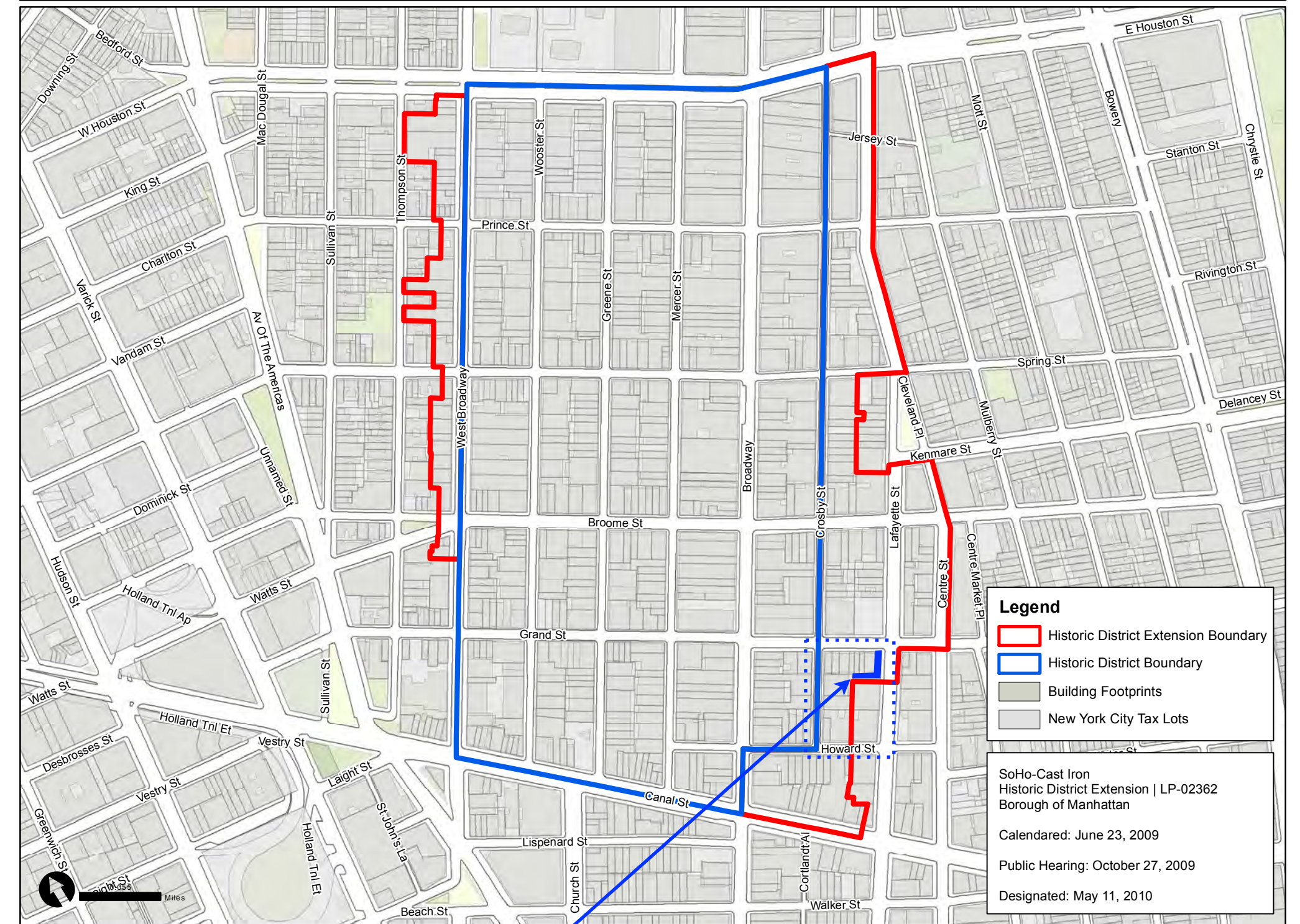


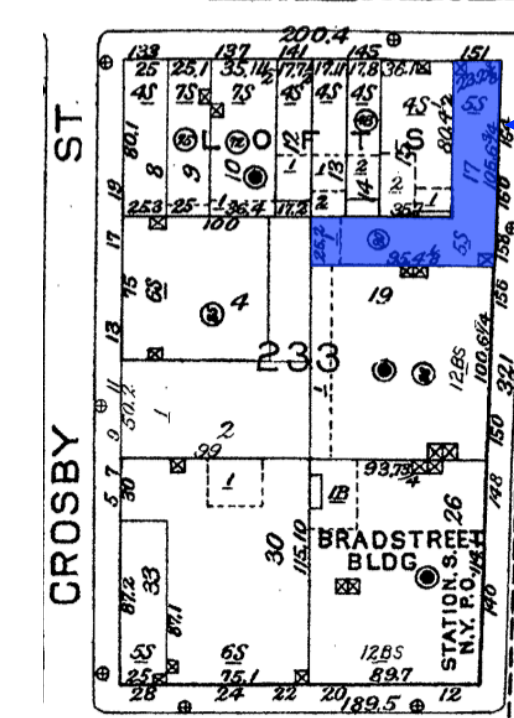


151 GRAND STREET (2026)

SoHo-Cast Iron Historic District Extension | LP-02362



Graphic Source: Map PLUTO, Edition 18v1, Author: New York City Landmarks Preservation Commission, LGR Date: 3.20.2019



151 GRAND ST. \ PROJECT LOCATION

BLOCK PLAN (1985 Sanborn)



Renderings by A+I (2016)



Renderings by A+I (2016)



Renderings by A+I (2016)

Project Timeline

Nov 2015 - LPC Public Hearing

Jan 2016 - LPC Public Meeting

Aug 2016 - LPC Public Meeting & Approval

Jan 2017 - Certificate of Appropriateness issued

- *One-story, setback roof-top and rear yard extension,*
- *New wood windows on two primary facades;*
- *New window openings on secondary elevations;*
- *Comprehensive facade restoration comprising masonry repairs; cast iron, storefront, and cornice restoration; and cleaning;*
- *storefront restoration and new wood infill;*
- *barrier-free access ramp; and*
- *sidewalk repairs.*

Apr 2019 - Construction begins

Full building scaffolded; steel framing for rooftop addition, roof deck concrete poured, interior steel framing, carpentry, and plumbing.

Mar 2020 - Covid; all construction suspended

Aug 2022 - Certificate of Appropriateness expired



Rendering by A+I (2016)

LPC APPROVED DESIGN

August 2016 LPC Public Meeting



Rendering by Ole Sondreson

ORIGINAL DESIGN

Reviewed by Community Board 2 August 2015



VIEW LOOKING WEST ON GRAND STREET



VIEW LOOKING NORTH ON LAFAYETTE STREET



ROOFTOP ADDITION

WEST STAIR STEEL FRAMING

GOOGLE EARTH



DRONE PHOTOGRAPHY

CURRENT CONSTRUCTION PROGRESS



DRONE PHOTOGRAPHY



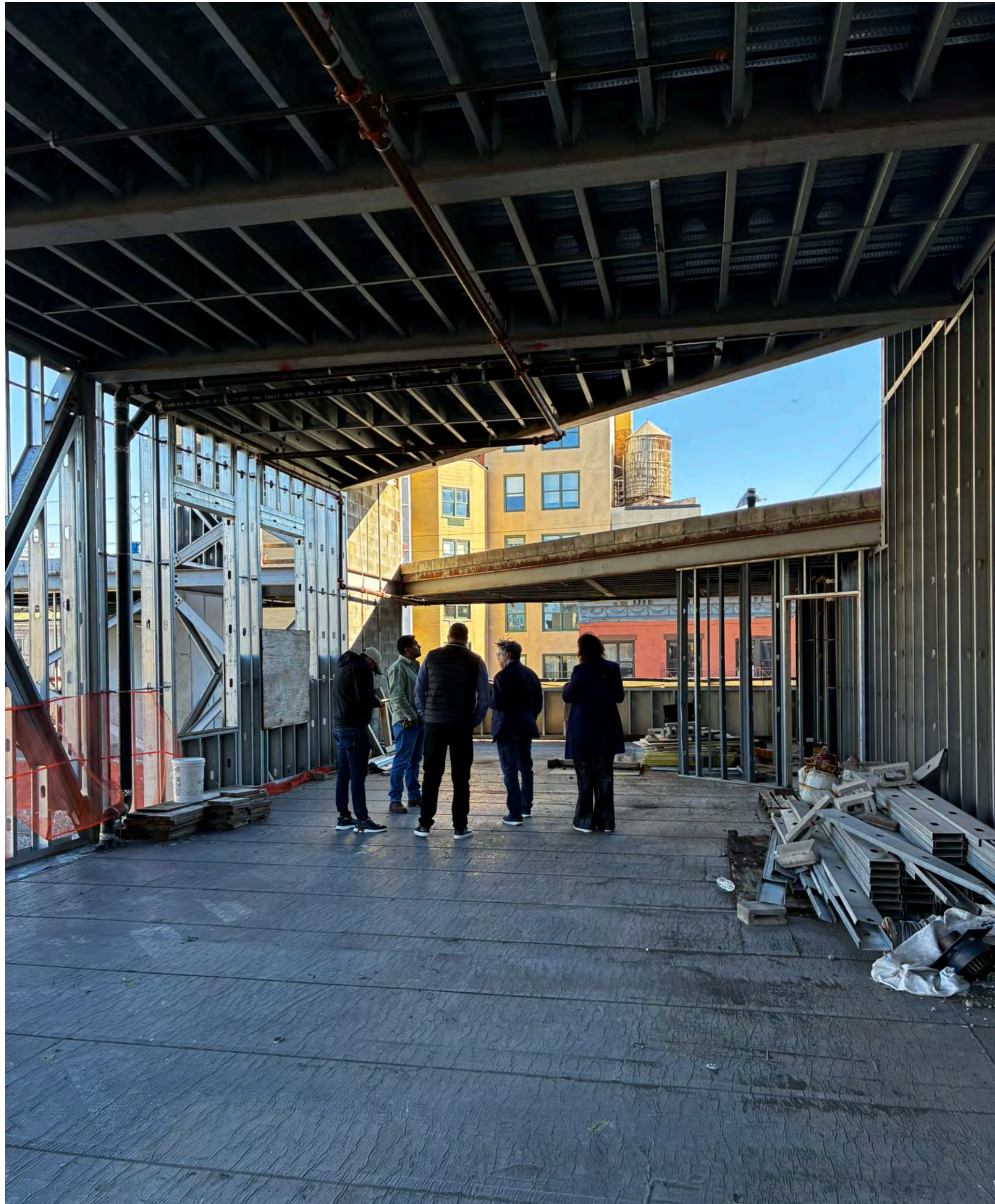
DRONE PHOTOGRAPHY



DRONE PHOTOGRAPHY

CURRENT CONSTRUCTION PROGRESS

ROOFTOP ADDITION FRAMING

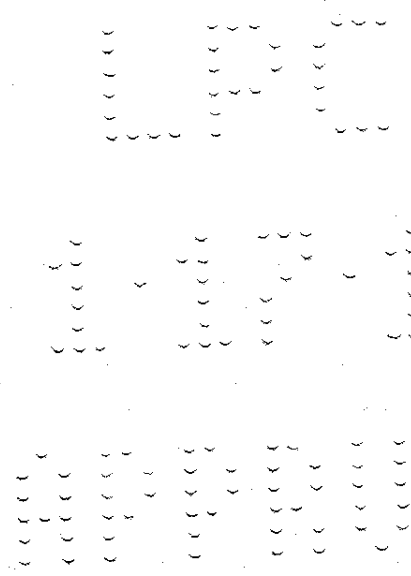


CURRENT CONSTRUCTION PROGRESS

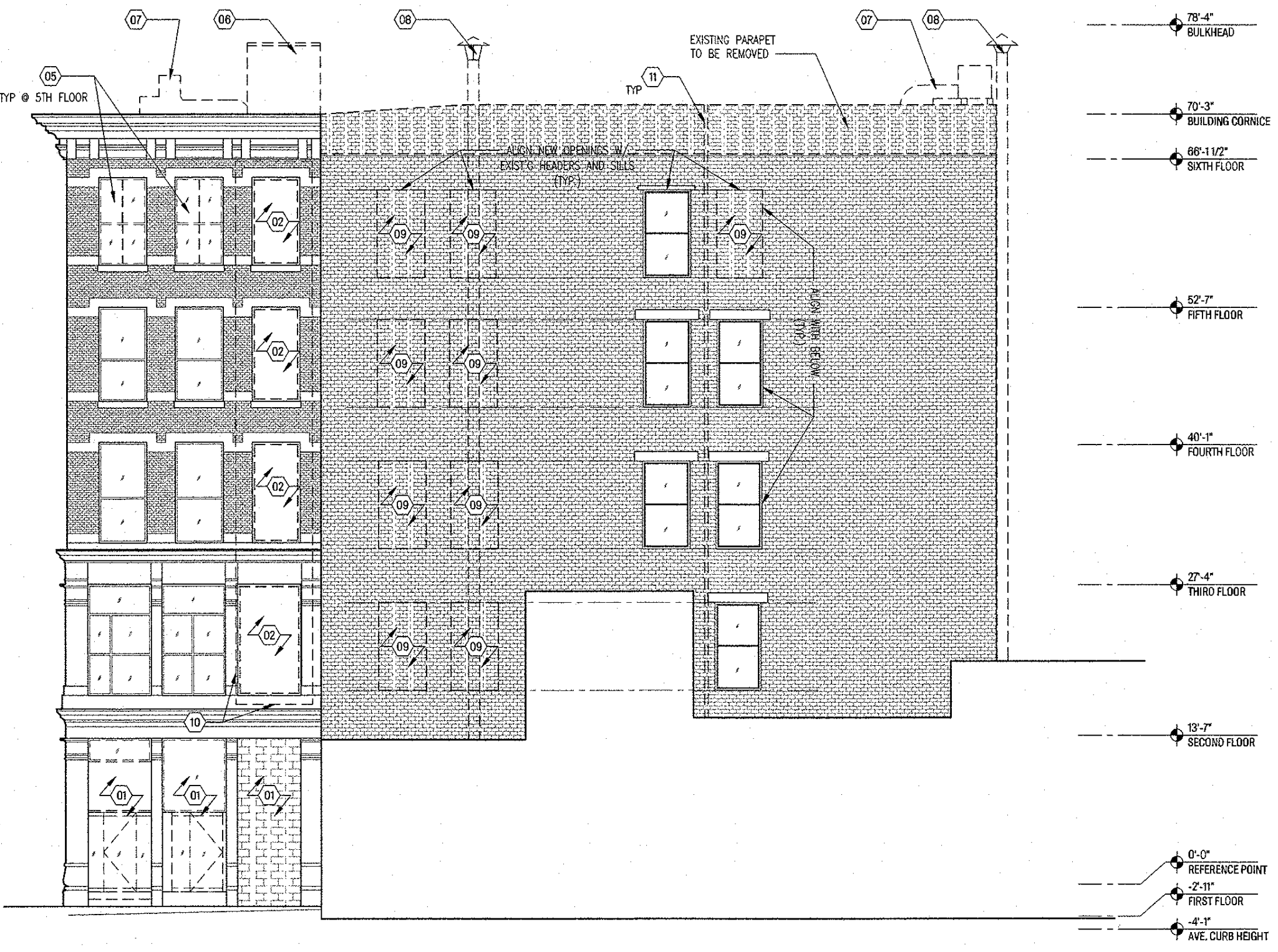
WEST STAIR STRUCTURAL STEEL



EXISTING ELEVATIONS - EAST & NORTH



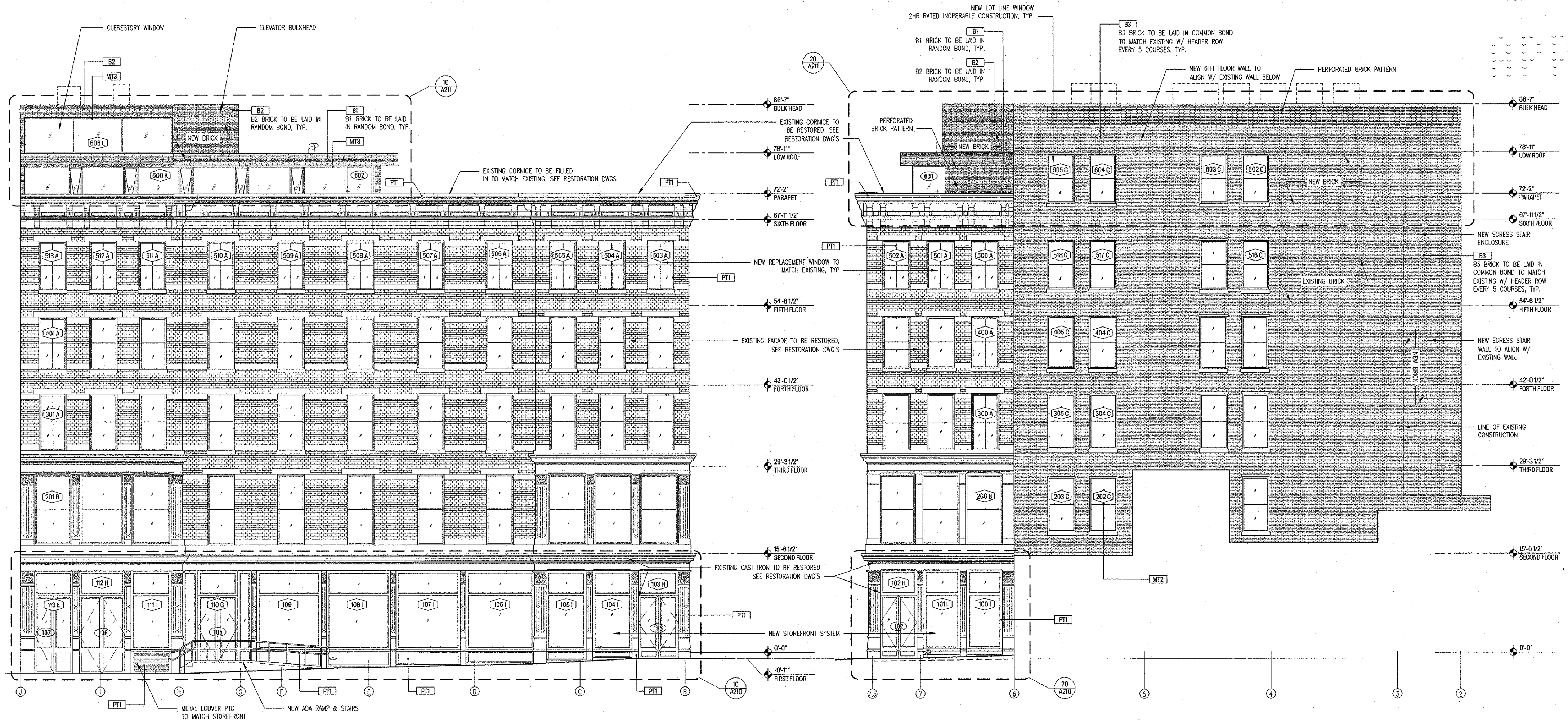
11 EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



10 NORTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

A+I (2016)

APPROVED ELEVATIONS - EAST & NORTH

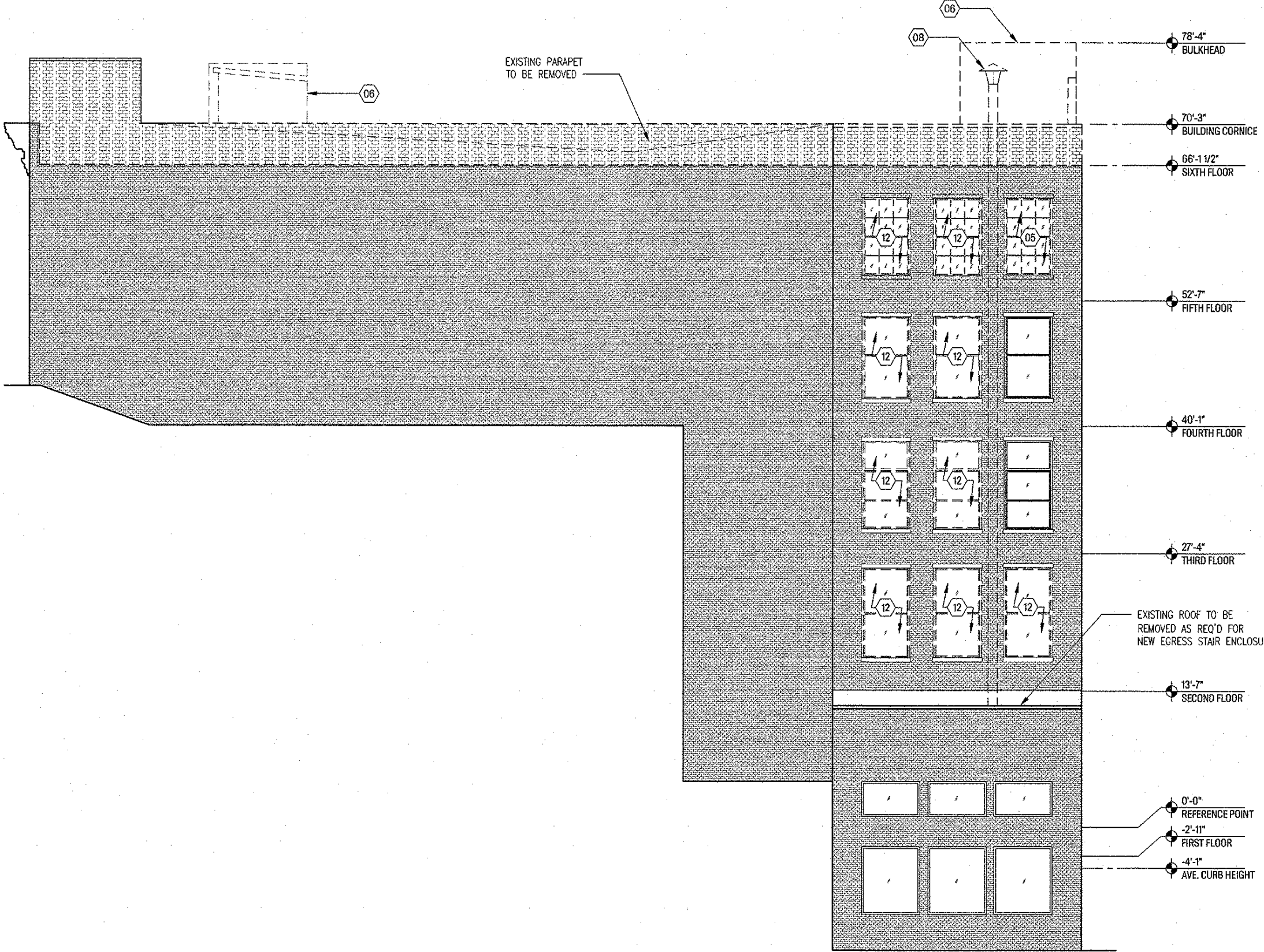


A+I (2016)

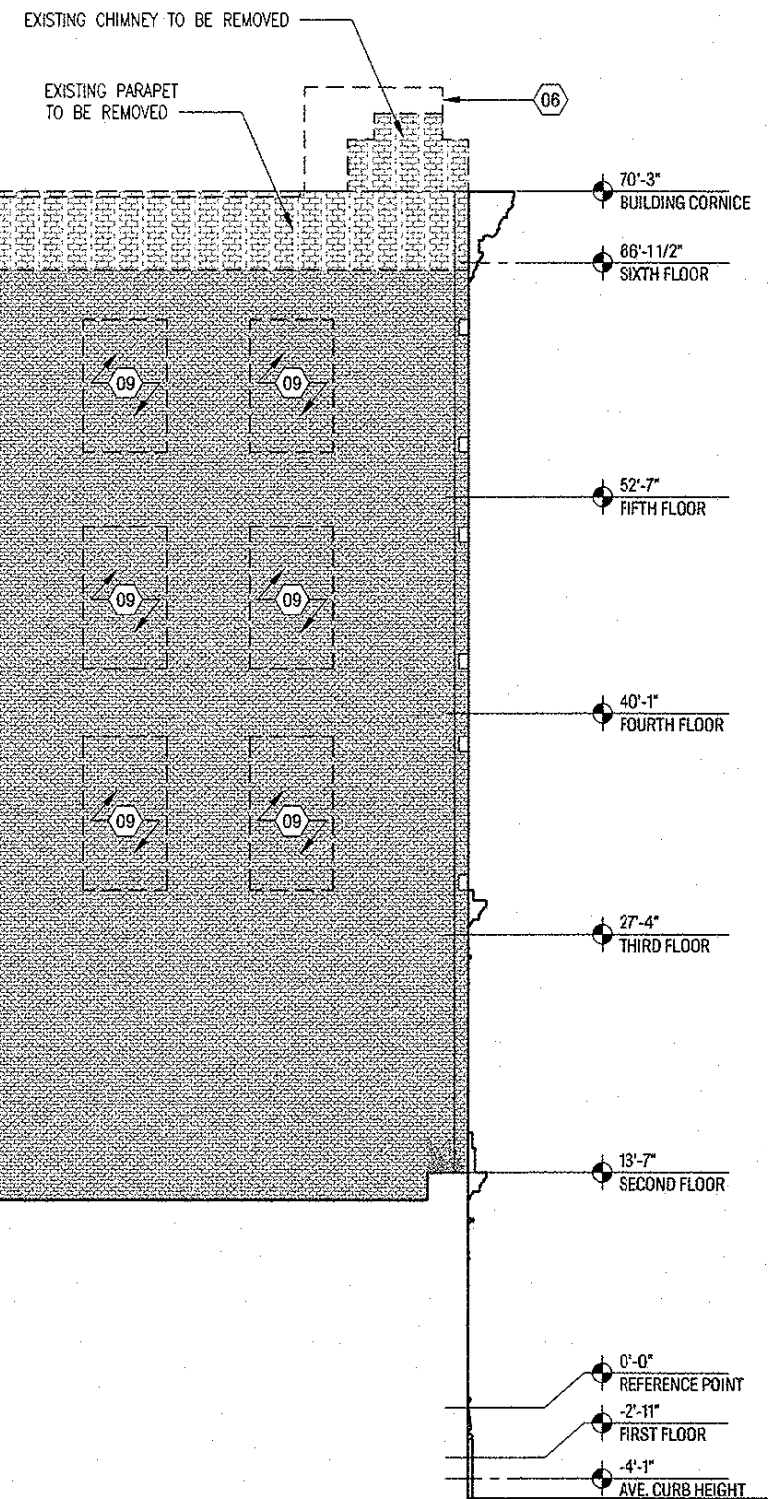
LPC APPROVED DRAWINGS (2017)

151 GRAND STREET
LPC PUBLIC HEARING | JUNE 23, 2026

EXISTING ELEVATIONS - WEST & SOUTH



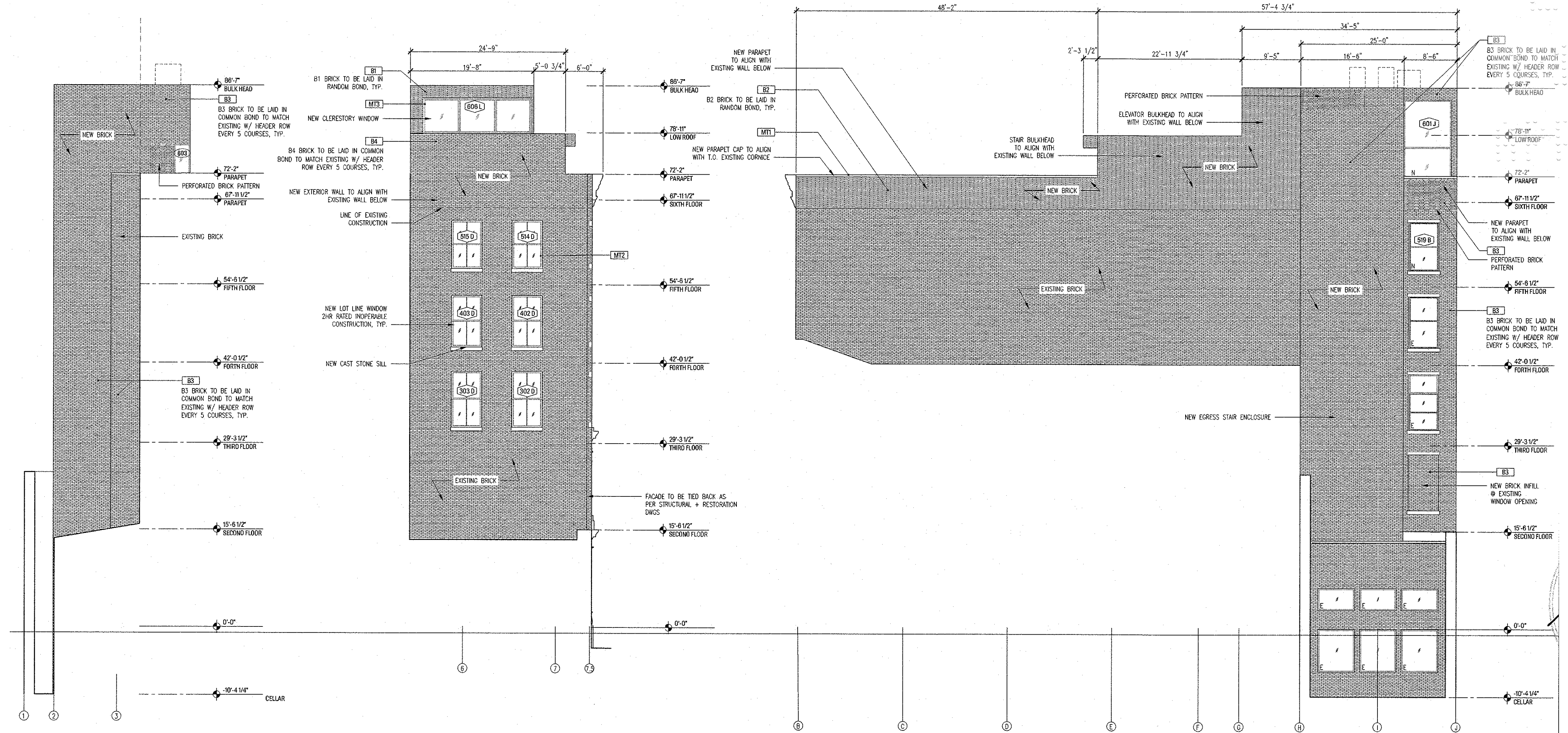
11 WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



10 SOUTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

A+I (2016)

APPROVED ELEVATIONS - WEST & SOUTH



12 SOUTH EXTERIOR ELEVATION @ REAR
SCALE: 1/8" = 1'-0"

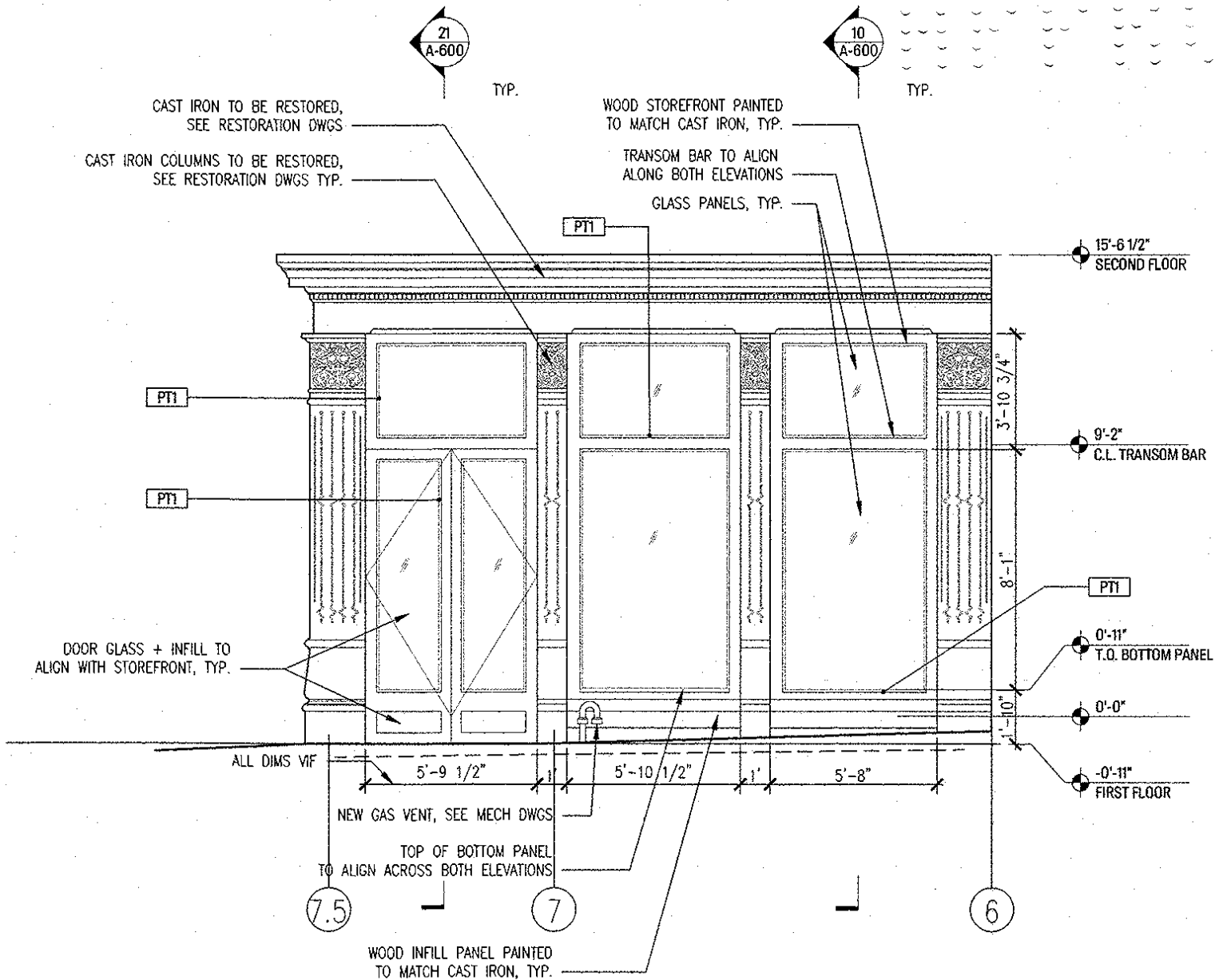
11 SOUTH EXTERIOR ELEVATION @ GRAND ST
SCALE: 1/8" = 1'-0"

10 WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

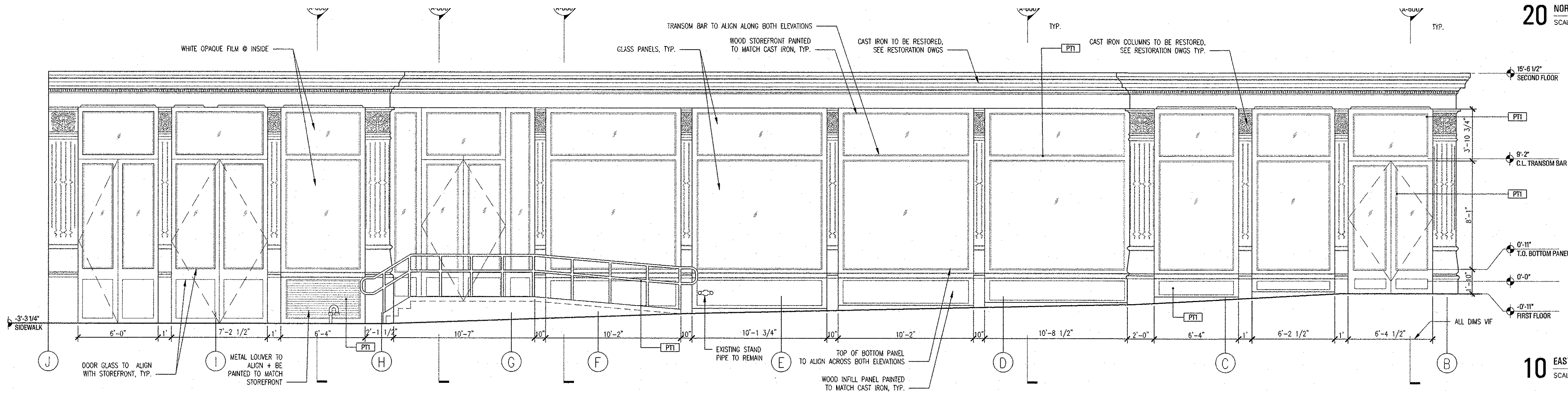
A+I (2016)

STOREFRONT ELEVATIONS - APPROVED

FINISH LEGEND	
PT1	PITTSBURGH PAINTS 14-05 "DARK AS NIGHT"
B1	KOLUMBA BRICK K-55
B2	PETERSEN BRICK D-55
B3	McNEAR - OLD CALIFORNIA - GREEN HILLS
B4	McNEAR - OLD CALIFORNIA - WHITEHALL
MT1	ANUNEAL - "BLUE STEEL" OVER SST WITH CLEAR PERMALAC COATING
MT2	SAFTI - BLACK GPX FINISH
MT3	SCHUECO - BLACK POWDER COATED ALUMINUM



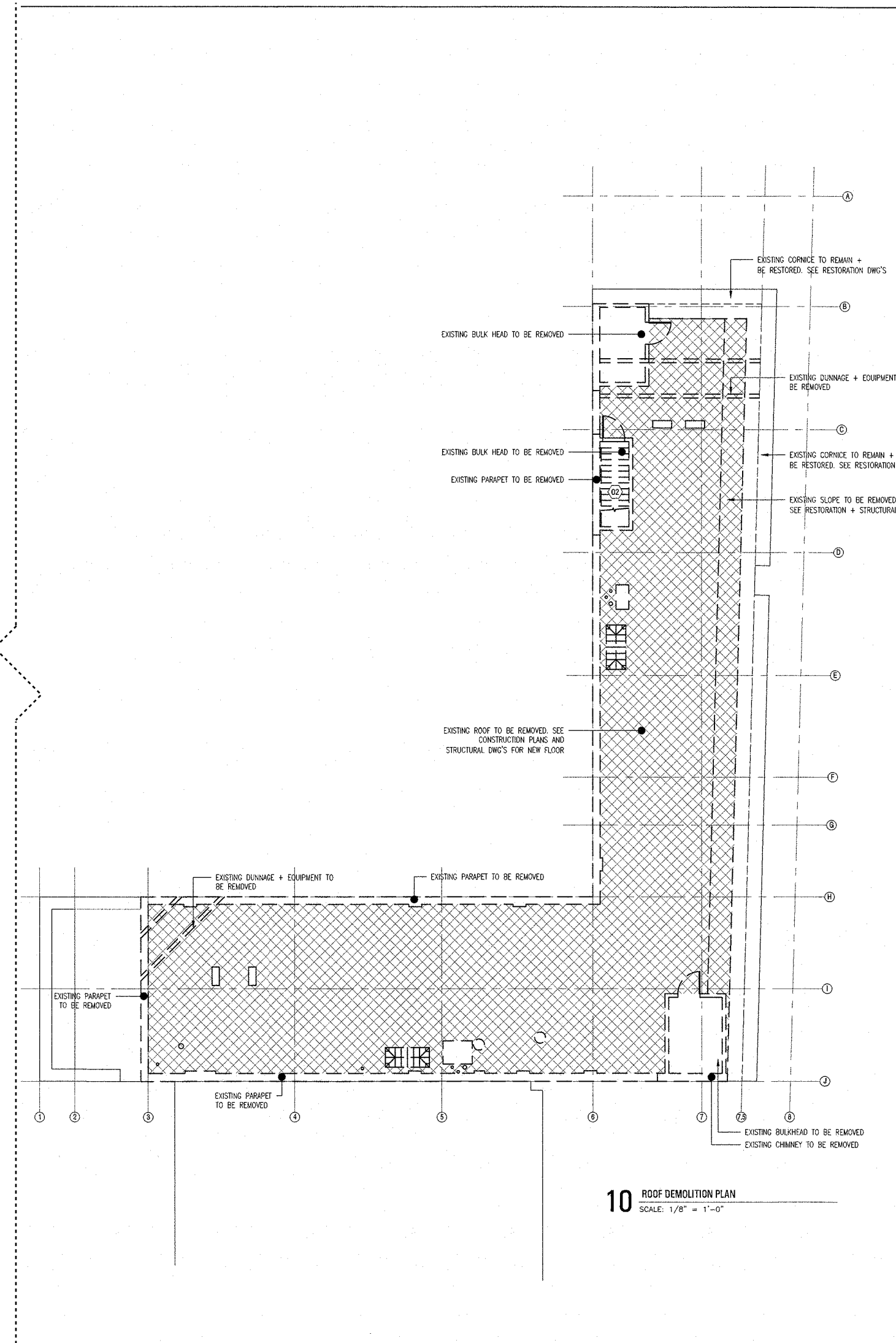
20 NORTH STOREFRONT ELEVATION
SCALE: 1/4" = 1'-0"



10 EAST STOREFRONT ELEVATION
SCALE: 1/4" = 1'-0"

A+I (2016)

EXISTING ROOF PLAN & APPROVED ROOFTOP ADDITION PLAN



SYMBOL LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	TO BE DEMOLISHED
	NOT IN SCOPE
	FLOOR TO BE REMOVED

DEMOLITION GENERAL NOTES

- G.C. SHALL PROVIDE ALTERNATE FOR REMOVAL OF SPINE, ETC. OF ANY AND ALL EXG. UNITS OR REMOVED JCT/IT INFRASTRUCTURE WITHIN PROJECT SPACE WHERE NECESSARY. G.C. SHALL MAINTAIN THROUGHOUT ENTIRE PROJECT SPACE FOR THE DURATION OF PROJECT.
- ONLY THOSE SURFACES NOTED FOR DEMOLITION SHALL BE REMOVED. ALL OTHER EXG. SURFACES, ITEMS, ASSEMBLIES, EQUIPMENT, ETC. SHALL REMAIN AND G.C. SHALL BE RESPONSIBLE FOR CONTINUOUS PROTECTION OF THESE FOR THE DURATION OF PROJECT AS REQUIRED. G.C. SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY DAMAGE CAUSED TO EXG. SURFACES, ITEMS, ETC. NOTED TO REMAIN THROUGHOUT ENTIRE PROJECT SPACE FOR THE DURATION OF PROJECT.
- G.C. SHALL PATCH AND REPAIR ALL EXG. DAMAGE OR PENETRATIONS OR NEW DAMAGE OR PENETRATIONS CAUSED OR EXPOSED DURING DEMOLITION AND REPAIR WORK TO ALL FIRE RATED PARTITIONS AND ASSEMBLIES IN ORDER TO RESTORE AND MAINTAIN REQUIRED RATINGS.
- G.C. SHALL VERIFY AS NECESSARY AND PROVIDE APPROPRIATE PROTECTION FOR ANY AND ALL EXG. ADJACENT SPACES, WALLS, SURFACES, CEILINGS, ASSEMBLIES, EQUIPMENT, MEP/IT INFRASTRUCTURE, ETC. WITHIN PROJECT SPACE THAT MUST REMAIN PRIOR TO START OF ALL WORK. G.C. SHALL MAINTAIN ENTIRE PROJECT SPACE W/ CLIENT, ARCHITECT AND CONSULTANTS TO DETERMINE FINAL LOCATIONS, EXTENT, SCHEDULE, AND MEANS AND METHODS OF PROTECTING ALL ELEMENTS THAT MUST REMAIN.
- ALL EXG. SPRAY-ON FIRE-PROOFING ON ALL BUILDING STRUCTURAL STEEL, COLUMNS AND BEAMS MUST BE EXG. TO REMAIN AND SHALL BE PROTECTED DURING ALL DEMO WORK. ANY DAMAGE TO EXG. SPRAY-ON FIRE-PROOFING SHALL BE REPAIRED/REPLACED BY G.C. AT G.C.'S EXPENSE.
- SEE ALSO CONSULTANT DRAWINGS AND SPECIFICATIONS FOR FURTHER DEMOLITION/PROTECTION INFORMATION AND SCOPE OF WORK.
- UPON COMPLETION OF DEMO, SLAB, DECK AND ALL OTHER EXG. SURFACES-PARTITIONS, COLUMNS, SLAB, ETC.-NOTED TO REMAIN SHALL BE FREE FROM ALL HAZARDOUS INFRASTRUCTURE, ALL FASTENERS, TRACK, ETC. AND SHALL BE FREE FROM ANY AND ALL LOOSE MATERIAL AND DEBRIS. FLOORS SHALL BE FINISHED, ALL SURFACES SHALL BE CLEAN AND READY FOR NEW CONSTRUCTION.
- WHERE WORK BY THE GENERAL CONTRACTOR (WALL REMOVAL, NEW OR RELOCATED WALL OPENINGS, ETC.) RESULTS IN THE REMOVAL, RELOCATION, OR REFEEDINGS OF ELECTRICAL DEVICES OR LIGHTING FIXTURES, THE G.C. SHALL DISCONNECT & RECONNECT AS REQ'D ALL ACTIVE DEVICES REMAINING.

DEMOLITION KEY NOTES

- EXISTING PARTITIONS TO BE REMOVED. ELECTRICAL WIRING TO BE REMOVED. PLUMBING BRANCHES TO BE CAPPED AT RISERS.
- EXISTING STAR/ELEVATOR TO BE REMOVED. FLOOR TO BE INFILLED AS PER STRUCTURAL DWG'S.
- NEW STAR/ELEVATOR OPENING. SEE CONSTRUCTION PLANS AND STRUCTURAL DWG'S.
- NEW FLOOR OPENING FOR MEP SHAFT. SEE CONSTRUCTION PLANS AND MEP DWG'S.
- EXISTING CLADDING TO BE REMOVED TO EXPOSE ORIGINAL CAST IRON.
- EXISTING METAL WINDOW OPENING TO BE REMOVED. VERIFY OPENING CAPACITY BY STRUCTURAL ENGINEER.
- EXISTING WINDOW TO BE REMOVED.
- NEW WINDOW OPENING SEE CONSTRUCTION PLANS, ELEVATIONS, WINDOW SCHEDULE, AND STRUCTURAL DWG'S.
- EXISTING WALL FINISHES TO BE REMOVED TO EXPOSE EXTERIOR BRICK WALL.
- EXISTING FINISHED FLOOR TO BE REMOVED.
- EXISTING CEILING + LIGHTING TO BE REMOVED.

PLAN NORTH

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LANDMARKS CONSULTING
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MEP ENGINEER
EDWARDS & BOCK
315 PARK AVE, 50TH FL.
NEW YORK, NY 10017
TEL (212) 510-6200

STRUCTURAL ENGINEER
SLAM
32 OLD SLIP, 10TH FL.
NEW YORK, NY 10005
TEL (212) 620-7970

KEY PLAN

151 GRAND ST
NEW YORK, NY 10013
BLOCK 223
LOT 17
ZONING MAP NUMBER 12C
ZONING DISTRICT M1-5B
NUMBER OF FLOORS 8
OCCUPANCY CLASS USE GROUP 8 (OFFICES)

12/08/2016 REVISED FOR LPC COMMENTS
10/24/16 PERMIT
7/11/2016 ISSUED FOR ZONING APPROVAL

REVISIONS

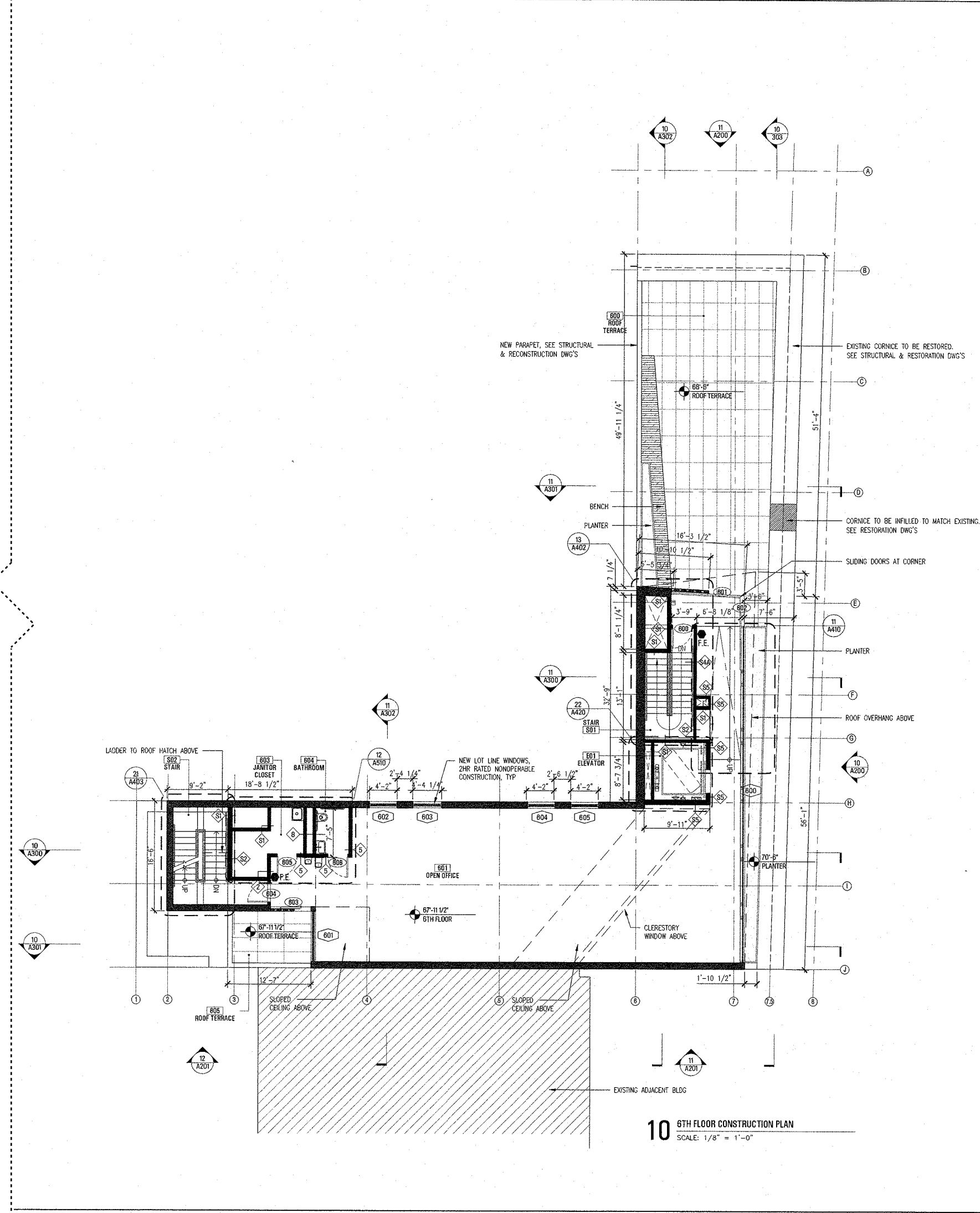
151 GRAND ST
151 GRAND ST
NEW YORK, NY

REGISTERED ARCHITECT
LAWRENCE ZANON
NOV 2016

PROJECT NO: DM-106.00 SCALE: 1/8" = 1'-0"

ROOF DEMOLITION PLAN
DM-106.00

D.O.B. NO: PAGE: 16 OF 72



SYMBOL LEGEND	
	NOT IN SCOPE
	EXISTING TO REMAIN
	NEW CONSTRUCTION
	FIRE EXTINGUISHER CABINET LOCATION. SEE EQUIPMENT SCHEDULE FOR SPECIFICATION.
	"FIRE HOSE" CABINET LOCATION. "SEE MEP DRAWINGS" FOR SPECIFICATION AND OTHER REQUIREMENTS.

GENERAL NOTES

- PROVIDE BLOCKING WITHIN PARTITIONS AND/OR CEILING AS NECESSARY FOR ALL NOTED SHOWN WALL/CILING-MOUNTED ACCESSORIES, FIXTURES, MECHANICAL AND EQUIPMENT OR WHERE NOTED IN THESE OR CONSULTANT DRAWINGS FOR INSTALLATION OF SUCH FIXTURES.
- PATCH & REPAIR EXG. CORE & SHEET WALLS UPON COMPLETION OF MECHANICAL, PLUMBING & ELECTRICAL WORK & WHERE NECESSARY DIFFICULTLY REPAIR EXG. WALLS TO MAINTAIN 2-HR FIRE-RATED CONSTRUCTION. G.C. SHALL PROVIDE FIRE-STOPPING AT ALL EXG. & NEW PENETRATIONS THROUGH ALL RATED ASSEMBLIES.
- MAINTAIN 18" ON PULL SIDE AND 12" ON PUSH SIDE AT ALL DOORS. REFER ALSO TO ADA NOTES AND DIAGRAMS FOR FURTHER INFORMATION.
- COORDINATE ALL FRAMING AS NECESSARY WITH ADJACENT / ALIGNED PARTITIONS. WHERE SPECIFIC DIMENSIONS OR ALIGNMENTS ARE REQUIRED AS SHOWN IN THE DRAWINGS, PROVIDE FRAMING AS NECESSARY TO ACHIEVE NOTED DIMENSION OR ALIGNMENT. REFER TO PARTITION TYPE DETAILS FOR FURTHER INFORMATION.
- G.C. TO PROVIDE ALLOWANCE TO LOCATE EXG. PIPES AS NECESSARY. ALL EXPOSED PIPES TO BE PAINTED TO MATCH ADJACENT SURFACES. PROVIDE FRAMING AROUND ALL PIPES AS SHOWN IN DRAWINGS. G.C. CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY EXG. PIPES NOT SHOWN ON THESE DRAWINGS WHICH ARE IN CONFLICT WITH THE LAYOUT AS SHOWN.
- PROVIDE & INSTALL ACCESS HATCHES AT ALL LOCATIONS - WITHIN PARTITIONS AND/OR CEILING - FOR EXG. OR NEW MEP EQUIPMENT, PIPES, VALVES, ETC. WHERE REQUIRED. SEE MEP DRAWINGS FOR FURTHER INFORMATION. CONSULT BUILDING DEPARTMENT FOR REQUIRED ACCESS TO EXG. EQUIPMENT. COORDINATE FINAL QUANTITIES AND LOCATIONS BETWEEN THESE DRAWINGS, CONSULTANT DRAWINGS AND LANDLORD. ACCESS HATCHES SHALL BE FLUSH MOUNTED FRAMELESS TYPE AND SHALL BE PAINTED TO MATCH ADJACENT SURFACE WHERE INSTALLED. SUBMIT CUTS FOR APPROVAL.
- FOR EXG. PARTITIONS BEING PATCHED AND INFILLED, PROVIDE STUD SIZE AS NECESSARY TO MATCH EXG. CONSTRUCTION. GIP-30 SHALL BE FLUSH AND ALIGN WITH ADJACENT CONSTRUCTION. SHOWN AS REQUIRED TO CREATE IMMOVABLE TRANSITION, BOTH SIDES TYP. ALL OTHER REQUIREMENTS FOR NOTED PARTITION TYPE SHALL REMAIN.
- IN AREAS WHERE EQUIPMENT, INFRASTRUCTURE, LIGHTING ARE REMOVED, PATCH/REPAIR SHEETROCK TO ACHIEVE SMOOTH/SEAMLESS/FLAT SURFACE. TYP.
- G.C. IS RESPONSIBLE FOR REPAIRING/PATCHING/REPLACING IN KIND ANY AND ALL FINISHES AT AREAS CONTAINING MECH SCOPE BOTH WITHIN AND OUTSIDE OF ARCHITECTURAL SCOPE OF WORK.
- EXG. WALLS TO BE SKIMMED/PATCHED/REPAIRED AS REQ'D FOR SMOOTH CONTINUOUS SURFACE.

KEY NOTES

- INFILL EXISTING STAR/ELEVATOR OPENING. SEE STRUCTURAL DRAWINGS.
- NEW FLOORING AS PER SCHEDULE. MAKE LEVEL AS REQ'D.
- ACQU. SEE MECHANICAL PLANS. COORDINATE LOCATION W/ ENGINEER + ARCHITECT TYP.

PLAN NORTH

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KEY PLAN

151 GRAND ST
NEW YORK, NY 10013
BLOCK 223
LOT 17
ZONING MAP NUMBER 12C
ZONING DISTRICT M1-5B
NUMBER OF FLOORS 8
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12/08/2016 REVISED FOR LPC COMMENTS
10/24/16 PERMIT
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REVISIONS

151 GRAND ST
151 GRAND ST
NEW YORK, NY

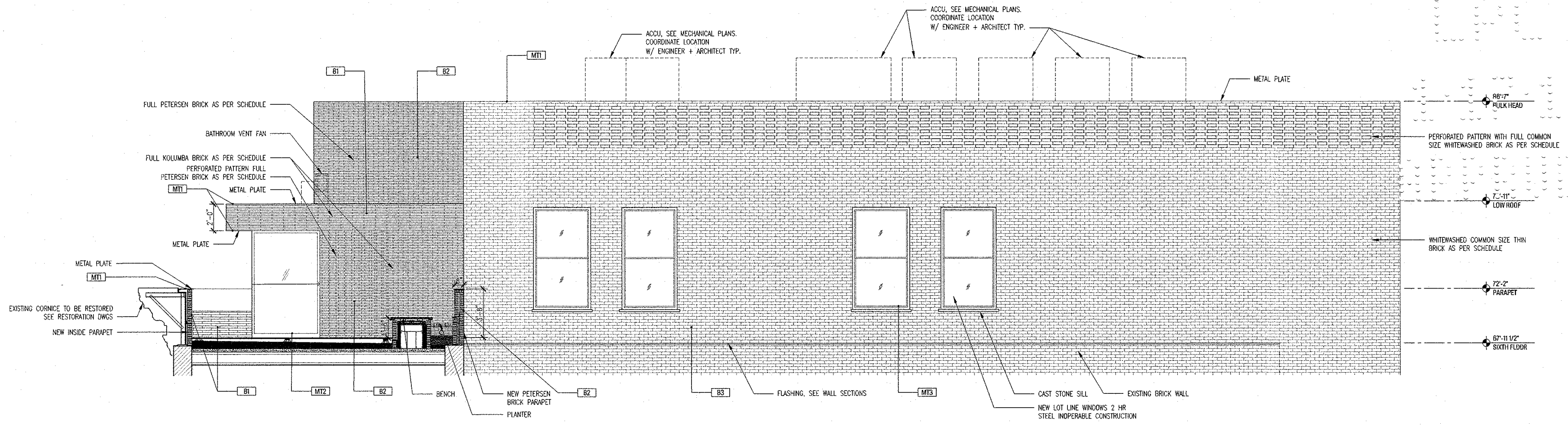
REGISTERED ARCHITECT
LAWRENCE ZANON
NOV 2016

PROJECT NO: DM-106.00 SCALE: AS NOTED

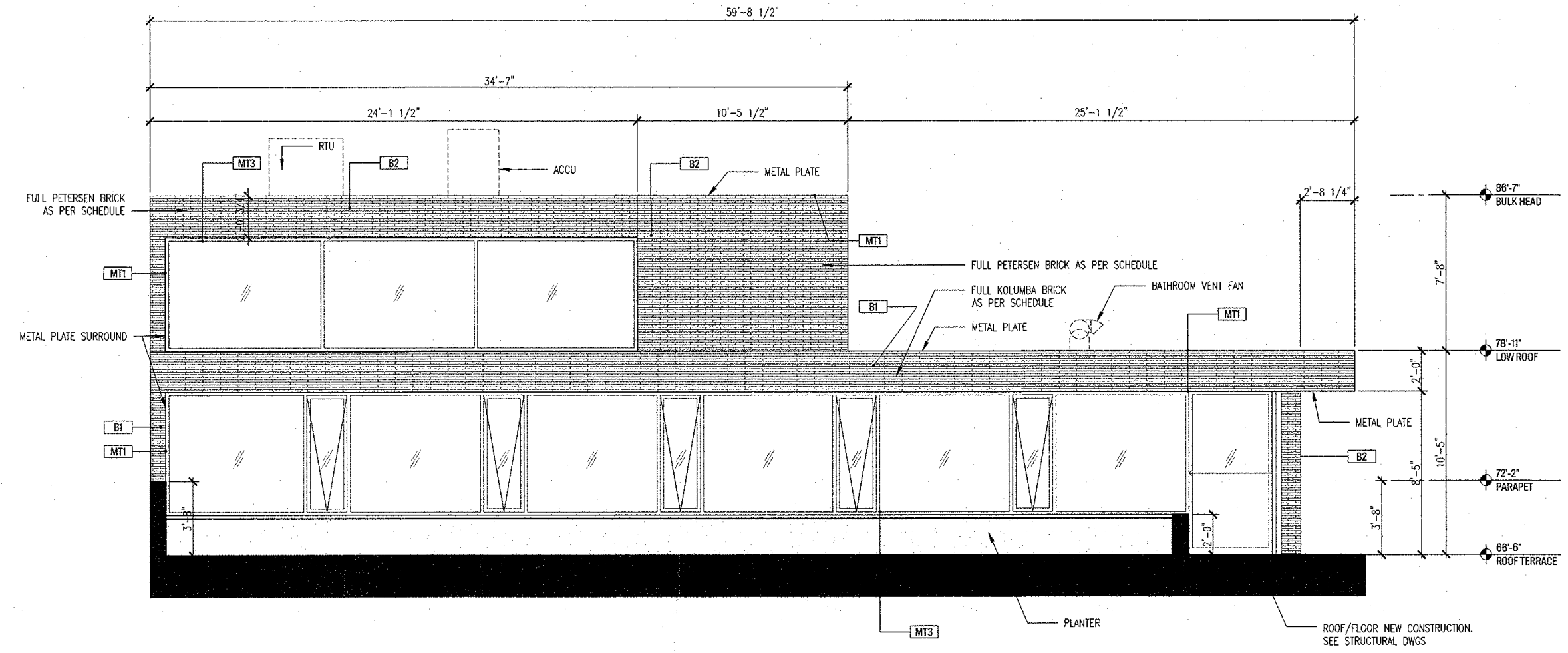
6TH FLOOR CONSTRUCTION PLAN
A-105.00

D.O.B. NO: PAGE: 26 OF 72

ROOFTOP ADDITION ELEVATIONS - APPROVED



20 NORTH 6TH FLOOR ELEVATION
SCALE: 1/4" = 1'-0"



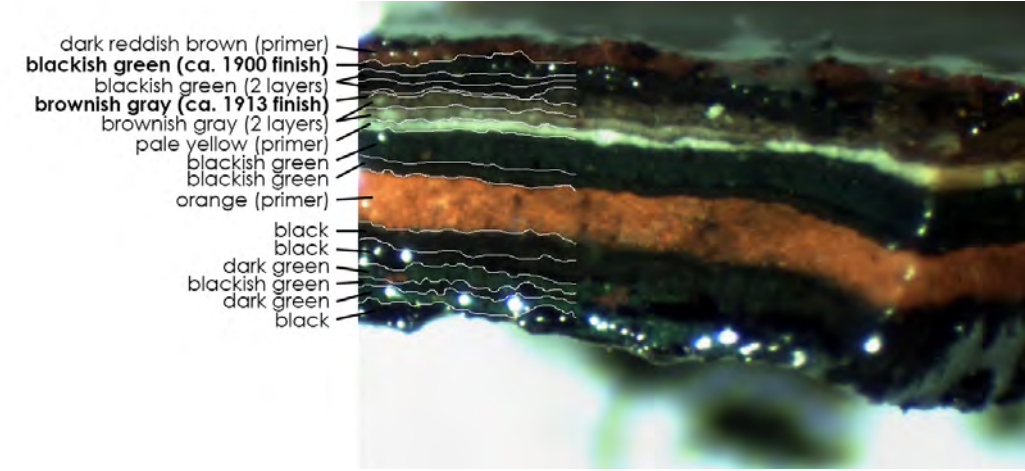
10 EAST 6TH FLOOR ELEVATION
SCALE: 1/4" = 1'-0"

A+I (2016)

CAST IRON & WINDOW PAINT



"Dark As Night" Swatch



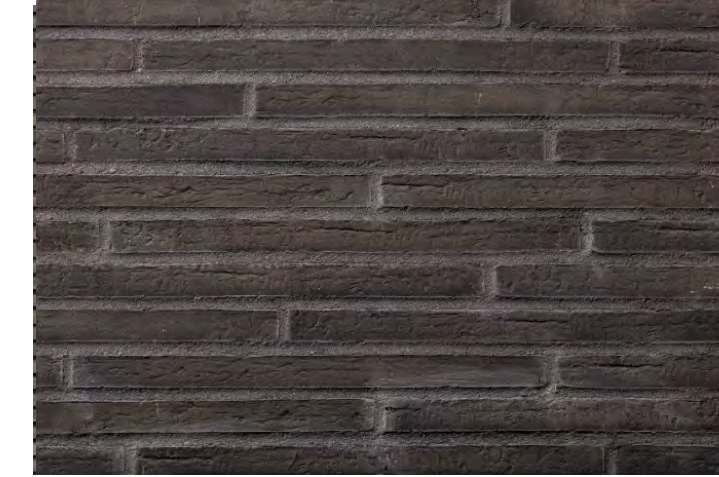
Existing Paint Analysis

* Color Match, Earliest Finish (ca. 1900)	blackish green *	blackish green *	blackish green *
	Munsell 5G 2/1	Munsell 5G 2/1	Munsell 5G 2/1
	Pittsburgh Paints 14-05	Pittsburgh Paints 14-05	Pittsburgh Paints 14-05
	"Dark as Night"	"Dark as Night"	"Dark as Night"
	semi-glossy sheen	semi-glossy sheen	semi-glossy sheen

BRICK



Proposed White Washed Red Brick
Green Hills - Old California Series - McNear
@ Back Leg



Grey Brick - Petersen



Proposed White Washed Red Brick
Whitehall - Old California Series - McNear
@ South Facade



Proposed brick pattern reference



LPC APPROVED RENDERING (A+I)



(A)



(B)



(C)



(D)





(E)




(F)

KEY

 PARTIAL EAST/
SOUTH/NORTH
ELEVATION

 PRIMARY EAST
ELEVATION

 SECONDARY
NORTH
ELEVATION



A+I (2016)



Note: orange scrim indicates extents of roof addition

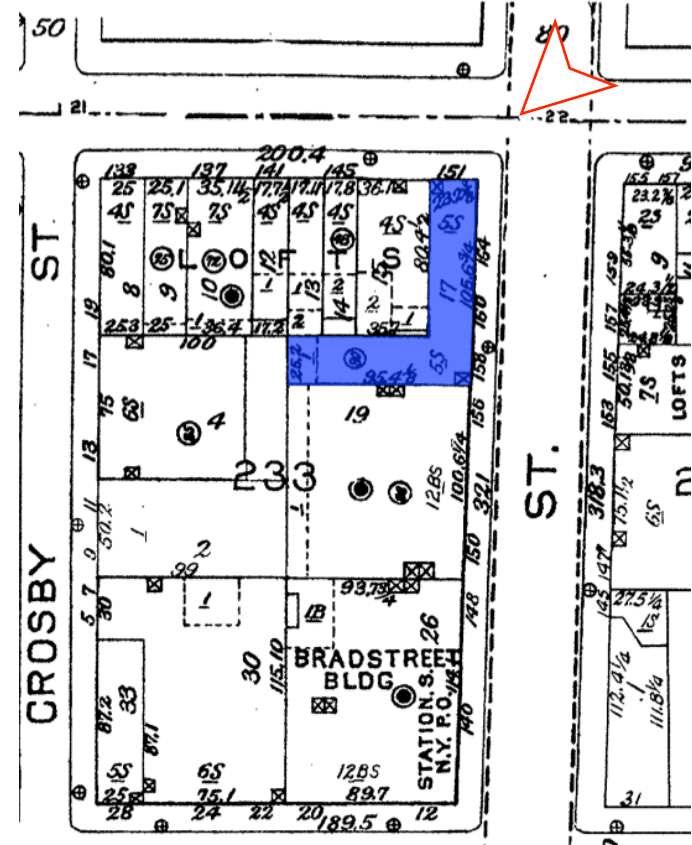
PUBLIC HEARING MOCKUP



PUBLIC HEARING RENDERING (A+I)



IN-PROGRESS VISIBILITY



KEY PLAN (1985 Sanborn)



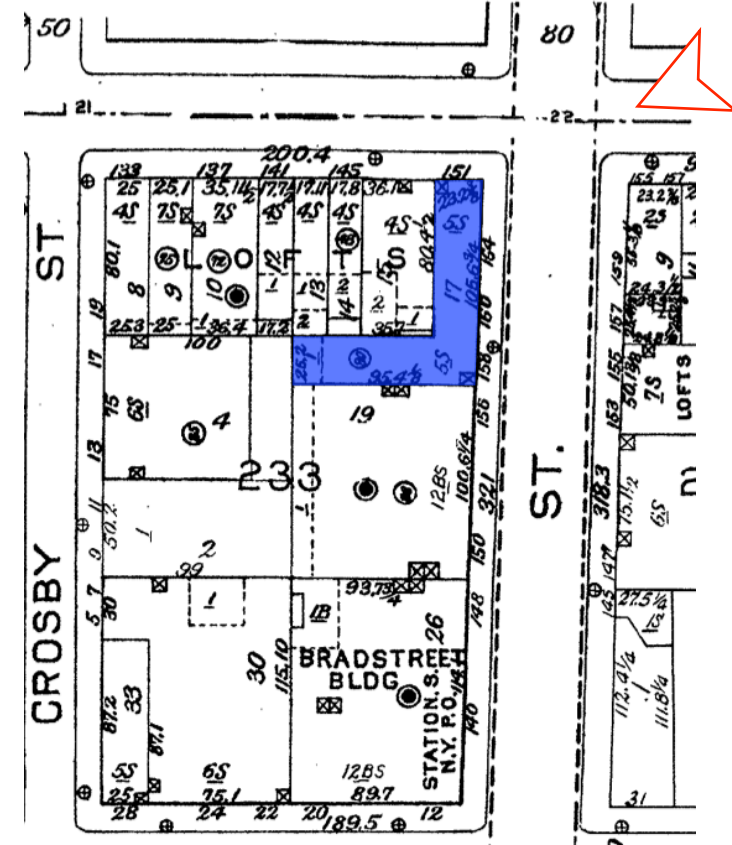
PUBLIC HEARING MOCKUP



PUBLIC HEARING RENDERING (A+)



IN-PROGRESS VISIBILITY



KEY PLAN (1985 Sanborn)



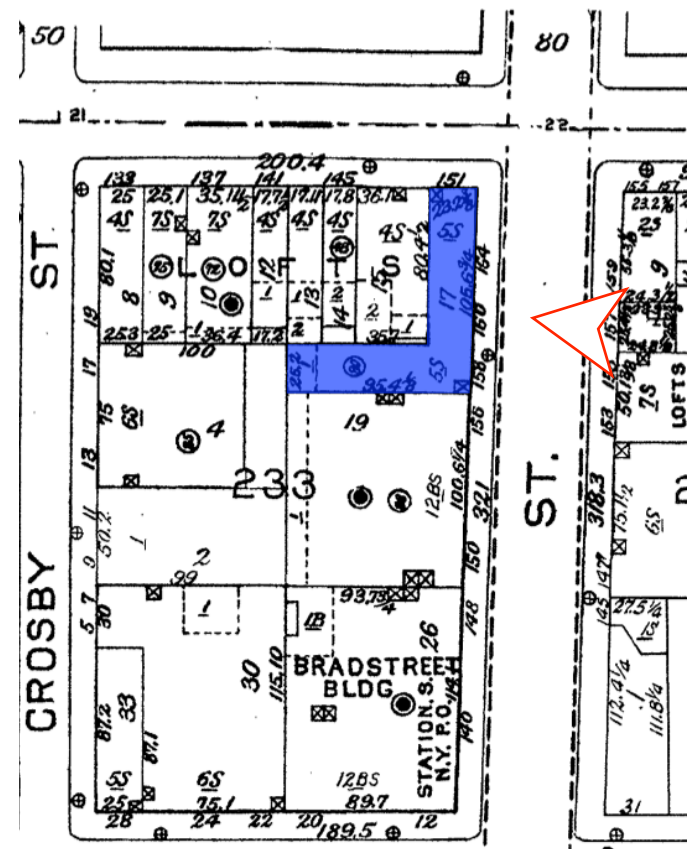
PUBLIC HEARING MOCKUP



IN-PROGRESS VISIBILITY



PUBLIC HEARING RENDERING (A+I)



KEY PLAN (1985 Sanborn)



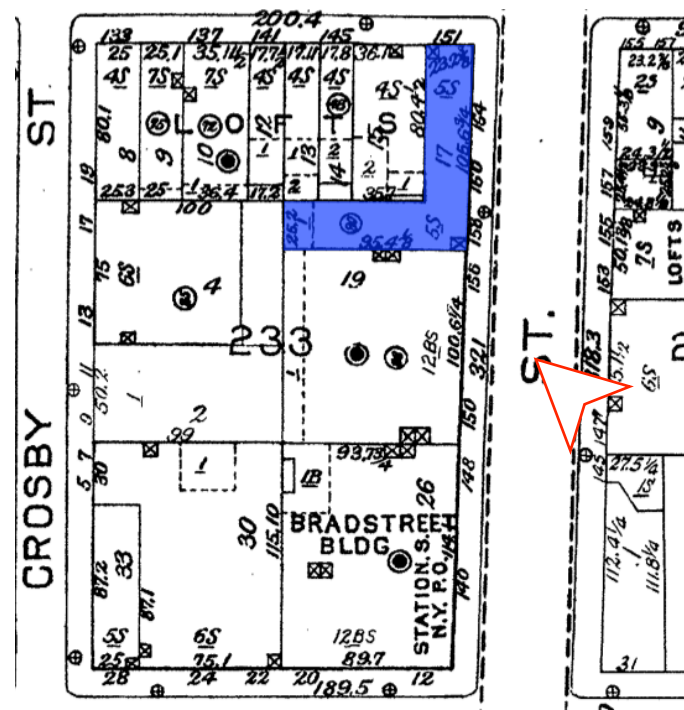
PUBLIC HEARING MOCKUP



PUBLIC HEARING RENDERING (A+)



IN-PROGRESS VISIBILITY



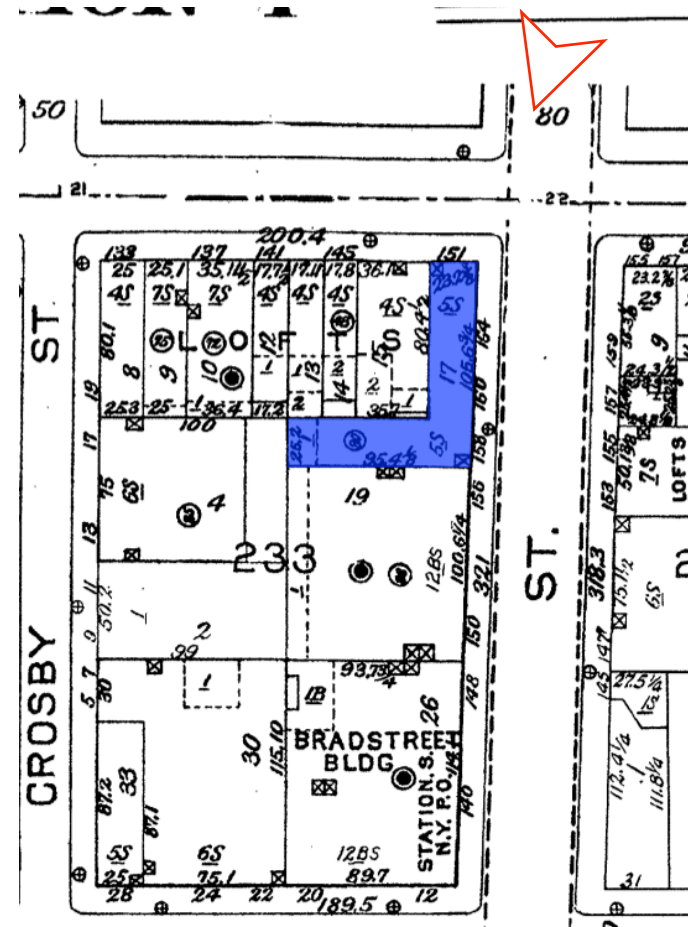
KEY PLAN (1985 Sanborn)



PUBLIC HEARING MOCKUP



IN-PROGRESS VISIBILITY



KEY PLAN (1985 Sanborn)



Renderings by A+I (2016)



Renderings by A+I (2016)

APPENDIX



1913 (MCNY)



ENLARGED SOUTH DETAIL

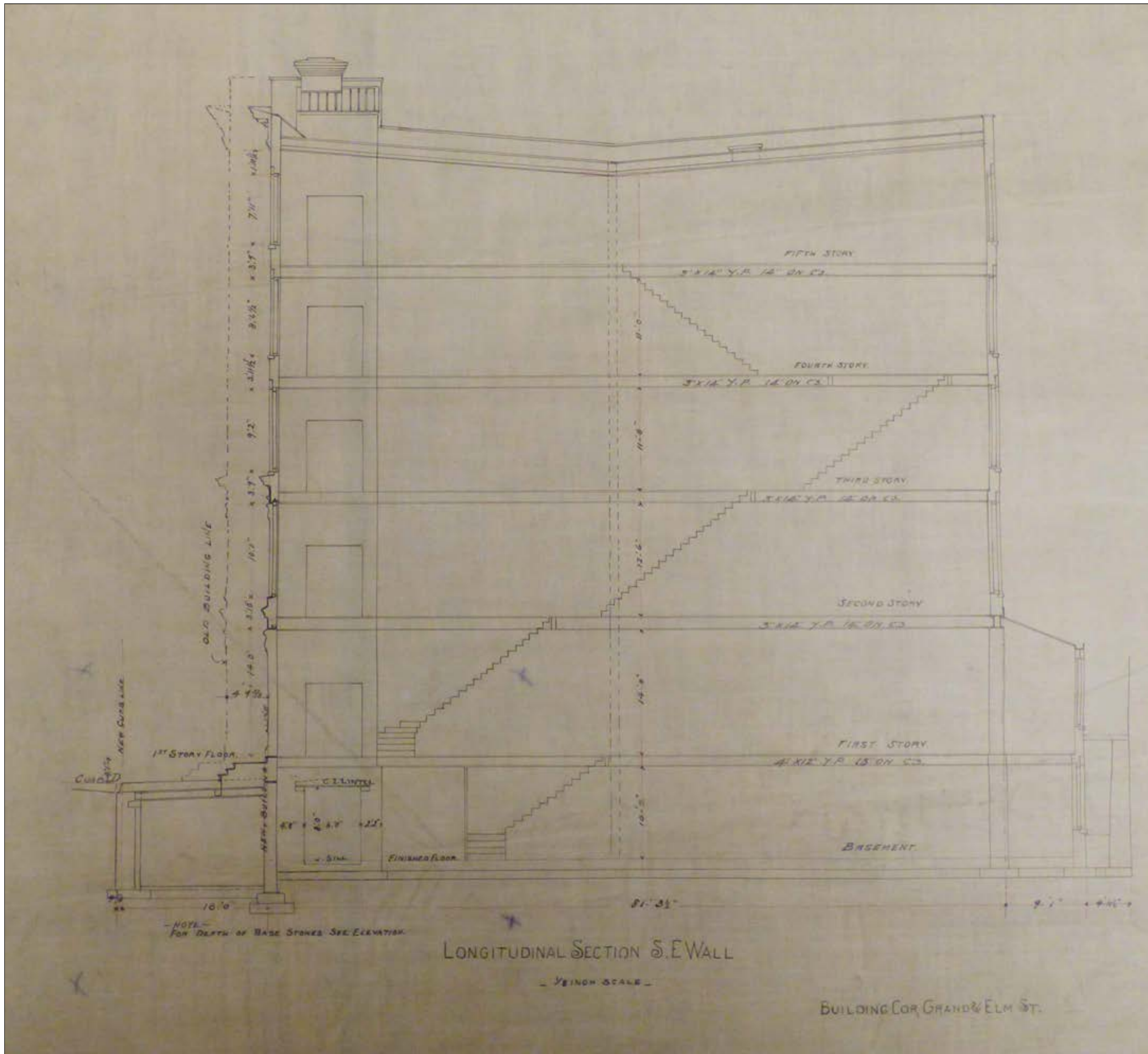


ENLARGED NORTH DETAIL

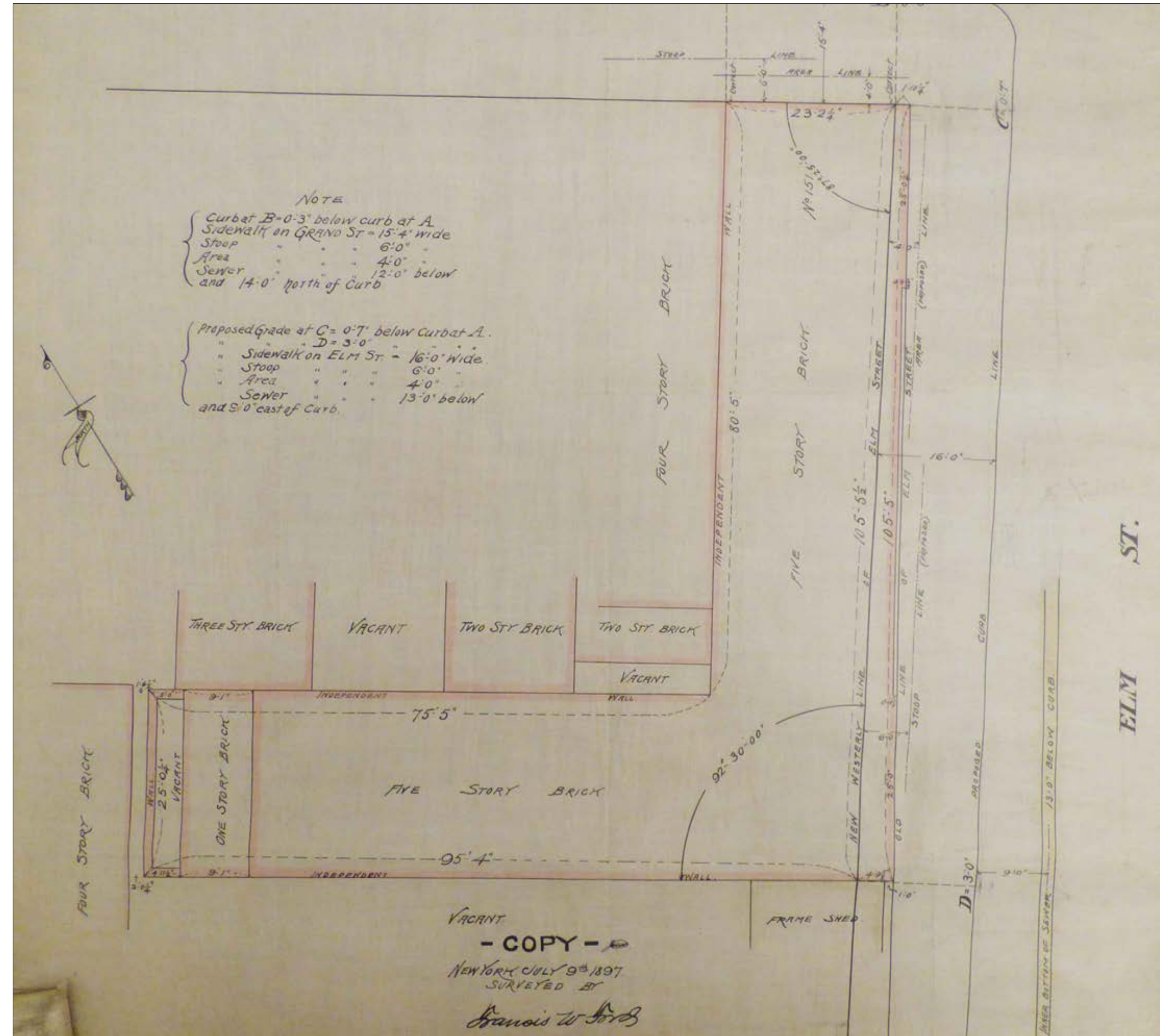


1940 (MUNICIPAL ARCHIVES)





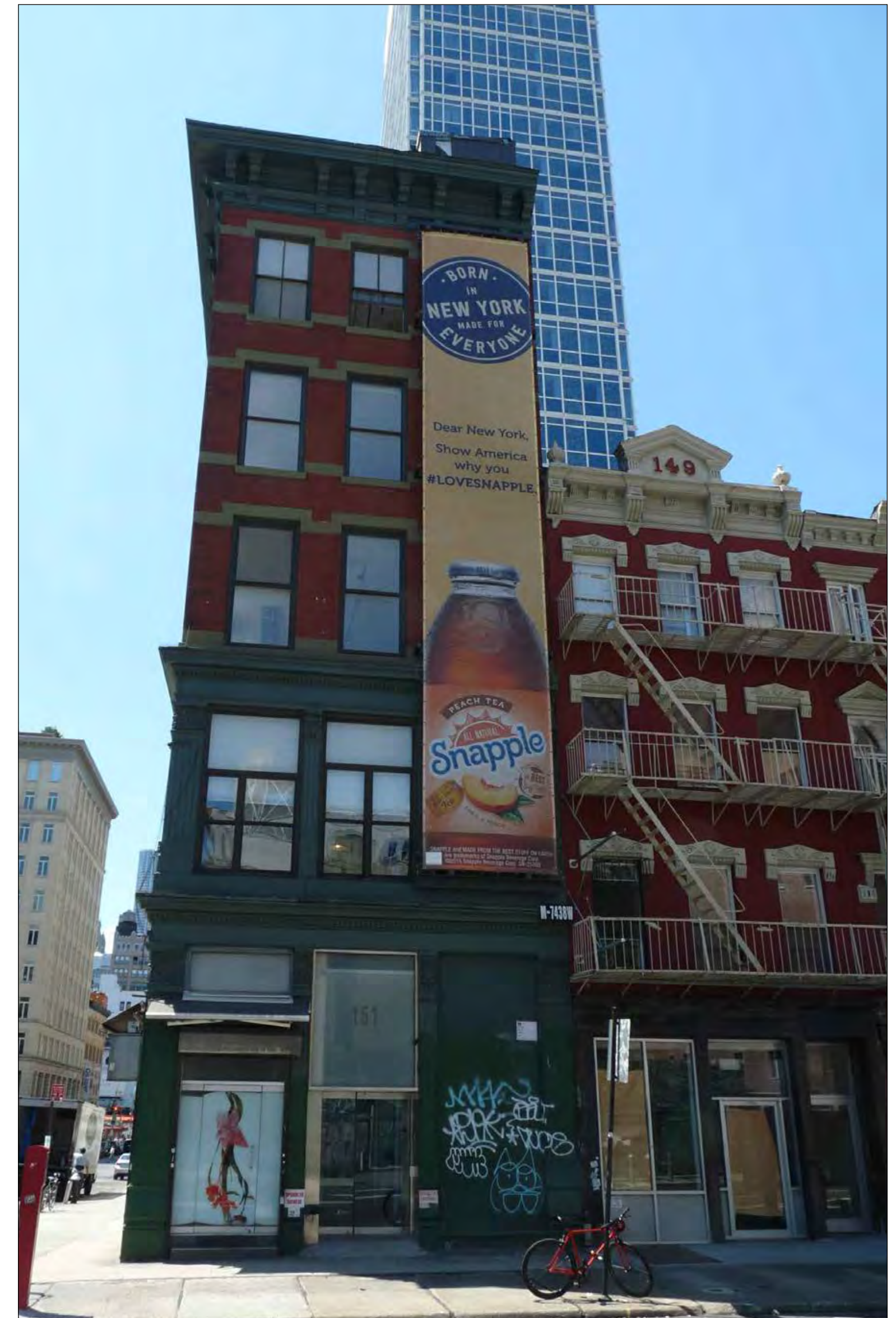
BUILDING SECTION, 1897



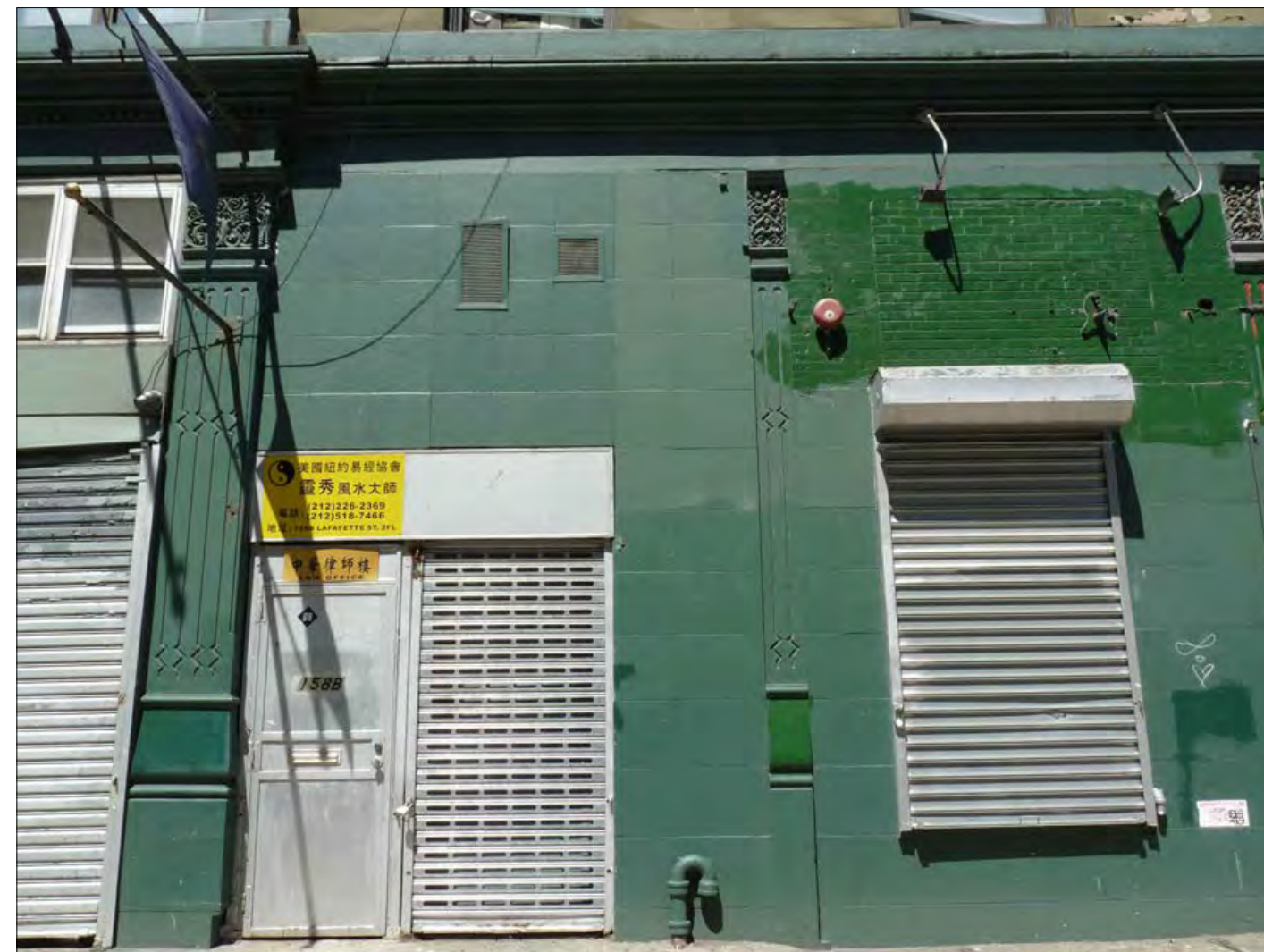
BUILDING PLAN, 1897



LAFAYETTE STREET CONDITIONS, 2016



GRAND STREET CONDITIONS, 2016



LAFAYETTE STREET CONDITIONS, 2016

LAFAYETTE STREET CONDITIONS, 2016

GRAND STREET CONDITIONS, 2016



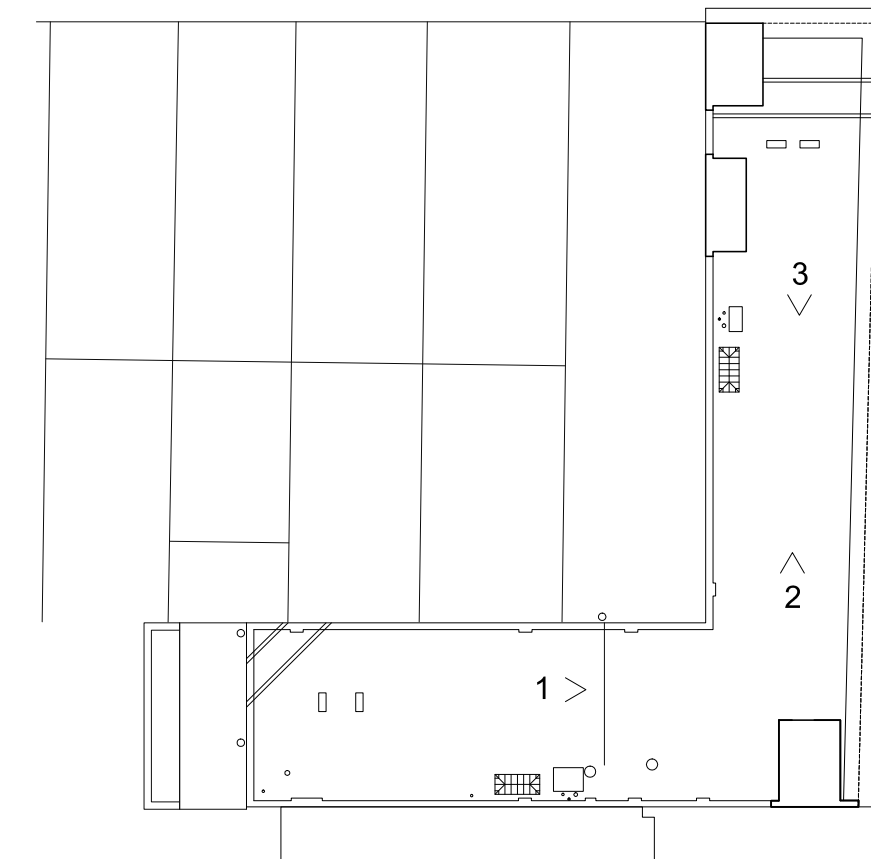
3 - ROOF-EXISTING CONDITIONS LOOKING NORTH



2 - ROOF-EXISTING CONDITIONS LOOKING SOUTH



1 - ROOF - EXISTING CONDITIONS LOOKING WEST



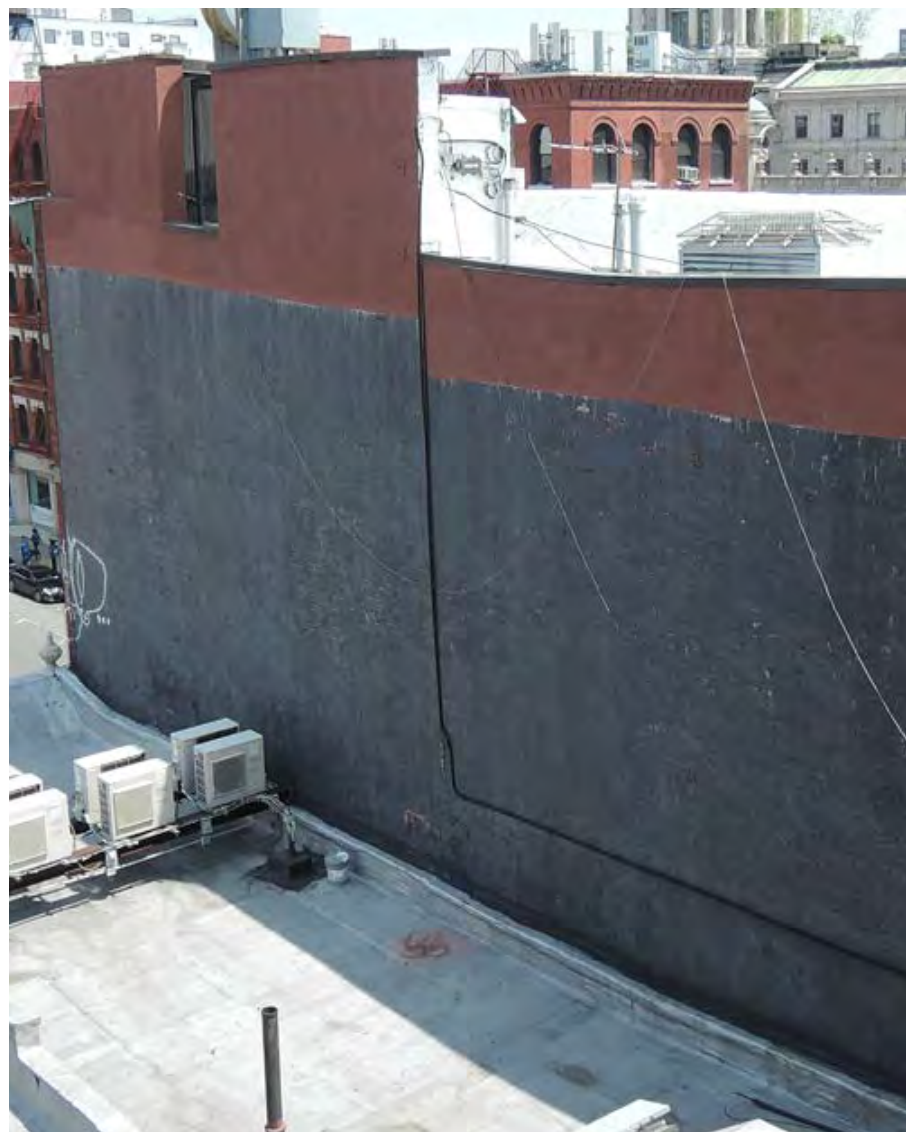
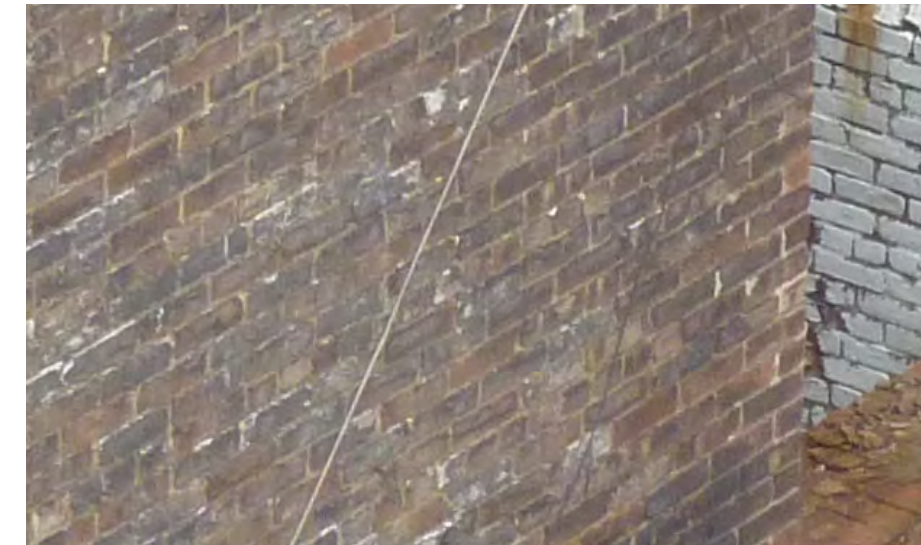
ROOF - KEY PLAN



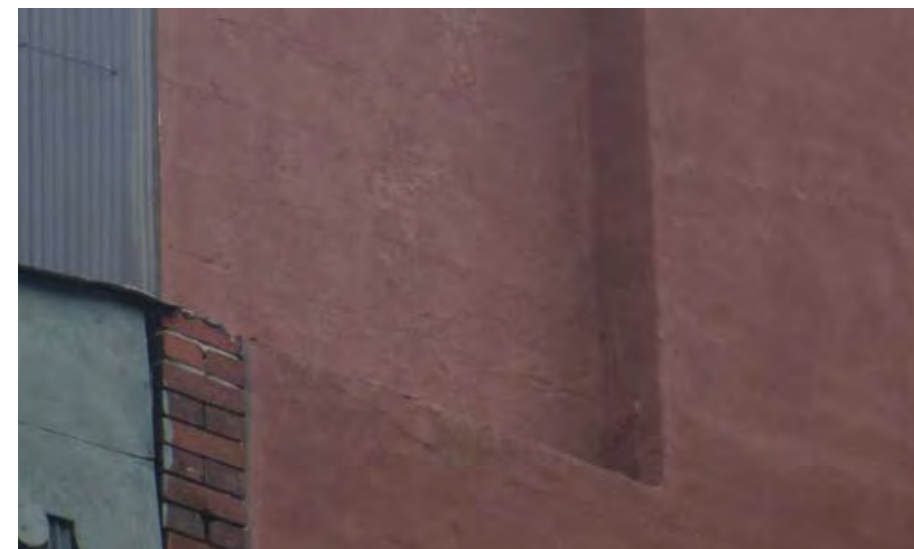
South & East street walls



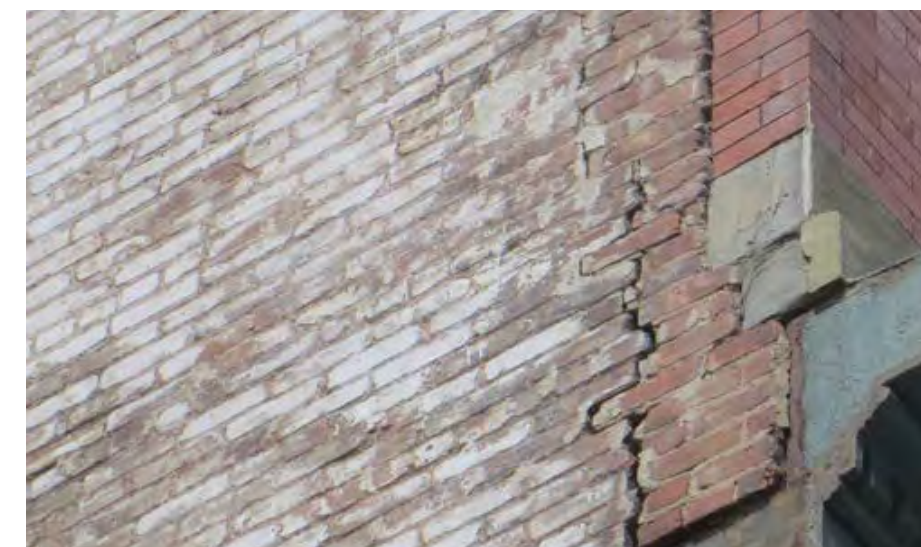
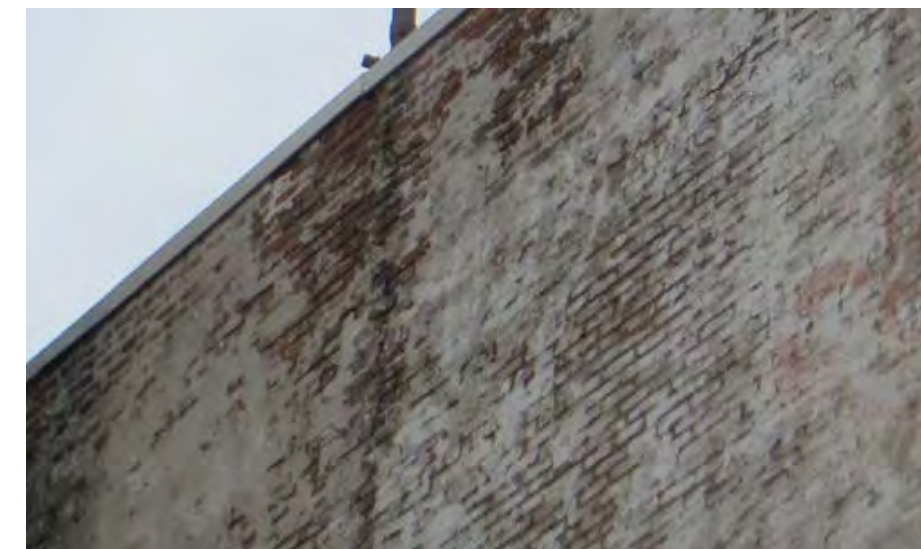
South inner wall



West wall



North wall





THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION
 1 CENTRE STREET 9TH FLOOR NORTH NEW YORK NY 10007
 TEL: 212 669-7700 FAX: 212 669-7780



PERMIT

CERTIFICATE OF APPROPRIATENESS

ISSUE DATE: 01/17/17	EXPIRATION DATE: 8/2/2022	DOCKET #: 195287	COFA #: COFA 19-7619
ADDRESS: 151 GRAND STREET HISTORIC DISTRICT SOHO - CAST IRON EXTENSION		BOROUGH: MANHATTAN	BLOCK/LOT: 233 / 17

Display This Permit While Work Is In Progress

ISSUED TO:

David G. King, Jr.
 PB 151 Grand, LLC
 375 Park Avenue
 Suite 1604
 New York, NY 10152

Pursuant to Section 25-307 of the Administrative Code of the City of New York, the Landmarks Preservation Commission, at the Public Meeting of August 2, 2016, following the Public Hearing and Public Meetings of November 10, 2015, and January 12, 2016, voted to approve a proposal construct rooftop and rear yard additions, install storefront infill, and a barrier-free access ramp at the subject premises; as put forward in your application completed on October 15, 2015, and as you were notified in Status Update Letter 19-1350 (LPC 17-4163), issued on August 2, 2016.

The proposal, as approved, consists of, at the ground floor of the primary elevations, the removal of the existing metal roll-down gates, storefront infill, signage, sign banner and brackets at the north elevation, doors, and display windows; the installation of new wood storefront infill, featuring single-light display windows with transoms, paneled doors, and paneled bulkheads, and incorporating the existing historic cast-iron columns in the design, finishing all storefront elements black (Pittsburgh Paints 14-05 "Dark as Night"); at the east elevation, the construction of a concrete ramp, with concrete steps and metal railings; at the roof, the removal of the brick parapet wall, a rooftop bulkhead, and mechanical equipment, and the construction of an occupiable L-shaped rooftop addition, measuring 18'7" tall at the highest point, set back 48' from the south cornice, and 2' from the east cornice, and extending to the rear yard addition at the west façade, featuring patterned brick facades, metal and glass sliding doors, single-light fixed and tilt-and-turn metal windows, one-over-one double-hung metal windows, a tri-partite single-light fixed clerestory window, a patterned brick screen at the southwest section of the roof, and the construction of a brick elevator bulkhead; and at the west facade of the rear L-extension, the removal of windows and brick infill, and the construction

of a five-story rear addition extending 9' beyond the existing rear façade, featuring brick masonry matching the existing bond pattern and brick of the secondary north elevation, and punched window openings. The proposal was shown on forty-three (43) digital slides titled "31 Grand LPC Review, dated August 2, 2016, prepared by Architecture + Information, and submitted as components of the application, and presented at the Public Hearing and Public Meeting. The proposal as initially presented at the Public Hearing and Public Meeting of November 10, 2015, and January 12, 2016, included a different two-story rooftop with metal cladding and excluded the rear yard addition; as shown on presentation documents dated January 12, 2016, and November 10, 2015 and presented at the Public Hearing and Public Meetings.

In reviewing this proposal, the Commission noted that the SoHo-Cast Iron Historic District Extension designation report describes 151 Grand Street as a Second Empire style warehouse designed by William Field & Son and built in 1869, and that the building's style, scale, materials, and details contributes to the special architectural and historic character of the SoHo-Cast Iron Historic District Extension.

With regard to this proposal, the Commission found that that the removal of the existing storefront infill will not eliminate significant historic fabric; that the existing storefront openings will be maintained; that the proposed storefront featuring large display windows, metal bulkhead, and transom windows recalls the configuration of historic storefronts found in the district; that the presence of large glazed areas is in keeping with the scale and transparency found on the ground floor of buildings on this street, and with the commercial character of the street and historic district, and retains the configuration of adjacent storefronts; that the historic cast-iron columns will be restored and incorporated into the proposed design; that the ramp will provide barrier-free access in the least obtrusive manner possible, and will feature diamond plate in keeping with sidewalk materials historically found in the district; that the majority of the addition's bulk is visible in conjunction with the secondary elevations, and over the interior L-shaped portion of the building, which does not detract from the primary designed elevations; that the proposed addition will be set back from the Grand Street primary façade, and will not be visible over the designed portion of the façade from directly across the street; that the proposed rooftop addition and rear addition, while visible in conjunction with the secondary facades, will feature simple brick detailing, punched window openings, and will be constructed flush with the existing secondary facades, which will create a seamless addition that will not call undue attention to itself; that the bulk of the rooftop addition, visible in conjunction with the designed facades has a minimal profile and does not overwhelm or compete with the building's prominent historic cornice, nor does it detract from the building's massing, and features a dark gray cladding, helping it to further recede from view; that the proposed materials, including brick, glass, and metal will harmonize with the historic facades and the proposed modern additions; and that the visible mechanical enclosure and elevator bulkhead will be clad in simple brick, and is in keeping with similar visible utilitarian rooftop additions found in the district. Based on these findings, the Commission determined the proposed work to be appropriate to the building and the SoHo-Cast Iron Historic District Extension and voted to approve it.

However, in voting to approve this proposal, the Commission required that two complete sets of signed and sealed Department of Buildings filing drawings be submitted for review and approval by the staff of the Commission.

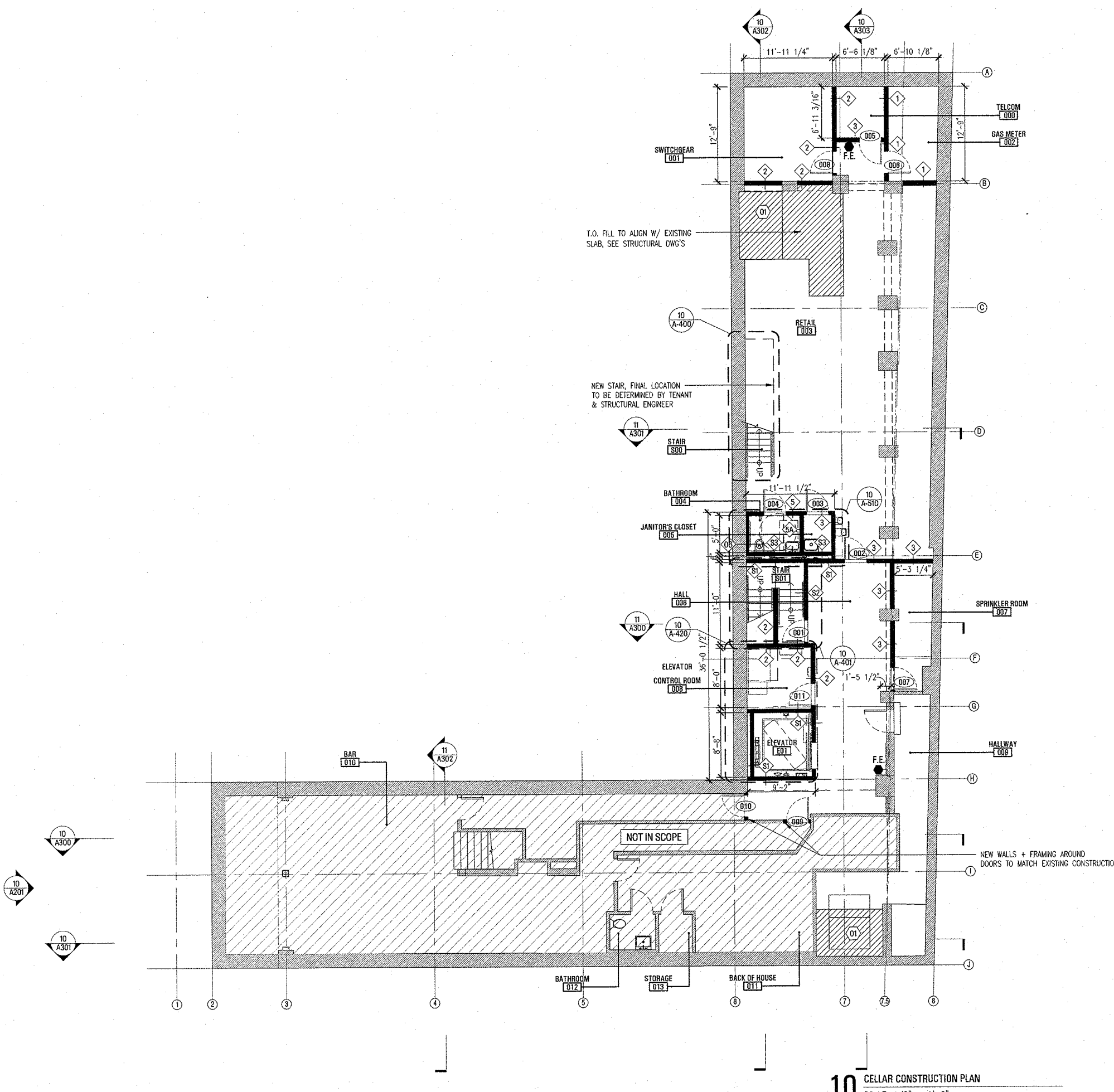
Subsequently, on November 11, 2016, the staff received drawings labeled T-000.00 through T-004.00, Z-100.00 through Z-102.00, DM-100.00 through DM-106.00, DM-200.00, DM-201.00, A-000.00, A-050.00, A-100.00 through A-107.00, A-130.00 through A-135.00, A-200.00, A-201.00, A-210.00, A-211.00, A-300.00 through A-303.00, A-350.00 through A-352.00, A-400.00 through A-403.00, A-410.00, A-420.00, A-450.00, A-451.00, A-460.00, A-461.00, A-510.00, A-511.00, A-600.00, A-610.00, A-620.00, A-650.00, A-651.00, A-660.00, A-690.00, A-700.00, A-701.00, A-750.00, A-751.00, A-759.00, A-760.00, A-800.00, and A-810.00, dated December 8, 2016, prepared by Bradley Lawrence Zizmor, R.A., drawings T-100.00, AR-101.00

Page 2

Issued: 01/17/17

DOCKET #: 195287

L:\2016\16022_151 GRAND STREET\08-ARCHITECT\04-PLANS\16-102A.LPC.FLOOR.SET\16-102A.LPC.FLOOR.CONSTRUCTION.PLAN



10 CELLAR CONSTRUCTION PLAN
SCALE: 1/8" = 1'-0"

SYMBOL LEGEND	
	NOT IN SCOPE
	EX'G TO REMAIN
	NEW CONSTRUCTION
	FIRE EXTINGUISHER CABINET LOCATION. SEE EQUIPMENT SCHEDULE FOR SCHEDULED LOCATIONS.
	FIRE COSE-CABINET LOCATION. SEE MEP DRAWINGS FOR COORDINATION AND OTHER REQUIREMENTS.
GENERAL NOTES	
1.	PROVIDE BLOCKING WITHIN PARTITIONS AND/OR CEILING AS NECESSARY FOR ALL NOTED/SHOWN WALL/CLING-MOUNTED ACCESSORIES, FIXTURES, MILLWORK AND EQUIPMENT OR WHERE NOTED IN THESE OR CONSULTANT DRAWINGS FOR INSTALLATION OF SUCH FIXTURES.
2.	PATCH & REPAIR EX'G CORE & SHIRT WALLS UPON COMPLETION OF MECHANICAL, PLUMBING & ELECTRICAL WORK & WHERE NECESSARY SURFACELY REPAIR EX'G WALLS TO MAINTAIN 2-HR FIRE-RATED CONSTRUCTION. C.C. SHALL PROVIDE FIRE-STOPPING AT ALL EX'G & NEW PENETRATIONS THROUGH ALL RATED ASSEMBLIES.
3.	MAINTAIN 18" ON PULL SIDE AND 12" ON PUSH SIDE AT ALL DOORS. REFER ALSO TO ADA NOTES AND DIAGRAMS FOR FURTHER INFORMATION.
4.	COORDINATE ALL FRAMING AS NECESSARY WITH ADJACENT / ALIGNED PARTITIONS. WHERE SPECIFIC DIMENSIONS OR ALIGNMENTS ARE REQUIRED AS SHOWN IN THE DRAWINGS, PROVIDE FRAMING AS NECESSARY TO ACHIEVE NOTED DIMENSION OR ALIGNMENT. REFER TO PARTITION TYPE DETAILS FOR FURTHER INFORMATION.
5.	C.C. TO PROVIDE ALLOWANCE TO INSULATE EX'G PIPES AS NECESSARY. ALL EXPOSED PIPES TO BE PAINTED TO MATCH ADJACENT SURFACES. PROVIDE FRAMING AROUND ALL PIPES AS SHOWN IN DRAWINGS (C.C.). CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY EX'G PIPES NOT SHOWN ON THESE DRAWINGS WHICH ARE IN CONFLICT WITH THE LAYOUT AS SHOWN.
6.	PROVIDE & INSTALL ACCESS HATCHES AT ALL LOCATIONS - WITHIN PARTITIONS AND/OR CEILING - FOR EX'G OR NEW MEP EQUIPMENT, PIPES, VALVES, ETC. WHERE REQUIRED. SEE MEP DRAWINGS FOR FURTHER INFORMATION. CONSULT BUILDING LANDLORD FOR REQUIRED ACCESS TO EX'G EQUIPMENT. COORDINATE FINAL QUANTITIES AND LOCATIONS BETWEEN THESE DRAWINGS, CONSULTANT DRAWINGS AND LANDLORD. ACCESS HATCHES SHALL BE FLUSH MOUNTED TRIMLESS TYPE AND SHALL BE PAINTED TO MATCH ADJACENT SURFACE WHERE INSTALLED. SUBMIT CUTS FOR APPROVAL.
7.	FOR EX'G PARTITIONS BEING PATCHED AND INFILLED, PROVIDE STUD SIZE AS NECESSARY TO MATCH EX'G CONSTRUCTION. C.P. BE SHALL BE FLUSH AND ALIGN WITH ADJACENT CONSTRUCTION. SKIMCOAT AS REQUIRED TO CREATE INVISIBLE TRANSITION, BOTH SIDES TYP. ALL OTHER REQUIREMENTS FOR NOTED PARTITION TYPE SHALL REMAIN.
8.	IN AREAS WHERE EQUIPMENT, INFRASTRUCTURE, LIGHTING ARE REMOVED, PATCH/REPAIR SHEETROCK TO ACHIEVE SMOOTH/SEAMLESS/FLAT SURFACE, TYP.
9.	CC IS RESPONSIBLE FOR REPAIRING/PATCHING/ REPLACING IN KIND, ANY AND ALL FINISHES AT AREAS CONTAINING MECH SCOPE BOTH WITHIN AND OUTSIDE OF ARCHITECTURAL SCOPE OF WORK.
10.	EX'G WALLS TO BE SKIMMED/PATCHED/REPAIRED AS REQ'D FOR SMOOTH CONTINUOUS SURFACE.
KEY NOTES	
(01)	INFILL EXISTING STAIR/ELEVATOR OPENING. SEE STRUCTURAL DRAWINGS
(02)	NEW FLOORING AS PER SCHEDULE. MAKE LEVEL AS REQ'D
(03)	ACCU. SEE MECHANICAL PLANS. COORDINATE LOCATION W/ ENGINEER + ARCHITECT TYP.
PLAN NORTH	

Architecture Plus Information
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New York, NY 10010

CONSULTANTS	
DESIGNER	TEL (212) 791-4576
LANDMARKS CONSULTANT	TEL (212) 274-4468
MEP ENGINEER	TEL (212) 330-8200
STRUCTURAL ENGINEER	TEL (212) 820-7970

KEY PLAN

151 GRAND ST
NEW YORK, NY 10013
BLOCK: 233
LOT: 11
ZONING MAP NUMBER: 12C
ZONING DISTRICT: NY-58
NUMBER OF FLOORS: 8
OCCUPANCY CLASS: USE GROUP B (OFFICES)

REVISIONS	
12/08/2016	REVISED FOR LPC COMMENTS
10/24/16	PERMIT
7/11/2016	ISSUED FOR ZONING APPROVAL

151 GRAND ST
151 GRAND ST
NEW YORK, NY

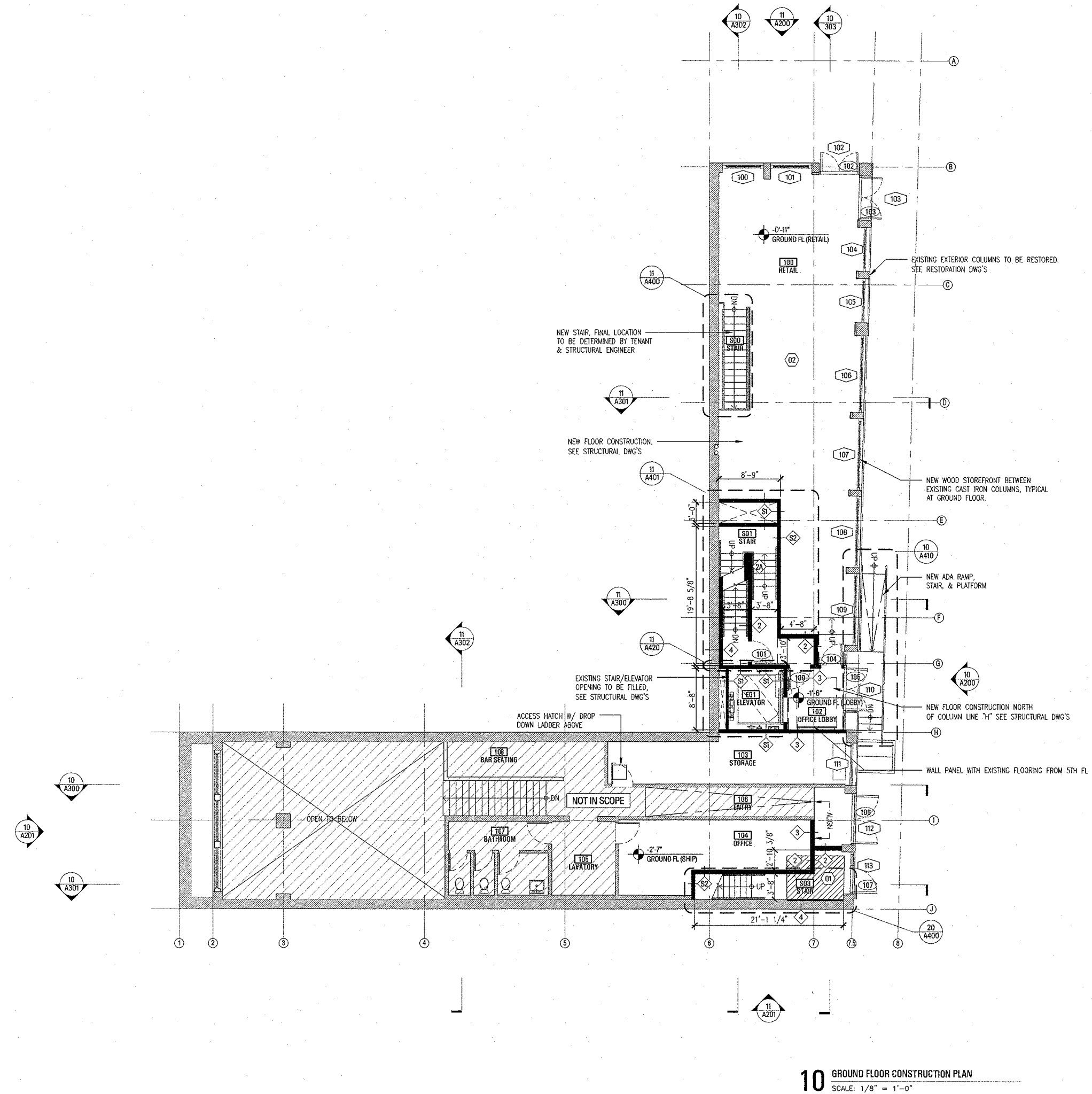
PROJECT NO: 16022 SCALE: AS NOTED

CELLAR FLOOR
CONSTRUCTION PLAN

A-100.00

D.O.B. NO: PAGE: 21 OF 72

A-101.0022_151 GRAND STREET (08-AROUNDING) (04-PLAN) (16-1024)_LPC PUBLIC SET (16-1024)_LPC - LPC SET UPDATES (1022)_A-101 CONSTRUCTION PLAN GROUND FLOOR



10 GROUND FLOOR CONSTRUCTION PLAN
 SCALE: 1/8" = 1'-0"

SYMBOL LEGEND	
	NOT IN SCOPE
	EX'G TO REMAIN
	NEW CONSTRUCTION
	FIRE EXTINGUISHER CABINET LOCATION. SEE EQUIPMENT SCHEDULE FOR SPECIFICATION.
	FIRE LOSE CABINET LOCATION. SEE M&P DRAWINGS FOR SPECIFICATION AND OTHER REQUIREMENTS.

- GENERAL NOTES**
- PROVIDE BLOCKING WITHIN PARTITIONS AND/OR CEILING AS NECESSARY FOR ALL NOTED/SHOWN WALL/CING-MOUNTED ACCESSORIES, FIXTURES, MILLWORK AND EQUIPMENT OR WHERE NOTED IN THESE OR CONSULTANT DRAWINGS FOR INSTALLATION OF SUCH FIXTURES.
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 - EX'G WALLS TO BE SKIMMED/PATCHED/REPAIRED AS REQ'D FOR SMOOTH CONTINUOUS SURFACE.

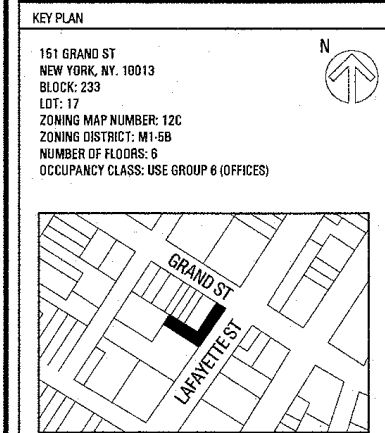
- KEY NOTES**
- INFILL EXISTING STAIR/ELEVATOR OPENING. SEE STRUCTURAL DRAWINGS.
 - NEW FLOORING AS PER SCHEDULE. MAKE LEVEL AS REQ'D.
 - ACCU. SEE MECHANICAL PLANS. COORDINATE LOCATION W/ ENGINEER + ARCHITECT TYP.

PLAN NORTH

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 New York, NY 10010

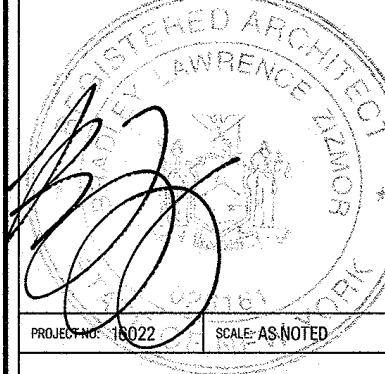
CONSULTANTS

ARCHITECT	
WILLIAM VECIO	TEL (212) 791-4578
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NEW YORK, NY 10010	
LANDMARKS CONSULTANT	
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11 HANOVER SQ, 10TH FL.	
NEW YORK, NY 10005	
MEP ENGINEER	
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315 PARK AVE SOUTH, 17TH FL.	
NEW YORK, NY 10010	
STRUCTURAL ENGINEER	
SHAW	TEL (212) 425-7970
32 OLD S.L.P., 10TH FL.	
NEW YORK, NY 10005	



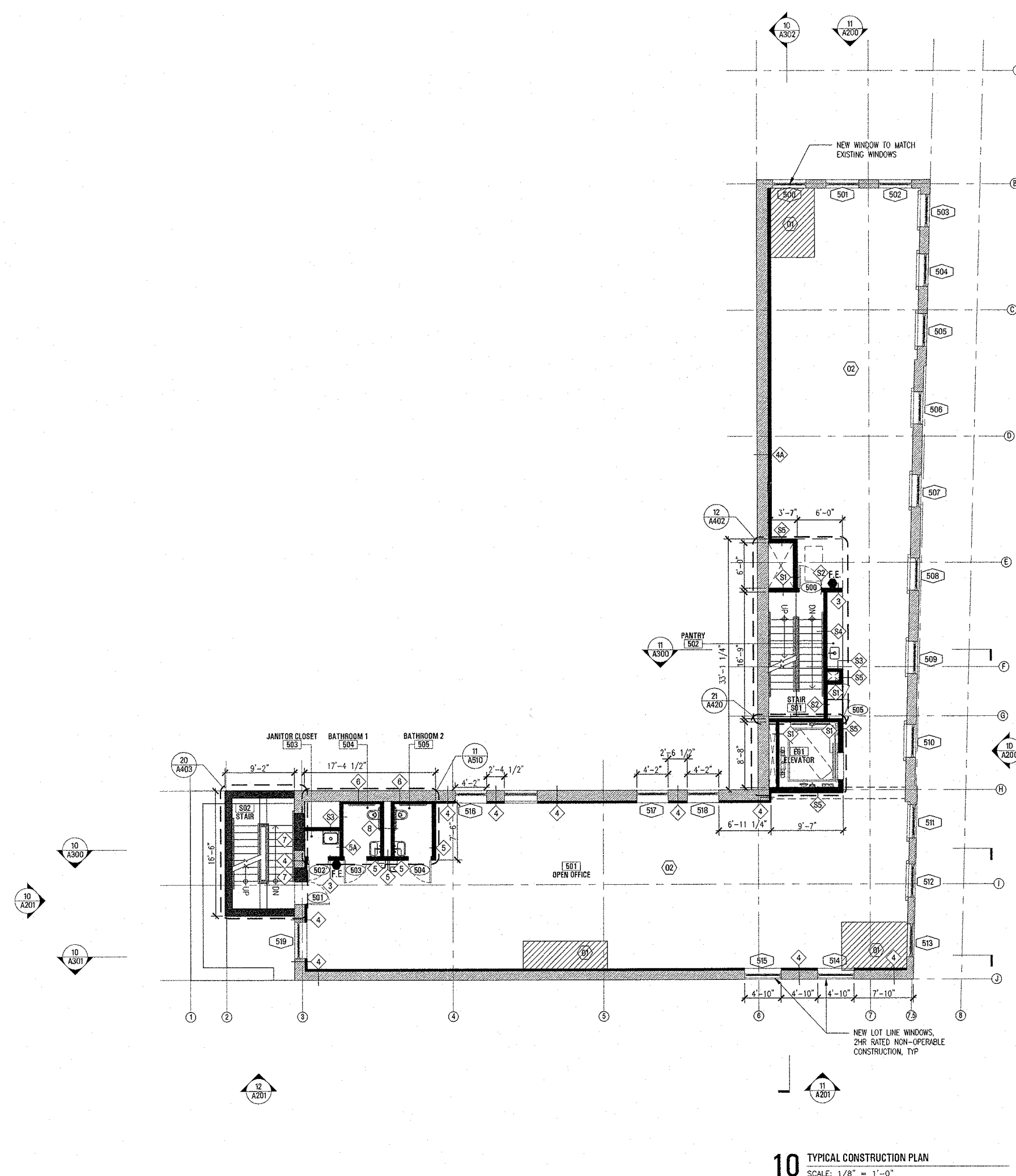
DATE	DESCRIPTION
12/08/2016	REVISED FOR LPC COMMENTS
10/24/16	PERMIT
7/11/2016	ISSUED FOR ZONING APPROVAL

151 GRAND ST
 151 GRAND ST
 NEW YORK, NY



PROJECT NO: 1022 SCALE: AS NOTED
CONSTRUCTION PLAN
GROUND FLOOR
A-101.00
 D.O.B. NO. PAGE: 22 OF 72

A:\2016\16022\151 GRAND STREET\06-ARCHITECTURE\16-1024_LPC_PUBLIC HEARING SET\16-1024_LPC - LPC SET UPDATES\16022_A-104_5TH FL CONSTRUCTION PLAN



10 TYPICAL CONSTRUCTION PLAN
SCALE: 1/8" = 1'-0"

SYMBOL LEGEND	
	NOT IN SCOPE
	EX'G TO REMAIN
	NEW CONSTRUCTION
	FIRE EXTINGUISHER CABINET LOCATION. SEE EQUIPMENT SCHEDULE FOR SPECIFICATION.
	FIRE HOSE CABINET LOCATION. SEE MEP DRAWINGS FOR SPECIFICATION AND OTHER REQUIREMENTS.

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- KEY NOTES**
- INTELL EXISTING STAIR/ELEVATOR OPENING. SEE STRUCTURAL DRAWINGS.
 - NEW FLOORING AS PER SCHEDULE. MAKE LEVEL AS REQ'D
 - ACCU. SEE MECHANICAL PLANS. COORDINATE LOCATION W/ ENGINEER + ARCHITECT TYP.

PLAN NORTH

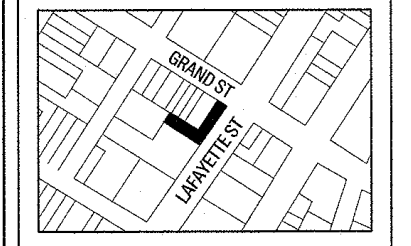
A+I Architecture Plus Information
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 www.aplus.com
 920 Broadway 11th fl.
 New York, NY 10010

CONSULTANTS

EXISTING:	WILKIN WISCO	TEL (212) 791-4578
	229 BROADWAY, 11TH FL	
	NEW YORK, NY 10010	
LANDMARKS CONSULTANT:	HIGGINS QUASEBARTH & PARTNERS	TEL (212) 274-9468
	11 HANOVER SQ, 16TH FL	
	NEW YORK, NY 10002	
MEP ENGINEER:	EDWARDS & ZUCK	TEL (212) 335-6200
	315 PARK AVE SOUTH, 17TH FL	
	NEW YORK, NY 10010	
STRUCTURAL ENGINEER:	SLAHN	TEL (212) 620-7970
	32 OLD SLP, 10TH FL	
	NEW YORK, NY 10005	

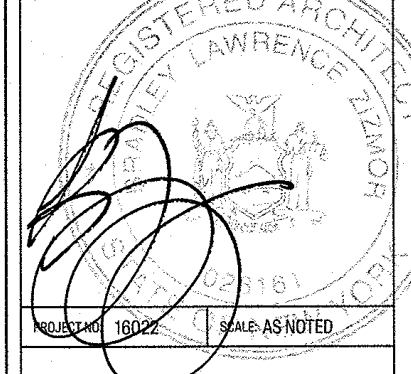
KEY PLAN

151 GRAND ST
 NEW YORK, NY 10013
 BLOCK: 233
 LOT: 17
 ZONING MAP NUMBER: 12C
 ZONING DISTRICT: M1-5B
 NUMBER OF FLOORS: 8
 OCCUPANCY CLASS: USE GROUP B (OFFICES)



REVISIONS
12/08/2016 REVISED FOR LPC COMMENTS
10/24/16 PERMIT
7/11/2016 ISSUED FOR ZONING APPROVAL

151 GRAND ST
 151 GRAND ST
 NEW YORK, NY



SCALE: AS NOTED

5TH FL CONSTRUCTION PLAN

A-104.00

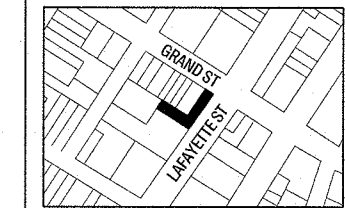
D.O.B. NO. PAGE: 25 OF 72



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New York, NY 10010

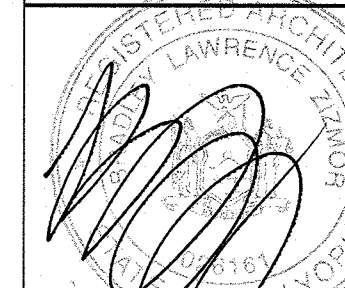
CONSULTANTS	
EXPOSER	WILLIAM VITACCO 209 BRONXWAY, 112TH FL NEW YORK, NY 10010
LANDMARKS CONSULTANT	WISCONSIN CONSULTANTS & PARTNERS 11 HANCOCK SQ, 18TH FL NEW YORK, NY 10005
MEP ENGINEER	EDWARDS & JACK 315 PARK AVE SOUTH, 17TH FL NEW YORK, NY 10010
STRUCTURAL ENGINEER	CSLAW 30 FLD SUP, 10TH FL NEW YORK, NY 10005

KEY PLAN
151 GRAND ST
NEW YORK, NY 10013
BLOCK: 222
LOT: 17
ZONING MAP NUMBER: 12C
ZONING DISTRICT: M1-5B
NUMBER OF FLOORS: 6
OCCUPANCY CLASS: USE GROUP 0 (OFFICES)



DATE	REVISION
12/09/2016	REVISED FOR LPC COMMENTS
10/24/16	PERMIT
7/11/2016	ISSUED FOR ZONING APPROVAL

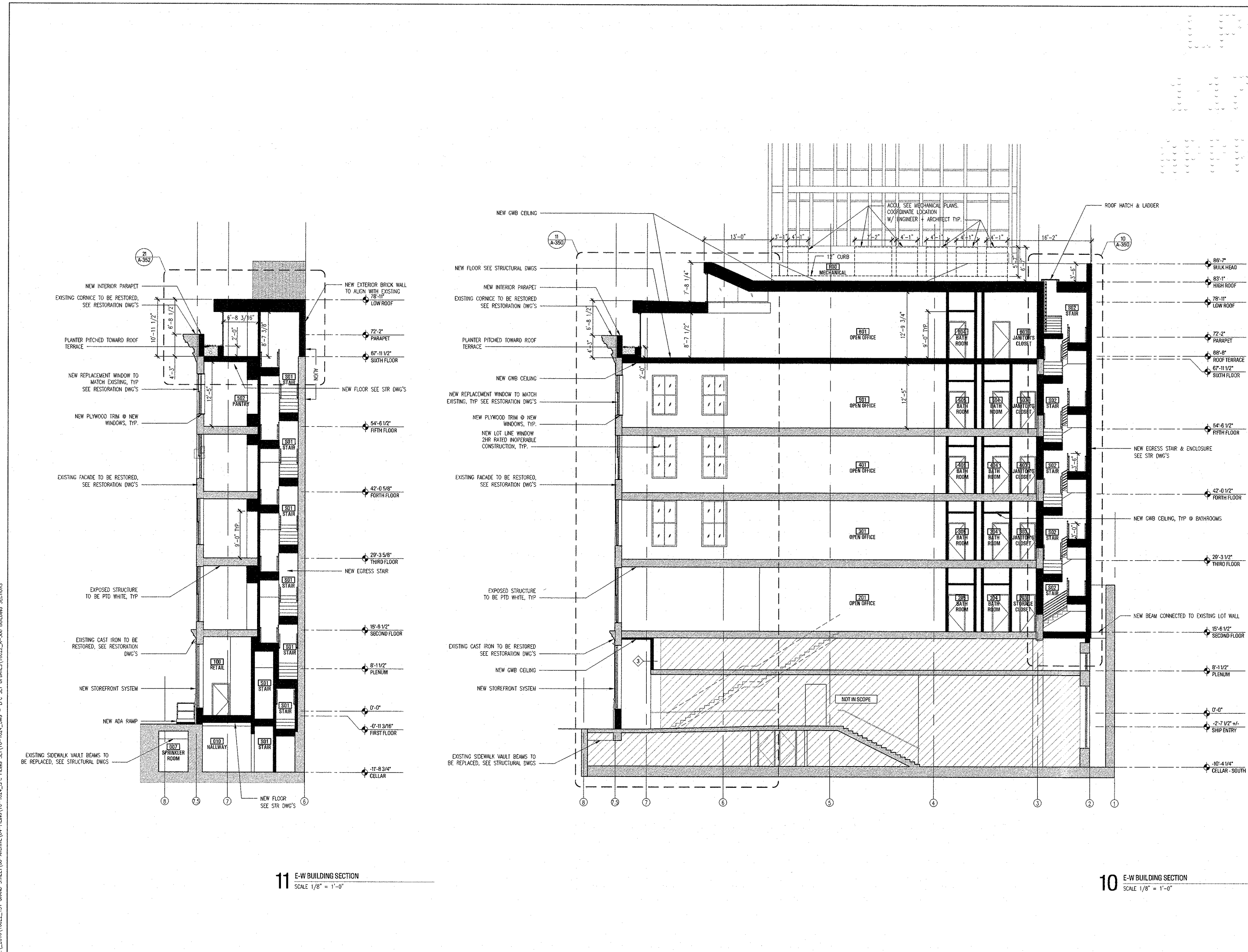
151 GRAND ST
151 GRAND ST
NEW YORK, NY



PROJECT NO: 18042 SCALE: 1/8" = 1'-0"

BUILDING SECTIONS
A-300.00

D.O.B. NO: PAGE: 39 OF 72



11 E-W BUILDING SECTION
SCALE 1/8" = 1'-0"

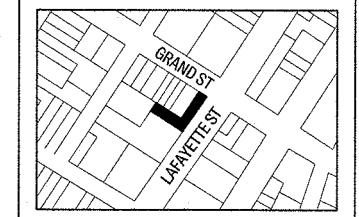
10 E-W BUILDING SECTION
SCALE 1/8" = 1'-0"



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www.apib.com
920 Broadway 11th fl.
New York, NY 10010

CONSULTANTS	
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WELLMER GROUP	290 BROADWAY, 11TH FL NEW YORK, NY 10010
JACOBUS CONSULTING	TEL (212) 274-4468
HIGGINS QUASEBARTH & PARTNERS	11 WINDSOR SQ, 10TH FL NEW YORK, NY 10020
MEP ENGINEER	TEL (212) 350-6200
DOMINGO & SUEK	315 PARK AVE SOUTH, 17TH FL NEW YORK, NY 10010
STRUCTURAL ENGINEER	TEL (212) 620-7970
SLAWN	22 1/2 SLIP, 10TH FL NEW YORK, NY 10005

KEY PLAN
151 GRAND ST
NEW YORK, NY 10013
BLOCK: 233
LOT: 17
ZONING MAP NUMBER: 12C
ZONING DISTRICT: M1-5B
NUMBER OF FLOORS: 6
OCCUPANCY CLASS: USE GROUP B (OFFICES)



12/08/2018 REVISED FOR LPC COMMENTS
10/24/18 PERMIT
7/11/2018 ISSUED FOR ZONING APPROVAL

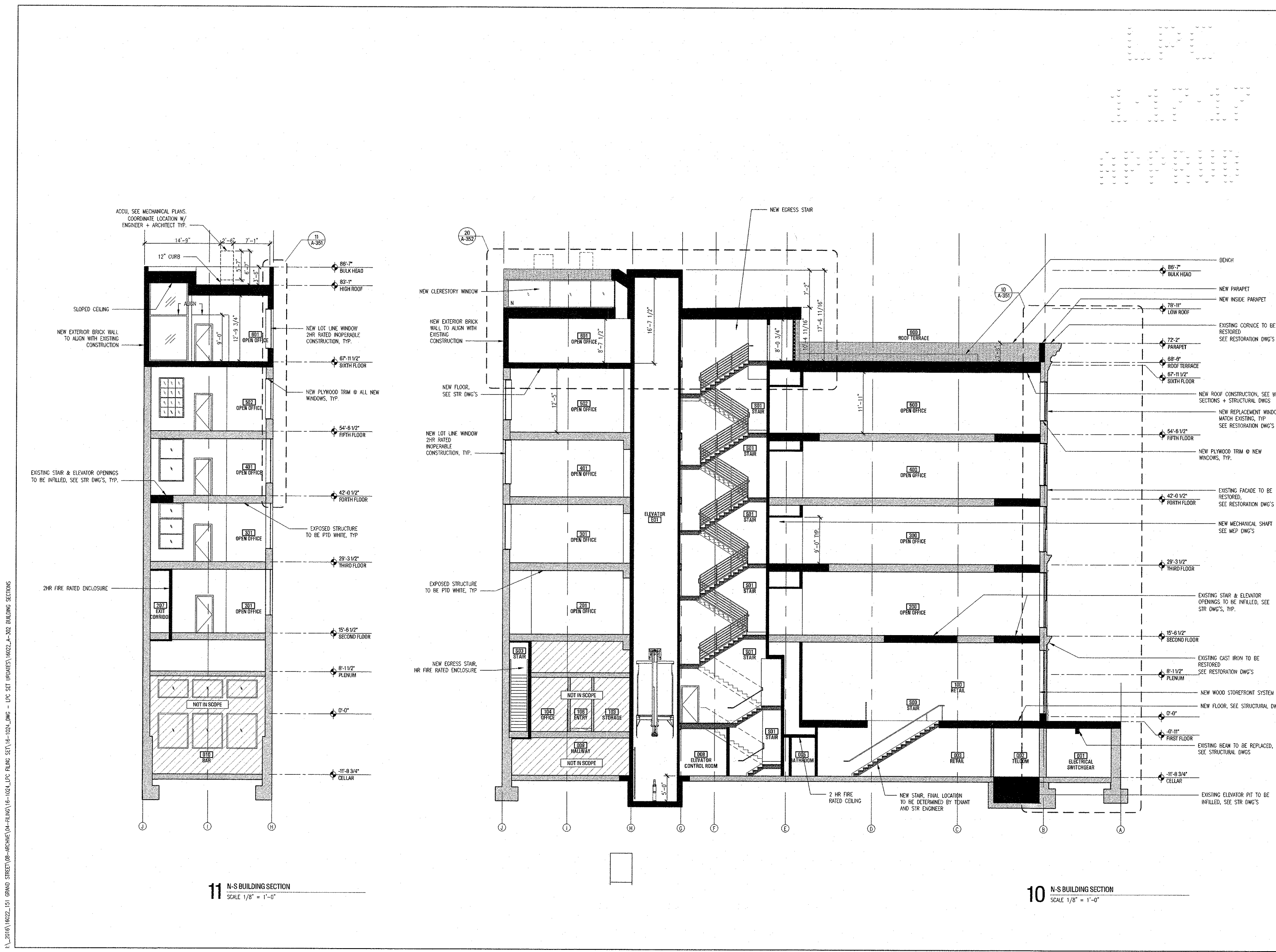
REVISIONS
151 GRAND ST
151 GRAND ST
NEW YORK, NY



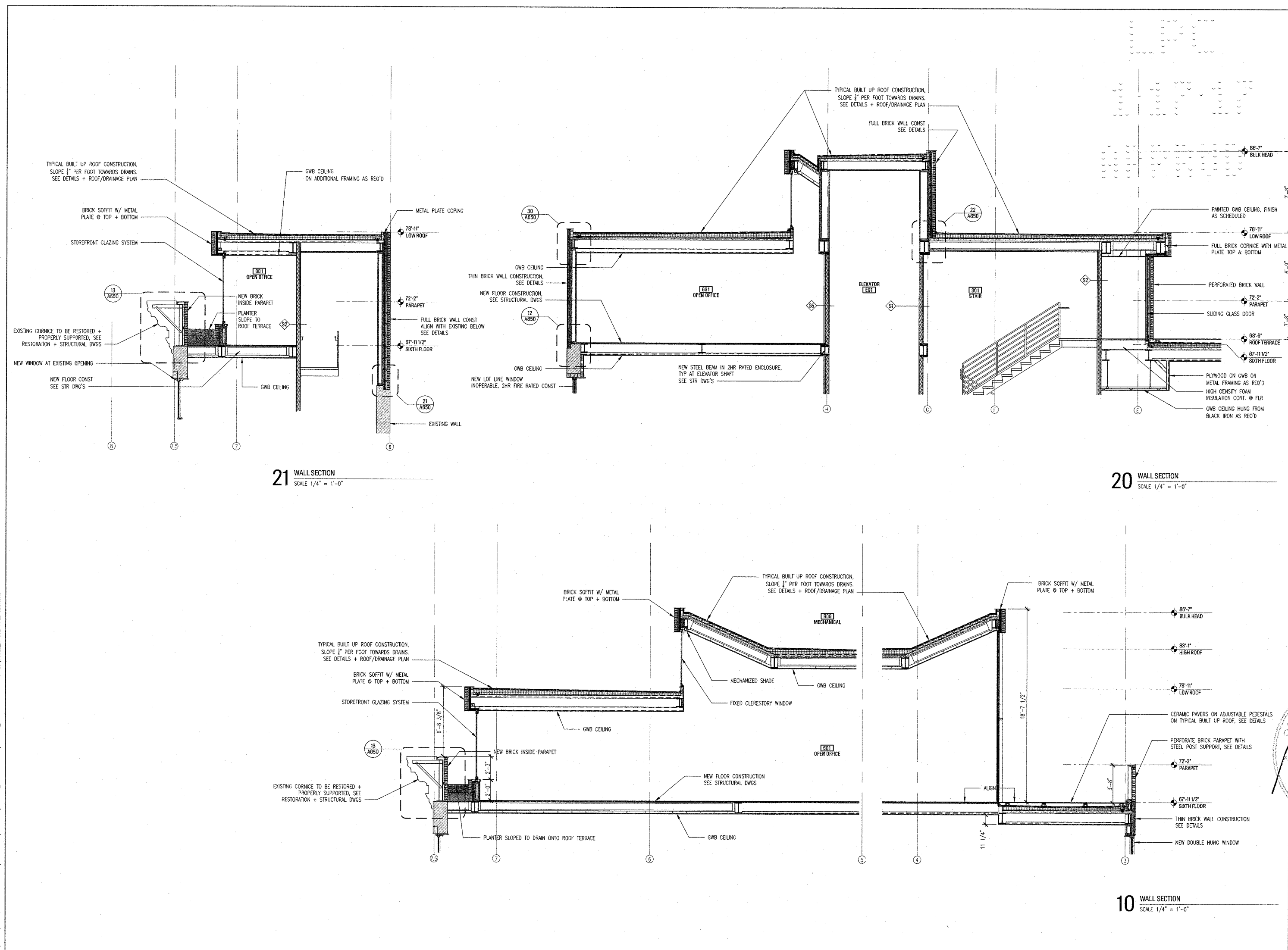
PROJECT NO: 151-002 SCALE: 1/8" = 1'-0"

BUILDING SECTIONS
A-302.00

D.D.B. NO: PAGE: 41 OF 72



P:\16161622\151 GRAND STREET\08-ARCHIVE\04-FLOOR\16-1024_LPC SET\16-1024_LPC SET UPGRADES\16022_A-352 WALL SECTIONS



A+ Architecture Plus Information
 212.460.9500
 www.aplus.com
 920 Broadway 11th fl.
 New York, NY 10010

CONSULTANTS

ENGINEER	WILLIAM VERACIO 209 BROADWAY, 11TH FL NEW YORK, NY 10010	TEL: (212) 791-4579
LANDMARKS CONSULTANT	HIGGINS QUASEBARTH & PARTNERS 11 HANOVER ST, 16TH FL NEW YORK, NY 10009	TEL: (212) 274-9488
MEP ENGINEER	EDWARDS & DUCK 315 W 46th ST, 17TH FL NEW YORK, NY 10010	TEL: (212) 333-8200
STRUCTURAL ENGINEER	SHAW 30 OLD SLIP, 10TH FL NEW YORK, NY 10005	TEL: (212) 633-7970

KEY PLAN

151 GRAND ST
 NEW YORK, NY 10013
 BLOCK 219
 LOT: 17
 ZONING MAP NUMBER: 12C
 ZONING DISTRICT: M1-5B
 NUMBER OF FLOORS: 6
 OCCUPANCY CLASS: USE GROUP 0 (OFFICES)

REVISIONS

12/28/2018	REVISED FOR LPC COMMENTS
10/24/16	PERMIT
7/11/2018	ISSUED FOR ZONING APPROVAL

151 GRAND ST
 151 GRAND ST
 NEW YORK, NY

PROJECT NO. 16022 SCALE 1/4"=1'-0"

EXTERIOR WALL SECTIONS

A-352.00

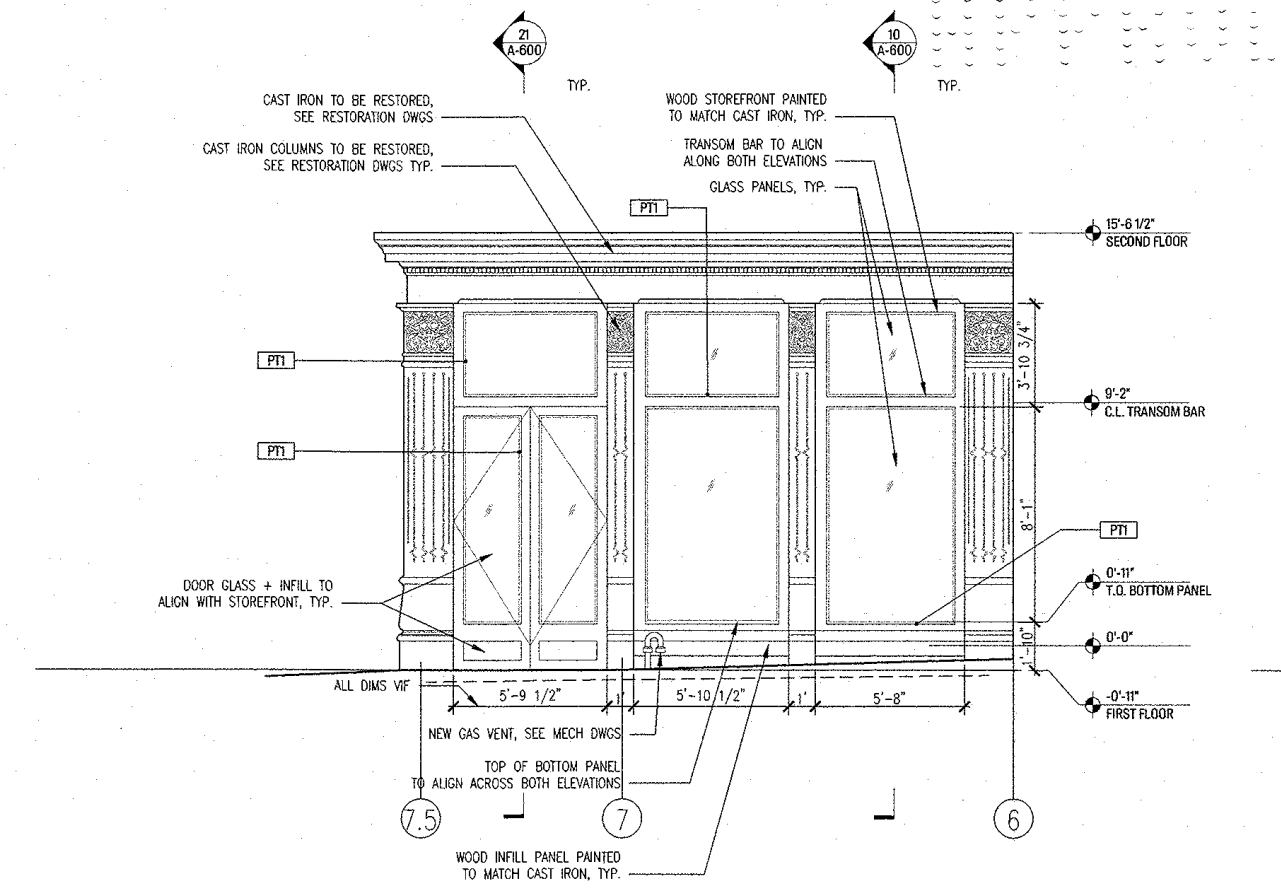
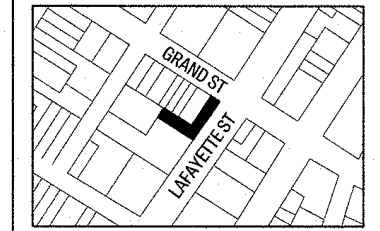
D.O.B. NO. PAGE 45 OF 72

FINISH LEGEND	
[PT1]	PITTSBURGH PAINTS 14-05 "DARK AS NIGHT"
[B1]	KOLUMBA BRICK K-55
[B2]	PETERSEN BRICK D-55
[B3]	McNEAR - OLD CALIFORNIA - GREEN HILLS
[B4]	McNEAR - OLD CALIFORNIA - WHITEHALL
[MT1]	AMINEAL - "BLUE STEEL" OVER SST WITH CLEAR PERMALAC COATING
[MT2]	SAFTI - BLACK GPK FINISH
[MT3]	SCHWEDD - BLACK POWDER COATED ALUMINUM

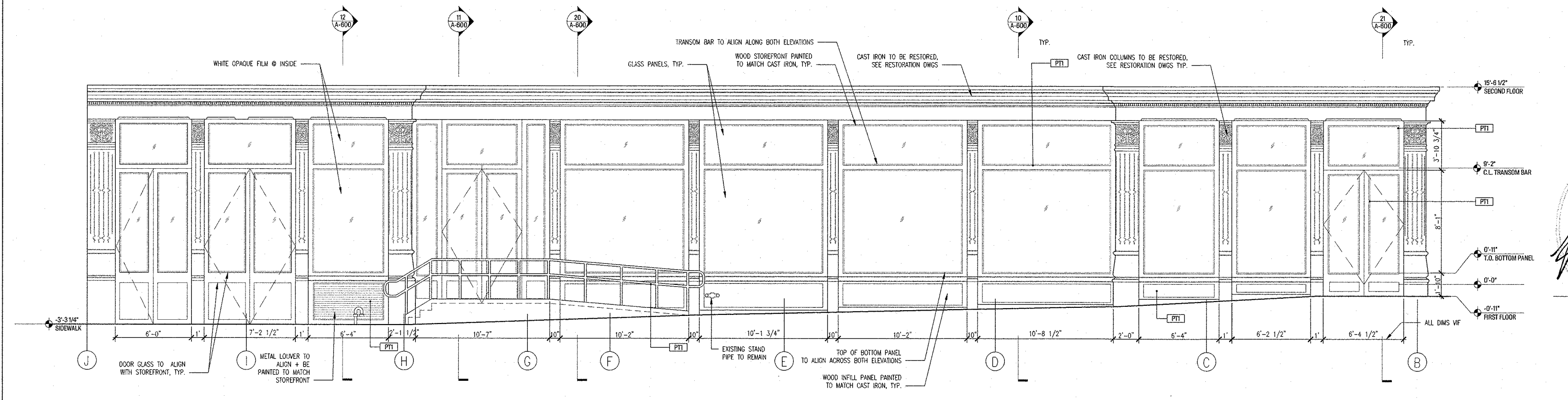
A+I
Architecture Plus Information
 212.460.9500
 www.aipus.com
 920 Broadway 11th Fl.
 New York, NY 10010

CONSULTANTS	
EXERCISES WILLIAM WITACCO 299 BROADWAY, 11TH FL. NEW YORK, NY 10010	TEL (212) 791-4578
LANDMARKS CONSULTANT HIGGINS QUASEBARTH & PARTNERS 11 MANHATTAN SQ, 16TH FL. NEW YORK, NY 10005	TEL (212) 274-9468
MEP ENGINEER EDWARDS & ZUCK 315 PARK AVE SOUTH, 17TH FL. NEW YORK, NY 10010	TEL (212) 330-6200
STRUCTURAL ENGINEER SILMAN 32 OLD SLIP, 10TH FL. NEW YORK, NY 10005	TEL (212) 600-7970

KEY PLAN
 151 GRAND ST
 NEW YORK, NY 10013
 BLOCK: 233
 LOT: 17
 ZONING MAP NUMBER: 12C
 ZONING DISTRICT: M1-5B
 NUMBER OF FLOORS: 6
 OCCUPANCY CLASS: USE GROUP 8 (OFFICES)



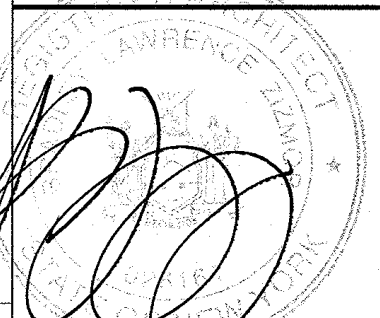
20 NORTH STOREFRONT ELEVATION
 SCALE: 1/4" = 1'-0"



10 EAST STOREFRONT ELEVATION
 SCALE: 1/4" = 1'-0"

REVISIONS	
12/08/2016	REVISED FOR LPC COMMENTS
10/24/16	PERMIT

151 GRAND ST
 151 GRAND ST
 NEW YORK, NY



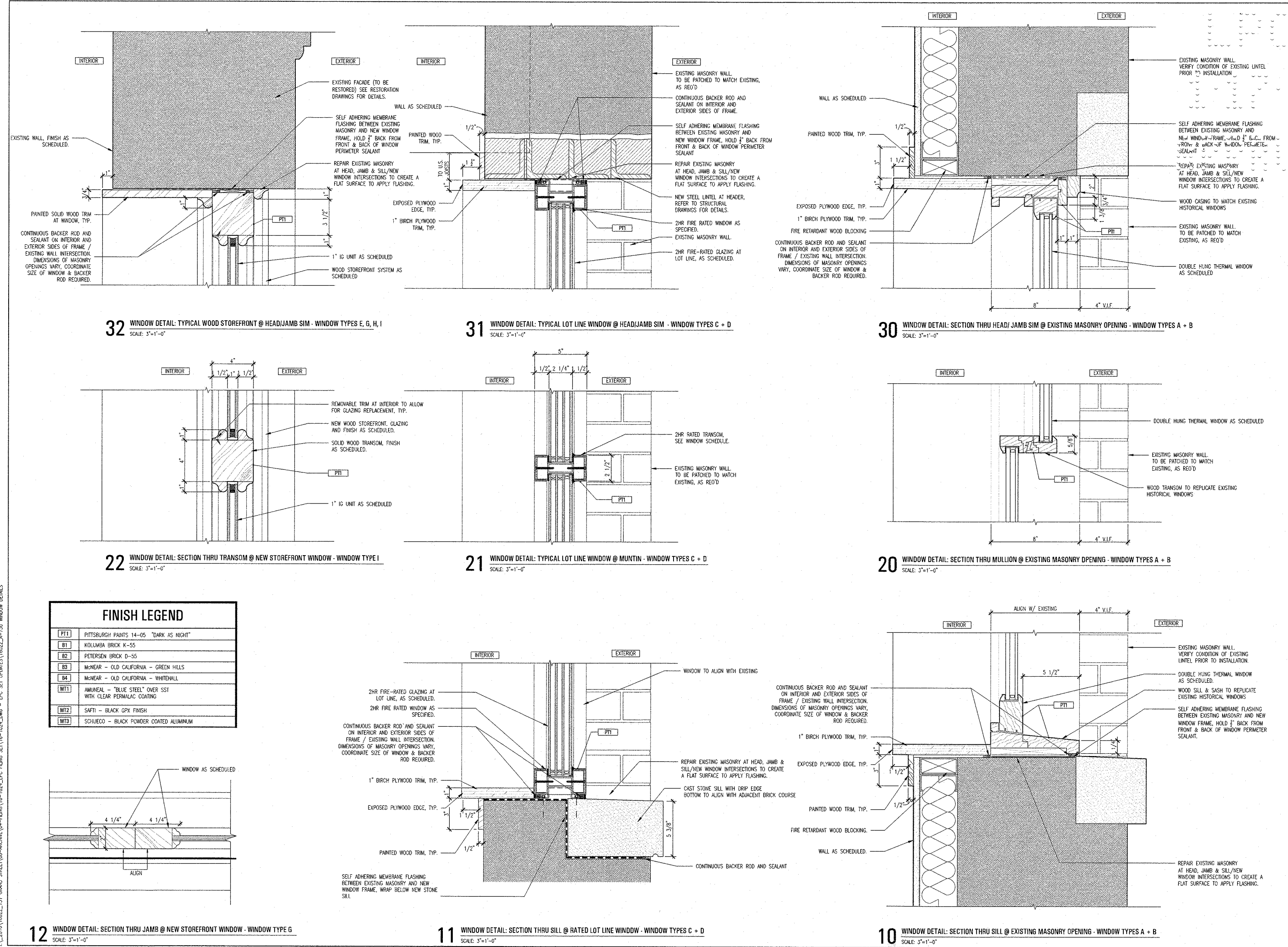
PROJECT NO: 16022 SCALE: AS NOTED

STOREFRONT ELEVATIONS
A-210.00
 O.D.B. NO: PAGE 37 OF 72


A+I (2016)

I:\2016\16022_151 GRAND STREET\08-ARCH\04-FLOOR\16-1024-LPC-FLOOR SET\16-1024-LPC-FLOOR SET UPDATES\16022_A-210 STOREFRONT ELEVATIONS

11_2019(1)0202_151 GRAND STREET (108-ARCHIVE) (14-BUMS) (16-102) LFC PUBLIC SET (14-102) LDC - LPC SET (PRINTED) (1022) 4-750 WINDOW DETAILS



FINISH LEGEND	
P11	PITTSBURGH PAINTS 14-05 "DARK AS NIGHT"
B1	KOLUMBA BRICK K-55
B2	PETERSEN BRICK D-55
B3	MCHEAR - OLD CALIFORNIA - GREEN HILLS
B4	MCHEAR - OLD CALIFORNIA - WHITEHALL
MT1	AMINEAL - "BLUE STEEL" OVER SST WITH CLEAR PERMALAC COATING
MT2	SAFTI - BLACK GPK FINISH
MT3	SCHUECO - BLACK POWDER COATED ALUMINUM



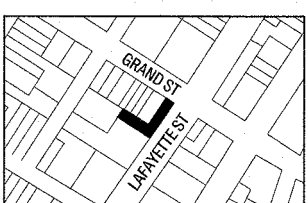
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New York, NY 10010

CONSULTANTS

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M/E/P ENGINEERS	EDWARDS & KELCEY	315 YORK AVE SUITE 1700 FL. NEW YORK, NY 10010	TEL (212) 330-6300
STRUCTURAL ENGINEER	SLAWY	32 OLD SLIP, 10TH FL. NEW YORK, NY 10006	TEL (212) 620-7970

KEY PLAN

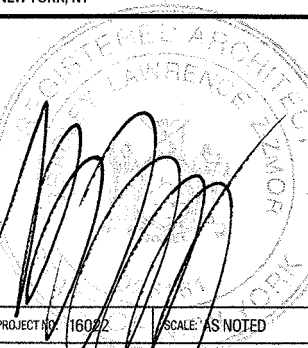
151 GRAND ST
NEW YORK, NY 10013
BLOCK: 233
LOT: 17
ZONING MAP NUMBER: 12C
ZONING DISTRICT: M1 SB
NUMBER OF FLOORS: 8
OCCUPANCY CLASS USE GROUP # (OFFICES)



12/08/2016 REVISED FOR LFC COMMENTS

REVISIONS

151 GRAND ST
151 GRAND ST
NEW YORK, NY



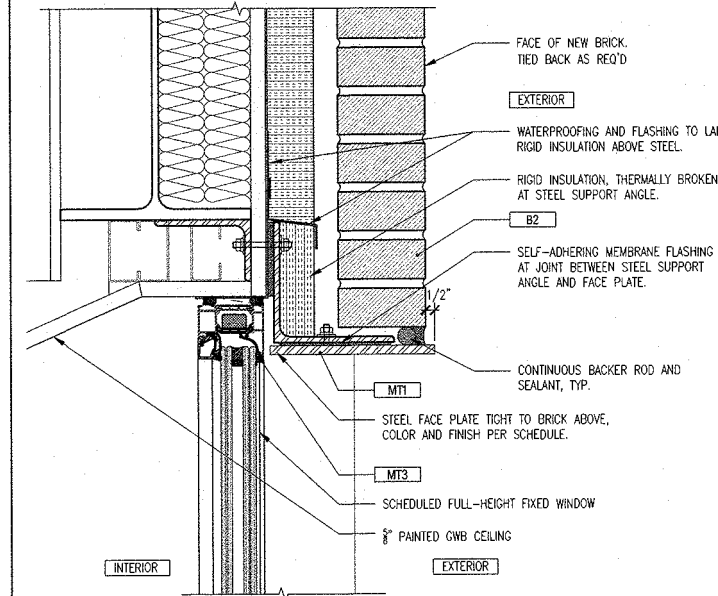
PROJECT NO: 10602 SCALE: AS NOTED

WINDOW DETAILS

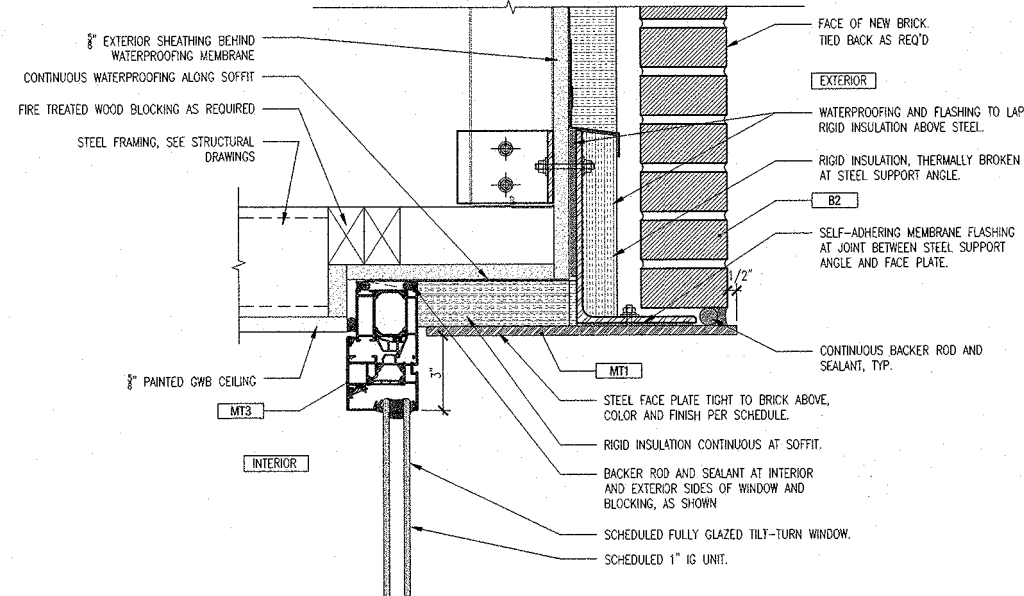
A-750.00

D.D.B. NO: PAGE 67 OF 72

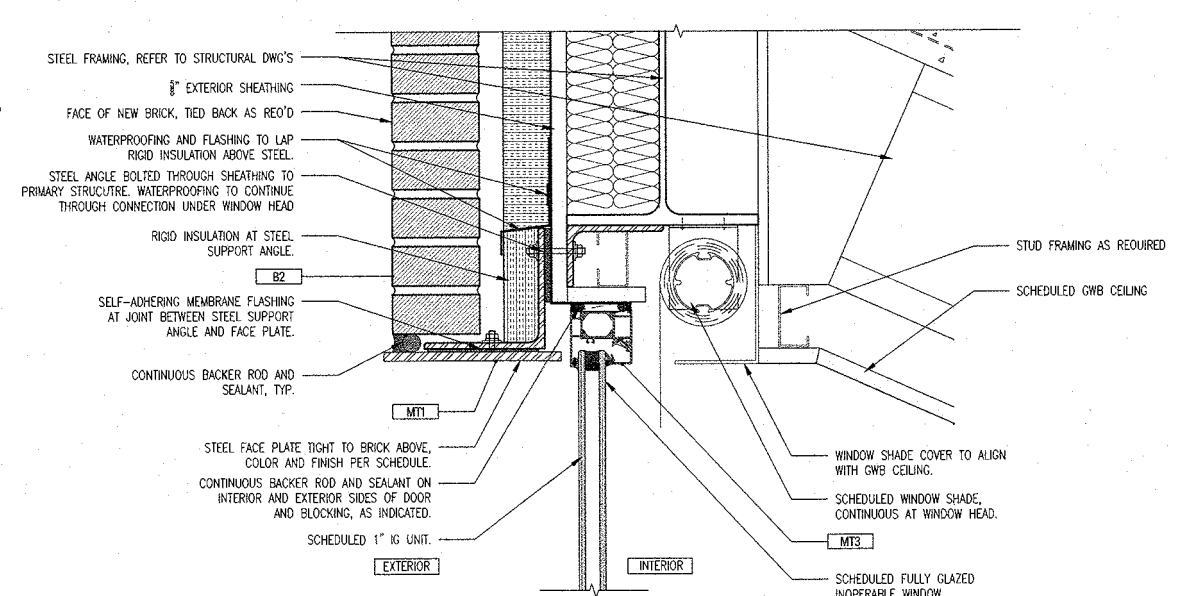
FINISH LEGEND	
[P11]	PITTSBURGH PAINTS 14-05 "DARK AS NIGHT"
[B1]	KOLUMBA BRICK K-55
[B2]	PETERSEN BRICK D-55
[B3]	MENEAR - OLD CALIFORNIA - GREEN HILLS
[B4]	MENEAR - OLD CALIFORNIA - WHITEHILLS
[MT1]	AMUNICAL - "BLUE STEEL" OVER SST WITH CLEAR POLYURETHANE COATING
[MT2]	SAFTI - BLACK GPX FINISH
[MT3]	SCHUECO - BLACK POWDER COATED ALUMINUM



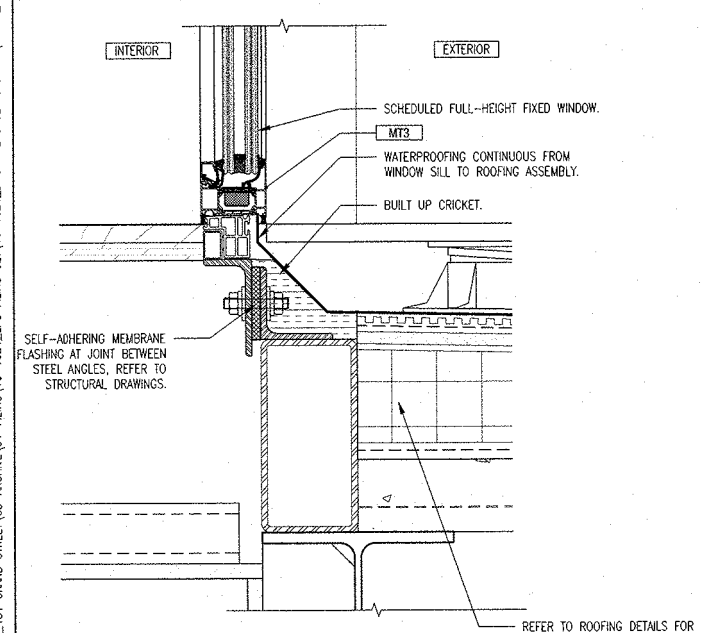
22 WINDOW DETAIL: SECTION THRU HEAD/JAMB SIM @ 6TH FL FIXED FULL-HEIGHT - WINDOW TYPE J
SCALE: 3/4"=1'-0"



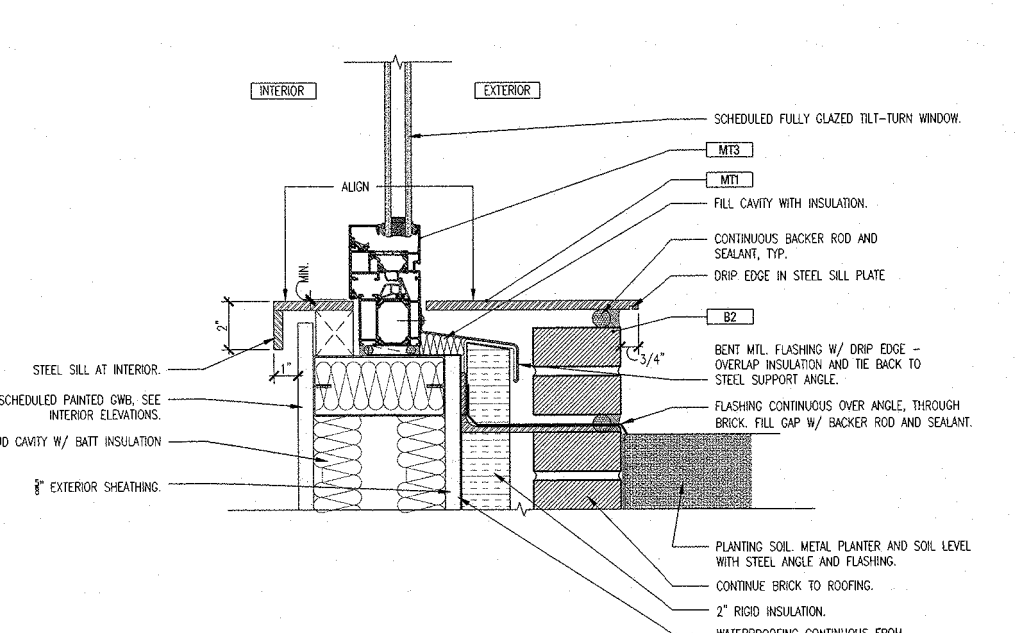
21 WINDOW DETAIL: SECTION THRU HEAD/JAMB SIM @ 6TH FL TILT-AND-TURN - WINDOW TYPE K
SCALE: 3/4"=1'-0"



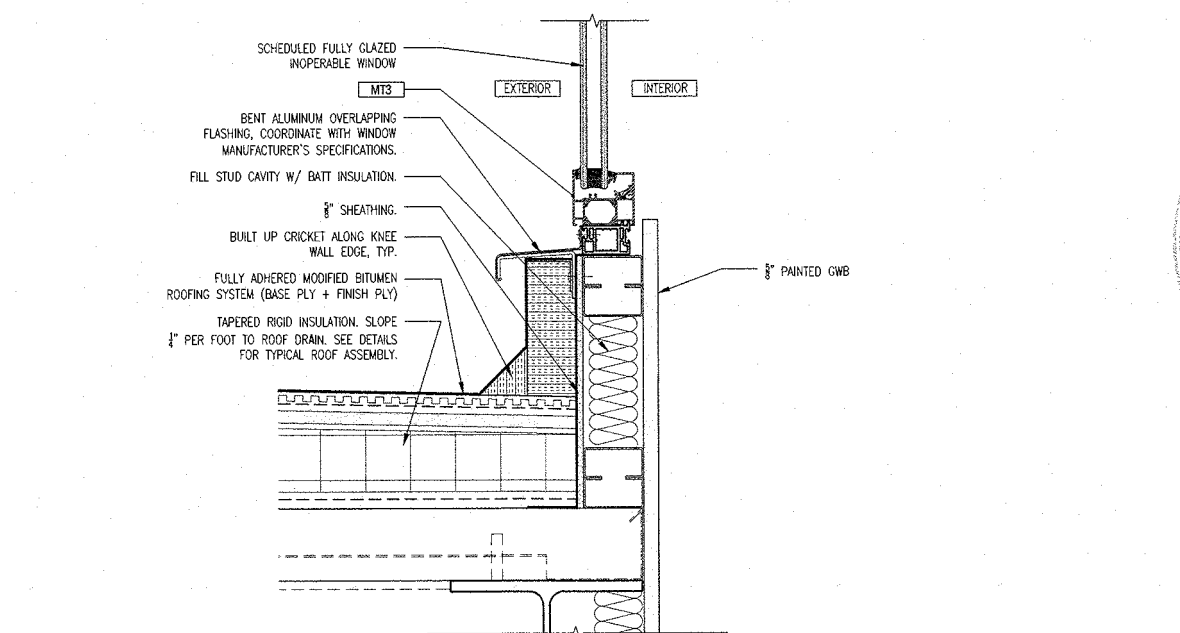
20 WINDOW DETAIL: SECTION THRU HEAD/JAMB SIM @ 6TH FL CLERESTORY WINDOW - WINDOW TYPE L
SCALE: 3/4"=1'-0"




12 WINDOW DETAIL: SECTION THRU SILL @ 6TH FL FIXED FULL-HEIGHT - WINDOW TYPE J
SCALE: 3/4"=1'-0"



11 WINDOW DETAIL: SECTION THRU SILL @ 6TH FL TILT-AND-TURN - WINDOW TYPE K
SCALE: 3/4"=1'-0"



10 WINDOW DETAIL: SECTION THRU SILL @ 6TH FL CLERESTORY WINDOW - WINDOW TYPE L
SCALE: 3/4"=1'-0"



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CONSULTANTS

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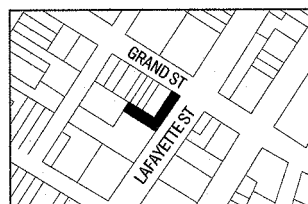
LANDSCAPE CONSULTANT
HIGGINS QUASEBARTH & PARTNERS
11 PARKER ST, 10TH FL
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TEL: (212) 274-9468

MEP ENGINEER
DONALD R. ZUCK
315 PARK AVE SOUTH, 17TH FL
NEW YORK, NY 10013
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STRUCTURAL ENGINEER
SEMAN
32 3RD AVE, 10TH FL
NEW YORK, NY 10003
TEL: (212) 630-7970

KEY PLAN

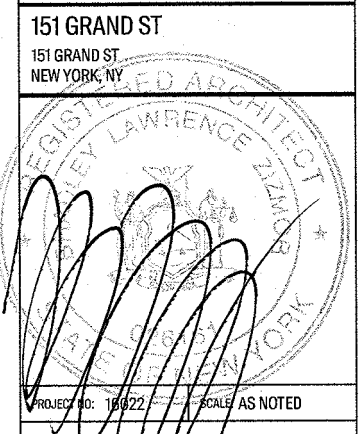
151 GRAND ST
NEW YORK, NY 10013
BLOCK: 238
LOT: 13
ZONING MAP NUMBER: 12C
ZONING DISTRICT: M1-5B
NUMBER OF FLOORS: 8
OCCUPANCY CLASS: USE GROUP B (OFFICES)



12/08/2016 REVISED FOR LPC COMMENTS

REVISIONS

151 GRAND ST
151 GRAND ST
NEW YORK, NY



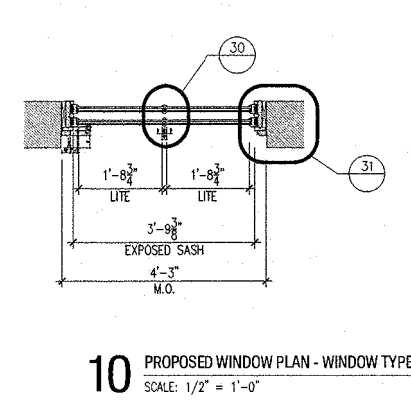
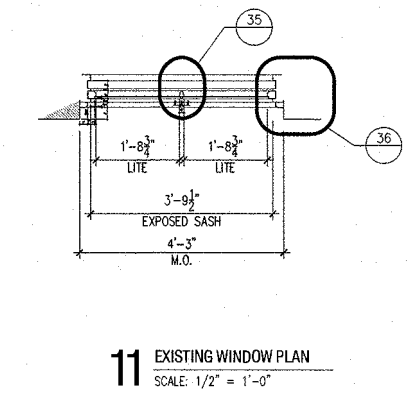
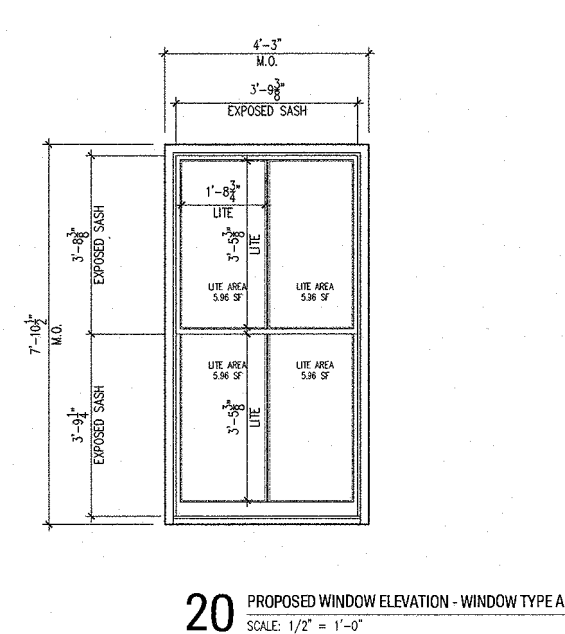
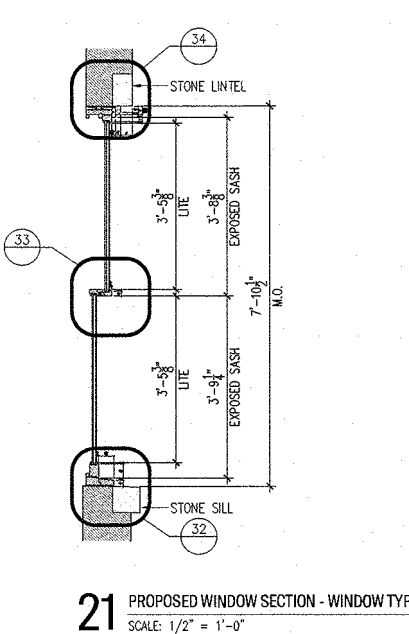
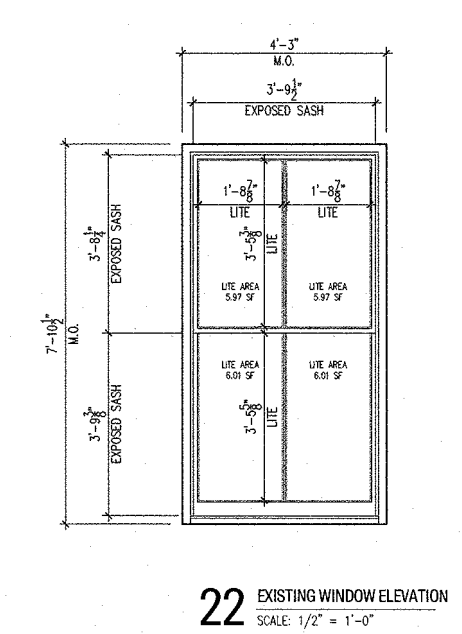
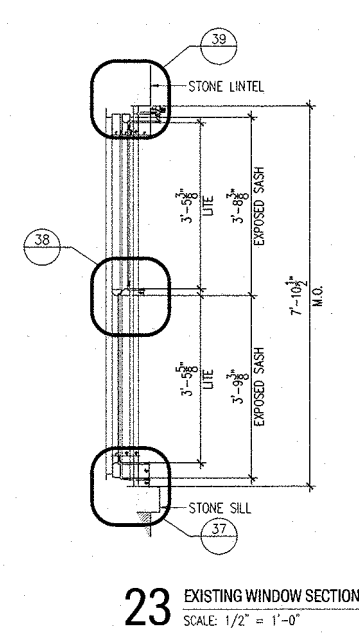
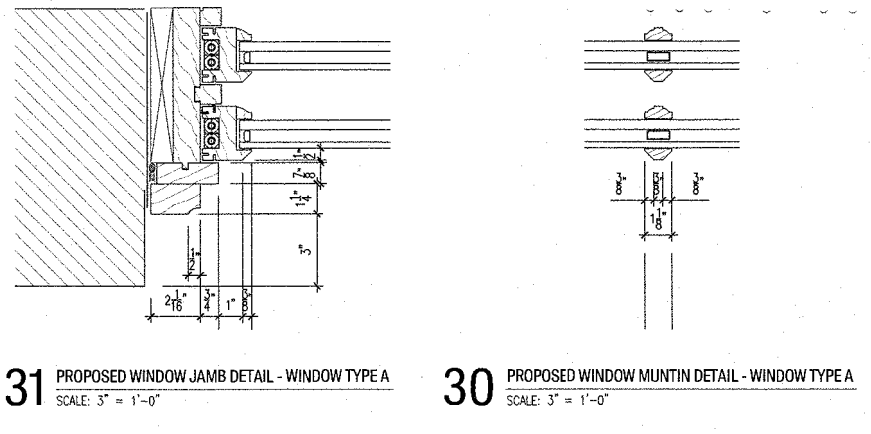
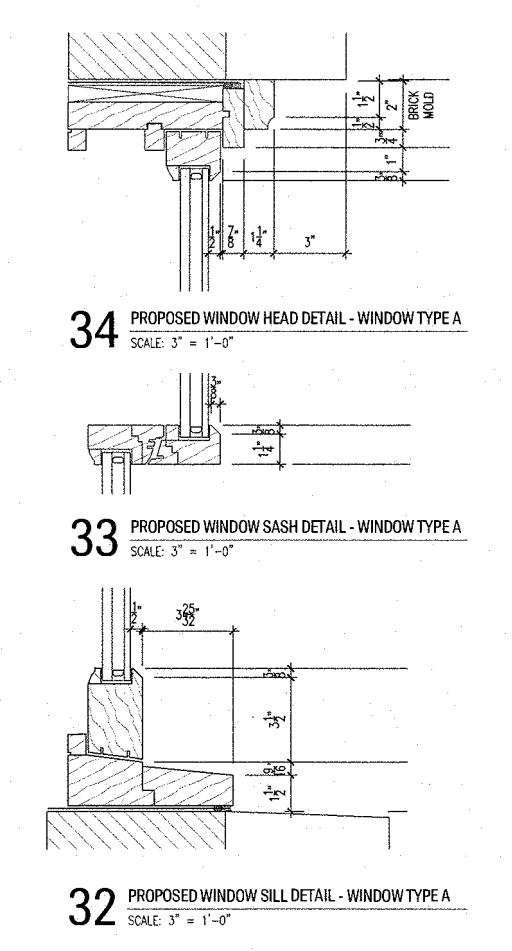
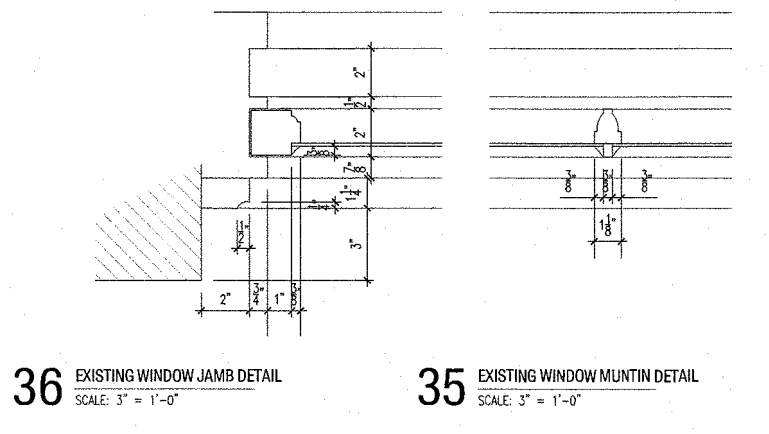
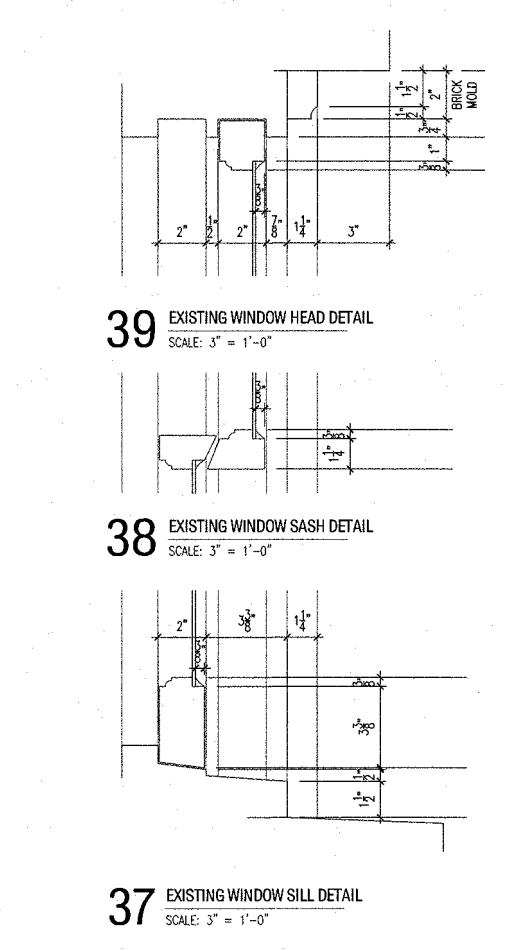
PROJECT NO: 15822 SCALE: AS NOTED

WINDOW DETAILS

A-751.00

D.O.B. NO. PAGE: 68 OF 72

I:\2016\16022_151 GRAND STREET\08-ARCH\04-PLAN\16-100-LPC-FILING-SET\16-100-LPC-FILING-SET-UPDATES\16022_151-759 HISTORIC WINDOW COMPARISON



ALL NEW WINDOW TRIM TO BE PAINTED PITTSBURGH PAINTS 14-05 "DARK AS NIGHT"

EXISTING GLAZING AREA	PROPOSED GLAZING AREA	% CHANGE
23.96 SF	23.84 SF	- 0.50% CHANGE

Architecture Plus Information
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www.applus.com
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CONSULTANTS

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WILLIAM WITKO
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HIGGINS, QUASEBARTH & PARTNERS
11 MADISON SQ, 16TH FL.
NEW YORK, NY 10005
TEL: (212) 374-9468

MEP ENGINEER
EDWARDS & SOKOL
315 PARK AVE. SOUTH, 17TH FL.
NEW YORK, NY 10010
TEL: (212) 330-6200

STRUCTURAL ENGINEER
SUJAN
33 OLD SLIP, 10TH FL.
NEW YORK, NY 10005
TEL: (212) 620-7970

KEY PLAN

151 GRAND ST
NEW YORK, NY 10013
BLOCK: 233
LOT: 17
ZONING MAP NUMBER: 12C
ZONING DISTRICT: M1-5B
NUMBER OF FLOORS: 6
OCCUPANCY CLASS: USE GROUP 8 (OFFICES)

12/08/2016 REVISED FOR LPC COMMENTS
10/24/16 PERMIT

REVISIONS

151 GRAND ST
151 GRAND ST
NEW YORK, NY

PROJECT NO. 16022 SCALE: AS NOTED

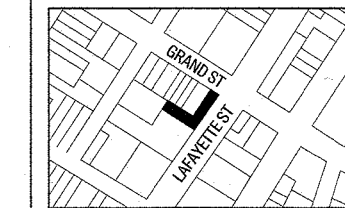
HISTORIC WINDOW COMPARISON

A-759.00

D.O.B. NO. PAGE 69 OF 72

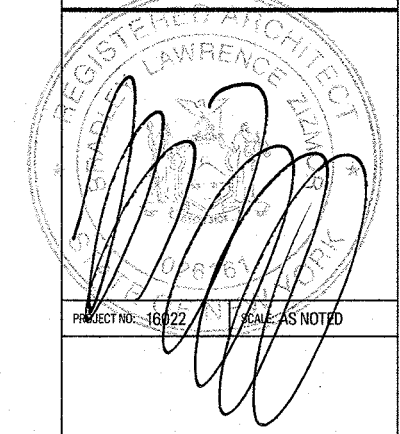
CONSULTANTS	
EXISTORER WILLIAM WILCOX 229 BROADWAY, 11TH FL. NEW YORK, NY 10010	TEL (212) 791-4578
LANDSCAPE ARCHITECT HIGGINS QUASEBARTH & PARTNERS 11 WANDERER SQ. 10TH FL. NEW YORK, NY 10005	TEL (212) 274-8448
M.P. ENGINEER EDWARDS & KELCEY 315 FRANK AVE. SOUTH, 17TH FL. NEW YORK, NY 10010	TEL (212) 330-6200
STRUCTURAL ENGINEER SLAWY 33 OLD SLIP, 10TH FL. NEW YORK, NY 10005	TEL (212) 629-7970

KEY PLAN
 151 GRAND ST
 NEW YORK, NY 10013
 BLOCK: 233
 LOT: 17
 ZONING MAP NUMBER: 12C
 ZONING DISTRICT: M1-SB
 NUMBER OF FLOORS: 8
 OCCUPANCY CLASS: USE GROUP 6 (OFFICES)

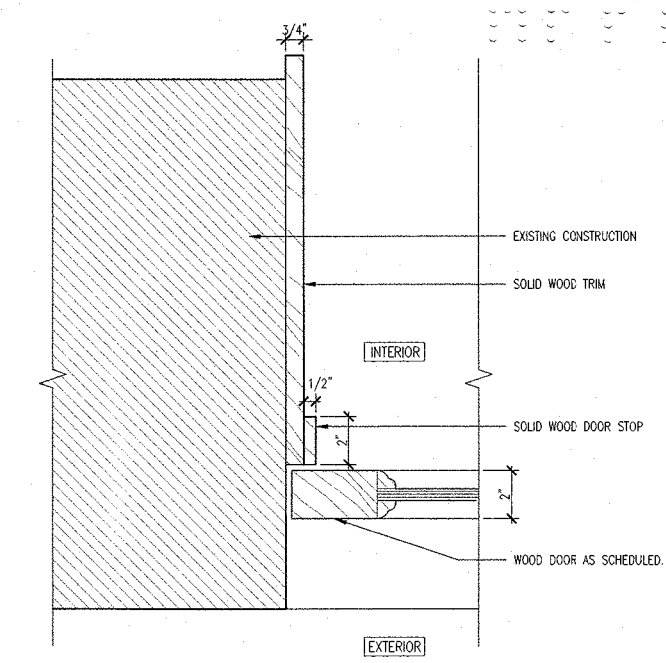


REVISIONS	
12/08/2016	REVISED FOR LPC COMMENTS

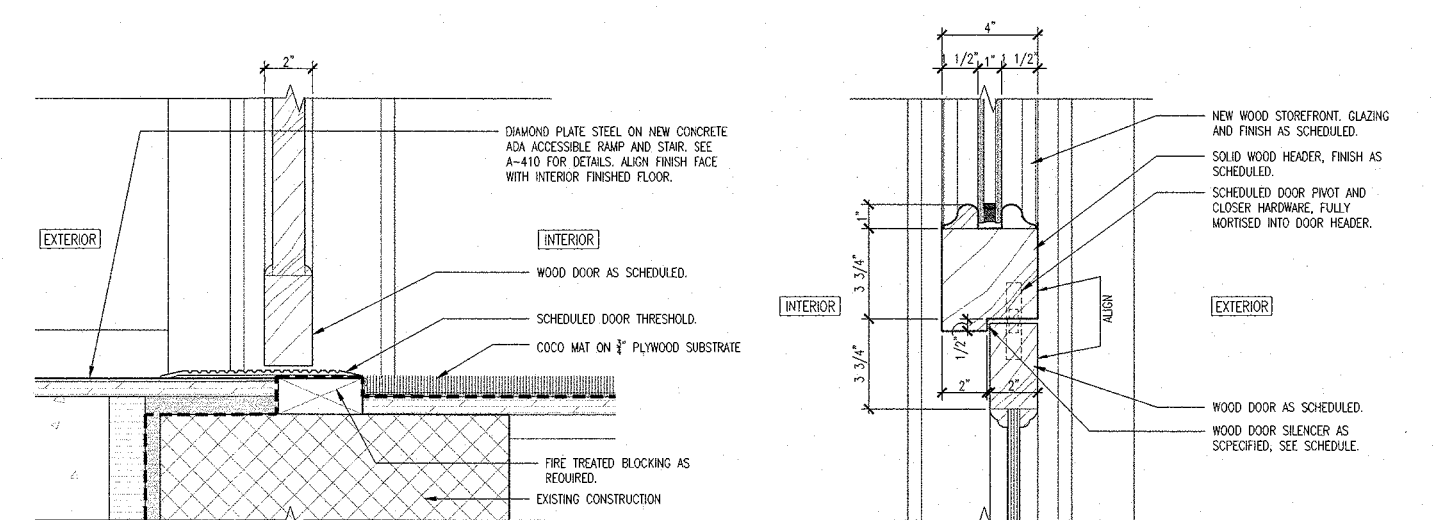
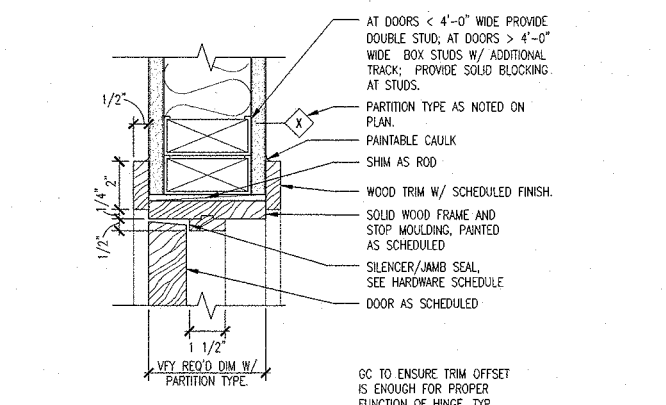
151 GRAND ST
 151 GRAND ST
 NEW YORK, NY



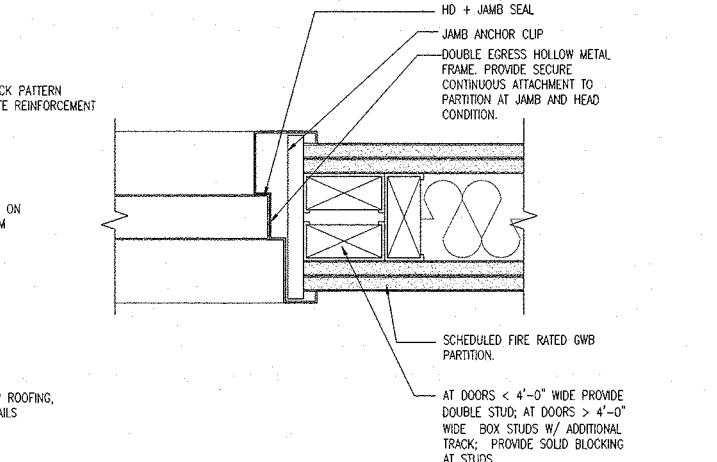
DOOR DETAILS
A-760.00
 D.D.B. NO. PAGE 70 OF 72



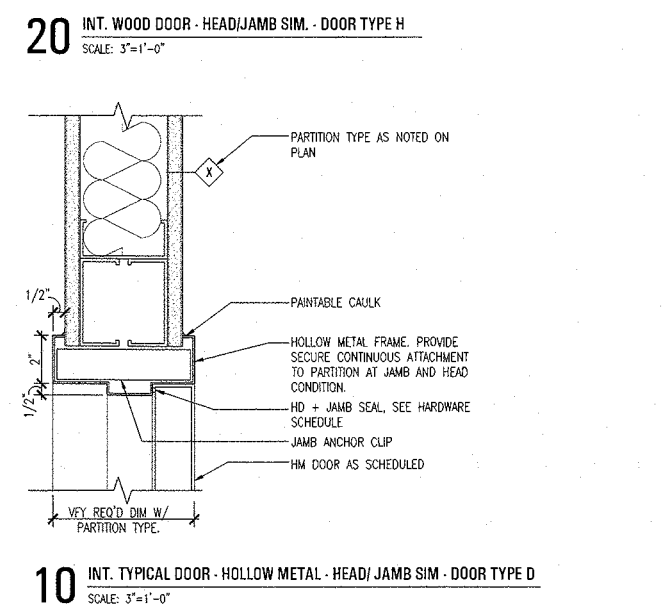
30 EXT. WOOD DOOR - TYP. JAMB DETAIL AT EXISTING CONSTRUCTION - DOOR TYPES F + G
 SCALE: 3/4"=1'-0"



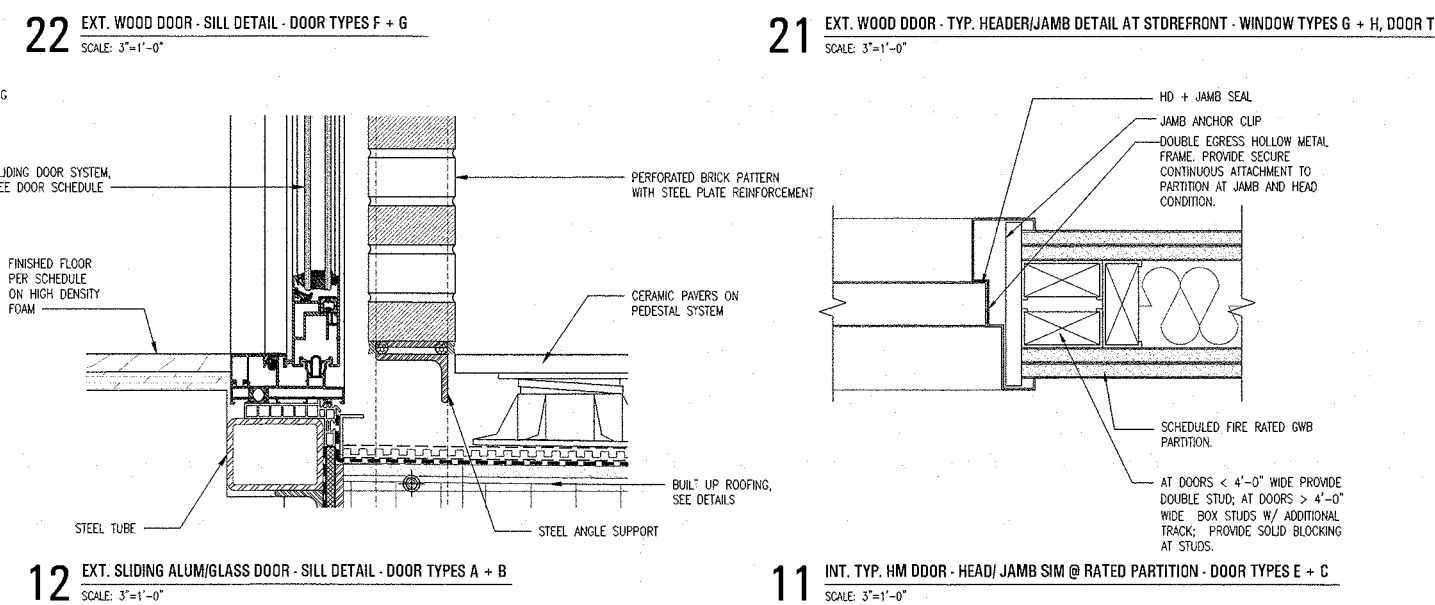
21 EXT. WOOD DOOR - TYP. HEADER/JAMB DETAIL AT STOREFRONT - WINDOW TYPES G + H, DOOR TYPE G
 SCALE: 3/4"=1'-0"



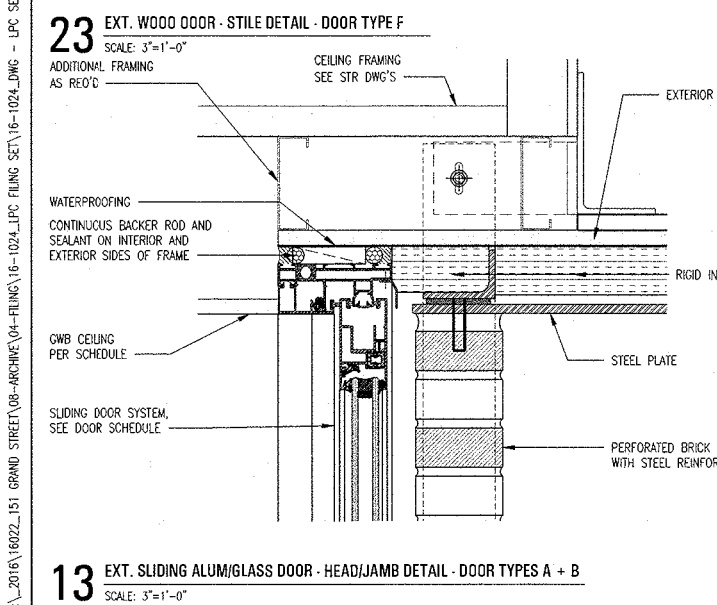
11 INT. TYP. HM DOOR - HEAD/JAMB SIM @ RATED PARTITION - DOOR TYPES E + C
 SCALE: 3/4"=1'-0"



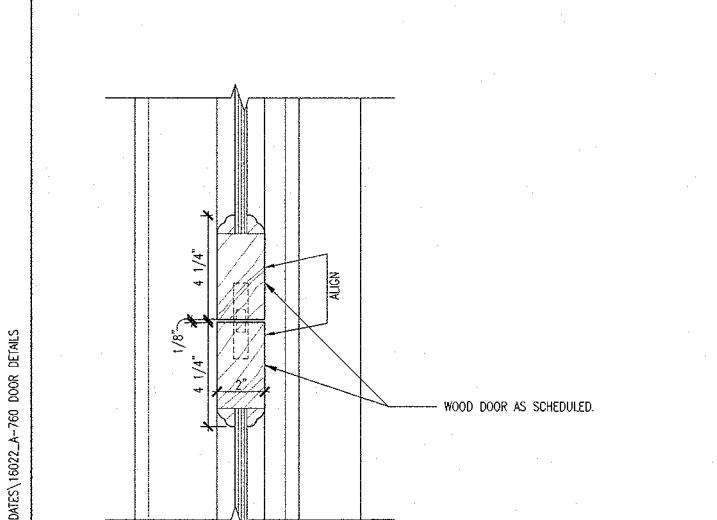
10 INT. TYPICAL DOOR - HOLLOW METAL - HEAD/JAMB SIM - DOOR TYPE D
 SCALE: 3/4"=1'-0"



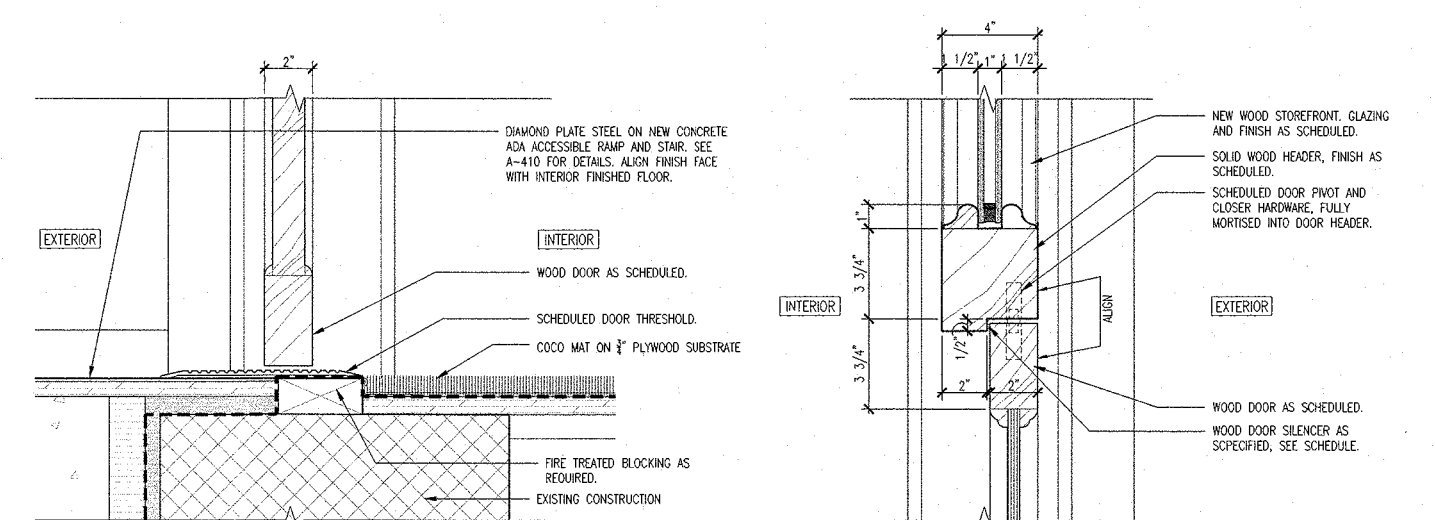
12 EXT. SLIDING ALUM/GLASS DOOR - SILL DETAIL - DOOR TYPES A + B
 SCALE: 3/4"=1'-0"



13 EXT. SLIDING ALUM/GLASS DOOR - HEAD/JAMB DETAIL - DOOR TYPES A + B
 SCALE: 3/4"=1'-0"

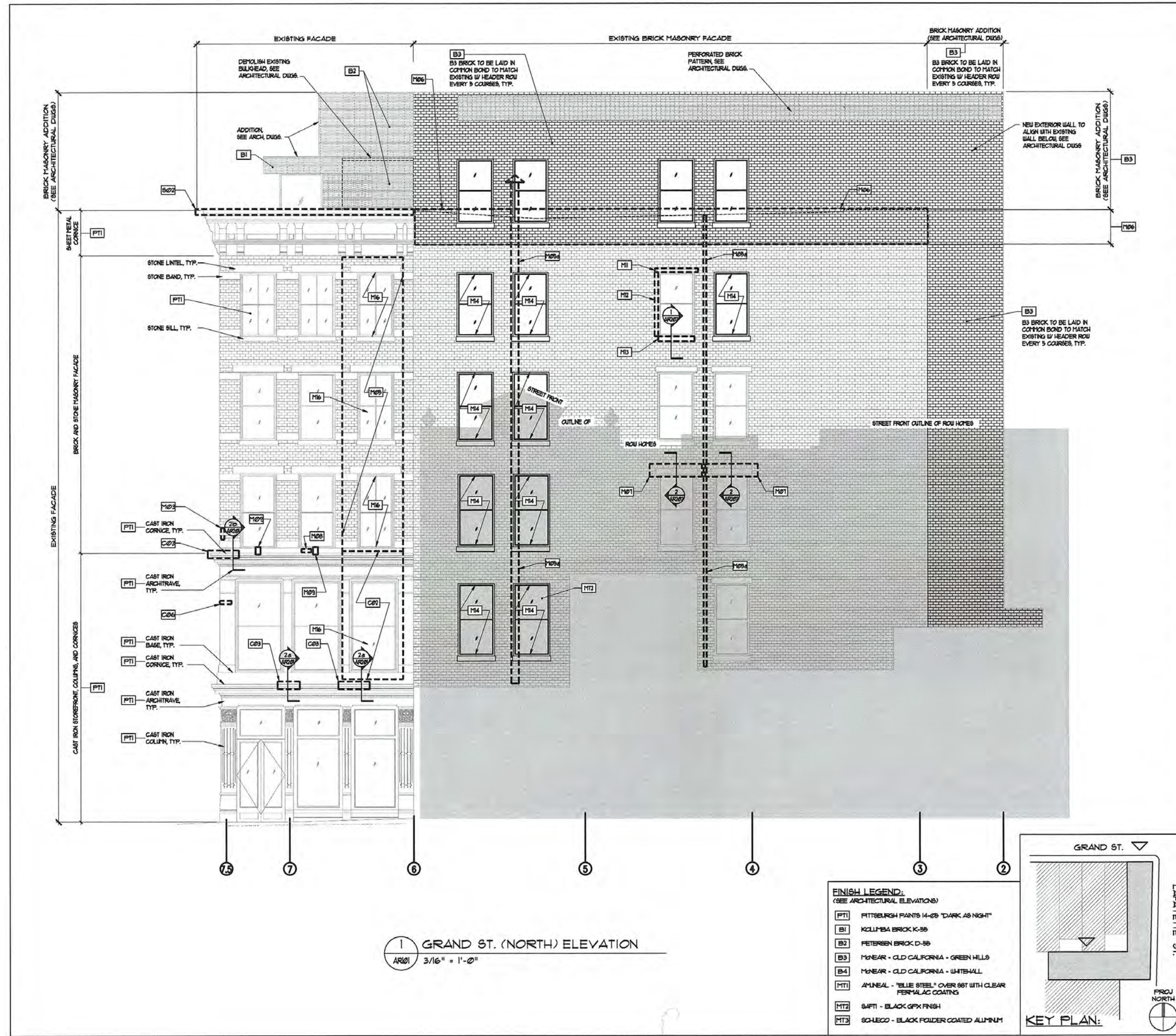


23 EXT. WOOD DOOR - STILE DETAIL - DOOR TYPE F
 SCALE: 3/4"=1'-0"



22 EXT. WOOD DOOR - SILL DETAIL - DOOR TYPES F + G
 SCALE: 3/4"=1'-0"

A-760.00 (REV. 12/08/2016) 151 GRAND STREET (FOR ARCHITECT) (A-760.00) (REV. 12/08/2016) LPC SET UP/REVISED (A-760.00) (REV. 12/08/2016)



GENERAL SCOPE OF WORK NOTES:

GENERAL:

- REMOVE ALL PIGEON DETERRENT SYSTEMS FROM CAST IRON CORNICES INCLUDING ANCHORS, NUTS, AND DECS FROM THE BUILDING.
- CLEAN ALL BRICK AND STONE MASONRY.
- PATCH AND REPAIR BRICK AND STONE MASONRY TO MATCH EXISTING MASONRY IN COLOR AND TEXTURE WHERE INDICATED ON THE DRAWINGS.
- REPLACE DAMAGED BRICK MASONRY WITH BRICK MASONRY TO MATCH EXISTING MASONRY IN DIMENSION, COLOR, AND TEXTURE WHERE INDICATED ON THE DRAWINGS.
- DISMANTLE AND REBUILD BRICK MASONRY PARAPETS WITH NEW BRICK MASONRY AS IDENTIFIED ON ARCHITECTURAL DRAWINGS.
- RAKE AND REPOINT DETERIORATED MORTAR JOINTS WITH MORTAR TO MATCH EXISTING MORTAR WHERE INDICATED ON THE DRAWINGS.
- PREPARE AND PAINT EXISTING PAINTED STONE LINTELS, SILLS, AND BANDS (EXCEPT AT STONE TO BE REBUILT).
- REMOVE PAINT FROM STONE TO BE RESTORED. PATCH AND REPAIR STONE AS INDICATED ON THE DRAWINGS AND REPAINT STONE MASONRY.

CAST IRON & SHEET METAL:

- REMOVE AND REPAIR EXISTING CAST IRON CORNICE, COLLARS, AND FEATURES WHERE INDICATED ON THE DRAWINGS.
- PATCH AND REPAIR EXISTING METAL CORNICE WHERE INDICATED ON THE DRAWINGS.
- PROVIDE NEW SHEET METAL CORNICE SECTION AS IDENTIFIED ON ARCHITECTURAL DRAWINGS.
- REMOVE SEALANT INCLUDING SPULTRIC MATERIALS FROM CAST IRON AND SHEET METAL JOINTS. PROVIDE NEW BACKER ROD AND SEALANT AT ALL CAST IRON JOINTS.
- REPAIR EXISTING CAST IRON CORNICE WHERE INDICATED ON DRAWINGS.
- PREPARE AND PAINT ALL EXISTING CAST IRON FEATURES INCLUDING ALL REPAIRED AND RESTORED AREAS.
- PREPARE AND PAINT ALL EXISTING SHEET METAL FEATURES INCLUDING ALL REPAIRED AND RESTORED AREAS.
- REMOVE ALL BRIBES AND ATTACHMENTS FROM CAST IRON FEATURES AND PATCH WITH METAL FILLER.
- REMOVE ALL BRIBES AND ATTACHMENTS FROM SHEET METAL FEATURES AND PATCH WITH SHEET METAL.

KEYED SCOPE OF WORK NOTES:

BRICK AND STONE MASONRY:

- B3 BRICK TO BE LAID IN COMMON BOND TO MATCH EXISTING BRICK IN COLOR AND TEXTURE.
- REMOVE EXISTING NON-MATCHING MASONRY PATCH AND COVERED BRICK AND PROVIDE NEW PATCH WITH RESTORATION MORTAR TO MATCH EXISTING BRICK IN COLOR AND TEXTURE.
- REMOVE EXISTING BRICK AND PATCH WITH RESTORATION MORTAR TO MATCH EXISTING BRICKSTONE IN COLOR AND TEXTURE.
- REMOVE EXISTING SHUTTER STOP AND PATCH MASONRY WITH RESTORATION MORTAR TO MATCH EXISTING BRICKSTONE IN COLOR AND TEXTURE.
- REMOVE AND RESET EXISTING DISPLACED BRICK MASONRY.
- REMOVE EXISTING SIGNAGE / CANOPY AND ALL ASSOCIATED ANCHORS AND BRIBES AND PATCH WITH RESTORATION MORTAR TO MATCH EXISTING ADJACENT MATERIAL IN COLOR AND TEXTURE.
- REMOVE EXISTING FLUE / DOWNSPOUT AND ALL ASSOCIATED ANCHORS AND BRIBES AND PATCH WITH RESTORATION MORTAR TO MATCH EXISTING ADJACENT MATERIAL IN COLOR AND TEXTURE.
- REMOVE EXISTING COPING AND BRICK MASONRY DOWN TO LEVEL INDICATED ON DRAWINGS. CONSTRUCT NEW PARAPET AS DETAILED ON ARCHITECTURAL DRAWINGS.
- REPLACE CRACKED STONE LINTEL WITH NEW CAST STONE LINTEL TO MATCH EXISTING IN DIMENSION, COLOR, AND TEXTURE. SEE DETAIL 2/AR-202.
- PATCH SPALLED STONE WITH RESTORATION MORTAR TO MATCH EXISTING STONE TEXTURE.
- PATCH SPALLED STONE BAND / LINTEL TO CREATE A FLUSH CONDITION WITH THE EXISTING BRICK FACADE.
- PATCH CRACKED STONE WITH RESTORATION MORTAR TO MATCH EXISTING STONE IN COLOR AND TEXTURE.
- REMOVE PAINT CRIPS FROM IDENTIFIED AREA.
- PREPARE AND PAINT EXISTING STEEL LINTEL.
- RAKE AND REPOINT MASONRY JOINTS WITH MORTAR TO MATCH EXIST. ADJACENT.
- REMOVE EXISTING BRICK AND PROVIDE STONE SILL AS DETAILED ON 4/AR-202.
- REMOVE EXISTING BRICK TO ACCOMMODATE NEW MASONRY OPENING. PROVIDE STEEL LINTELS AND CAST STONE SILL AS DETAILED ON 4/AR-202.
- SHAVE LOOSE/SPALLED STONE FROM LINTEL.
- REMOVE EXISTING MASONRY INFILL AT EXISTING M10 TO ACCOMMODATE NEW WINDOW. COORDINATE BY ARCHITECTURAL DRAWING.
- REMOVE EXISTING WINDOW GRILLES AND ASSOCIATED ANCHORS AND PATCH ANCHOR HOLES WITH RESTORATION MORTAR TO MATCH EXISTING ADJACENT IN COLOR AND TEXTURE.
- REMOVE CRACKED BRICK MASONRY AND TOOTH IN NEW BRICK MASONRY TO MATCH EXISTING IN DIMENSION, COLOR, & TEXTURE. SEE 5/AR-202.
- PROVIDE SOFT JOINT AS DETAILED ON 4/AR-202.
- PROVIDE METAL CLOSURE PIECE AND SOFT JOINT AT OPEN JOINT BETWEEN CAST IRON AND BRICK MASONRY. SEE 5/AR-202.

CAST IRON:

- REMOVE EXISTING SHEET METAL COLUMN COVER AND CONTACT ARCHITECT TO OBSERVE EXISTING CAST IRON CONDITIONS.
- REMOVE EXISTING SIGNAGE / CANOPY / COLLAR SECURITY DOOR AND ALL ASSOCIATED ANCHORS AND BRIBES AND PATCH WITH METAL FILLER.
- CUT AND REMOVE EXISTING SECTION OF DAMAGED CORNICE CAP AND PROVIDE CAST IRON DUTCHMAN WITH S&S BRACKETS AND FASTENERS AS DETAILED ON 4/AR-202.
- REMOVE EXISTING LIGHTING AND ASSOCIATED CONDUITS AND ANCHORS. PATCH HOLES IN CAST IRON WITH METAL FILLER.
- REMOVE EXISTING CALLING FROM CAST IRON.
- REMOVE EXISTING BRIBES AND FILL ANCHOR HOLES WITH METAL FILLER.

SHEET METAL:

- AT HINGING CORNICE SECTION, PROVIDE SHEET METAL CORNICE SECTION AS DETAILED ON 4/AR-202.
- PROVIDE GALV. SHEET METAL EDGE AS DETAILED ON 5/AR-202.
- REMOVE EXISTING SHEET METAL CORNICE END PANEL AND PROVIDE NEW GALV. SHEET METAL CORNICE END PANEL AS DETAILED ON 4/AR-202.

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STATE OF NEW YORK

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT

FACADE RESTORATION OF 151 GRAND ST.

ADDRESS
151 GRAND STREET
NEW YORK, NY

CTS PROJ. NUMBER: 309

DRAWN BY: BPC

CHECKED BY: UCS, DVA

DATE: 02/09/16

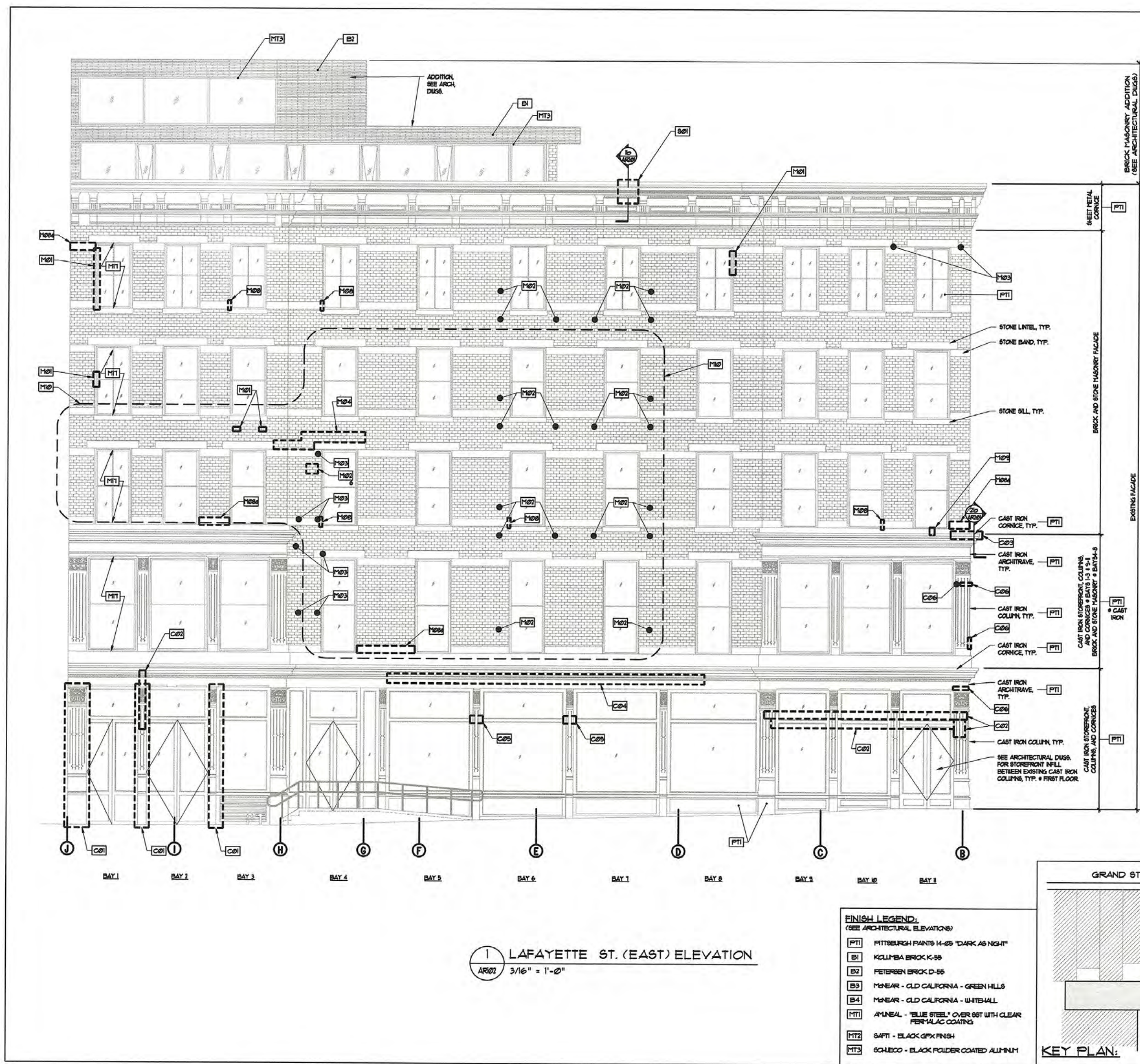
SHEET TITLE

GRAND STREET ELEVATION (NORTH)

SHEET NUMBER

AR-101.00

SHEET 2 OF 1



GENERAL SCOPE OF WORK NOTES:

- GENERAL:**
- 1) REMOVE ALL PIGEON DETERRENT SYSTEMS FROM CAST IRON CORNICES INCLUDING ANCHORS, NUTS, AND DEBRIS FROM THE BUILDING.
 - 2) CLEAN ALL BRICK AND STONE MASONRY.
 - 3) PATCH AND REPAIR BRICK AND STONE MASONRY WITH RESTORATION MORTAR TO MATCH EXISTING MASONRY IN COLOR AND TEXTURE WHERE INDICATED ON THE DRAWINGS.
 - 4) REPLACE DAMAGED BRICK MASONRY WITH BRICK MASONRY TO MATCH EXISTING IN DIMENSION, COLOR AND TEXTURE WHERE INDICATED ON THE DRAWINGS.
 - 5) REBUILD BRICK MASONRY PARAPETS WITH NEW BRICK MASONRY AS IDENTIFIED ON ARCHITECTURAL DRAWINGS.
 - 6) RAKE AND REPOINT CEMENTED MORTAR JOINTS WITH MORTAR TO MATCH EXISTING HISTORIC MORTAR WHERE INDICATED ON THE DRAWINGS.
 - 7) PREPARE AND PAINT EXISTING PAINTED STONE LINTELS, SILL, AND BANDS (EXCEPT AT STONE TO BE RESTORED). PATCH AND REPAIR STONE AS INDICATED ON THE DRAWINGS AND REPAIR STONE MASONRY.
 - 8) REMOVE PAINT FROM STONE TO BE RESTORED. PATCH AND REPAIR STONE AS INDICATED ON THE DRAWINGS AND REPAIR STONE MASONRY.
- CAST IRON & SHEET METAL:**
- 1) PATCH AND REPAIR EXISTING CAST IRON CORNICE, COLUNNS, AND SHEET METAL JOINTS. PROVIDE NEW DRAINAGE AND FLASHING AT ALL CAST IRON JOINTS.
 - 2) PATCH AND REPAIR EXISTING SHEET METAL WHERE INDICATED ON THE DRAWINGS.
 - 3) PROVIDE NEW SHEET METAL CORNICE SECTIONS WHERE INDICATED BY DRAWINGS.
 - 4) REMOVE SEALANT INCLUDING ASPHALTIC MATERIALS FROM ALL CAST IRON AND SHEET METAL JOINTS. PROVIDE NEW DRAINAGE AND FLASHING AT ALL CAST IRON JOINTS.
 - 5) REPAIR EXISTING CAST IRON CORNICE WHERE INDICATED ON DRAWINGS AND RESTORED AREAS.
 - 6) PREPARE AND PAINT ALL EXISTING SHEET METAL FEATURES INCLUDING ALL REPAIRED AND RESTORED AREAS.
 - 7) REMOVE ALL EXCEEDS AND ATTACHMENTS FROM CAST IRON FEATURES AND PATCH WITH METAL FILLER.
 - 8) REMOVE ALL EXCEEDS AND ATTACHMENTS FROM SHEET METAL FEATURES AND PATCH WITH SHEET METAL.

KEYED SCOPE OF WORK NOTES:

- BRICK AND STONE MASONRY:**
- M101 PATCH SPALLLED BRICK WITH RESTORATION MORTAR TO MATCH EXISTING BRICK IN COLOR AND TEXTURE.
 - M102 REMOVE EXISTING NON-MATCHING MASONRY PATCH AND COVERED SPEED AND PROVIDE NEW PATCH WITH RESTORATION MORTAR TO MATCH EXISTING BRICK IN COLOR AND TEXTURE.
 - M103 REMOVE EXISTING SPEED AND PATCH WITH RESTORATION MORTAR TO MATCH EXISTING BRICK/STONE IN COLOR AND TEXTURE.
 - M104 REMOVE EXISTING SHUTTER STOP AND PATCH MASONRY WITH RESTORATION MORTAR TO MATCH EXISTING BRICK/STONE IN COLOR AND TEXTURE.
 - M105 REMOVE AND RESET EXISTING DISPLACED BRICK MASONRY.
 - M106 REMOVE EXISTING SIGNAGE / CANOPY AND ALL ASSOCIATED ANCHORS AND EXCEEDS AND PATCH WITH RESTORATION MORTAR TO MATCH EXISTING ADJACENT MATERIAL IN COLOR AND TEXTURE.
 - M107 REMOVE EXISTING FLUE / CHIMNEY AND ALL ASSOCIATED ANCHORS AND EXCEEDS AND PATCH WITH RESTORATION MORTAR TO MATCH EXISTING ADJACENT MATERIAL IN COLOR AND TEXTURE.
 - M108 REMOVE EXISTING CORNICE AND BRICK MASONRY DOWN TO LEVEL INDICATED ON DRAWINGS. CONSTRUCT NEW PARAPET AS DETAILED ON ARCHITECTURAL DRAWINGS.
 - M109 REPLACE CRACKED STONE LINTEL WITH NEW CAST STONE LINTEL TO MATCH EXISTING IN DIMENSION, COLOR, AND TEXTURE SEE DETAIL 2/4/AR-202.
 - M110 PATCH SPALLLED STONE WITH RESTORATION MORTAR TO MATCH EXISTING STONE TEXTURE.
 - M111 PATCH SPALLLED STONE BAND / LINTEL TO CREATE A FLUSH CONDITION WITH THE EXISTING BRICK FACADE.
 - M112 PATCH CRACKED STONE WITH RESTORATION MORTAR TO MATCH EXISTING STONE IN COLOR AND TEXTURE.
 - M113 REMOVE PAINT DRIPS FROM IDENTIFIED AREA.
 - M114 PREPARE AND PAINT EXISTING STEEL LINTEL.
 - M115 RAKE AND REPOINT MASONRY JOINTS WITH MORTAR TO MATCH EXIST. ADJACENT.
 - M116 REMOVE EXISTING BRICK AND PROVIDE STONE SILL AS DETAILED ON 2/4/AR-202.
 - M117 REMOVE EXISTING BRICK TO ACCOMMODATE NEW MASONRY OPENING. PROVIDE STEEL LINTELS AND CAST STONE SILL AS DETAILED ON 2/4/AR-202.
 - M118 SHAVE LOOSE/SPALLLED STONE FROM LINTEL.
 - M119 REMOVE EXISTING MASONRY INFILL AT EXISTING M10 TO ACCOMMODATE NEW WINDOW. COORDINATE W/ ARCHITECTURAL DRAWINGS.
 - M120 REMOVE EXISTING WINDOW GRILLES AND ASSOCIATED ANCHORS AND PATCH ANCHOR HOLES WITH RESTORATION MORTAR TO MATCH EXISTING ADJACENT IN COLOR AND TEXTURE.
 - M121 REMOVE CRACKED BRICK MASONRY AND TOOTH IN NEW BRICK MASONRY TO MATCH EXISTING IN DIMENSION, COLOR, & TEXTURE. SEE 2/4/AR-202.
 - M122 PROVIDE SOFT JOINT AS DETAILED ON 2/4/AR-202.
 - M123 PROVIDE METAL CLOSURE PIECE AND SOFT JOINT AT OPEN JOINT BETWEEN CAST IRON AND BRICK MASONRY. SEE 2/4/AR-202.
- CAST IRON:**
- C01 REMOVE EXISTING SHEET METAL COLUMN COVERS AND CONTACT ARCHITECT TO OBSERVE EXISTING CAST IRON CONDITIONS.
 - C02 REMOVE EXISTING SIGNAGE / CANOPY / COLLING SECURITY DOOR AND ALL ASSOCIATED ANCHORS AND EXCEEDS AND PATCH WITH METAL FILLER.
 - C03 CUT AND REMOVE EXISTING SECTION OF DAMAGED CORNICE CAP AND PROVIDE CAST IRON DUTCH-MAN WITH S&S BRACKETS AND PARTNERS AS DETAILED ON 2/4/AR-202.
 - C04 REMOVE EXISTING LIGHTING AND ASSOCIATED CONDUITS AND ANCHORS. PATCH HOLES IN CAST IRON WITH METAL FILLER.
 - C05 REMOVE EXISTING CALLINGS FROM CAST IRON.
 - C06 REMOVE EXISTING SPEED AND FILL ANCHOR HOLES WITH METAL FILLER.
- SHEET METAL:**
- S01 AT MISSING CORNICE SECTION PROVIDE SHEET METAL CORNICE SECTION AS DETAILED ON 2/4/AR-202.
 - S02 PROVIDE GALV. SHEET METAL EDGE AS DETAILED ON 2/4/AR-202.
 - S03 REMOVE EXISTING SHEET METAL CORNICE END PANEL AND PROVIDE NEW GALV. SHEET METAL CORNICE END PANEL AS DETAILED ON 2/4/AR-202.

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STATE OF NEW YORK
OFFICE OF THE CLERK OF THE SUPREME COURT
COUNTY OF NEW YORK
FILED
JUN 23 2026

NO.	DATE	REVISIONS

PROJECT
FACADE RESTORATION OF 151 GRAND ST.

ADDRESS
151 GRAND STREET
NEW YORK, NY

CTS PROJ. NUMBER: 909
DRAWN BY: BPC
CHECKED BY: WCB, DVA
DATE: 2/05/16

SHEET TITLE
LAFAYETTE STREET ELEVATION (EAST)

SHEET NUMBER
AR-102.00

SHEET 3 OF 1