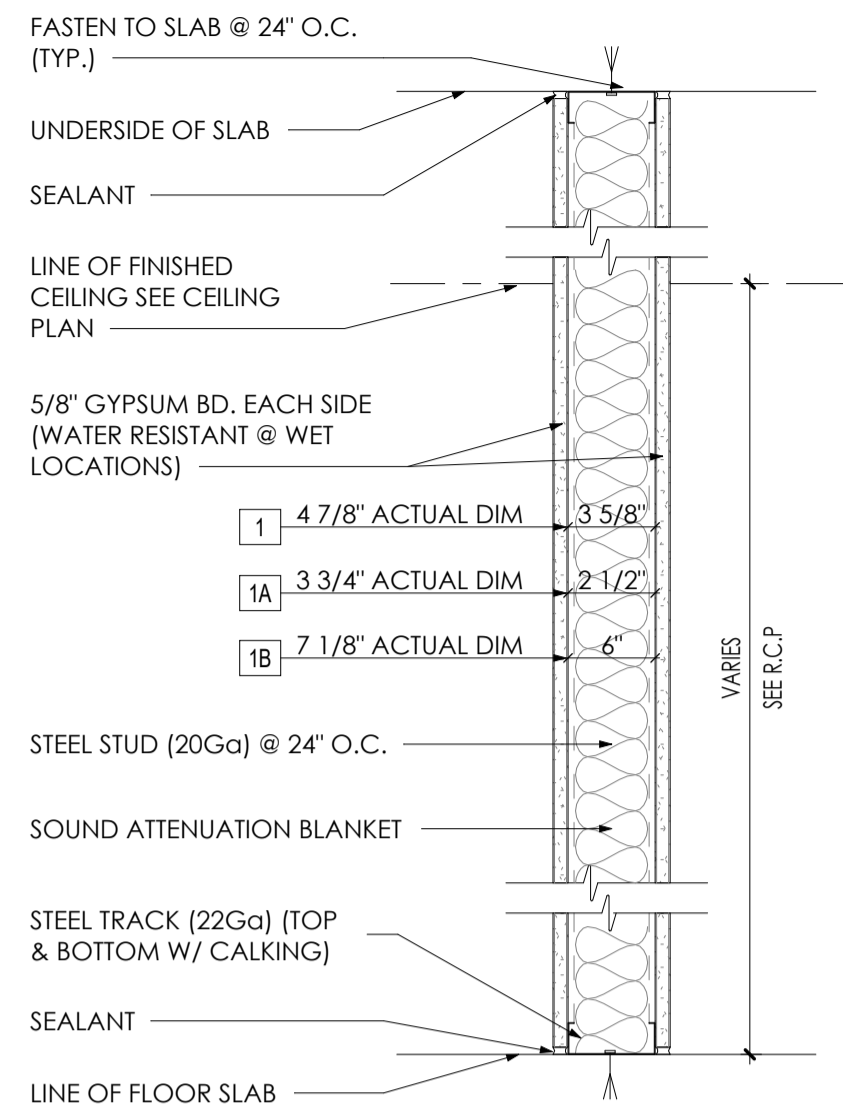
51 LITTLE WEST 12TH STREET
NEW YORK, NY 10014
BLOCK 645, LOT 21

DWG TITLE:

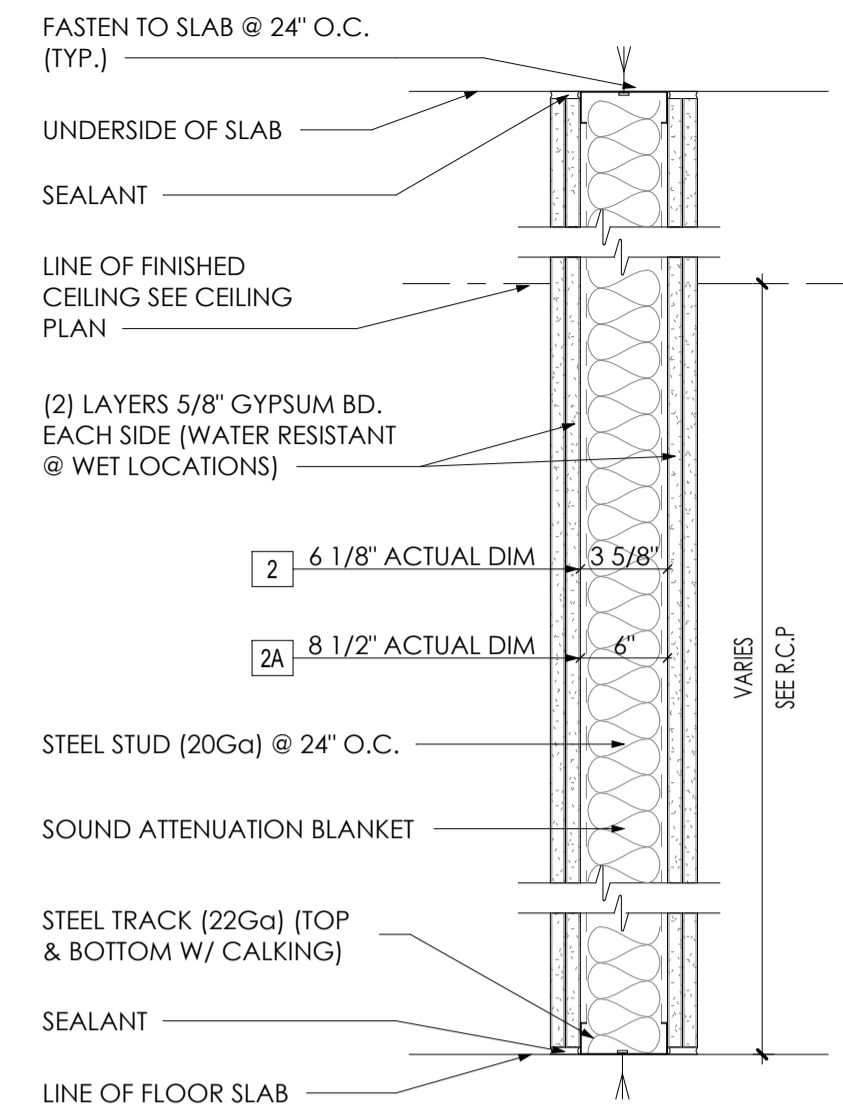
ZONING & BUILDING CODE
ANALYSIS

SEAL

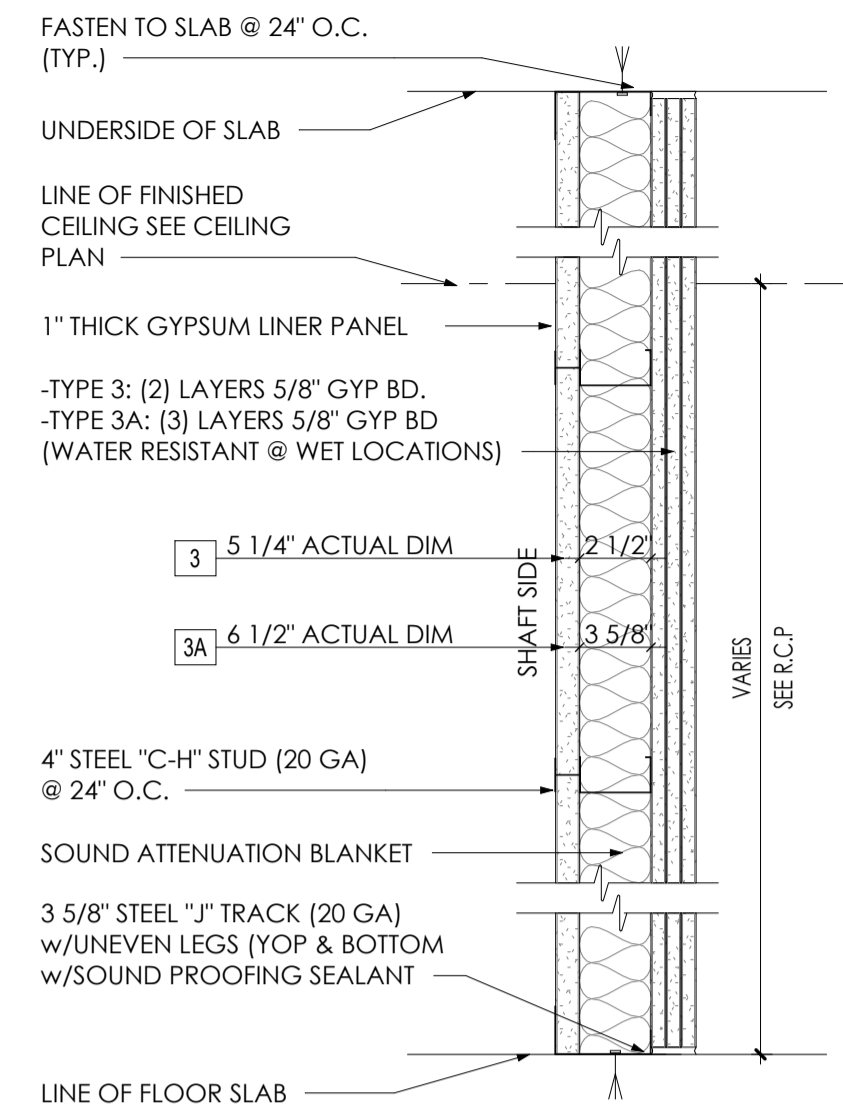




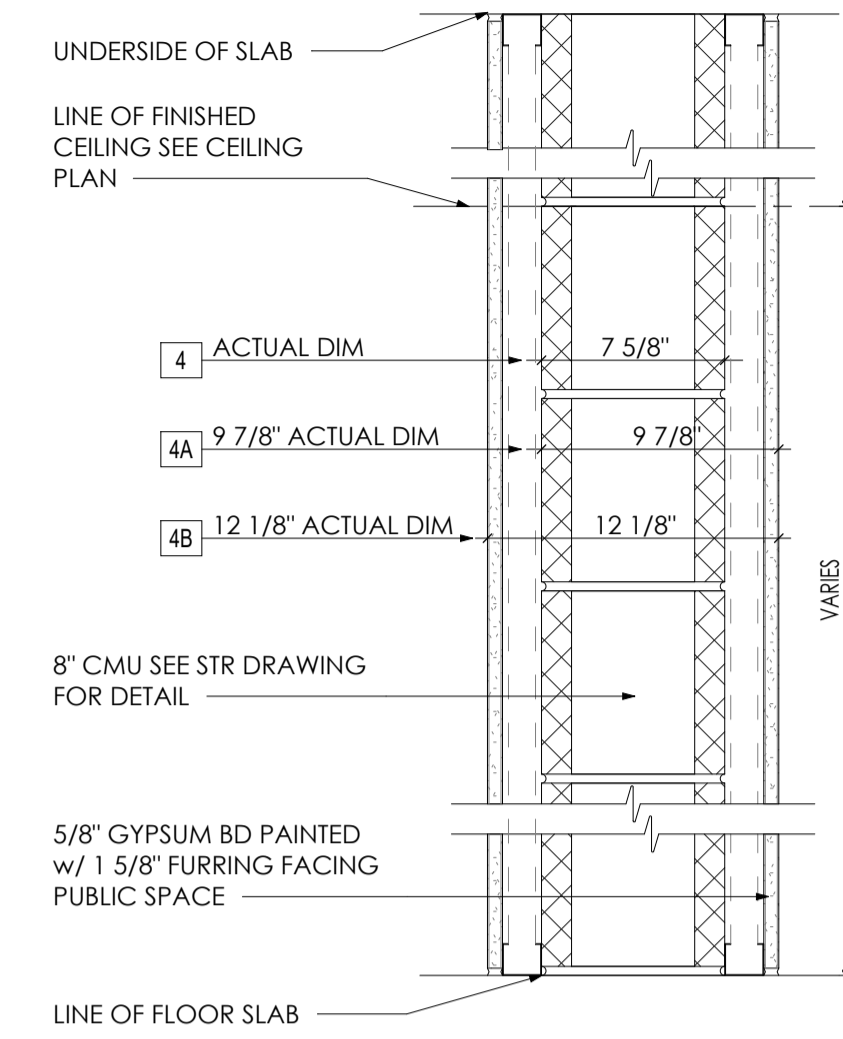
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STC: 45 L.#: U407
- 1A** 1-HR RATED PARTITION w/ 3 5/8" STUDS
STC: 53 L.#: U407
- 1B** 1-HR RATED PARTITION w/ 6" STUDS
STC: 53 L.#: U407



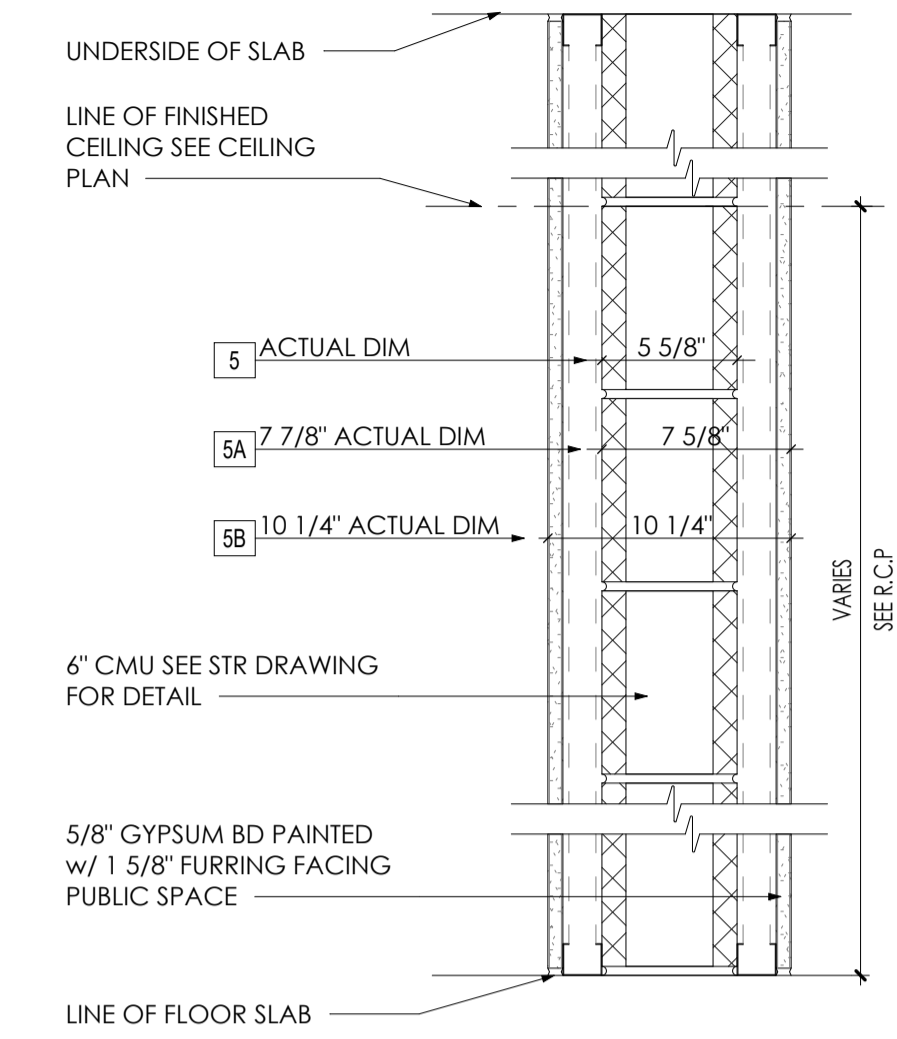
- 2** 2-HR RATED PARTITION w/ 3 5/8" STUDS
STC: 53 L.#: U407
- 2A** 2-HR RATED PARTITION w/ 6" STUDS
STC: 53 L.#: U407



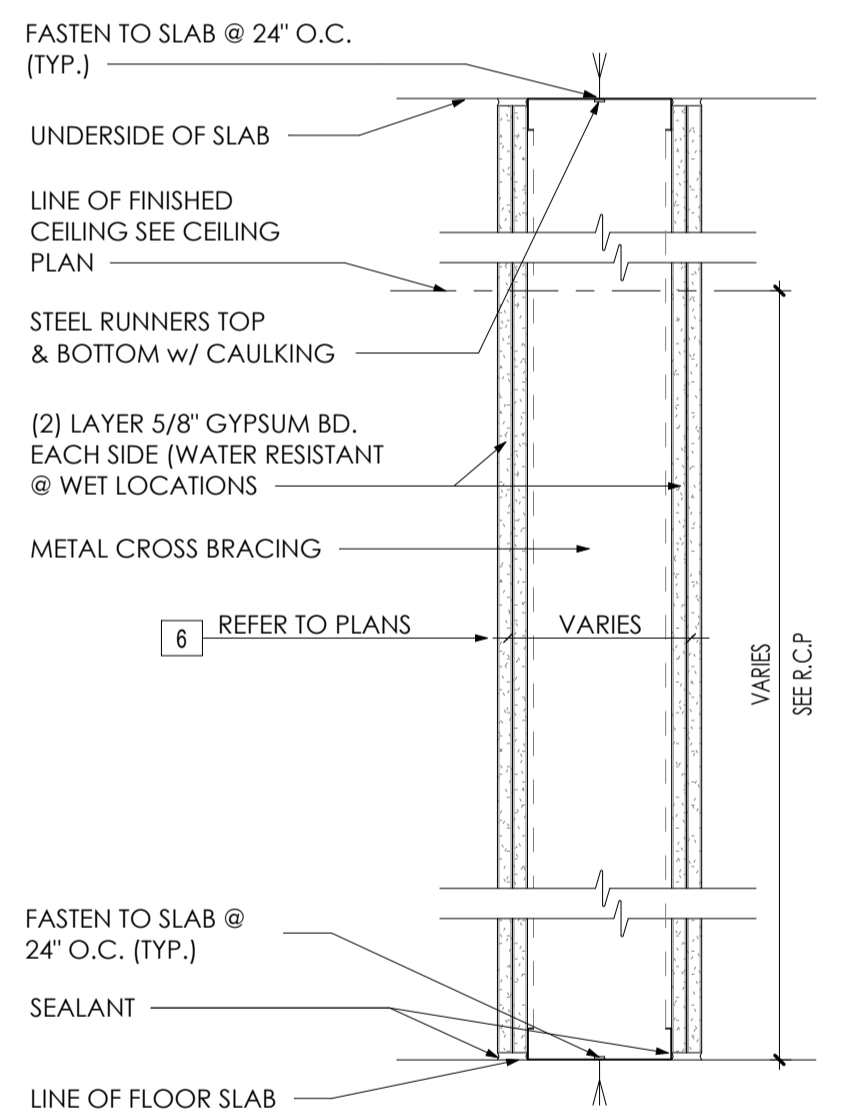
- 3** 2-HR RATED SHAFT WALL w/ 2 1/2" STUDS
STC: 58 L.#: U415
- 3A** 3-HR RATED SHAFT WALL w/ 3 5/8" STUDS
STC: 58 L.#: U415



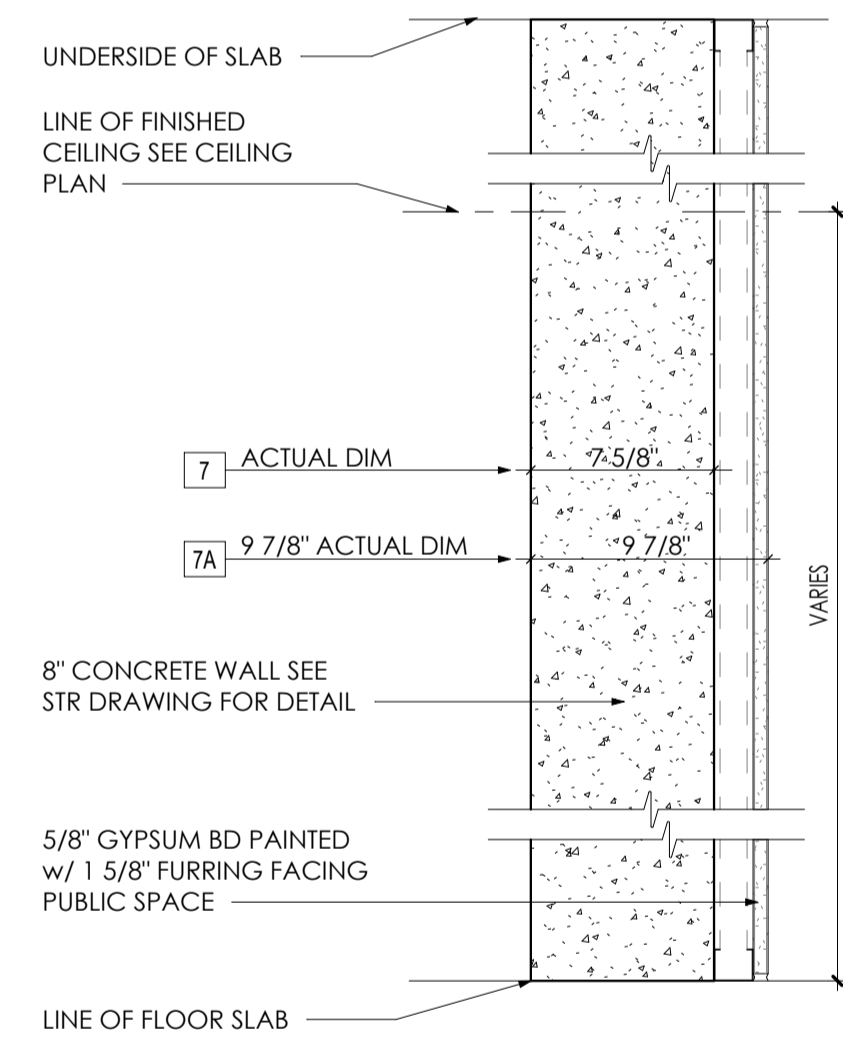
- 4** 8" CMU WALL
STC: 55
- 4A** 8" CMU WALL & FURRING
- 4B** 8" CMU WALL & FURRING BOTH SIDES



- 5** 6" CMU WALL
STC: 55
- 5A** 6" CMU WALL & FURRING
- 5B** 6" CMU WALL & FURRING BOTH SIDES

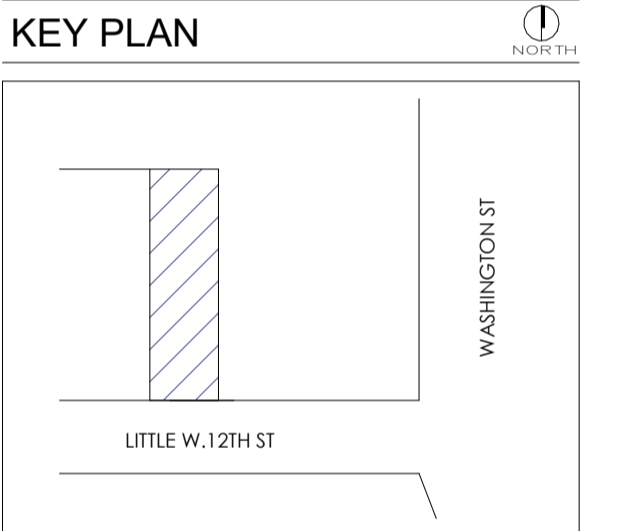


- 6** PIPE CHASE
STC: 55



- 7** 8" CONCRETE WALL
- 7A** 8" CONCRETE WALL & FURRING

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CLIENT:
NOVAC NOURY

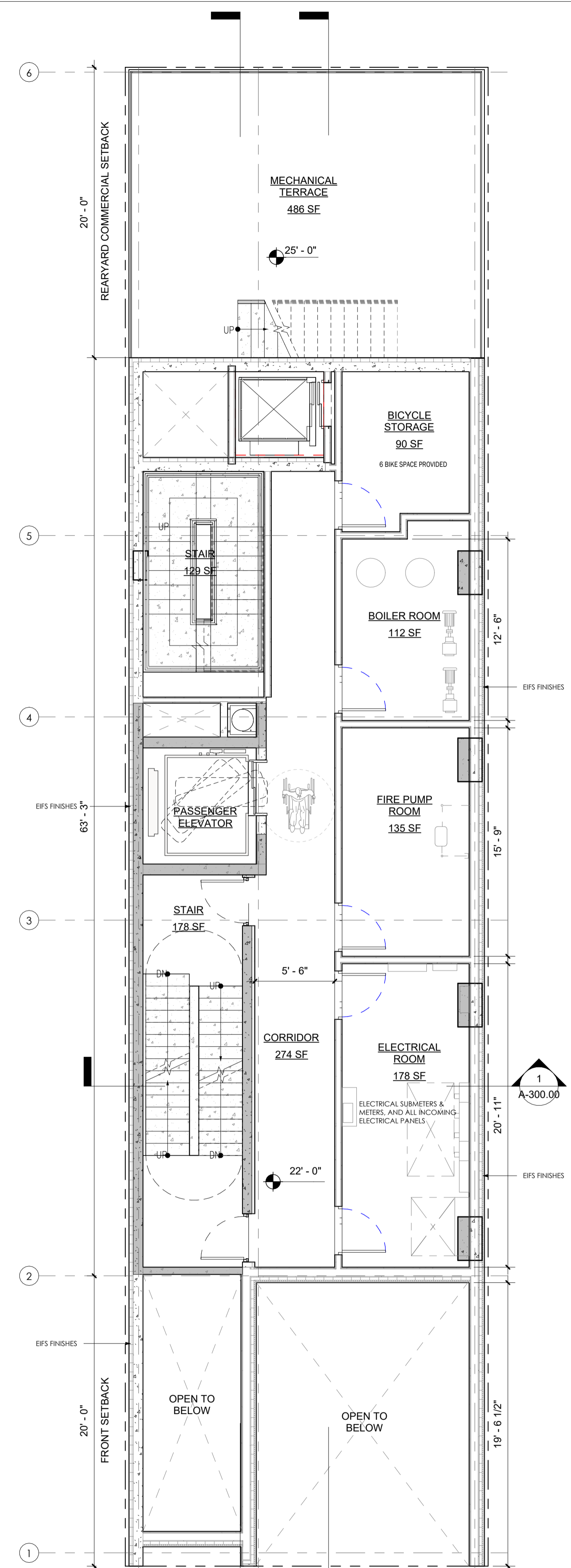
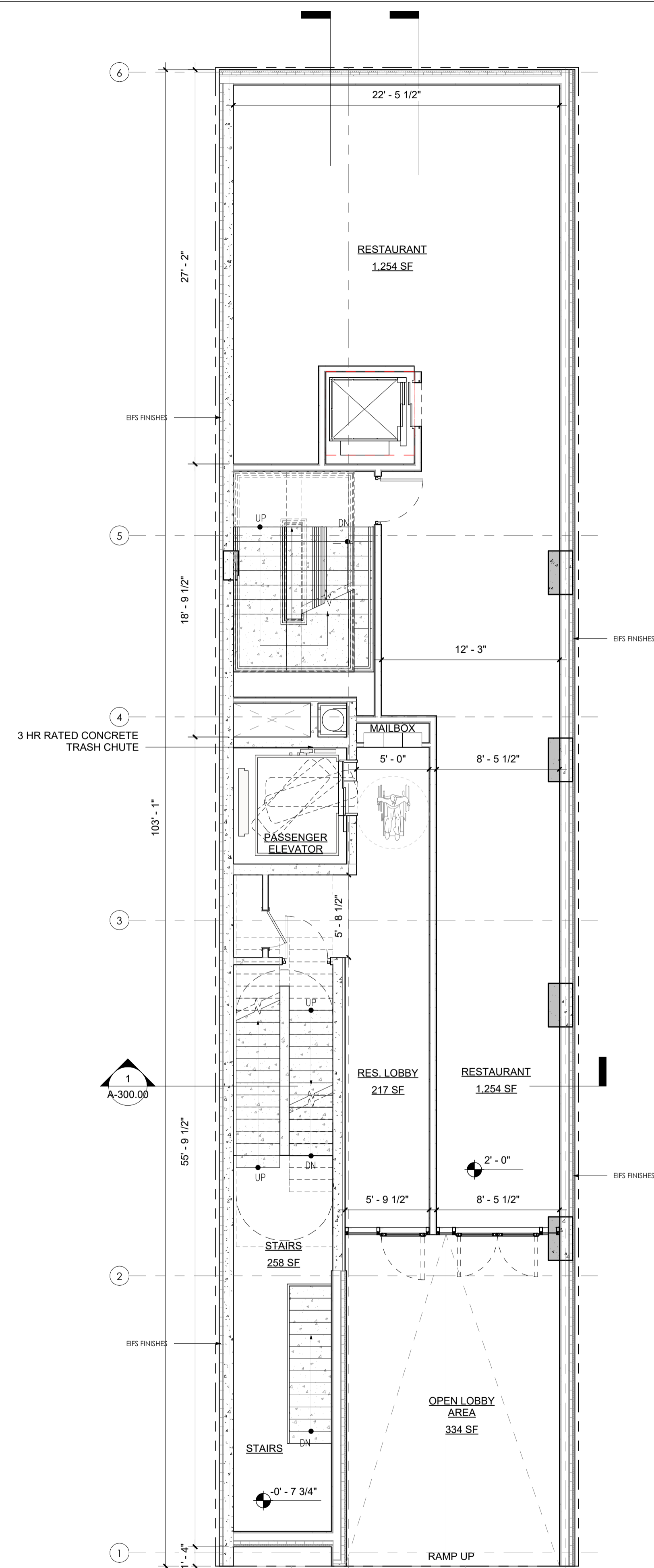
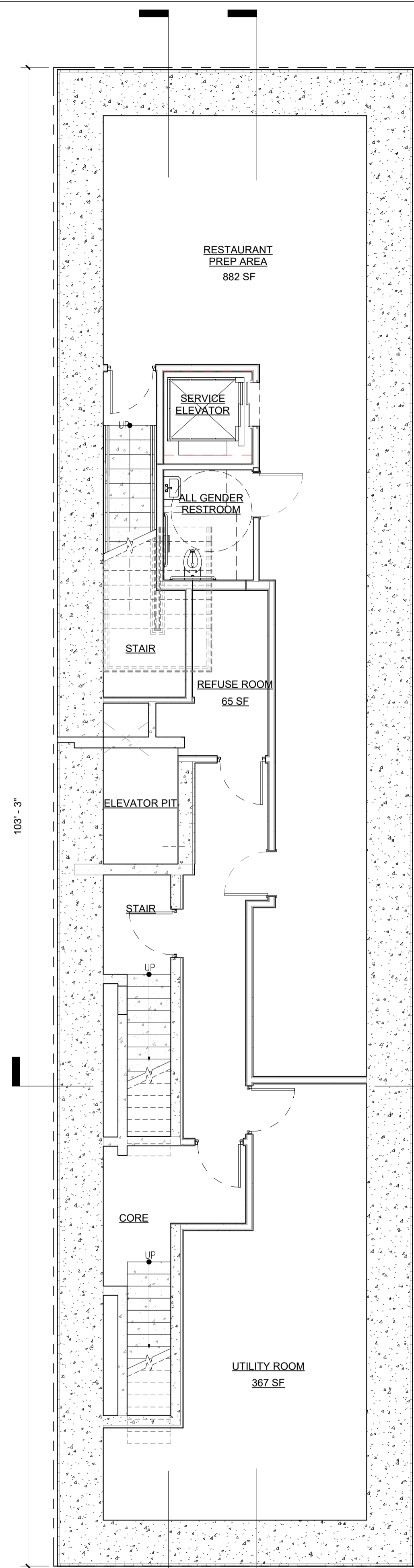
PROJECT NAME:
**51 LITTLE W.12TH ST
PROPOSED RESTAURANT &
RESIDENTIAL SCENARIO**

PROJECT ADDRESS:
**51 LITTLE WEST 12TH STREET
NEW YORK, NY 10014
BLOCK 645, LOT 21**

DWG TITLE:
INTERIOR PARTITIONS

SEAL

DATE: 10/15/25
PROJECT No: JOB # 24868
DRAWING BY: Author
CHK BY: Checker
DWG No: **A-011.00**



1 CELLAR FLOOR
3/16" = 1'-0"

2 GROUND / 1ST FLOOR
3/16" = 1'-0"

3 2ND FLOOR
3/16" = 1'-0"

NOTE REQUIRED ON PLANS:
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BSA AND GENERAL NOTES:

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- CONSTRUCTION PROTECTION PLAN WILL BE SUBMITTED TO LANDMARKS PRESERVATION COMMISSION (LPC) FOR REVIEW PRIOR TO THE START OF CONSTRUCTION.
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KEY PLAN



CLIENT:

NOVAC NOURY

PROJECT NAME:

**51 LITTLE W.12TH ST
PROPOSED RESTAURANT &
RESIDENTIAL SCENARIO**

PROJECT ADDRESS:

**51 LITTLE WEST 12TH STREET
NEW YORK, NY 10014
BLOCK 645, LOT 21**

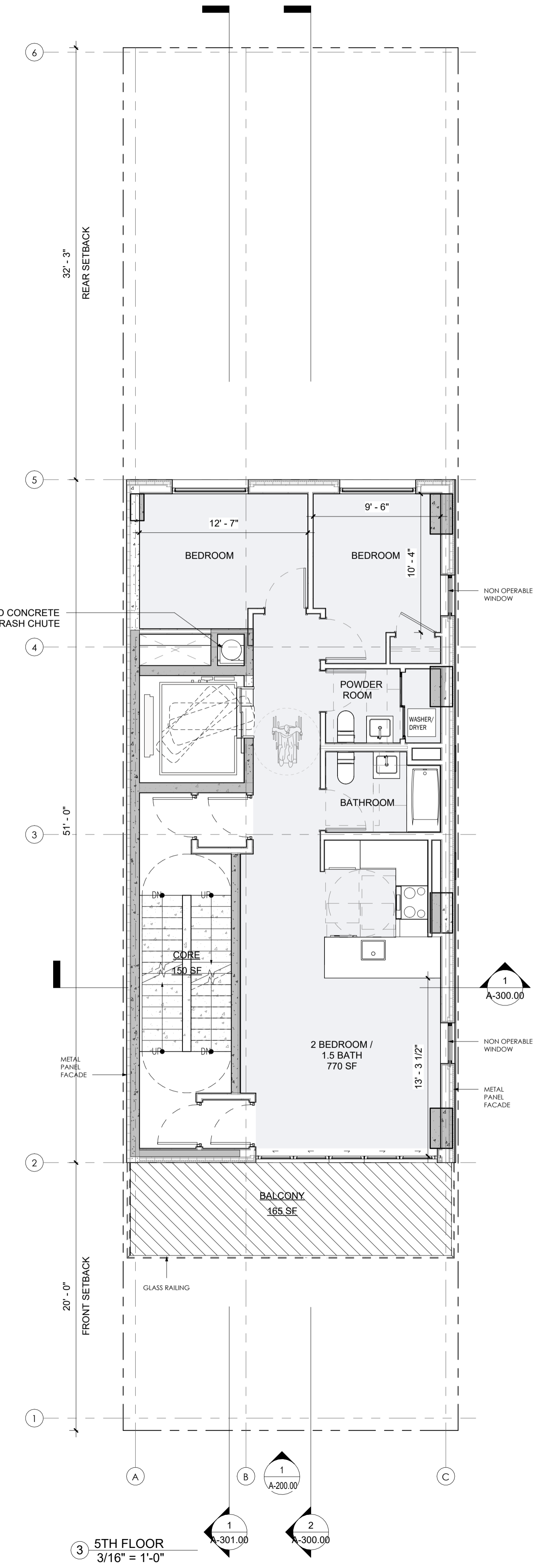
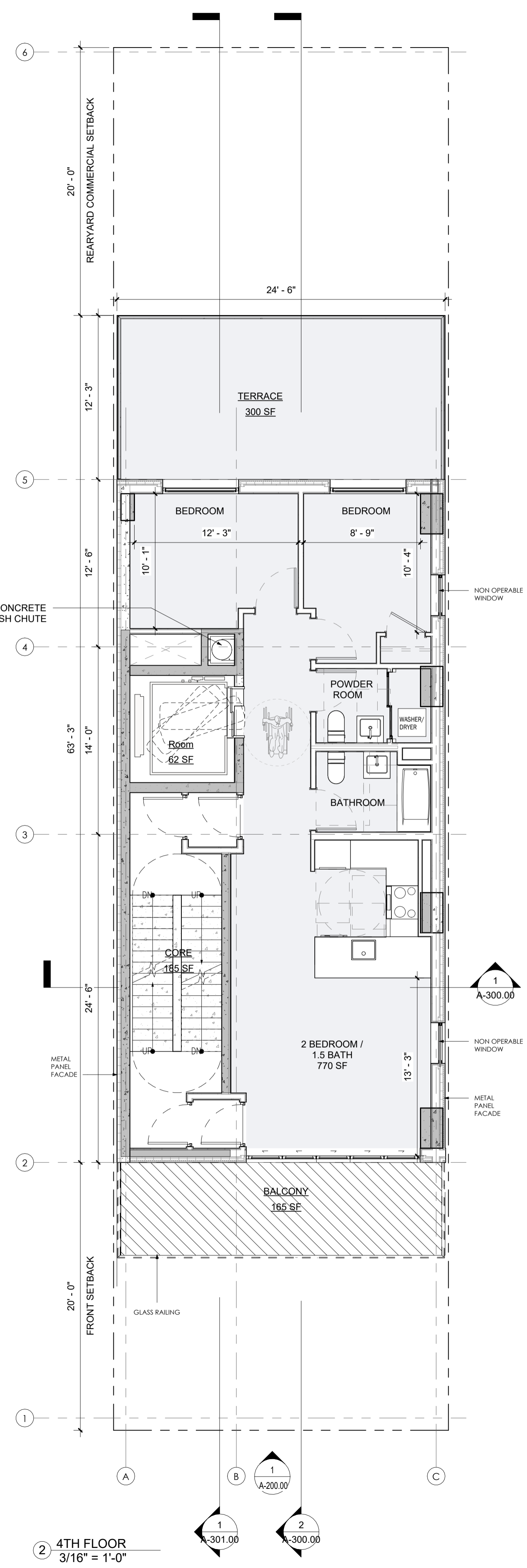
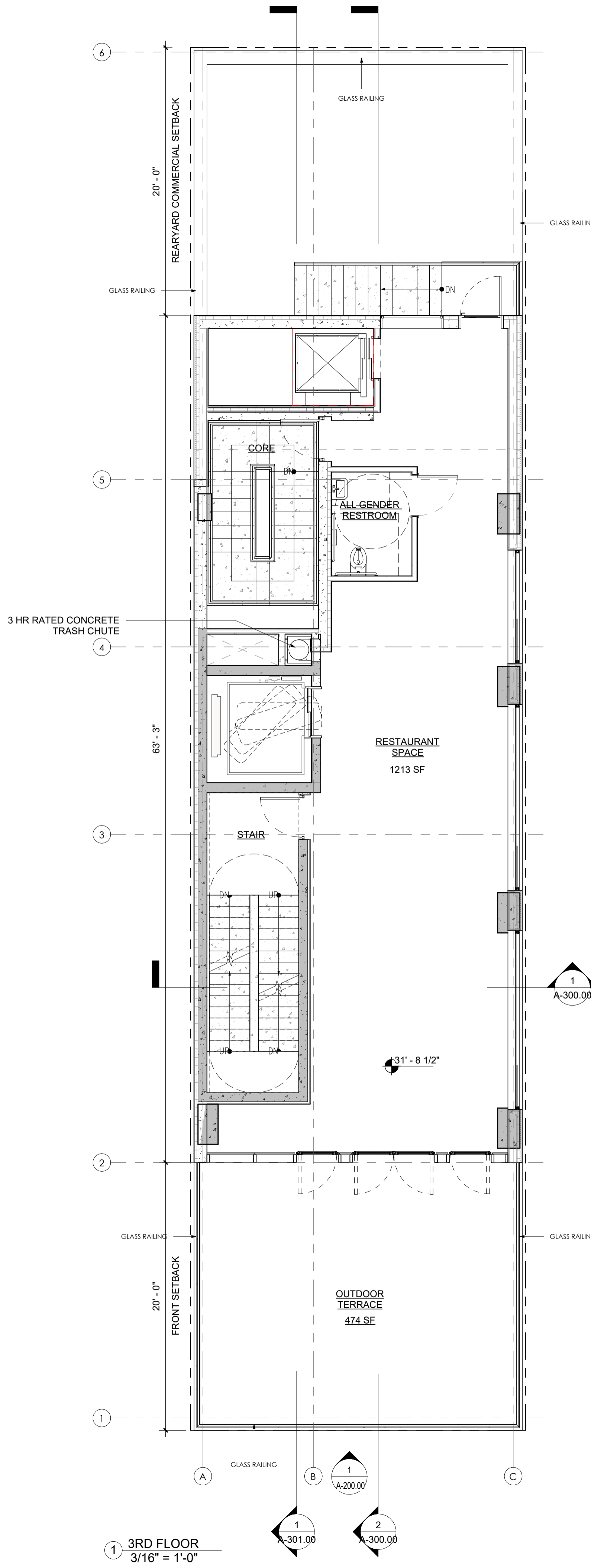
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CELLAR, 1ST, 2ND FLOOR

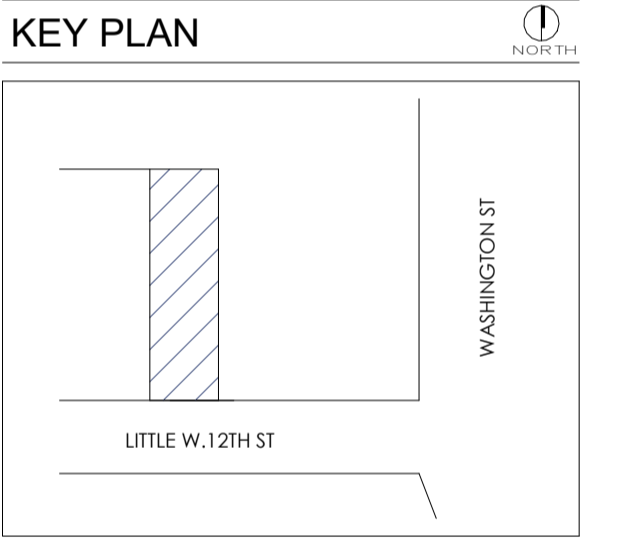
SEAL

DATE:	10/15/25
PROJECT No:	JOB # 24888
DRAWING BY:	Author
CHK BY:	Checker
DWG No:	A-100.00

DOB BSCAN STICKER



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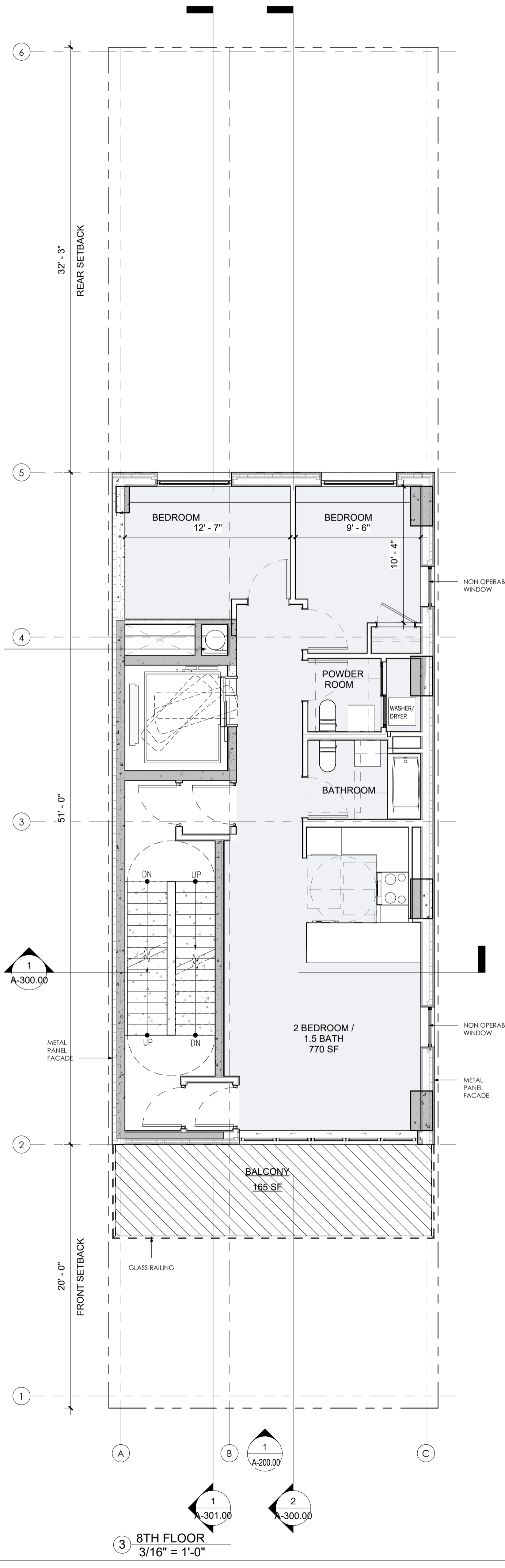
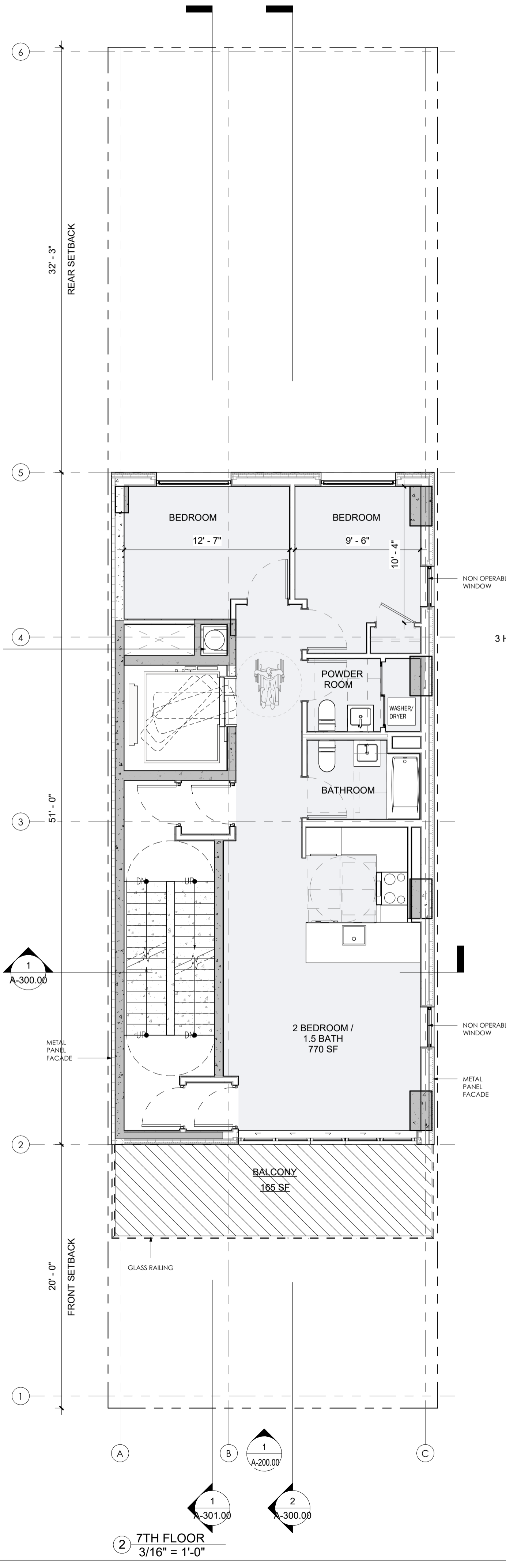
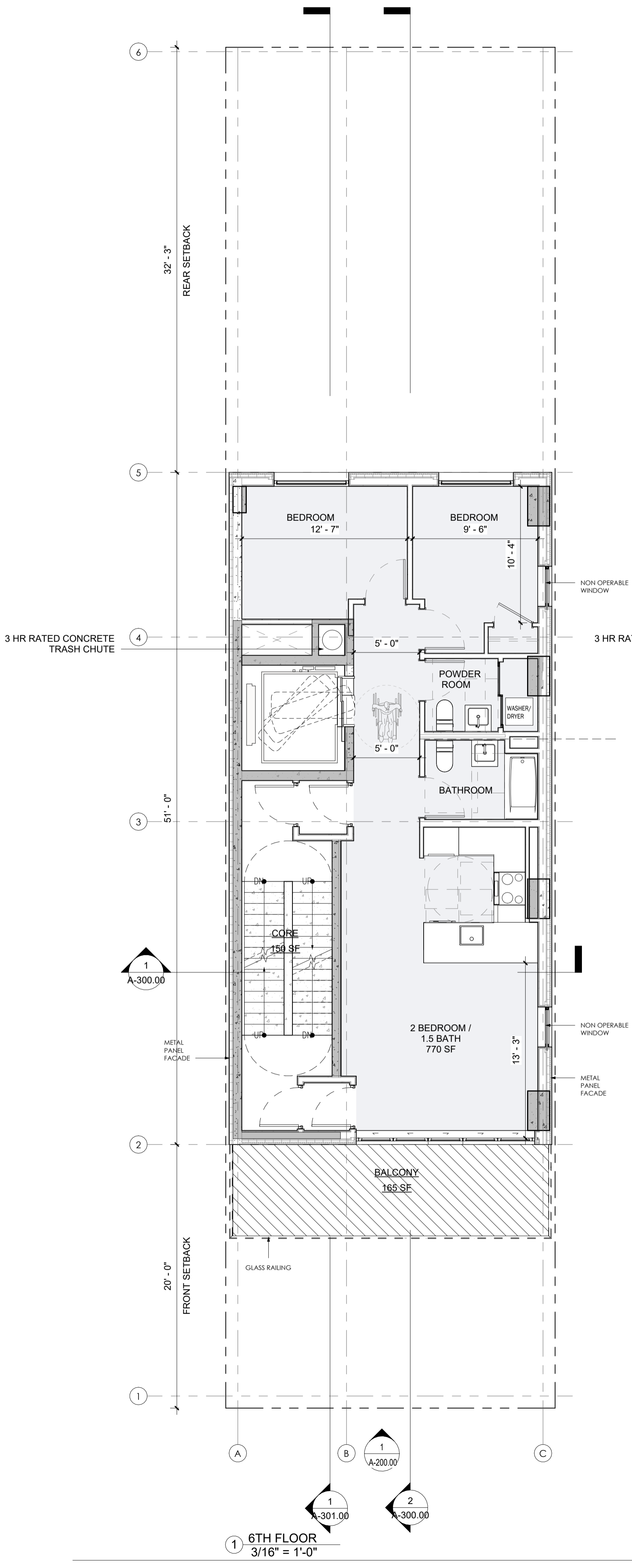
PROJECT NAME:
51 LITTLE W. 12TH ST
PROPOSED RESTAURANT & RESIDENTIAL SCENARIO

PROJECT ADDRESS:
51 LITTLE WEST 12TH STREET
NEW YORK, NY 10014
BLOCK 645, LOT 21

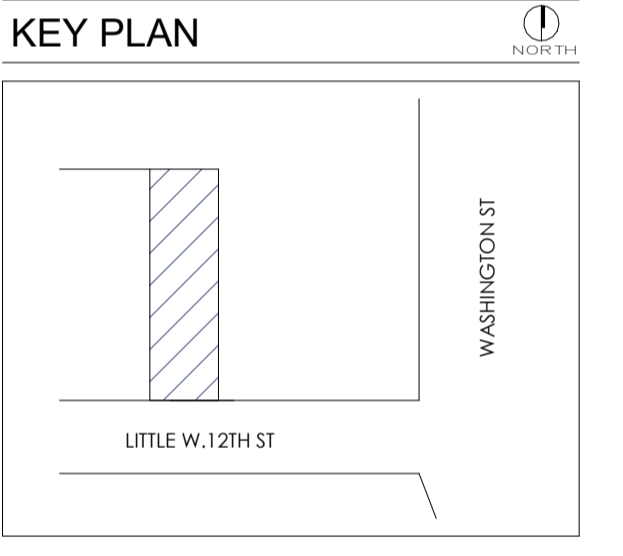
DWG TITLE:
3RD, 4TH, 5TH FLOOR

SEAL

DATE: 10/15/25
PROJECT No: JOB # 24868
DRAWING BY: Author
CHK BY: Checker
DWG No: **A-101.00**



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PROJECT NAME:
**51 LITTLE W.12TH ST
PROPOSED RESTAURANT &
RESIDENTIAL SCENARIO**

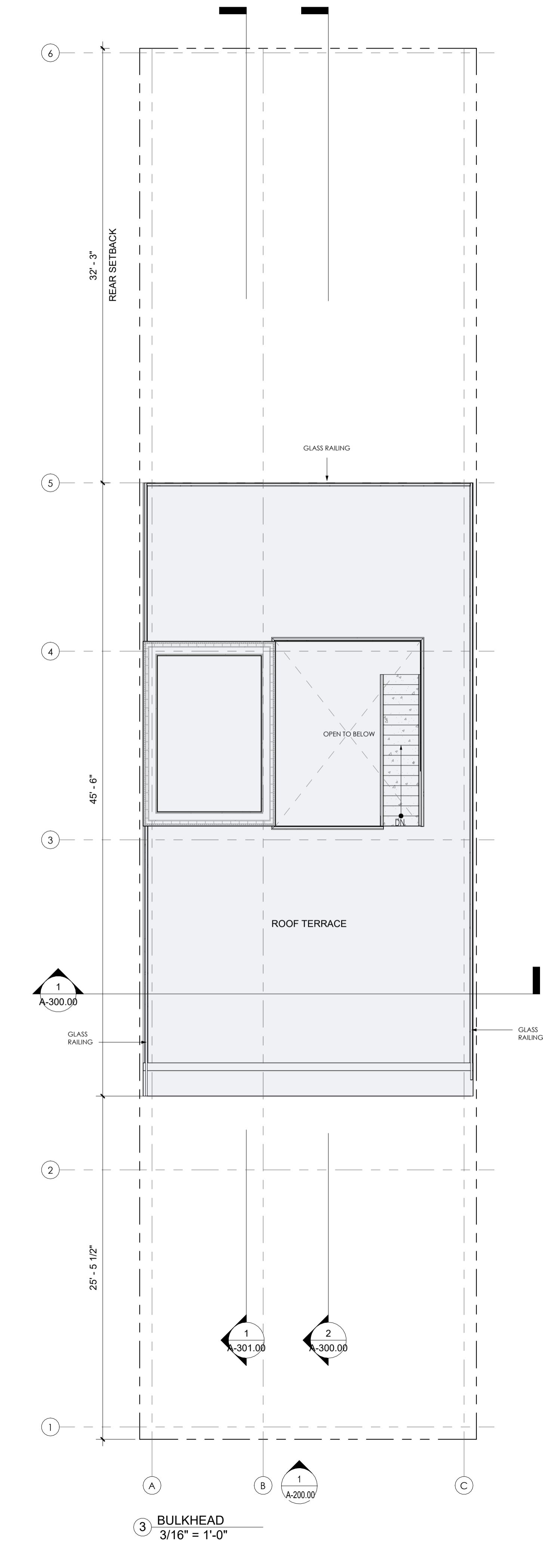
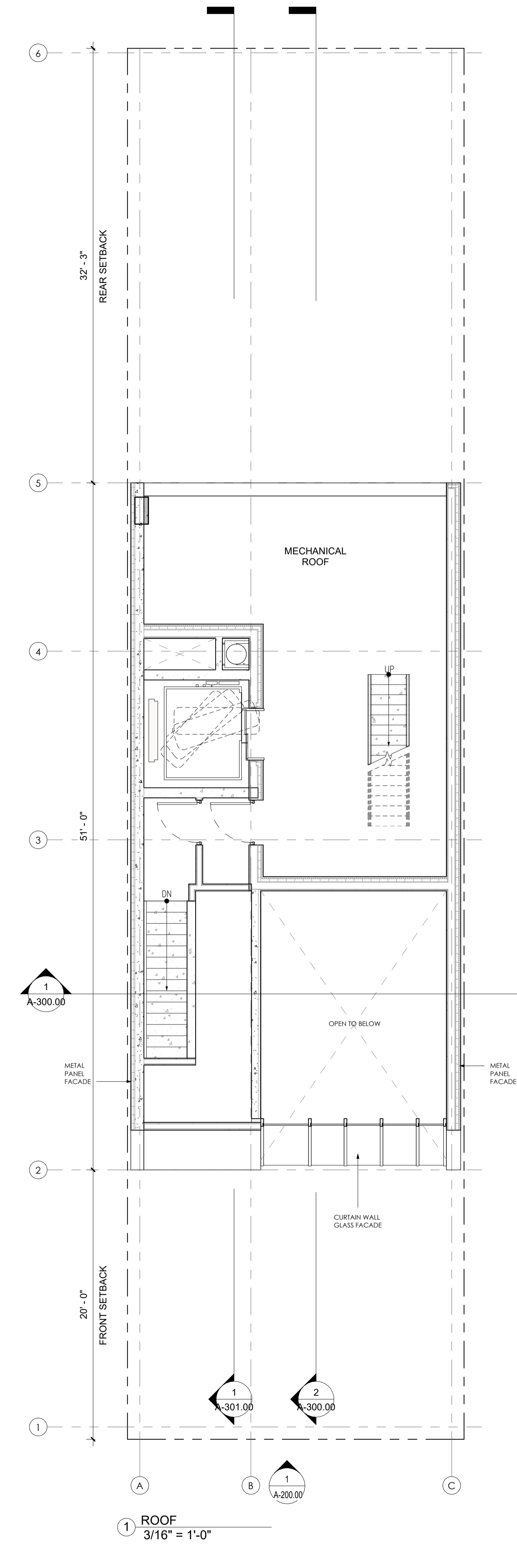
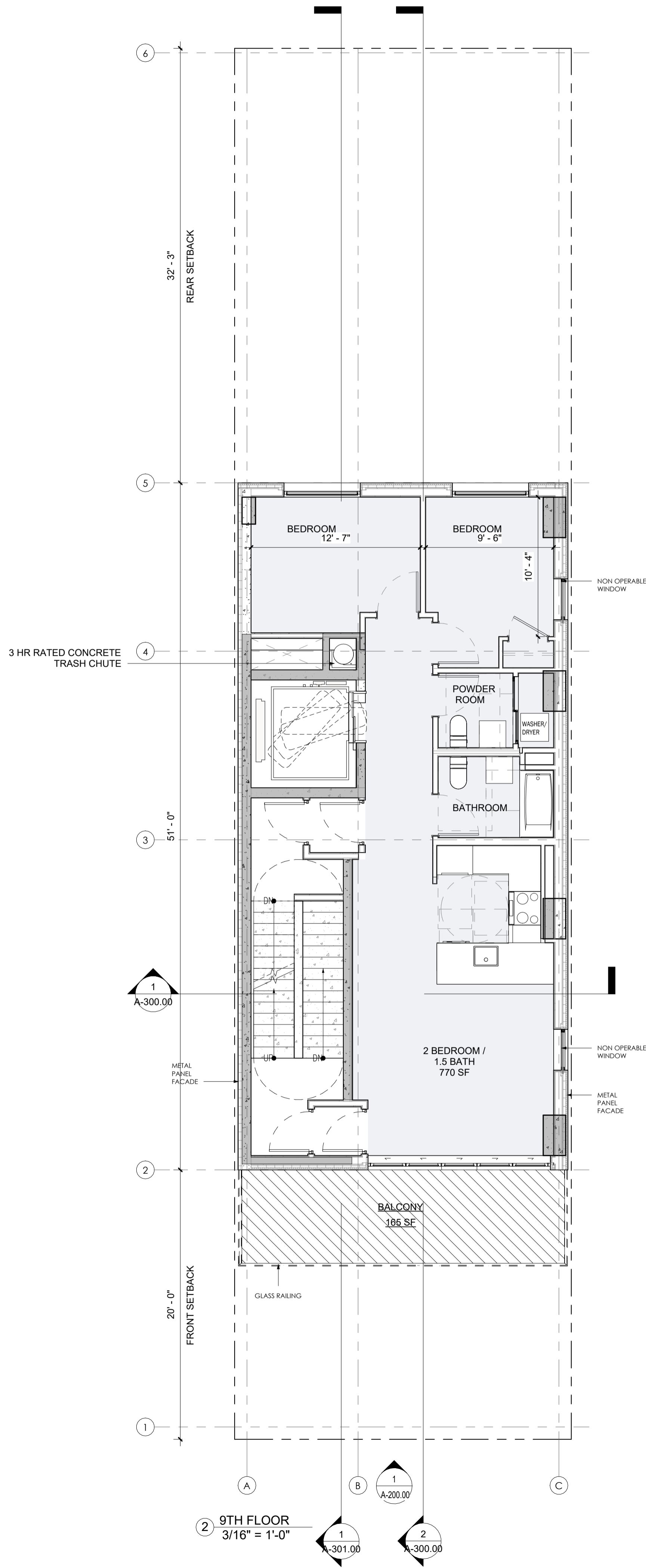
PROJECT ADDRESS:
**51 LITTLE WEST 12TH STREET
NEW YORK, NY 10014
BLOCK 645, LOT 21**

DWG TITLE:
6TH, 7TH, 8TH FLOOR PLAN

DATE:	10/15/25
PROJECT No:	JOB # 24868
DRAWING BY:	Author
CHK BY:	Checker
DWG No:	A-102.00



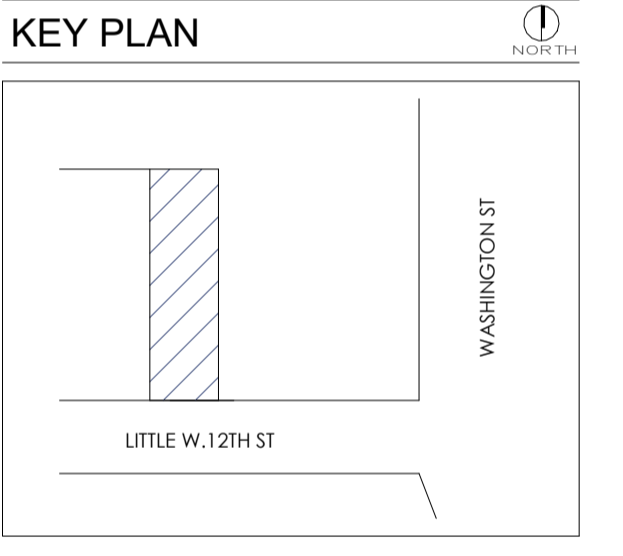
DOB BSCAN STICKER



NOTE REQUIRED ON PLANS:
 "FLOOD REGULATIONS, ARTICLE S, CHAPTER B, OF THE ZONING RESOLUTION AND APPENDIX G OF THE NEW YORK CITY BUILDING CODE, AS APPLICABLE. SHALL BE COMPLIED WITH AS REVIEWED AND APPROVED BY THE DEPARTMENT OF BUILDINGS."

- BSA AND GENERAL NOTES:**
- ALL WORK AND SITE CONDITIONS SHALL SUBSTANTIALLY CONFORM TO DRAWINGS FILED AT BOARD OF STANDARDS AND APPEALS (BSA).
 - ALL PARTITIONS AND EXITS SHALL BE APPROVED BY THE DEPARTMENT OF BUILDINGS (DOB).
 - DOB SHALL ENSURE COMPLIANCE WITH ALL OTHER APPLICABLE PROVISIONS OF THE ZONING RESOLUTION, THE ADMINISTRATIVE CODE AND ANY OTHER RELEVANT LAWS UNDER ITS JURISDICTION IRRESPECTIVE OF THE PLANS/CONFIGURATIONS NOT RELATED TO THE RELIEF GRANTED.
 - NO NOISE APPLICATION AT GRADE AND NO NOISE AMPLIFICATION DEVICES WILL BE ADDED IN OUTDOOR AREAS.
 - ALL SIGNAGE SHALL COMPLY WITH UNDERLYING ZONING DISTRICT REGULATIONS SUBJECT TO DOB REVIEW AND APPROVAL. BSA IS NOT WAIVING SIGNAGE REQUIREMENTS AND NO SIGNAGE WAIVERS ARE BEING REQUESTED.
 - THE BSA'S APPROVAL OF THE INSTANT PLANS DOES NOT CONSTITUTE ANY WAIVER OF ANY FLOOD REGULATIONS THAT MAY APPLY TO THE PREMISES. THE APPLICANT MUST COMPLY WITH ALL APPLICABLE FLOOD REGULATIONS, INCLUDING ARTICLE 6, CHAPTER 4, OF THE ZONING RESOLUTION AND APPENDIX G OF THE BUILDING CODE, AS REVIEWED AND APPROVED BY THE DEPARTMENT OF BUILDINGS.
 - THE PROPOSED PROJECT SHALL USE ELECTRICITY TO POWER HVAC SYSTEMS.
 - CONSTRUCTION PROTECTION PLAN WILL BE SUBMITTED TO LANDMARKS PRESERVATION COMMISSION (LPC) FOR REVIEW PRIOR TO THE START OF CONSTRUCTION.
 - BSA IS NOT PROVIDING ANY WAIVER OF AUTHORIZED PERMITTED OBSTRUCTIONS, AND DOB SHALL DETERMINE IF PROPOSED CONFIGURATION IS COMPLIANT.
 - NO WAIVER FOR PERMITTED OBSTRUCTIONS TO ALLOW BALCONIES IS BEING REQUESTED.

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CLIENT:
NOVAC NOURY

PROJECT NAME:
**51 LITTLE W. 12TH ST
PROPOSED RESTAURANT &
RESIDENTIAL SCENARIO**

PROJECT ADDRESS:
**51 LITTLE WEST 12TH STREET
NEW YORK, NY 10014
BLOCK 645, LOT 21**

DWG TITLE:
9TH, 10TH FLOOR PLAN

SEAL

DATE: 10/15/25
PROJECT No: JOB # 24868
DRAWING BY: Author
CHK BY: Checker
DWG No: **A-103.00**

