

FRONT DOOR REPLACEMENT

200 MERCER STREET

UNIT 1H

NEW YORK, NY 10012

APPLICANT

GARY V BENNETT

GARY BENNETT ARCHITECTURE
93 UNDERHILL AVENUE, SUITE 5A
BROOKLYN, NY 11238

PROJECT INFORMATION

DOOR REPLACEMENT

200 MERCER STREET, APARTMENT 1H
NEW YORK, NY 10012

OWNER INFORMATION

ALEXANDRA KONDRATYEVA

200 MERCER STREET, APARTMENT 1H
NEW YORK, NY 10012

SCOPE OF WORK

REMOVAL OF THE EXISTING METAL GATE, DOOR, DOOR FRAME, AND GLASS TRANSOMS AT 633 BROADWAY, AND INSTALLATION OF A NEW DOOR ASSEMBLY, TRANSOM AND PANEL TO MATCH THE EXISTING DOORS, FRAMES, AND TRANSOMS AT 631 AND 635 BROADWAY. THE DOOR AT 633 BROADWAY SERVES THE SAME UNIT ACCESSED THROUGH 200 MERCER STREET, APARTMENT 1H.

ENERGY COMPLIANCE STATEMENT

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE NEW YORK CITY ENERGY CODE. PROPOSED WORK MEETS THE GUIDELINES AND PRESCRIPTIONS OF THE 2020 NYCECC.

BUILDING AND PROPERTY INFORMATION

PROJECT ADDRESS:	200 MERCER STREET STREET, 1H, NEW YORK, NY 10012
BLOCK:	523
LOT:	32
ZONE:	C6-2 - COMMERCIAL DISTRICT
OVERLAY:	-
MAP:	12C
BOROUGH:	MANHATTAN
NUMBER OF STORIES:	6
HEIGHT:	75'
LOT AREA:	14,575 SF
EXISTING DWELLING UNITS:	28
PROPOSED DWELLING UNITS:	28 - NO CHANGE
BIN NUMBER:	108635
CB NUMBER:	102
YEAR BUILT:	1940
SPECIAL DISTRICT:	NA
LANDMARK STATUS:	YES
LOCAL LAW:	NO
FLOOD HAZARD AREA:	NO
MULTIPLE DWELLING CLASSIFICATION:	HAEA - HEREAFTER ERRECTED
DOB CODE:	NA
OCCUPANCY GROUP (EXISTING):	RES
CONSTRUCTION CLASS (EXISTING):	3 - NON-FIREPROOFED STRUCTURES (OLD CODE)

FLOOD ZONE NOTES

- THIS PROPERTY IS NOT LOCATED IN AN AREA THAT MAY BE AFFECTED BY TIDAL WETLANDS, FRESHWATER WETLANDS, COASTAL HAZARD AREA, OR SPECIAL FLOOD HAZARD AREA.
- THIS PROPERTY IS LOCATED IN FLOOD AREA, ZONE "X".
- NO CHANGES ARE BEING MADE TO FLOOD ZONE ELEVATIONS.

LIST OF DRAWINGS

SHEET NO.	SHEET NAME	LAST ISSUE
T-001	COVER PAGE, BUILDING INFORMATION	01/31/2026
A-101	EXISTING UNIT ELEVATION AND PROPOSED UNIT ELEVATION	01/31/2026
A-102	EXISTING BUILDING ELEVATION AND PROPOSED BUILDING ELEVATION	01/31/2026
A-103	DOOR PLANS, ELEVATIONS AND SECTION DETAILS	01/31/2026
A-104	PHOTO DOCUMENTATION	01/31/2026

ABBREVIATIONS

ABBREVIATION	MEANING	ABBREVIATION	MEANING
A/C	AIR CONDITIONING	MAX.	MAXIMUM
AFF	ABOVE FINISHED FLOOR	MIN.	MINIMUM
BLDG	BUILDING	N	NORTH
CH	CEILING HEIGHT	N.T.S.	NOT TO SCALE
CL	CLOSET	O.C.	ON CENTER
CO	CLEAN OUT	PG	PAGE
DN	DOWN	REF	REFRIGERATOR
DW	DISHWASHER	REQ'D	REQUIRED
DWG.	DRAWING	SF	SQUARE FEET
ELEC.	ELECTRICAL	S.H.	SILL HEIGHT
EQ	EQUAL	TYP.	TYPICAL
EXG	EXISTING	U.O.N.	UNLESS OTHERWISE NOTED
FF	FINISHED FLOOR	W.H.	WINDOW HEIGHT
FT	FEET	W.I.C.	WALK-IN CLOSET
HVAC	HEATING, VENTILATION AND AIR CONDITIONING	&	AND
IN.	INCHES	+	AND
INT	INTERIOR	@	AT

GENERAL NOTES

- CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, RULES AND REGULATIONS PERTAINING TO LABOR AND MATERIALS. IF DRAWINGS AND SPECIFICATIONS CONFLICT OR DIFFER FROM ANY LAW OR CODE, THE PERTAINING LAW OR CODE SHOULD SUPERSEDE DRAWING AND SPECIFICATIONS AND SHOULD BE APPLIED.
- CONTRACTOR SHALL COMPLY WITH PLANS AND SPECIFICATIONS.
- BEFORE COMMENCEMENT OF WORK, CONTRACTOR SHALL FURNISH OWNER WITH COPIES OF ALL REQUIRED INSURANCE CERTIFICATES.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS AND LOCATIONS SHOWN ON THE DRAWINGS AND SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCY.
- CONTRACTOR SHALL MAINTAIN PROTECTION FOR ALL TRAFFIC AREAS AROUND SITE DURING THE EXECUTION OF WORK RELATING TO THIS CONTRACT WITH THE UNDERSTANDING THAT THE CONTRACTOR WILL MAKE GOOD ANY DAMAGE ATTRIBUTABLE TO HIS OPERATIONS.
- CONTRACTOR, DURING THE CONSTRUCTION WORK, SHALL PROTECT ALL WORK MATERIALS, TOOLS, EQUIPMENT, ON THE SITE, AND ALL ADJACENT PROPERTY, WHETHER FURNISHED BY THE CONTRACTOR OR OWNER, FROM ANY DAMAGE, LOSS OR PILFERAGE, WITH THE UNDERSTANDING THAT CONTRACTOR WILL MAKE GOOD ANY DAMAGE ATTRIBUTABLE TO HIS OPERATIONS.
- THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE OWNER AND ARCHITECT ALL SHOP DRAWINGS FOR ALL WORK, INSTALLATION AND EQUIPMENT, BY SO DOING THE CONTRACTOR REPRESENTS THAT HE HAS VERIFIED ALL MATERIALS, FIELD MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA OR WILL DO SO PRIOR TO INSTALLATION.
- CONTRACTOR SHALL FURNISH FOR THE OWNER AND ARCHITECT'S APPROVAL PRIOR TO ORDERING THEM, ALL SAMPLES AND MANUFACTURER'S SPECS AND PRODUCT DATA FOR ALL FINISHING MATERIALS, HARDWARE, OR ANY OTHER MATERIALS CALLED FOR IN DRAWINGS AND SPECIFICATIONS OR THAT ARE NOT MENTIONED BUT NEEDED FOR THE PROPER AND TIMELY COMPLETION OF WORK.
- CONTRACTOR SHALL USE ONLY THOSE MATERIALS AND FINISHES SPECIFIED AND APPROVED BY THE OWNER AND/OR ARCHITECT. THE CONTRACTOR SHALL FURNISH, WITHOUT EXTRA CHARGE, ALL WORK AND MATERIALS NOT MENTIONED, BUT NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF WORK.
- ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICABLE AND SHALL CONFORM TO THE STANDARDS AND RECOMMENDATION OF THE VARIOUS TRADE INSTITUTES (A.C.I., A.I.S.C., ETC.) WHERE APPLICABLE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS IN THE VICINITY OF THE SITE AS THE JOB PROGRESSES.
- ALL MEANS OF EGRESS TO BE KEPT UNOBSTRUCTED.
- THE ARCHITECT RESERVES THE RIGHT OF INTERPRETATION OF THESE CONTRACT DOCUMENTS.

EXISTING CONDITIONS NOTES

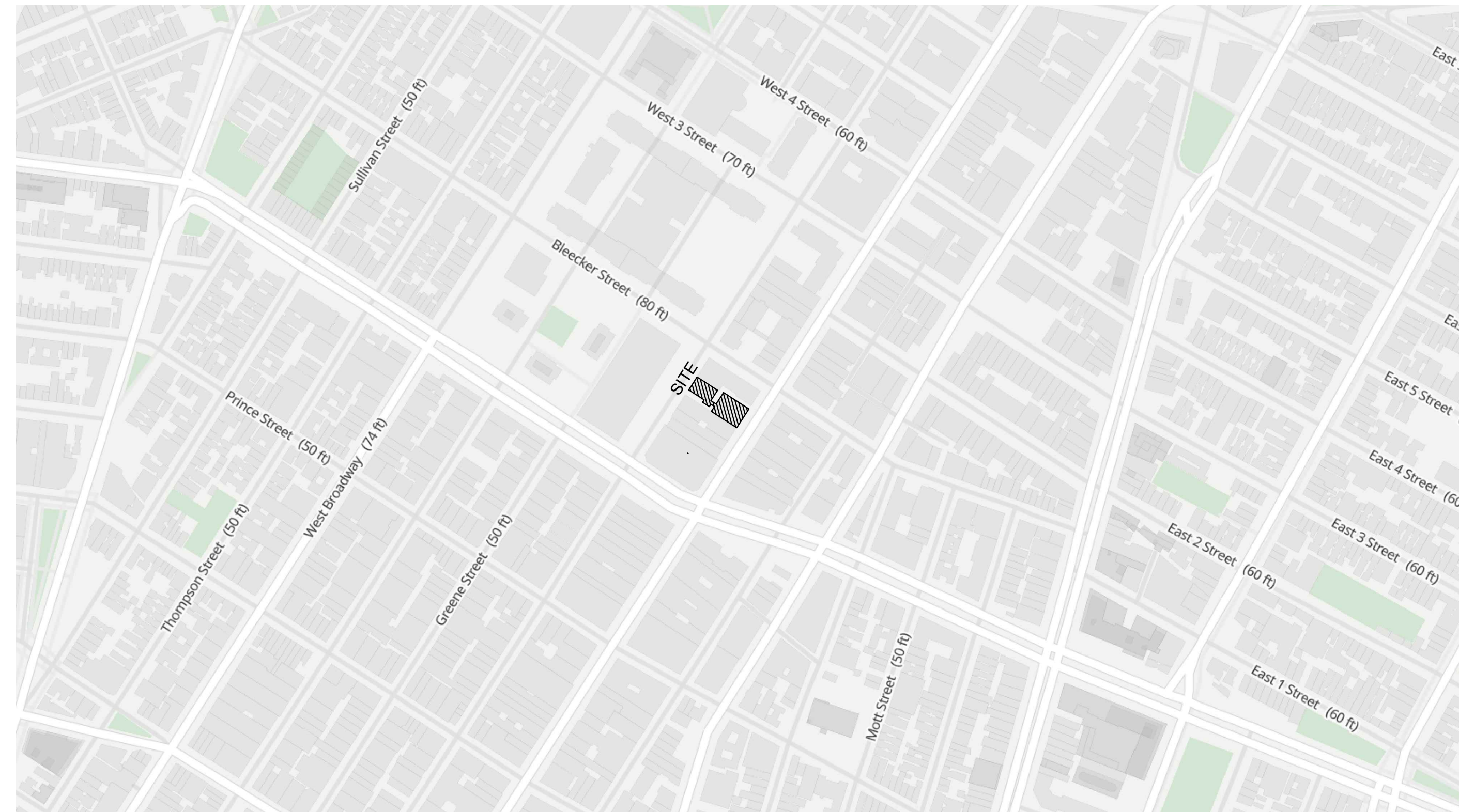
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD AND REPORT ALL DISCREPANCIES IN WRITING TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. ANY PROBES REQUIRED FOR FIELD VERIFICATION OF EXISTING PLUMBING RISERS SHALL BE SCHEDULED IN ADVANCE OF ANY ALTERATION WORK.
- ALL EXITS SHALL BE READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DRAWINGS.
- PROTECT COMMON SPACES OF THE BUILDING FROM DAMAGE DUE TO THE TRANSPORTATION OF MATERIALS, TOOLS, EQUIPMENT, DUST AND DEBRIS. ADDITIONALLY, NO STORAGE OF TOOLS, EQUIPMENT, MATERIALS OR STAGING OF ANY KIND IS PERMITTED IN COMMON SPACES. THESE SPACES INCLUDE, BUT ARE NOT LIMITED TO: MAIN LOBBY, ELEVATORS, ELEVATOR LOBBY, STAIRWELLS, CORRIDORS, ROOF, CELLAR, SUB-CELLAR AND SIDEWALKS.
- PROTECTION OF COMMON SPACES SHALL INCLUDE BUT IS NOT LIMITED TO: ALL VENTS AND EXHAUST SHAFTS TO BE FULLY SEALED, ALL MECHANICAL EQUIPMENT SHALL BE PROTECTED FROM DUST/DEBRIS INFILTRATION, ZIPPERED DUST VESTIBULE SHALL BE INSTALLED AT MAIN ENTRY POINT OF CONSTRUCTION SITE WITH A TACK MAT, AIR SCRUBBERS WITH HEPA FILTERS MUST BE INSTALLED FOR THE DURATION OF CONSTRUCTION.

DEMOLITION NOTES

- ALL EXISTING STRUCTURES ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE FIELD VERIFIED.
- EXACT EXTENT OF DEMOLITION TO BE DONE SHALL BE VERIFIED AT THE SITE. CONTRACTOR TO DETERMINE THE NATURE AND EXTENT OF DEMOLITION THAT WILL BE NECESSARY BY COMPARING THE DRAWINGS WITH EXISTING CONSTRUCTION.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE MEANS AND METHODS OF DEMOLITION AND SHORING, AND FOR THE SAFETY OF THE EXISTING STRUCTURE AND ITS OCCUPANTS.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, AND MATERIALS TO COMPLETE DEMOLITION AND REMOVAL WORK AS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN. ALL WORK SHALL BE PERFORMED IN A CAREFUL, NEAT AND SYSTEMATIC MANNER.
- THE CONTRACTOR SHALL REMOVE DAILY FROM THE SITE, IN AN APPROVED AND LEGAL MANNER, ALL RUBBISH, DEBRIS, AND, EXCEPT AS OTHERWISE INDICATED, ALL MATERIALS RESULTING FROM DEMOLITION WORK.
- ALL DEMOLITION SHALL BE PERFORMED BY METHODS WHICH WILL PREVENT DAMAGE TO AREAS THAT ARE EXISTING TO REMAIN. CONTRACTOR SHALL PROVIDE TEMPORARY SITE PROTECTION AS REQUIRED TO THESE AREAS. DAMAGE THAT DOES OCCUR SHALL BE CORRECTED TO THE ARCHITECT'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
- VERIFY WITH THE OWNER AND/OR ARCHITECT ITEMS OF DEMOLITION TO BE CAREFULLY REMOVED AND PROTECTED FOR RE-USE.
- NO BUILDING MATERIALS, TOOLS, EQUIPMENT OR TRASH SHALL BE STORED IN PUBLIC CORRIDORS OR FREIGHT ELEVATOR LOBBY, OR AT BALCONIES.
- SMOKING IS STRICTLY PROHIBITED ON THE PREMISES.
- THE CONSTRUCTION SITE SHALL BE KEPT IN A SAFE, AND CLEAN CONDITION DURING ALL PHASES OF THE PROJECT, INCLUDING DEMOLITION. ALL ACCESSES AND EXITS SHALL REMAIN CLEAR AT ALL TIMES.
- WHEN REQUIRED FOR WORK, CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING IN ACCORDANCE WITH THE NEW YORK CITY BUILDING CODE.
- COMMON BUILDING SYSTEMS SHALL NOT BE REMOVED OR RELOCATED.

BUILDING PROTECTION AND COORDINATION NOTES

- PROTECT COMMON SPACES OF THE BUILDING FROM DAMAGE DUE TO THE TRANSPORTATION OF MATERIALS, TOOLS, EQUIPMENT, DUST AND DEBRIS. ADDITIONALLY, NO STORAGE OF PRIOR MENTIONED ITEMS IS PERMITTED IN COMMON SPACES. THESE SPACES INCLUDE, BUT ARE NOT LIMITED TO: MAIN LOBBY, ELEVATORS, ELEVATOR LOBBY, STAIRWELLS, CORRIDORS, ROOF, CELLAR, SUB-CELLAR AND SIDEWALKS. COMMON AREA HALLWAY FLOORS AND WALLS MUST BE PROTECTED WITH A MASONITE BARRIER.
- PROTECT AND RETAIN EXISTING FIRE-RATED MASONRY ENCLOSURES.
- A FUNCTIONING FIRE EXTINGUISHER AND FUNCTIONING SMOKE/CARBON MONOXIDE DETECTORS SHALL BE MAINTAINED IN THE UNIT FOR THE DURATION OF THE WORK.
- DIRT AND DUST SHALL BE PREVENTED FROM PERMEATING INTO OTHER PARTS OF THE BUILDING DURING THE PROGRESS OF WORK. ALL MATERIALS AND RUBBISH SHALL BE PLACED IN BARRELS OR BAGS PRIOR TO REMOVAL FROM THE UNIT. ALL SUCH BARRELS AND BAGS, AND ALL RUBBISH, RUBBLE, DISCARDED EQUIPMENT, EMPTY PACKING CARTONS AND OTHER MATERIAL SHALL BE REMOVED FROM THE UNIT AND TAKEN OUT OF THE BUILDING NO LATER THAN 4:00 PM.
- THE USE OF ELECTRIC HAMMERS, JACK HAMMERS, OR OTHER PNEUMATIC TOOLS SHALL NOT BE PERMITTED.
- SMOKING IN OR AROUND THE BUILDING IS PROHIBITED.



01 LOCATION MAP - EXCERPTED FROM NYC ZONING AND LAND USE (ZOLA) MAP
N.T.S.



02 FLOOD ZONE MAP - EXCERPTED FROM NYC DEPARTMENT OF CITY PLANNING: NYC FLOOD HAZARD MAP
N.T.S.

NO. DATE REVISION DESCRIPTION

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SHEET NAME

TITLE PAGE
PROJECT INFORMATION
SITE PLAN

DATE:
1/31/2026

PROJECT NUMBER:
2026-200M.1H

DOB JOB NUMBER:
NA

SHEET NUMBER:
01 OF 05

DRAWING NUMBER:
T-001.00

APPLICANT

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SHEET NAME

EXTERIOR ELEVATIONS

DATE:

1/31/2026

PROJECT NUMBER:

2026-200M.1H

DOB JOB NUMBER:

NA

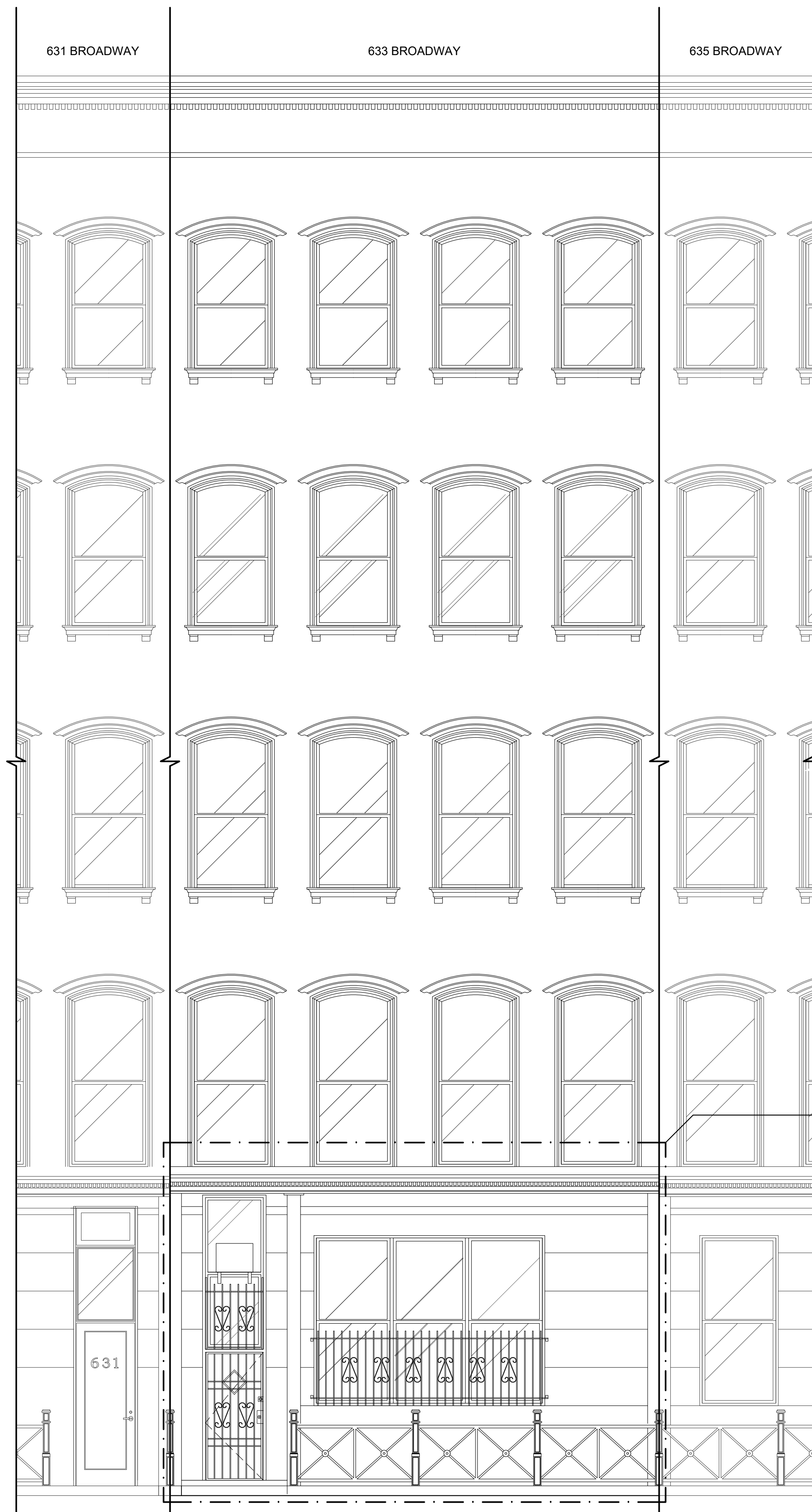
SHEET NUMBER:

02 OF 05

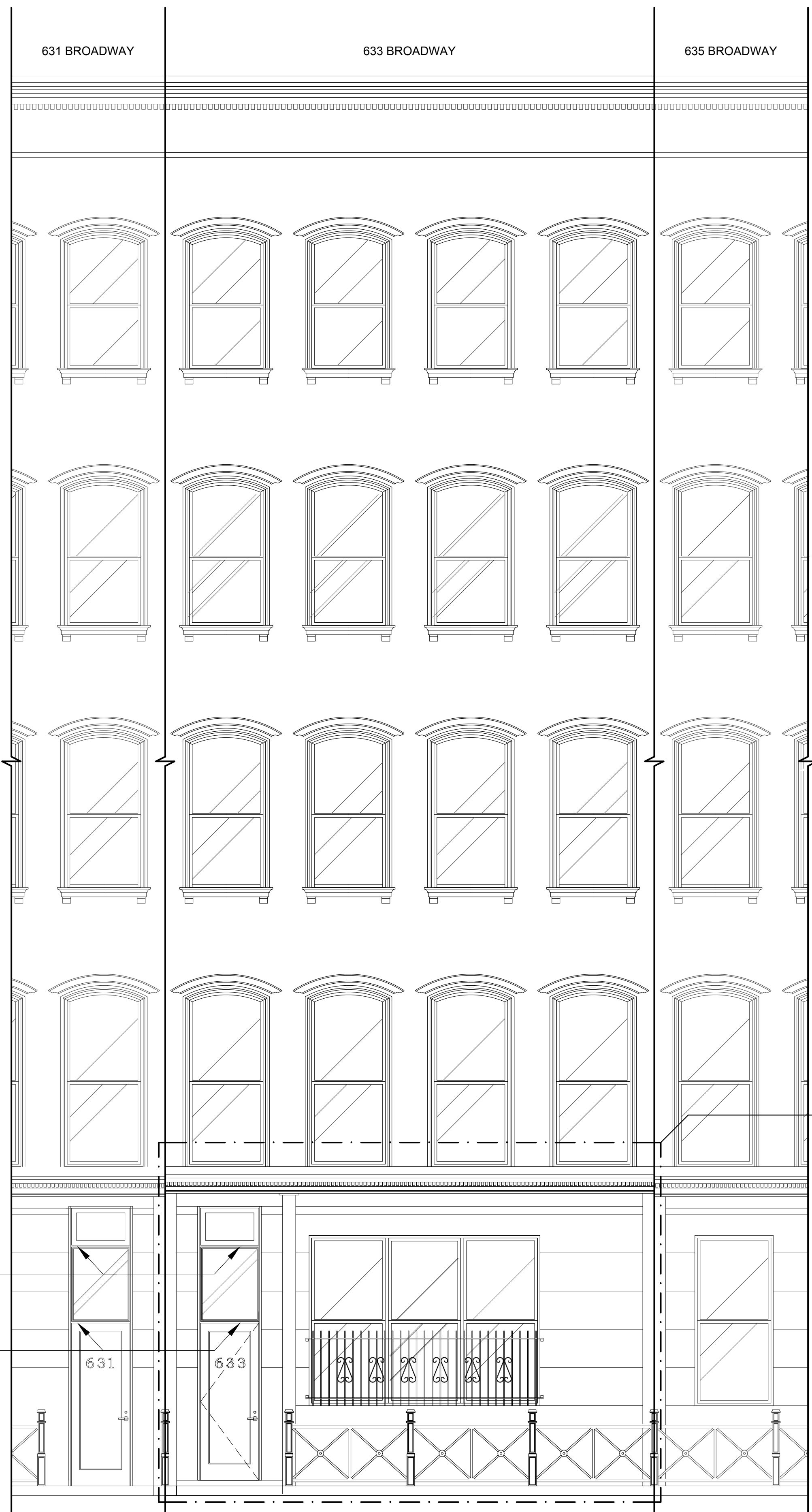
DRAWING NUMBER:

A-101.00

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01 EXISTING BUILDING ELEVATION
1/4" = 1'-0"



02 PROPOSED BUILDING ELEVATION
1/4" = 1'-0"

NOTE: EX'G BRICK OPENING TO REMAIN, DOOR, DOOR FRAME, TRANSOM AND UPPER PANEL DESIGN TO MATCH 631 AND 635 BROADWAY - SEE DOCUMENTATION PAGE A-104

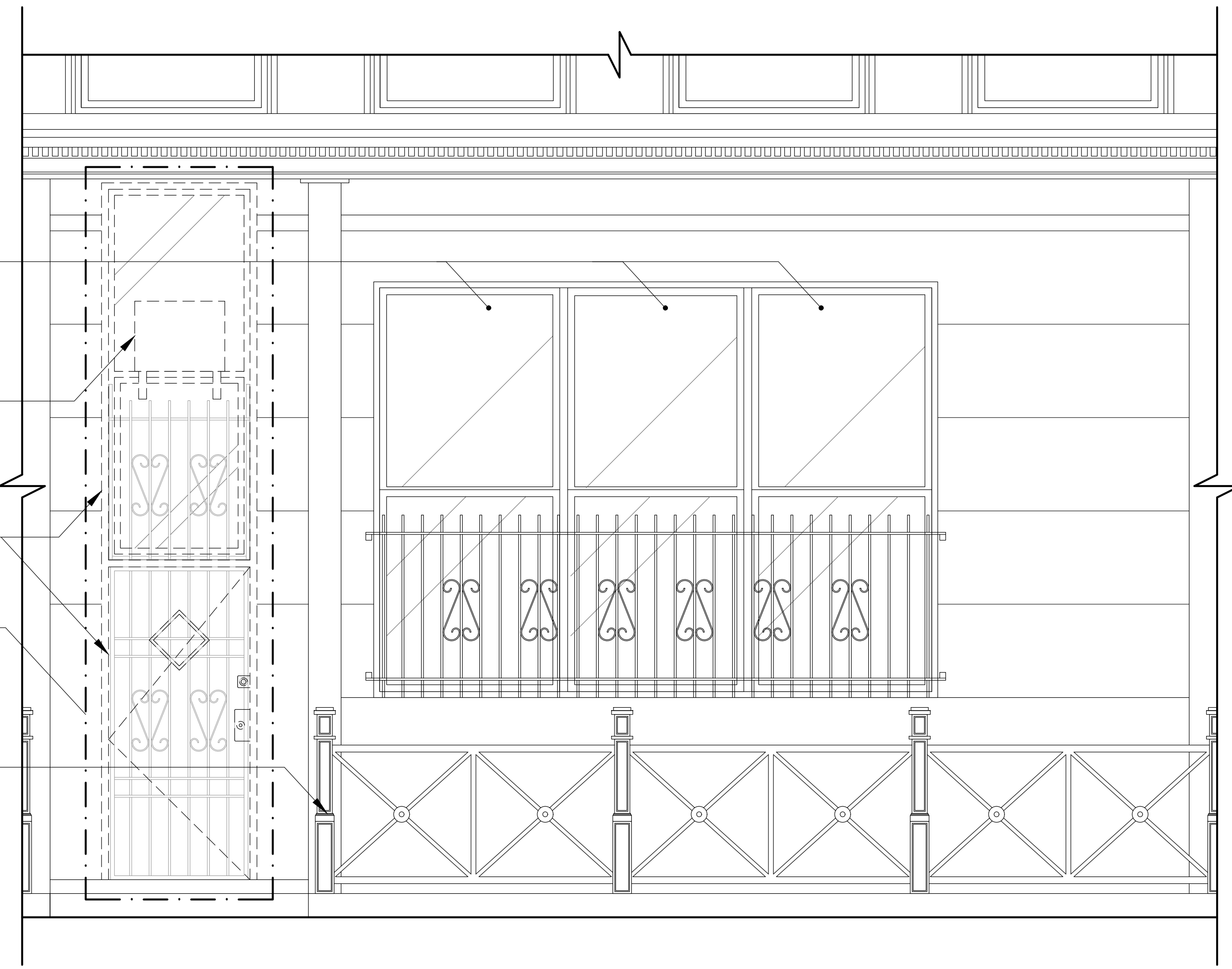
EX'G WINDOWS AND WINDOW GUARDS TO REMAIN, TYP.

REMOVE EX'G WINDOW AC UNIT AND BRACKET

REMOVE EX'G METAL GATE, DOOR, DOOR FRAME AND FIXED GLASS TRANSOM

AREA OF WORK

EX'G RAILING TO REMAIN



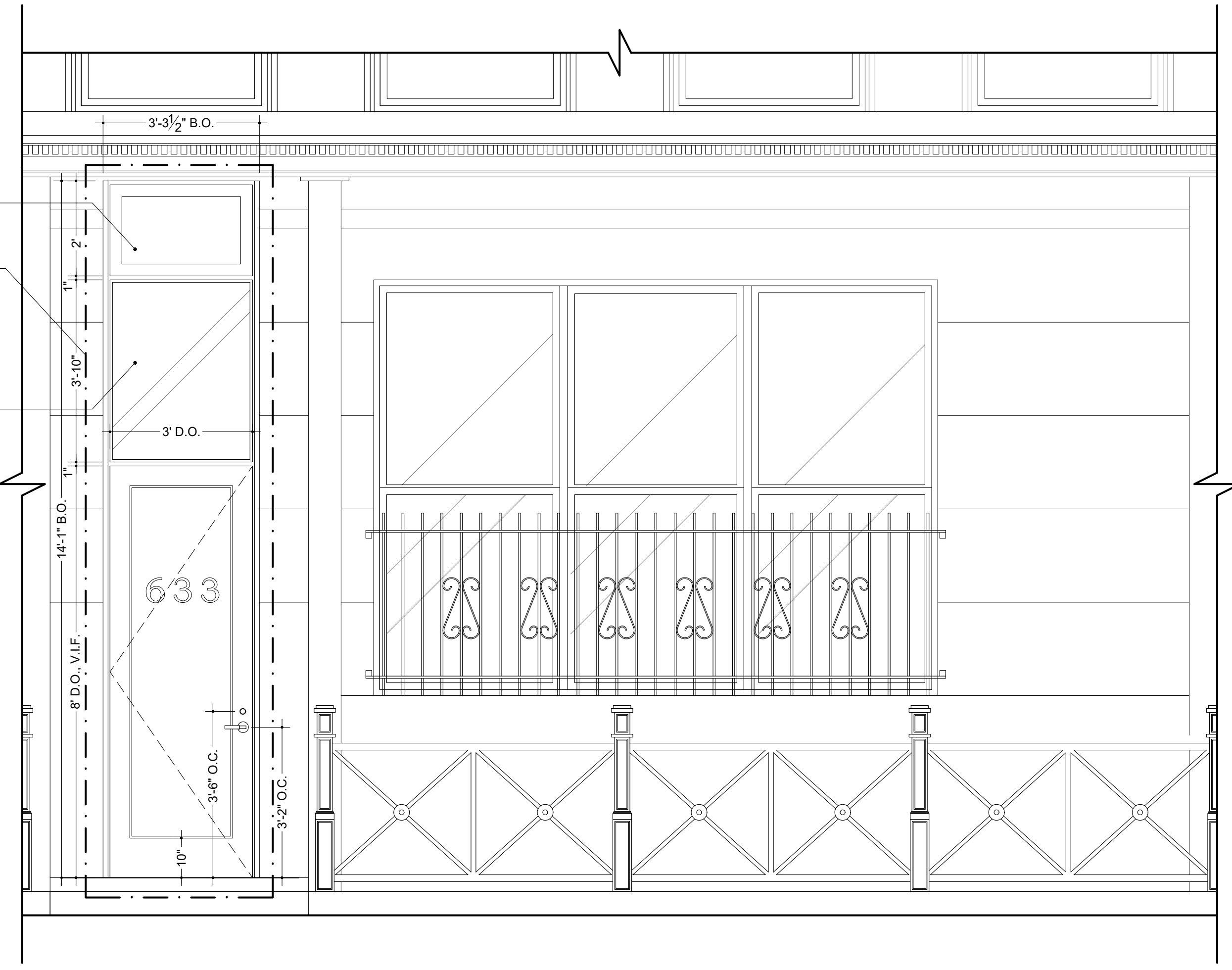
01 EXISTING / DEMO FRONT UNIT ELEVATION
1/2" = 1'-0"

NOTE: EX'G BRICK OPENING TO REMAIN, DOOR, DOOR FRAME, TRANSOM AND UPPER PANEL DESIGN TO MATCH 631 AND 635 BROADWAY - SEE DOCUMENTATION PAGE A-104

PAINTED METAL PANEL

AREA OF WORK

INSULATED GLASS PANEL



02 PROPOSED FRONT UNIT ELEVATION
1/2" = 1'-0"

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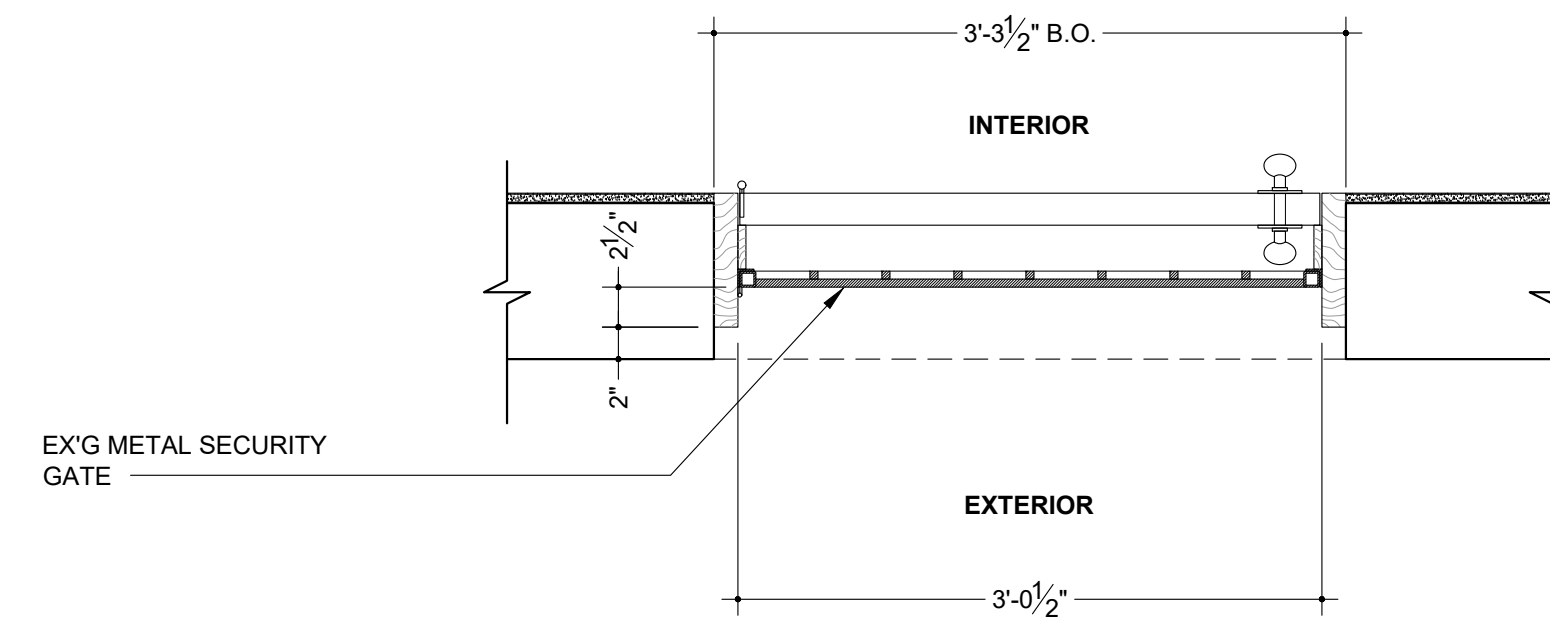
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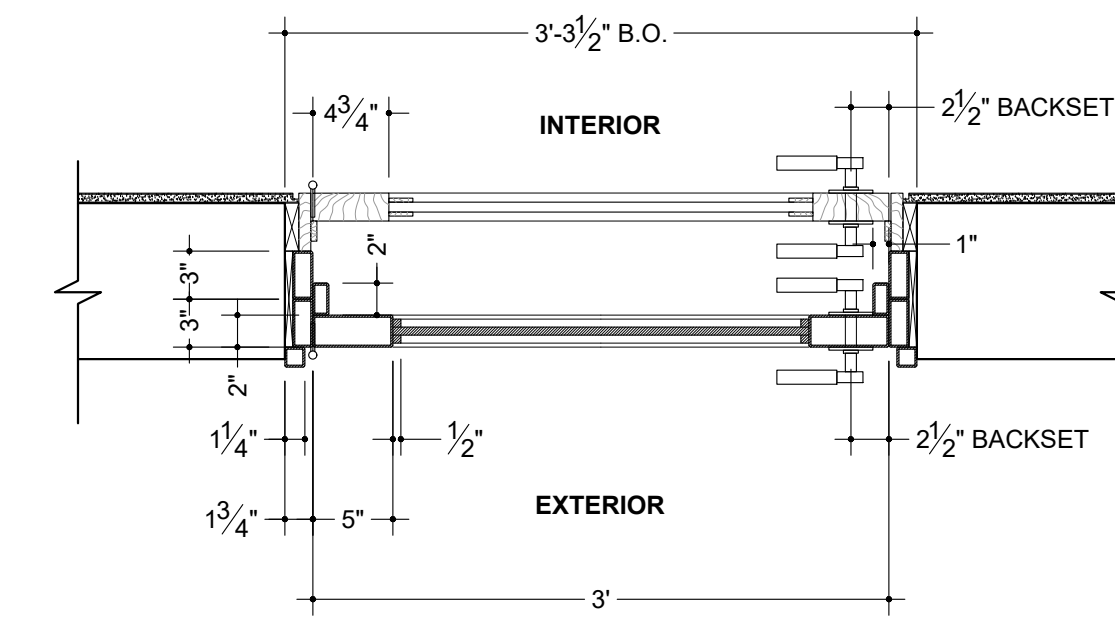
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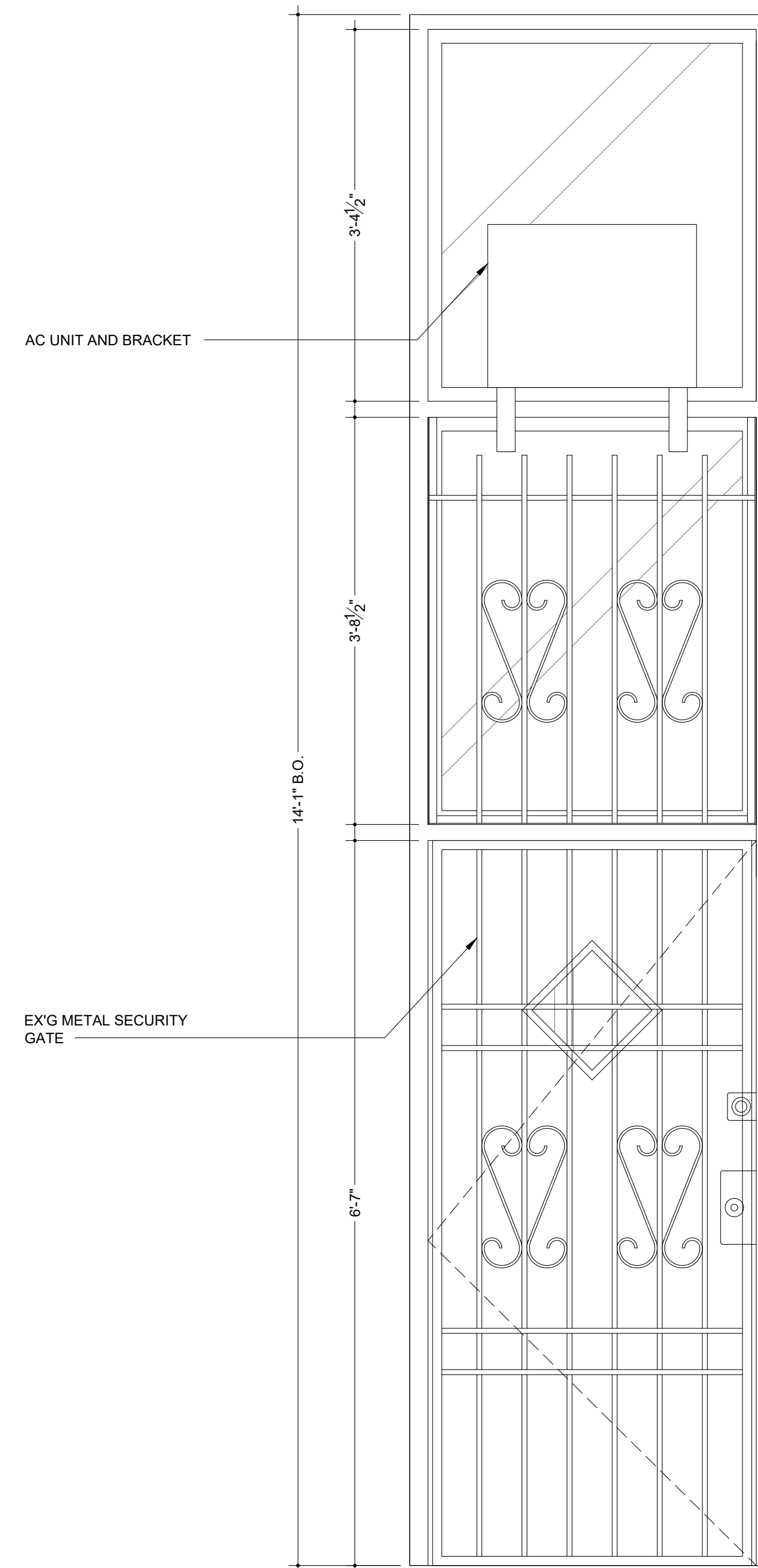
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PROJECT NUMBER: 2026-200M.1H
DOB JOB NUMBER: NA
SHEET NUMBER: 03 OF 05
DRAWING NUMBER: A-102.00



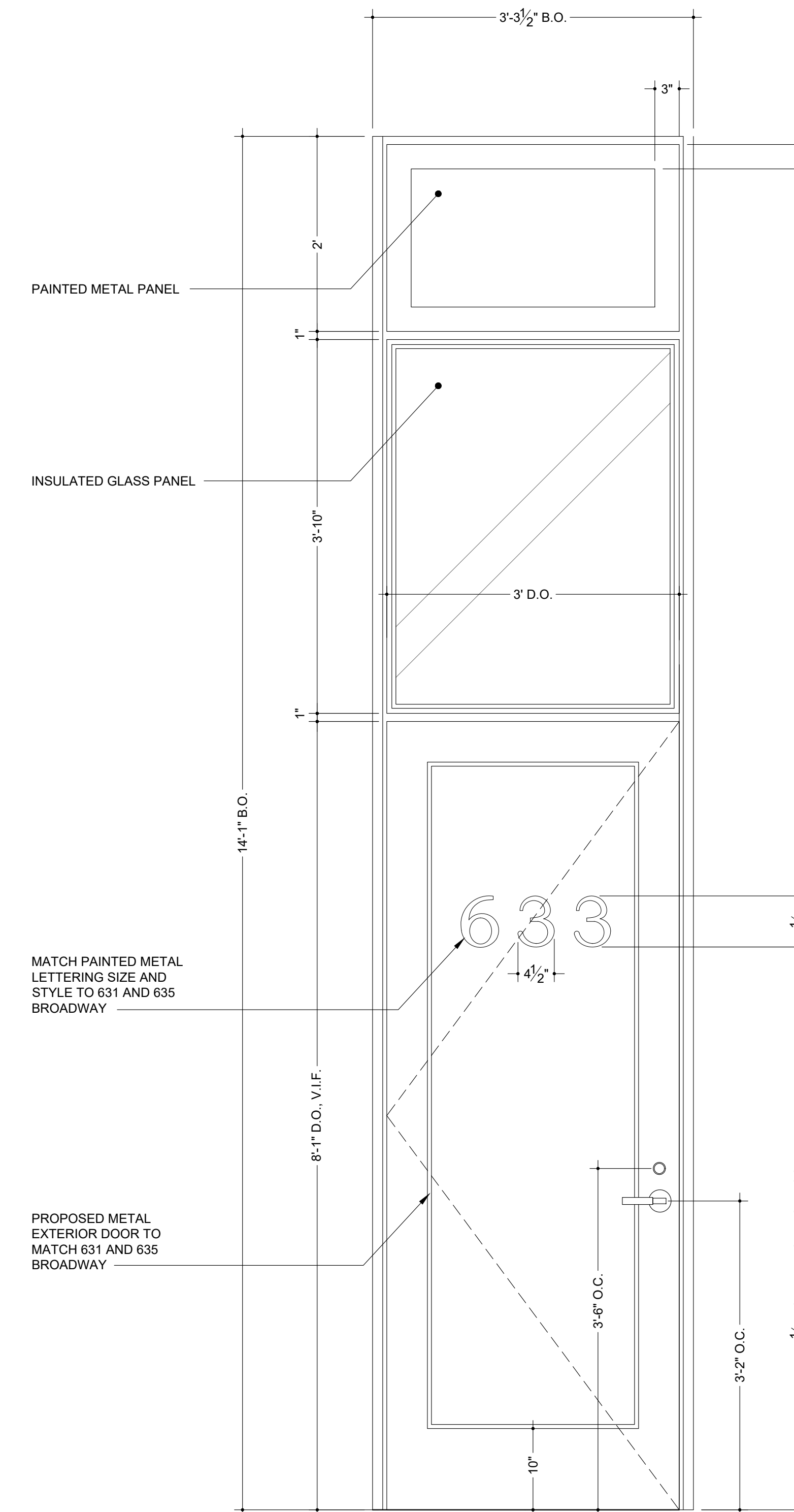
01 EXISTING DOOR DETAIL - PLAN
1" = 1'-0"



02 PROPOSED DOOR DETAIL - PLAN
1" = 1'-0"



03 EXISTING DOOR ELEVATION
1" = 1'-0"



04 PROPOSED DOOR ELEVATION
1" = 1'-0"



CUSTOM COLOR TO MATCH EX'G 631, 633 AND 635 DOOR AND FRAME COLOR



CUSTOM 4 1/2\"/>

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DOB JOB NUMBER:
NA
SHEET NUMBER:
04 OF 05
DRAWING NUMBER:

A-103.00



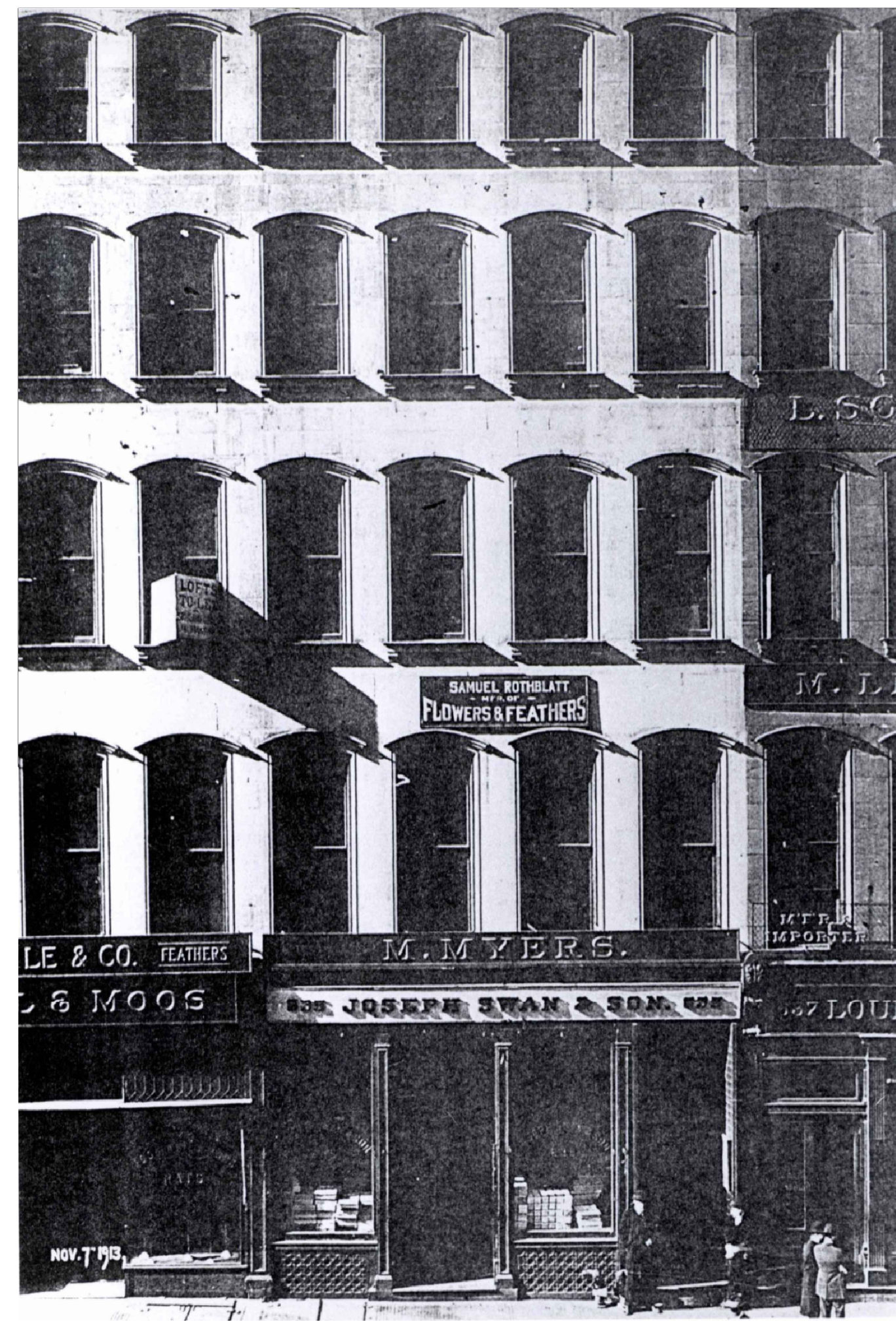
01 633 BROADWAY EX'G FRONT FACADE AT GROUND LEVEL
N.T.S.



02 631 AND 633 BROADWAY EX'G FRONT DOORS
N.T.S.



03 635 BROADWAY EXISTING FRONT DOOR
N.T.S.



04 DESIGNATION PHOTO EXCERPTED FROM nyclandmarks.lunaimaging.com
N.T.S.



05 633 BROADWAY EX'G FRONT FACADE
N.T.S.



06 633 BROADWAY EXISTING FRONT FACADE AT GROUND LEVEL
N.T.S.



07 1940S TAX DEPARTMENT PHOTO FROM THE NYC DEPARTMENT OF RECORDS
N.T.S.

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SHEET NAME
PHOTO DOCUMENTATION

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SHEET NUMBER: 05 OF 05
DRAWING NUMBER: **A-104.00**