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Community Board No. 2, Manhattan

3 Washington Square Village

NEW YORK, NY 10012-1899

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COMMUNITY BOARD 2 APPLICATION FOR A STATE LIQUOR AUTHORITY LICENSE ADDENDUM FOR OUTDOOR SEATING

For a Liquor License Application that includes any outdoor areas, please complete the following:

- Submit a diagram of outdoor seating indicating length and width of area(s) and location of all tables and chairs. Include all obstructions (trees, fire hydrants, proximity to bus stops, bike racks, signs, etc.).
- Submit photos of the premises where the sidewalk café and/or roadbed will be located. Required photos show one frontal, one left and one right side view of proposed sidewalk café and/or roadbed.
 - Photos must show complete sidewalk and/or roadway area where sidewalk café and/or roadbed will be including views to curb and neighboring properties.
 - For rear yard, show photos of yard and surrounding area, including upper view of adjacent buildings.

Name of Applicant: Vevamo Partners LLC

Address of Premises: 10-12 Morton Street, Retail # 2, New York, NY 10014

Sidewalk café will have no more than (If premises is located on a corner please indicate for both streets):

2 tables and 4 seats on Morton Street
 tables and seats on Street

Hours of sidewalk café: 10am to 10pm.

Describe any obstructions (trees, fire hydrant, proximity to bus stop, etc):

There is a tree pit in front of the adjacent building

Roadbed will have no more than (If premises is located on a corner please indicate for both streets):

0 tables and 0 seats on N/A Street
0 tables and 0 seats on N/A Street

Hours of roadbed: N/A to N/A.

Describe any obstructions (trees, fire hydrant, proximity to bus stop, etc):

N/A

Rear yard / Rooftop (circle) will have no more than 0 tables and 0 seats

Hours of rear yard / rooftop: N/A to N/A.

Does seating extend beyond the business frontage? X No Yes

Will outdoor dining structures **on the sidewalk** be enclosed on three (3) or more sides? X No Yes

Will outdoor dining structures **on the roadbed** be enclosed on three (3) or more sides? No Yes N/A

Is there any outdoor music, speakers or TVs? X No Yes, please describe:

Will heating elements be used? X No Yes, please describe:

Addendum for Vevamo Partners LLC - Method of Operation

Current Approved Hours of Operation:

2pm-11pm Sunday to Wednesday

2pm-12am Thursday to Saturday

Proposed Hours of Operation

10am-12am Sunday to Wednesday

10am-1am Thursday

10am-2am Friday to Saturday

Meeting Date: _____

APPLICANT INFORMATION:

Name of applicant(s):
Vevamo Partners LLC

Trade name (DBA):
Bar V

Premises address:
10-12 Morton Street, New York, NY 10014

Cross Streets and other addresses used for building/premise:
7th Avenue South and Bleecker Street

CONTACT INFORMATION:

Principal(s) Name(s):
Veli Sirt

Office or Home Address: _____

City, State, Zip: _____

Telephone #: _____ email : veli@barvnyc.com

Landlord Name / Contact:
Morton Street Associates

Landlord's Telephone and Fax: _____

| NAMES OF ALL PRINCIPAL(s): | NAMES / LOCATIONS OF PAST / CURRENT LICENSES HELD |
|-----------------------------|--|
| <u>Veli Sirt</u> | <u>Entwine / 765 Washington Street / Bar V/10-12 Morton Street</u> |
| <u>Valeri Kvaratskhelia</u> | <u>Entwine / 765 Washington Street / Bar V / 10-12 Morton Street</u> |
| <u>Mortiz Hilf</u> | <u>Entwine / 765 Washington Street / Bar V / 10-12 Morton Street</u> |

Briefly describe the proposed operation (i.e. "We are a family restaurant that will focus on..."):

The premises is currently operating a neighborhood restaurant serving tapas with a beer and wine
license.

WHAT TYPE(S) OF LICENSE(S) ARE YOU APPLYING FOR (MARK ALL THAT APPLY):

☐ a new liquor license (☐ Restaurant ☐ Tavern / On premise liquor ☐ Other)

☒ an UPGRADE of an existing Liquor License

☐ an ALTERATION of an existing Liquor License

☐ a TRANSFER of an existing Liquor License

☐ a HOTEL Liquor License

☐ a DCA CABARET License

☐ a CATERING / CABARET Liquor License

☐ a BEER and WINE License

☐ a RENEWAL of an existing Liquor License

☐ an OFF-PREMISE License (retail)

☐ OTHER : _____

If upgrade, alteration, or transfer, please describe specific nature of changes:

(Please include physical or operational changes including hours, services, occupancy, ownership, etc.)

Proposed new Hours of Operation: 10am to 12am Sunday to Wednesday; 10am-1am Thursday

10am-2am Friday and Saturday

If this is for a new application, please list previous use of location for the last 5 years:

N/A

Is any license under the ABC Law currently active at this location? ☒ yes ☐ no

If yes, what is the name of current / previous licensee, license # and expiration date: _____

Vevamo Partners LLC d/b/a Bar V, License ID: 0240-25-107598 and expiration date: 03/31/2027

Have any other licenses under the ABC Law been in effect in the last 10 years at this location?

☒ yes ☐ no

If yes, please list DBA names and dates of operation:

Lena, Legacy Serial #1322968

PREMISES:

By what right does the applicant have possession of the premises?

☐ Own ☒ Lease ☐ Sub-lease ☐ Binding Contract to acquire real property ☐ other: _____

Type of Building: ☐ Residential ☐ Commercial ☒ Mixed (Res/Com) ☐ Other: _____

Number of floor: 6 Year Built : 1907

Describe neighboring buildings:

Mixed: Residential/Commercial

Zoning Designation: R6 and C2-6

Zoning Overlay or Special Designation (applicable) N/A

Block and Lot Number: 586 / 57

Does the premise occupy more than one building, zoning lot, tax lot or more than one floor? ☐ yes ☒ no

Is the premise located in a historic district? ☒ yes ☐ no

(if yes, have all exterior changes or changes governed by the Landmarks Preservation Commission (LPC) been approved by the LPC? ☐ yes ☒ no, please explain : N/A

Will any outside area or sidewalk café be used for the sale or consumption of alcoholic beverages? (including sidewalk, roof and yard space) ☐ no ☒ yes : explain Sidewalk Cafe

What is the proposed Occupancy? 74

Does the premise currently have a valid Certificate of Occupancy (C of O) and all appropriate permits?

☐ no ☒ yes LNO

If yes, what is the maximum occupancy for the premises? 74

If yes, what is the use group for the premises? Use Group 6

If yes, is proposed occupancy permitted? ☒ yes ☐ no, explain : _____

If your occupancy is 75 or greater, do you plan to apply for Public Assembly permit? ☐ yes ☒ no

Do you plan to file for changes to the Certificate of Occupancy? ☐ yes ☒ no
(if yes, please provide copy of application to the NYC DOB)

Will the façade or signage be changed from what currently exist at the premise? ☒ no ☐ yes

(if yes, please describe: _____)

INTERIOR OF PREMISES:

What is the total licensed square footage of the premises? 1,350 SQ FT

If more than one floor, please specify square footage by floors: GF: 700 SQ FT and Basement: 650 SQ FT

If there is a sidewalk café, rear yard, rooftop, or outside space, what is the square footage of the area?

Sidewalk Cafe: 15 SQ FT

If more than one floor, what is the access between floors? Stairs

How many entrances are there? 1 How many exits? 2 How many bathrooms ? 1

Is there access to other parts of the building? no x yes, explain: Basement for emergency exit only

OVERALL SEATING INFORMATION:

Total number of tables? 11 Total table seats? 31

Total number of bars? 1 Total bar seats? 4

Total number of "other" seats? 4 please explain : Sidewalk Cafe Seating

Total OVERALL number of seats in Premises : 35

BARS:

How many *stand-up bars / bar seats are being applied for on the premises? Bars 1 Seats 4

How many service bars are being applied for on the premises? 0

Any food counters? no x yes, describe : Cold Cut Display / Section

For Alterations and Upgrades:

Please describe all current and existing bars / bar seats and specific changes: _____

N/A

* A stand-up bar is any bar or counter (whether seating or not) over which a member of the public can order, pay for and receive food and alcoholic beverages.

PROPOSED METHOD OF OPERATION:

What type of establishment will this be? (check all that apply)

 Bar Bar & Food x Restaurant Club/ Cabaret Hotel Other: _____

What are the Hours of Operation?

Sunday: Monday: Tuesday: Wednesday: Thursday: Friday: Saturday:

10am to 12am 10am to 12am 10am to 12am 10am to 12am 10am to 1am 10am to 2am 10am to 2am

Will the business employ a manager? ☐ no ☒ yes, name / experience if known : _____

Will there be security personnel? ☒ no ☐ yes(if yes, what nights and how many?) N/A

Do you have or plan to install French doors, accordion doors or windows that open? ☒ no ☐ yes

If yes, please describe : N/A

Will you have TV's ? ☒ no ☐ yes (how many?) _____

Type of MUSIC / ENTERTAINMENT: ☐ Live Music ☐ Live DJ ☐ Juke Box ☒ Ipod / CDs ☐ none

Expected Volume level: ☒ Background (quiet) ☐ Entertainment level ☐ Amplified Music
(check all that apply)

Do you have or plan to install soundproofing? ☒ no ☐ yes

IF YES, will you be using a professional sound engineer? N/A

Please describe your sound system and sound proofing: _____

Basic home sound system for background music - iPod

Will you be permitting: No promoted events No scheduled performances No outside promoters

No any events at which a cover fee is charged? Yes private parties

Do you have plans to manage or address vehicular traffic and crowd control on the sidewalk caused by your establishment? ☒ no ☐ yes (if yes, please attach plans)

Will you be utilizing Noropes No movable barriers No other outside equipment (describe) _____

Are your premises within 200 feet of any school, church or place of worship? ☒ no ☐ yes

If there is a school, church or place of worship within 200 feet of your premises or on the same block, please submit a block plot diagram or area map showing its' location in proximity to your applicant premises (no larger than 8 ½ " x 11").

Indicate the distance in feet from the proposed premise:

Name of School / Church: _____

Address: _____ Distance: _____

Name of School / Church: _____

Address: _____ Distance: _____

Name of School / Church: _____

Address: _____ Distance: _____


Please provide contact information for Residents / Community Board and confirm that if complaints are made you will address it immediately.

Contact Person: _____ Phone: _____

Address: _____

Email : _____

Application submitted on
behalf of the applicant by:

Signature 

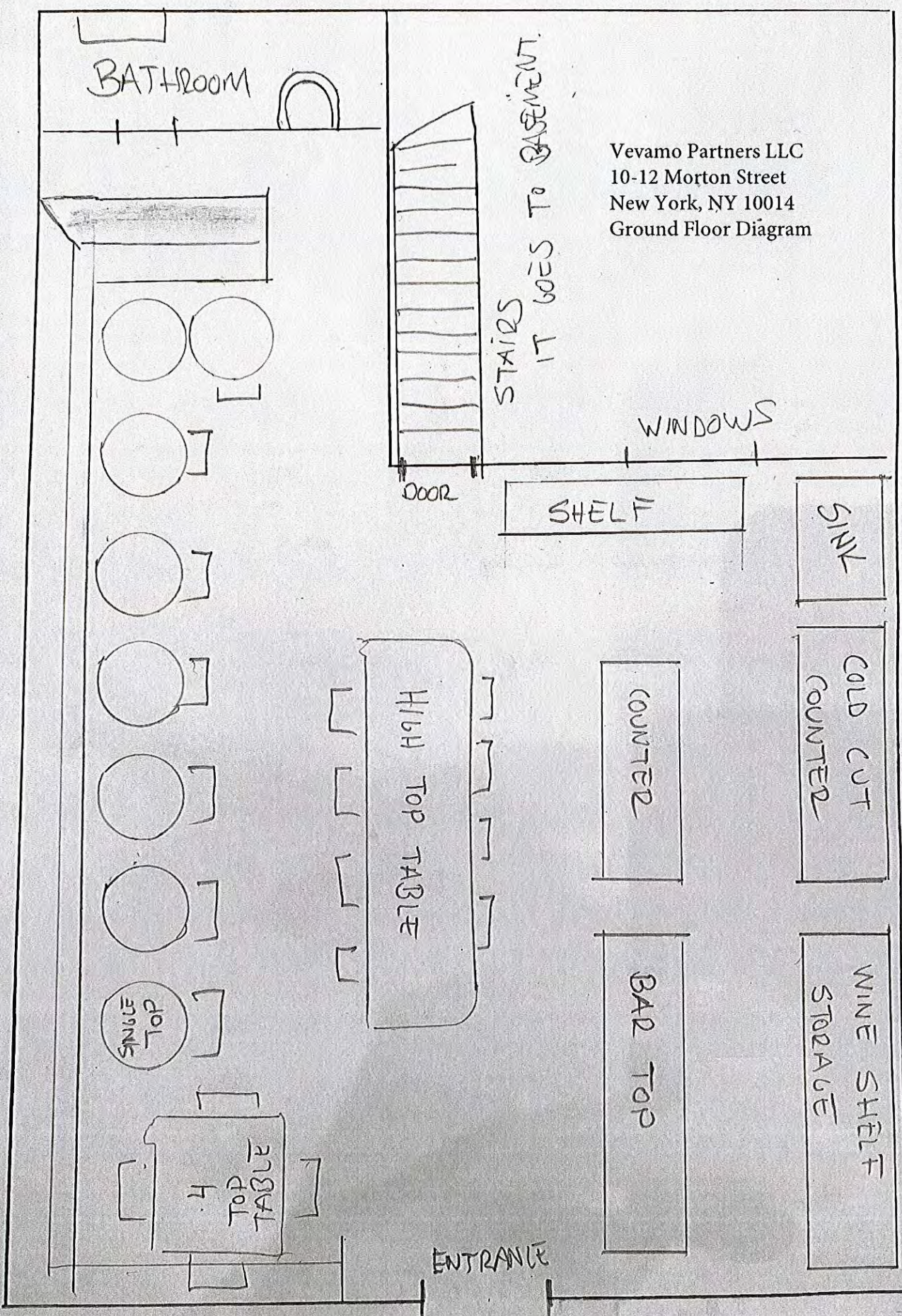
Print or Type Name Veli Sirt

Title Principal

Thank you for your cooperation. Please return this questionnaire along with the other required documents as soon as you can. This will expedite your application and avoid any unnecessary delays. Use additional pages if necessary.

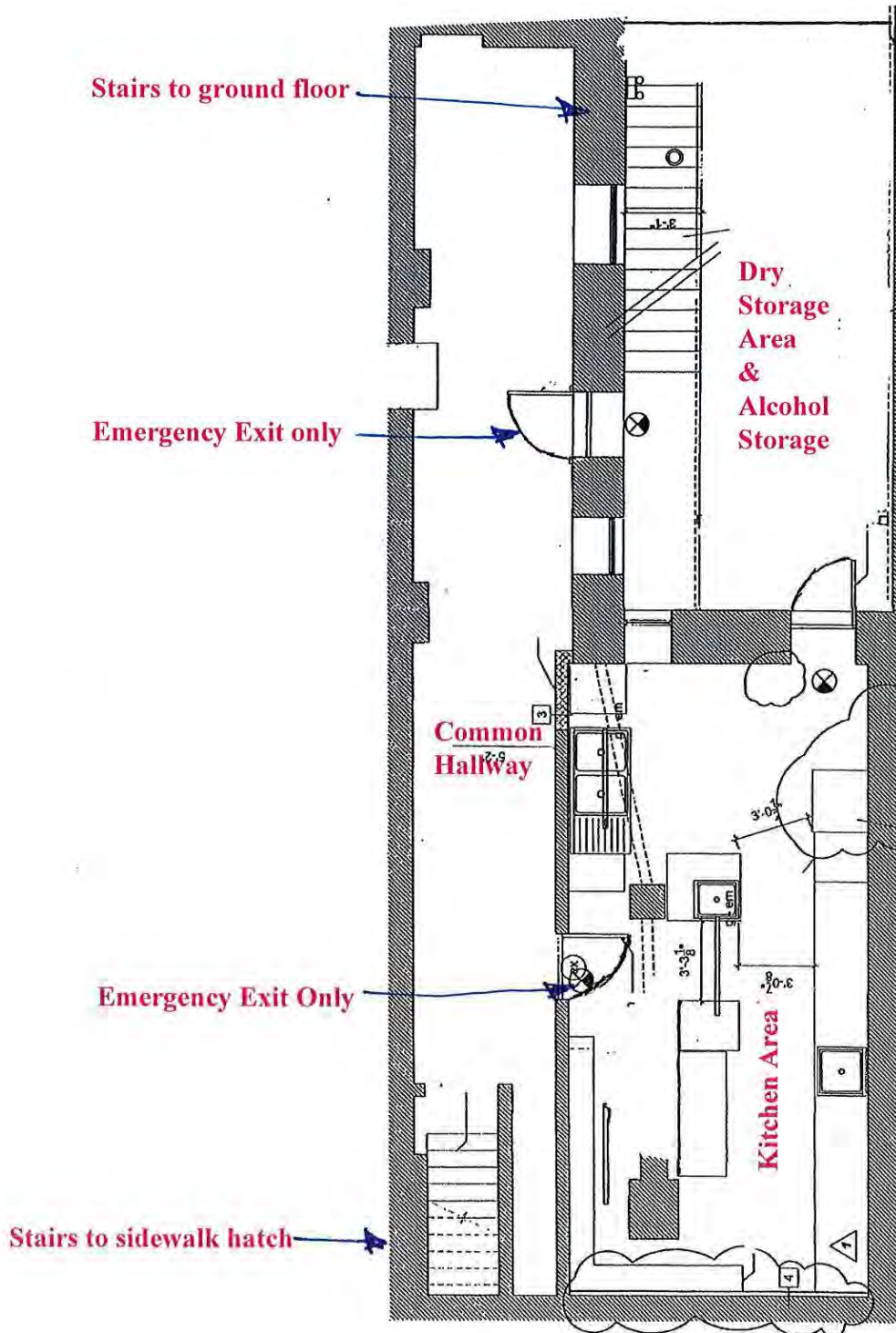


Community Board 2,
Manhattan SLA Licensing
Committee Donna Raftery, Chair



Vevamo Partners LLC
10-12 Morton Street
New York, NY 10014
Ground Floor Diagram

Vevamo Partners LLC
10-12 Morton Street
New York, NY 10014
Basement Diagram



April 2024

MENU

| | |
|--|------------|
| Olives | \$8.00 |
| Roasted Pistachio | \$10.00 |
| Chicken Liver Pate | \$14.00 |
| Brie & Honey Toast | \$12.00 |
| Mushroom Toast with Goat cheese | \$12.00 |
| Grilled Cheese | \$14.00 |
| Cod Fish Brandade | \$12.00 |
| . | |
| MEZZE | \$20.00 |
| Hummus, Muhammara, Cacik | ea. \$9.00 |
| . | |
| GREEK SALAD | \$16.00 |
| . | |
| CHICKEN SANDWICH | \$18.00 |
| chicken breast, avocado, melted cheddar, sourdough | |
| MANTI | \$22.00 |
| Savory baby dumpling in yogurt sauce | |
| GRILLED LAMB CHOPS | \$34.00 |
| With mashed potatoes and sauteed French Beans | |
| . | |
| SAN SEBASTIAN CHEESECAKE | \$14.00 |

BAR V
10 MORTON STREET NY

CHEESE & MEAT

| | |
|--|---------|
| SMOKED CHEDDAR | \$10.00 |
| Maine, pasteurized cow milk | |
| PECORINO CALABRESE | \$10.00 |
| Italy, pasteurized sheep milk | |
| DELICE DE BOURGOGNE | \$16.00 |
| France, pasteurized goat milk. | |
| BUCHERON | \$12.00 |
| France, pasteurized goat milk. | |
| BRIE | \$12.00 |
| France, soft-ripened, pasteurized cow milk | |

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| | |
|-----------------------------|---------|
| SPECK | \$12.00 |
| TIPSY COW BEEF & DRY SALAMI | \$12.00 |
| SPICY CHORIZO | \$10.00 |

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| | |
|-------------|---------|
| CHOICE OF 3 | \$26.00 |
| CHOICE OF 5 | \$34.00 |
| CHOICE OF 7 | \$40.00 |

ENTWINE
765 WASHINGTON STREET NY

SECTION 1: Site Plan

- This Site Plan form is required to be uploaded in the "Sidewalk Site Plan" field of your online application.
- Refer to the [How to Apply](#) page in the Dining Out NYC website for more information about the application process.

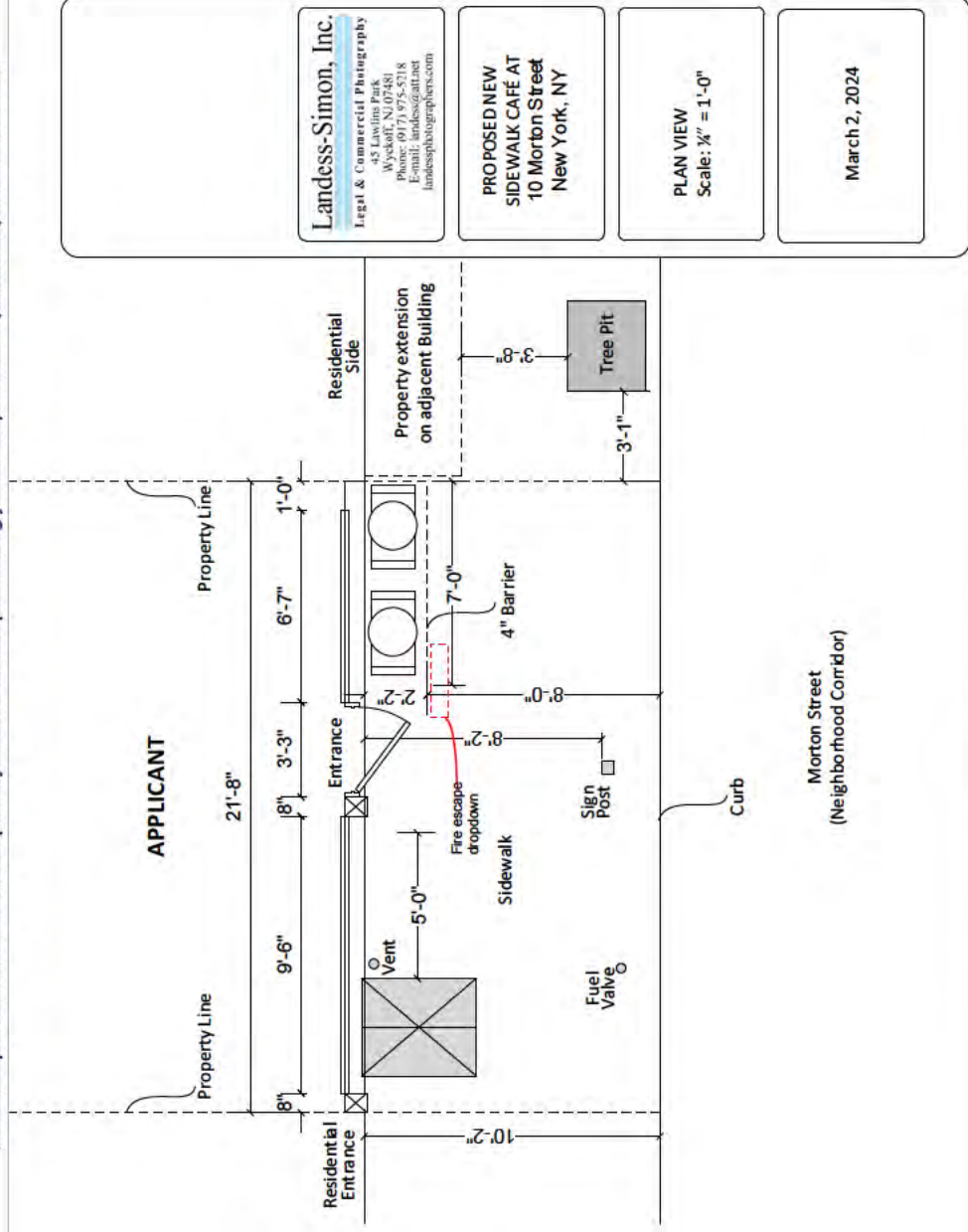
Identify Clear Path Requirements:

- Clear path requirement for your sidewalk cafe can be found by identifying your corridor type on the DOT's Pedestrian Mobility Plan [Pedestrian Demand Map](#).
- ☐ C1 - Global Corridor (12 feet Clear Path)
 - ☐ C2 - Regional Corridor (10 feet Clear Path)
 - ☒ C3 - Neighborhood Corridor, Community Connector, or Baseline Street (8 feet Clear Path)

Setup Area Identification :

- ☐ Please check this box if you plan to have outdoor dining located partially within private property. If you are uncertain, please request records from your property owner/manager.
- ☐ Please check this box if all or part of your sidewalk cafe is in a sidewalk widening area, developed pursuant to the NYC Zoning Resolution. If so, indicate the property line in the site plan drawing below.

Use the space below to draw or upload your Site Plan representing your cafe perimeters, furniture, and clearances.



Length of sidewalk cafe: 22 feet

Width of sidewalk cafe: 3 feet

Sidewalk Cafe
Site Plan Form

Applicant Name: VELI SIRT

Restaurant Name: Bar V

FSEP Number: 50160415

Drawing Requirements

- Food service establishment frontage shown by:**
 - Line representing the establishment's space facing the sidewalk
 - Length
 - Labels
- Private Property shown as:**
 - Dashed line
- Street names:**
 - Labels on each street
- Sidewalk shown as:**
 - Line representing street curb
 - Width measured from building line to curb line
- Building entrances shown as:**
 - Label
- Cafe perimeter shown as:**
 - Lines indicating perimeter
 - Length and width
- Set-up furniture (tables, chairs, etc.) shown as:**
 - Lines or symbols at approximate location within setup
- Elements (in Section 2 of this form) within 15 feet of cafe perimeter, shown as:**
 - Lines or symbols
 - Distance from cafe perimeter
 - Labels
- Utility coverings (water/gas valves, and pull boxes) shown as:**
 - Symbols representing the location within the setup

North arrow

SECTION 2: Required Clearances

- Please provide distances from the following objects.
- Only provide a distance if the listed object is within 15 feet of your proposed setup.
- Refer to the [Setup Guides](#) in the Dining Out NYC website for more information regarding clearances.

Elements with minimum 15 feet clearance from sidewalk cafe:

☐ S01- Subway Stair: Open End _____ feet

Elements with minimum 10 feet clearance from sidewalk cafe:

☐ S02- Subway Elevator Entrance _____ feet ☐ S04- MTA Curb Cut _____ feet

☐ S03- Exhaust Duct _____ feet ☐ S05- FDNY Curb Cut _____ feet

Elements with minimum 8 feet clearance from sidewalk cafe:

☐ S06- Street Tree Bed _____ feet ☐ S13- Newsstand _____ feet

☐ S07- Mailbox _____ feet ☐ S14- Streetlight _____ feet

☐ S08- LinkNYC Kiosk _____ feet ☐ S15- Bus Stop Pole _____ feet

☐ S09- Wayfinding Kiosk _____ feet ☐ S16- Fire Hydrant _____ feet

☐ S10- E-charging Station _____ feet ☐ S17- Bus Stop Shelter _____ feet

☐ S11- Parking Meter _____ feet ☐ S18- Traffic Signal _____ feet

☐ S12- SBS Fare Machine _____ feet

Elements with minimum 5 feet clearance from sidewalk cafe:

☐ S19- CitiBike/Bike Share Station _____ feet ☐ S24- Emergency Exit Hatch _____ feet

☐ S20- Bike Corral _____ feet ☐ S25- Subway Stair: Closed End _____ feet

☐ S21- Micromobility Station _____ feet ☐ S26- Subway Elevator: Non-Entry _____ feet

☒ S22- Primary Building Entrance _____ feet ☐ S27- Siamese Connection _____ feet

☐ S23- Curb Cut _____ feet

Elements with minimum 3 feet clearance from sidewalk cafe:

☐ S28- Elevated Train Infrastructure _____ feet ☐ S29- Transformer Vault _____ feet

Elements with minimum 1 foot 6 inches clearance from sidewalk cafe elements:

☐ S30- Vent Infrastructure: utility vent poles, vent grates, subway grates _____ inches ☐ S31- Manholes _____ inches

☐ Check this box if none of the objects listed above are within 15 feet of the proposed setup.



SECTION 3: Material Requirements

- Please indicate which of the following materials will be part of your sidewalk cafe by checking the box next to the category. If applicable, please confirm the materials comply with the Dining Out NYC requirements by checking the box next to the associated requirement.
- Refer to the [Setup Guides](#) in the Dining Out NYC website for more information regarding materials.

Materials Checklist:

Required

☒ **Perimeter Demarcation (All of the following must be met)**

☒ Perimeter demarcation must be clear and visible by using a lightweight and removable self-supporting base wall, railing, planter, fence, or stanchion and rope.

☒ Maximum height is 2 feet 6 inches (excluding planting(s)).

☒ Not affixed to the sidewalk.

***Optional- Only check the material categories you intend to use in your sidewalk cafe ***

☒ **Furnishings (if using, the first two below must be met)**

☒ Lightweight and easily movable.

☒ Not affixed to the sidewalk.

☐ Check here if you plan to place tables/chairs on top of a cellar or basement door. If so, please complete the [Cellar or Basement Door Certification](#)

☒ **Awnings Physically Attached to the Building (if using, all of the following must be met)**

☐ Minimum 8 feet height from the ground and does not exceed 10 feet height.

☐ Easily removable, comprised of fire-grade and wind resistant materials.

☐ Does not extend beyond the perimeter of the sidewalk cafe.

☐ Complies with the New York City Building Code. Please note that this may require additional permits from DOB, and/or approval from the Landmarks Preservation Commission (LPC) as applicable.

☒ **Overhead Coverings/ Umbrellas (if using, all of the following must be met)**

☐ Minimum 7 feet height from the ground and does not exceed 10 feet height.

☐ Easily removable, comprised of fire-grade and wind resistant materials.

☐ Does not extend beyond the perimeter of the sidewalk cafe.

☐ The umbrella/overhead covering has a weighted base and any supports are not affixed to the sidewalk.

☐ Any support structures are of sufficient size and strength, made of durable materials, and free of defects.

☒ **Lighting and Electrical Connections (if using, all of the following must be met)**

☐ Any lighting is outdoor rated, properly secured, and lightweight.

☐ Connection is directly connected to ground floor restaurant's power source and within the perimeter of the cafe.

☐ Does not extend beyond the perimeter of the sidewalk cafe.

☐ Does not exceed 10 feet in height.

☐ Not attached to any City property, including street trees.

☐ Electrical work complies with the applicable requirements set forth in DOT's rules and the New York City Electrical Code. Please note that this may require additional permits from DOB or FDNY, and/or approval from the Landmarks Preservation Commission (LPC) as applicable.

Vevamo Partners LLC
d/b/a Bar V
10-12 Morton Street, Retail # 2
New York, NY 10014

