

Meeting Date: July 2025

APPLICANT INFORMATION:

Name of applicant(s):
Slicehaus LLC

Trade name (DBA):
Slicehaus

Premises address: 30 Carmine Street, New York, NY 10014

Cross Streets and other addresses used for building/premise:
Bleecker Street and Bedford Street

CONTACT INFORMATION:

Principal(s) Name(s): Enrico Proietti

Office or Home Address: [REDACTED]

City, State, Zip: [REDACTED]

Telephone #: [REDACTED]

email: [REDACTED]

Landlord Name / Contact: 30 Carmine Street LLC, c/o Corigin Real Estate Group, 505 Fifth Avenue, 22nd Floor, New York, NY 10017

Landlord's Telephone and Fax: [REDACTED]

NAMES OF ALL PRINCIPAL(s):

NAMES / LOCATIONS OF PAST / CURRENT LICENSES HELD

Enrico Proietti

967 Lexington Avenue Corp, d/b/a Bella Blue, 967 Lexington Avenue, New York, NY 10065

Agostino Cangiano

N/A

Tatiana Proietti

N/A

Briefly describe the proposed operation (i.e. "We are a family restaurant that will focus on..."):

A fast casual pizzeria offering pizza by the slice, as well as canned beer and wine.

WHAT TYPE(S) OF LICENSE(S) ARE YOU APPLYING FOR (MARK ALL THAT APPLY):

☒ a new liquor license (☐ Restaurant ☐ Tavern / On premise liquor ☐ Other)

☐ an UPGRADE of an existing Liquor License

☐ an ALTERATION of an existing Liquor License

☐ a TRANSFER of an existing Liquor License

☐ a HOTEL Liquor License

☐ a DCA CABARET License

☐ a CATERING / CABARET Liquor License

☒ a BEER and WINE License

☐ a RENEWAL of an existing Liquor License

☐ an OFF-PREMISE License (retail)

☐ OTHER : _____

If upgrade, alteration, or transfer, please describe specific nature of changes:
(Please include physical or operational changes including hours, services, occupancy, ownership, etc.)

N/A

If this is for a new application, please list previous use of location for the last 5 years:

Bluestone Lane - restaurant

Is any license under the ABC Law currently active at this location? ☐ yes ☒ no

If yes, what is the name of current / previous licensee, license # and expiration date: _____

N/A

Have any other licenses under the ABC Law been in effect in the last 10 years at this location?
☒ yes ☐ no

If yes, please list DBA names and dates of operation:

BSL Carmine Inc., d/b/a Bluestone Lane, January 6, 2017 to July 31, 2018

BL 30 Carmine NY LLC, d/b/a Bluestone Lane, April 1, 2022 to March 31, 2024

PREMISES:

By what right does the applicant have possession of the premises?

☐ Own ☒ Lease ☐ Sub-lease ☐ Binding Contract to acquire real property ☐ other: _____

Type of Building: ☐ Residential ☐ Commercial ☐ Mixed (Res/Com) ☒ Other: _____

Number of floor: ^{basement and} ground floor Year Built : 1900

Describe neighboring buildings:

Combination of commercial and residential, with nearby school and religious institution

Zoning Designation: R7-/C1-5

Zoning Overlay or Special Designation (applicable) Landmark

Block and Lot Number: 527 / 68

Does the premise occupy more than one building, zoning lot, tax lot or more than one floor? ☒ yes ☐ no

Is the premise located in a historic district? ☒ yes ☐ no

(if yes, have all exterior changes or changes governed by the Landmarks Preservation Commission (LPC) been approved by the LPC? ☒ yes ☐ no, please explain : _____

Will any outside area or sidewalk café be used for the sale or consumption of alcoholic beverages? (including sidewalk, roof and yard space) ☒ no ☐ yes : explain _____

What is the proposed Occupancy? 25

Does the premise currently have a valid Certificate of Occupancy (C of O) and all appropriate permits?

☒ no ☐ yes

If yes, what is the maximum occupancy for the premises? N/A

If yes, what is the use group for the premises? N/A

If yes, is proposed occupancy permitted? ☐ yes ☐ no, explain : _____

N/A

If your occupancy is 75 or greater, do you plan to apply for Public Assembly permit? ☐ yes ☒ no

Do you plan to file for changes to the Certificate of Occupancy? ☐ yes ☒ no
(if yes, please provide copy of application to the NYC DOB)

Will the façade or signage be changed from what currently exist at the premise? ☒ no ☐ yes

(if yes, please describe: _____

INTERIOR OF PREMISES:

What is the total licensed square footage of the premises? 1, 125 square feet

If more than one floor, please specify square footage by floors: 625 square feet - ground floor 500 square feet - basement floor

If there is a sidewalk café, rear yard, rooftop, or outside space, what is the square footage of the area?

N/A

If more than one floor, what is the access between floors? spiral staircase accessible by employees only

How many entrances are there? 3 How many exits? 3 How many bathrooms? 1

Is there access to other parts of the building? X no yes, explain:

OVERALL SEATING INFORMATION:

Total number of tables? 0 Total table seats? 0

Total number of bars? 0 Total bar seats? 0

Total number of "other" seats? 0 please explain:

Total OVERALL number of seats in Premises: 0

BARS:

How many *stand-up bars / bar seats are being applied for on the premises? Bars 1 Seats 0

How many service bars are being applied for on the premises? 0

Any food counters? no X yes, describe: an approximately 15 foot food counter will be installed where customers will order and receive food and drinks

For Alterations and Upgrades:

Please describe all current and existing bars / bar seats and specific changes: an approximately 15 foot food counter will be installed where customers will order and receive food and drinks

* A stand-up bar is any bar or counter (whether seating or not) over which a member of the public can order, pay for and receive food and alcoholic beverages.

PROPOSED METHOD OF OPERATION:

What type of establishment will this be? (check all that apply)

 Bar Bar & Food X Restaurant Club/ Cabaret Hotel Other:

What are the Hours of Operation?

Sunday: Monday: Tuesday: Wednesday: Thursday: Friday: Saturday:
11 AM to 11 PM 11 AM to 11 PM 11 AM to 11 PM 11 AM to 11 PM 11 AM to 11 PM 11 AM to 11 PM 11 AM to 11 PM

Will the business employ a manager? ☒ no ☐ yes, name / experience if known : _____

Will there be security personnel? ☒ no ☐ yes(if yes, what nights and how many?) _____

Do you have or plan to install French doors, accordion doors or windows that open? ☒ no ☐ yes

If yes, please describe : N/A

Will you have TV's ? ☒ no ☐ yes (how many?) _____

Type of MUSIC / ENTERTAINMENT: ☐ Live Music ☐ Live DJ ☐ Juke Box ☐ Ipod / CDs ☒ none

Expected Volume level: ☐ Background (quiet) ☐ Entertainment level ☐ Amplified Music
(check all that apply)

Do you have or plan to install soundproofing? ☒ no ☐ yes

IF YES, will you be using a professional sound engineer? N/A

Please describe your sound system and sound proofing: N/A

Will you be permitting: ☐ promoted events ☐ scheduled performances ☐ outside promoters

☐ any events at which a cover fee is charged? ☐ private parties

Do you have plans to manage or address vehicular traffic and crowd control on the sidewalk caused by your establishment? ☒ no ☐ yes (if yes, please attach plans)

Will you be utilizing ☐ ropes ☐ movable barriers ☐ other outside equipment (describe) _____
N/A

Are your premises within 200 feet of any school, church or place of worship? ☐ no ☒ yes

If there is a school, church or place of worship within 200 feet of your premises or on the same block, please submit a block plot diagram or area map showing its' location in proximity to your applicant premises (no larger than 8 ½ " x 11").

Indicate the distance in feet from the proposed premise:

Name of School / Church: Our Lady of Pompeii RC Church

Address: 25 Carmine Street, New York, NY 10014 Distance: 99.53 feet

Name of School / Church: _____

Address: _____ Distance: _____

Name of School / Church: _____

Address: _____ Distance: _____

Please provide contact information for Residents / Community Board and confirm that if complaints are made you will address it immediately.

Contact Person: Enrico Proietti Phone: _____

Address: _____

Email : _____

Application submitted on
behalf of the applicant by:


Signature

Print or Type Name _____ Jamie Rauch

Title _____ Attorney of Applicant

Thank you for your cooperation. Please return this questionnaire along with the other required documents as soon as you can. This will expedite your application and avoid any unnecessary delays. Use additional pages if necessary.



Community Board 2,
Manhattan SLA Licensing
Committee Donna Raftery, Chair

BUILDING DEPARTMENT NOTES:

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NYC BUILDING CODE FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS AND BEST
2. BEFORE COMMENCING WORK, CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, TRADE PRACTICES.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT AO ENGINEER. TRADE PRACTICES.
4. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
5. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
7. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY LICENSED IN THEIR TRADES WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
8. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
9. ALL PIPING AND WIRING TO BE DEMOLISH SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
10. ALL MATERIALS AND ASSEMBLIES TO BE APPROVED BY THE NYC BOARD OF STANDARDS AND APPEALS (BSA) OR THE MATERIALS AND EQUIPMENT ACCEPTANCE DIVISION (MEA).
11. WOOD AND OTHER COMBUSTIBLE MATERIAL MAY BE USED IN THE CONSTRUCTION OF INTERIOR FINISH ONLY IN ACCORDANCE WITH 27-348 OF THE BUILDING CODE.

PLUMBING INSTALLATION NOTES:

- 301.1 SCOPE.
- THE PROVISIONS OF THIS CHAPTER SHALL GOVERN THE GENERAL REGULATIONS REGARDING THE INSTALLATION OF PLUMBING NOT SPECIFIC TO OTHER CHAPTERS.
- 301.2 SYSTEM INSTALLATION. PLUMBING SHALL BE INSTALLED WITH DUE REGARD TO PRESERVATION OF THE STRENGTH OF STRUCTURAL MEMBERS AND PREVENTION OF DAMAGE TO WALLS AND OTHER SURFACES THROUGH FIXTURE USAGE.
- 301.3 CONNECTIONS TO THE SANITARY DRAINAGE SYSTEM. ALL PLUMBING FIXTURES, DRAINS, APPURTENANCES AND APPLIANCES USED TO RECEIVE OR DISCHARGE LIQUID WASTES OR SEWAGE SHALL BE DIRECTLY CONNECTED TO THE SANITARY DRAINAGE SYSTEM OF THE BUILDING OR PREMISES, IN ACCORDANCE WITH THE REQUIREMENTS OF THIS CODE. THIS SECTION SHALL NOT BE CONSTRUED TO PREVENT THE INDIRECT WASTE SYSTEMS REQUIRED BY CHAPTER 8.
- EXCEPTION:
- FIXTURES DISCHARGING WASTEWATER SHALL NOT BE REQUIRED TO DISCHARGE TO THE SANITARY DRAINAGE SYSTEM WHERE SUCH FIXTURES DISCHARGE TO A WATER RECYCLING SYSTEM IN ACCORDANCE WITH APPENDIX C.
- 301.4 CONNECTIONS TO WATER SUPPLY. EVERY BUILDING INTENDED FOR HUMAN HABITATION, OCCUPANCY OR USE SHALL BE DIRECTLY OR INDIRECTLY CONNECTED TO THE WATER SUPPLY SYSTEM IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE. EVERY PLUMBING FIXTURE, DEVICE OR APPLIANCE REQUIRING OR USING WATER FOR ITS PROPER OPERATION SHALL BE DIRECTLY OR INDIRECTLY CONNECTED TO THE WATER SUPPLY SYSTEM IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE.
- 301.5 PIPE, TUBE AND FITTING SIZES. UNLESS OTHERWISE SPECIFIED, THE PIPE, TUBE AND FITTING SIZES SPECIFIED IN THIS CODE ARE EXPRESSED IN NOMINAL OR STANDARD SIZES AS DESIGNATED IN THE REFERENCED MATERIAL STANDARDS.
- 301.6 PROHIBITED LOCATIONS. PLUMBING SYSTEMS SHALL NOT BE LOCATED IN AN ELEVATOR SHAFT AND PLUMBING SYSTEMS NOT RELATED TO ELEVATOR MACHINERY SHALL NOT BE LOCATED IN ELEVATOR EQUIPMENT ROOMS.
- EXCEPTION:
- FLOOR DRAINS, SUMPS AND SUMP PUMPS SHALL BE PERMITTED AT THE BASE OF THE SHAFT, PROVIDED THEY ARE INDIRECTLY CONNECTED TO THE PLUMBING SYSTEM.
- 301.7 CONFLICTS. IN INSTANCES WHERE CONFLICTS OCCUR BETWEEN THIS CODE AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, THE MORE RESTRICTIVE PROVISIONS SHALL APPLY
- SECTION PC 302 EXCLUSION OF MATERIALS DETRIMENTAL TO THE SEWER SYSTEM
- 302.1 DETRIMENTAL OR DANGEROUS MATERIALS. ASHES, CINDERS OR RAGS; FLAMMABLE, COMBUSTIBLE, POISONOUS OR EXPLOSIVE LIQUIDS OR GASES; OIL, GREASE OR ANY OTHER INSOLUBLE MATERIAL CAPABLE OF OBSTRUCTING, DAMAGING OR OVERLOADING THE BUILDING DRAINAGE OR SEWER SYSTEM, OR CAPABLE OF INTERFERING WITH THE NORMAL OPERATION OF THE SEWAGE TREATMENT PROCESSES; OR ANY OTHER SUBSTANCE OR MATERIAL PROHIBITED FROM BEING DISCHARGED INTO THE PUBLIC SEWERS IN ACCORDANCE WITH THE RULES OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, SHALL NOT BE DEPOSITED, BY ANY MEANS, INTO SUCH SYSTEMS.
- 302.2 INDUSTRIAL WASTES. WASTE PRODUCTS FROM MANUFACTURING OR INDUSTRIAL OPERATIONS SHALL NOT BE INTRODUCED INTO THE PUBLIC SEWER EXCEPT IN ACCORDANCE WITH THE RULES OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- SECTION PC 303 MATERIALS
- 303.1 IDENTIFICATION. EACH LENGTH OF PIPE AND EACH PIPE FITTING, TRAP, FIXTURE, MATERIAL AND DEVICE UTILIZED IN A PLUMBING SYSTEM SHALL BEAR THE IDENTIFICATION OF THE MANUFACTURER.
- 303.2 INSTALLATION OF MATERIALS. ALL MATERIALS USED SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE STANDARDS UNDER WHICH THE MATERIALS ARE APPROVED. IN THE ABSENCE OF SUCH INSTALLATION PROCEDURES, THE MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED. WHERE THE REQUIREMENTS OF REFERENCED STANDARDS OR MANUFACTURER'S INSTALLATION INSTRUCTIONS DO NOT CONFORM TO MINIMUM PROVISIONS OF THIS CODE, THE PROVISIONS OF THIS CODE SHALL APPLY.
- 303.3 PLASTIC PIPE, FITTINGS AND COMPONENTS. WHERE PERMITTED BY THIS CODE, PLASTIC PIPE, FITTINGS AND COMPONENTS SHALL BE THIRD-PARTY CERTIFIED AS CONFORMING TO NSF 14.
- 303.4 THIRD-PARTY TESTING AND CERTIFICATION.
- ALL PLUMBING PRODUCTS AND MATERIALS SHALL COMPLY WITH THE REFERENCED STANDARDS, SPECIFICATIONS AND PERFORMANCE CRITERIA OF THIS CODE AND SHALL BE IDENTIFIED IN ACCORDANCE WITH SECTION 303.1, WHEN REQUIRED BY TABLE
- 303.4. PLUMBING PRODUCTS AND MATERIALS SHALL EITHER BE TESTED BY AN APPROVED THIRD-PARTY TESTING AGENCY OR CERTIFIED BY AN APPROVED THIRD-PARTY CERTIFICATION AGENCY.
- TABLE 5-1 FIRE DIVISIONS NOTES**
- NONRESIDENTIAL KITCHENS NEED NOT BE SEPARATED BY FIRE SEPARATIONS FROM ADJOINING DINING SPACES, PROVIDED:
-) THE COOKING EQUIPMENT IS VENTED DIRECTLY TO THE OUTDOORS, AND
- 2) 2' DRAFT CURTAIN OF NONCOMBUSTIBLE MATERIAL, AT LEAST TWENTY-FOUR INCHES DOWN FROM THE CEILING, IS PROVIDED TO SEPARATE THE COOKING FACILITIES FROM DINING SPACES, AND
- 3) SPRINKLER HEADS CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SUBCHAPTER SEVENTEEN OF THIS CHAPTER, ARE PROVIDED ON THE COOKING FACILITIES SIDE OF THE CURTAIN, OR ANY OPENING BETWEEN THE KITCHEN AND DINING SPACE, LOCATED WITHIN TWENTY-FOUR INCHES OF THE CURTAIN OR OPENING, AND SPACED NOT MORE THAN FORTY-EIGHT INCHES ON CENTERS IF THE OPENING IS MORE THAN SIXTY INCHES WIDE. WHEN FIRE SEPARATIONS ARE PROVIDED DOUBLE-ACTION DOORS MAY BE PERMITTED.
- NOTE:
- NO CHANGE TO BELOW GRADE SEWAGE AS BUILDING SUBDRAIN HAS NO ISSUE WITH DISCHARGE TO THE SEWER BY GRAVITY FLOW. THUS NO GAS TIGHT COVERED AND VENTED EJECTOR/PIT BASIN REQUIRED FOR SCOPE OF WORK.

TR1 TECHNICAL REPORT STATEMENT OF RESPONSIBILITY:

- FIRE-RESISTANT PENETRATION AND JOINTS.....BC 1704.27
- TENANT PROTECTION PLAN COMPLIANCE.....BC 1705.26 (2022)
- ENERGY CODE COMPLIANCE INSPECTIONS.....TR8.....BC 110.3.5

TR8: TECHNICAL REPORT STATEMENT OF RESPONSIBILITY FOR ENERGY CODE PROGRESS INSPECTIONS

NYCECC TABULAR ANALYSIS:

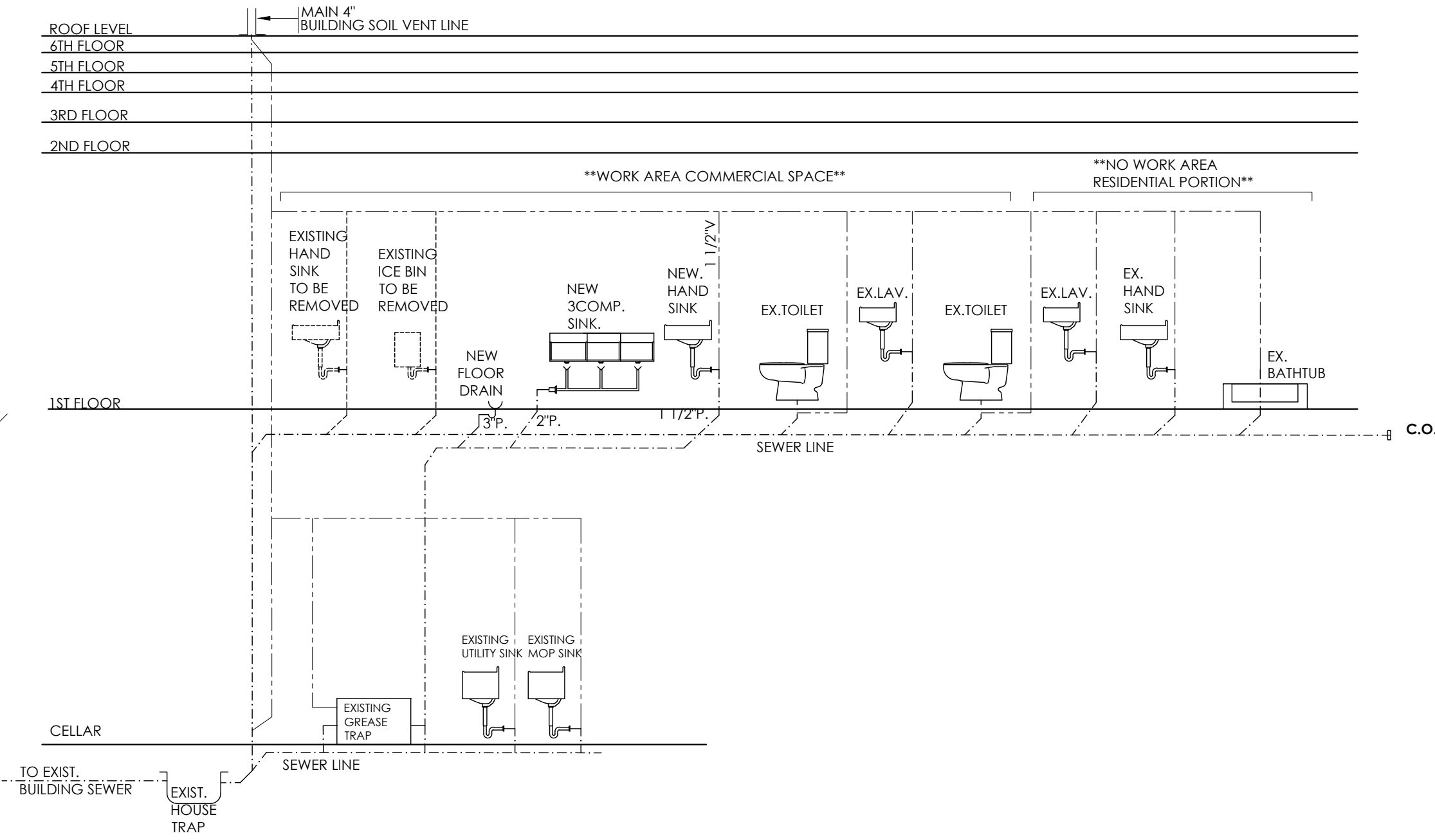
WORK ITEMS INCLUDING NEW AND/OR REPLACEMENT	PROPOSAL DESIGNED VALUES	CODE PRESCRIBED VALUE & CITATION
ENVELOPE, WINDOWS DOOR, STORE FRONT, BASEMENT	NA OR NO CHANGE	NA OR NO CHANGE
INTERIOR PARTITIONS BETWEEN CONDITIONED CORRIDOR AND CONDITIONED APARTMENT	NA OR NO CHANGE	NA OR NO CHANGE
PIPING INSULLATIONS	NA OR NO CHANGE	NA OR NO CHANGE
INTERIOR LIGHTING	NA OR NO CHANGE	NA OR NO CHANGE
EXTERIOR LIGHTING	NA OR NO CHANGE	NA OR NO CHANGE
HVAC SYSTEMS	NA OR NO CHANGE	NA OR NO CHANGE
OTHER NOTE:	INSTALLATION OF PLUMBING FIXTURES	

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, ALL WORK UNDER THIS APPLICATION IS IN COMPLIANCE WITH THE NYCECC 2020 CHAPTER C4.

SCOPE OF WORK:

-INSTALLATION OF PLUMBING FIXTURES AT PROPOSED TAKE OUT PIZZERIA

ASSOCIATED FILING:
CONSTRUCTION APPLICATION DOB NOW JOB # M01237751-I1
MECHANICAL APPLICATION DOB NOW JOB # M01216840-I1



PLUMBING RISER DIAGRAM

SCALE : NOT TO SCALE

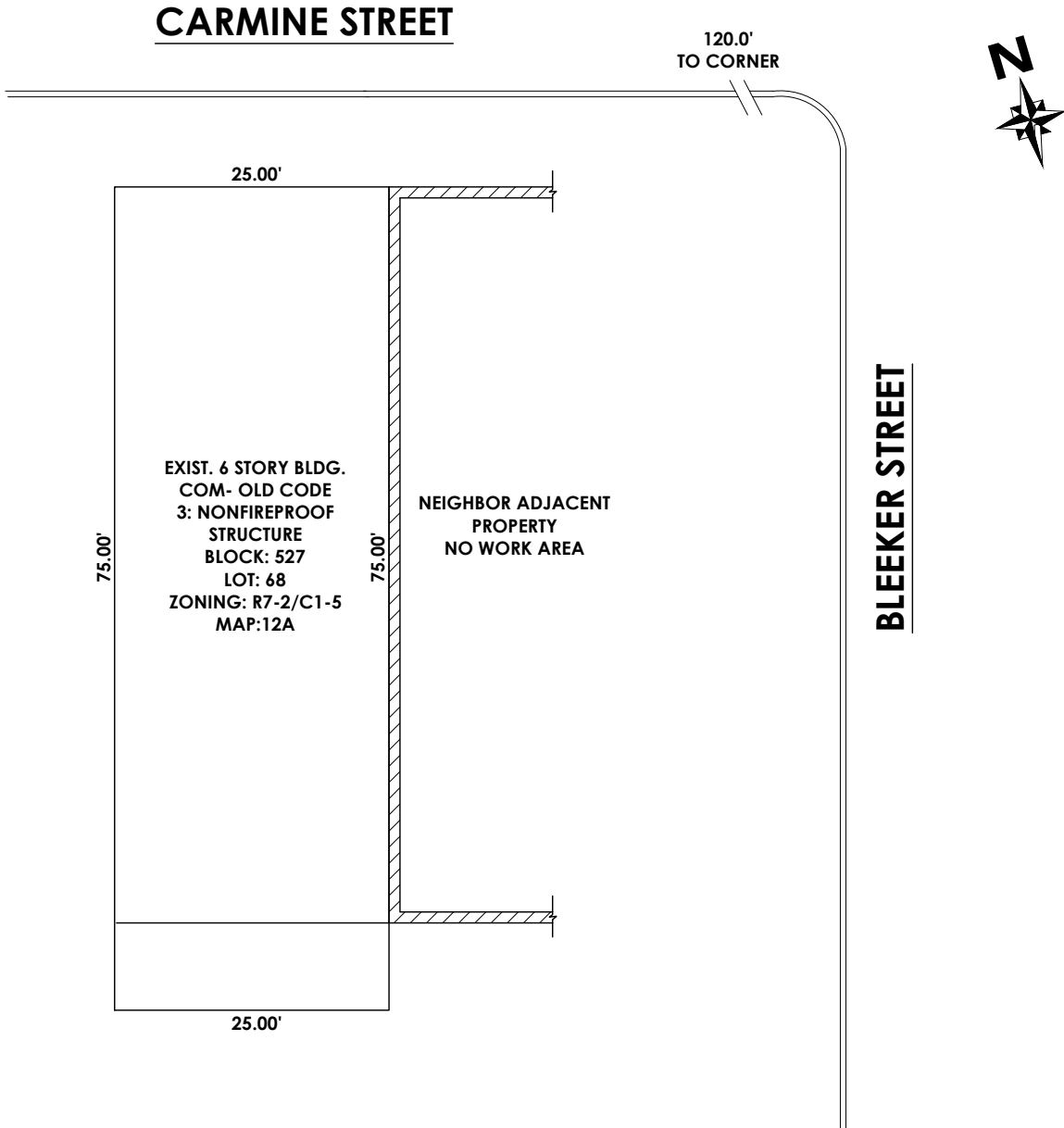
ELECTRIC COOKING EQUIPMENT SCHEDULE							
NUMBER	EQUIPMENT	MANUFACTURER	MODEL NUMBER	CERTIFICATION	CAPACITY	LOCATION FLOOR	QTY
01	DOUBLE DECK PIZZA OVEN	KRATOS	29M-063	UL LISTED	1.7 KW	FIRST FLOOR	02
02	TRIPLE DECK PIZZA OVEN	MORETTI	SERIES S EVOLUTION S120E	UL LISTED	3.6 KW	FIRST FLOOR	01
TOTAL					7.0 KW		03

DRAWING LIST:

PL-001.00----- PLOT PLAN, GENERAL NOTES RISER DIAGRAM
PL-002.00----- EXISTING / PROPOSED 1ST FL PLAN DETAILS

PLOT PLAN

SCALE: 1/16"=1'-0"



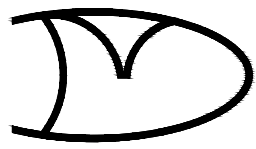
ZONING INFO:

BLOCK: 527
LOT: 68
ZONING: R7-2/C1-5
MAP: 12A

DRAWING LEGEND

REVISIONS

NUMBER	DATE	BIS JOB NUMBER



DRAFT MASTER
ENGINEERING P.C

35 -28 41st STREET
LONG ISLAND CITY NY 11101

TEL : 718-433-2550
FAX: 718-706-6119

PROJECT :

INSTALLATION OF PLUMBING
FIXTURES FOR PROPOSED TAKE OUT
PIZZERIA

30 CARMINE STREET
MANHATTAN NY 10014

WORK FLOOR :

FIRST FLOOR

DRAWING TITLE :

-GENERAL NOTES
-PLOT PLAN

Anthony Gurball PE
NY State License
074142

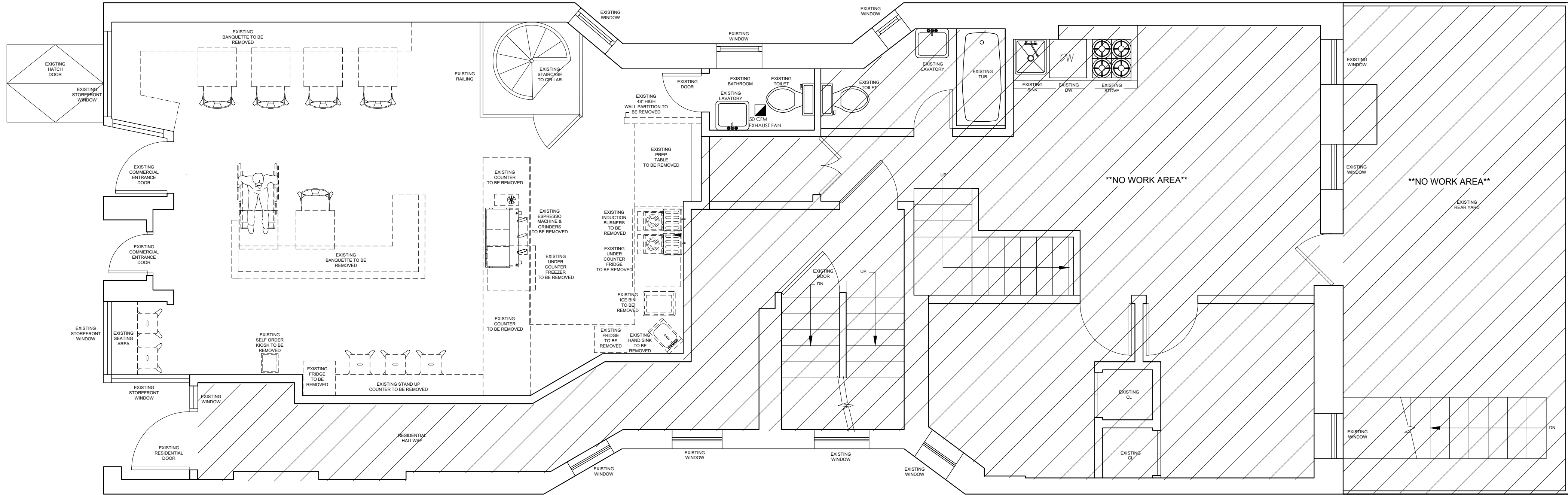


DATE	6.1.25
PROJECT NO.	30 CARMINE
DRAWING BY	RG
CHECK. BY	ANTHONY GURBALL
DRAWING NO.	

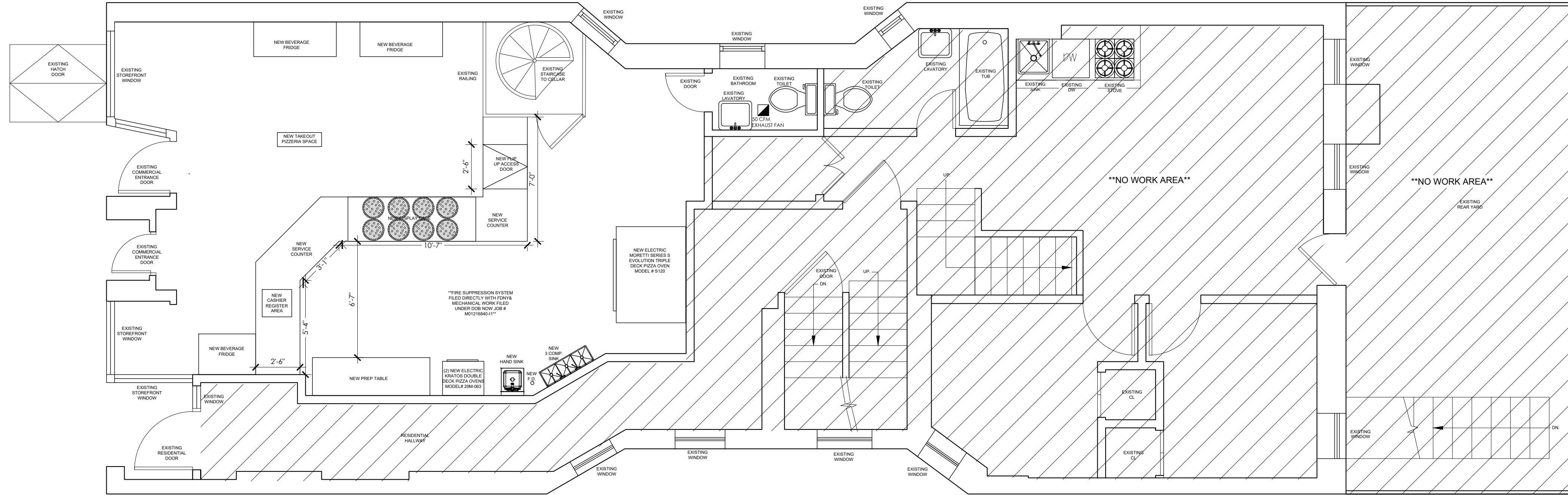
PL-001.00

1 OF 2

DOB NOW JOB # M01237751-S1



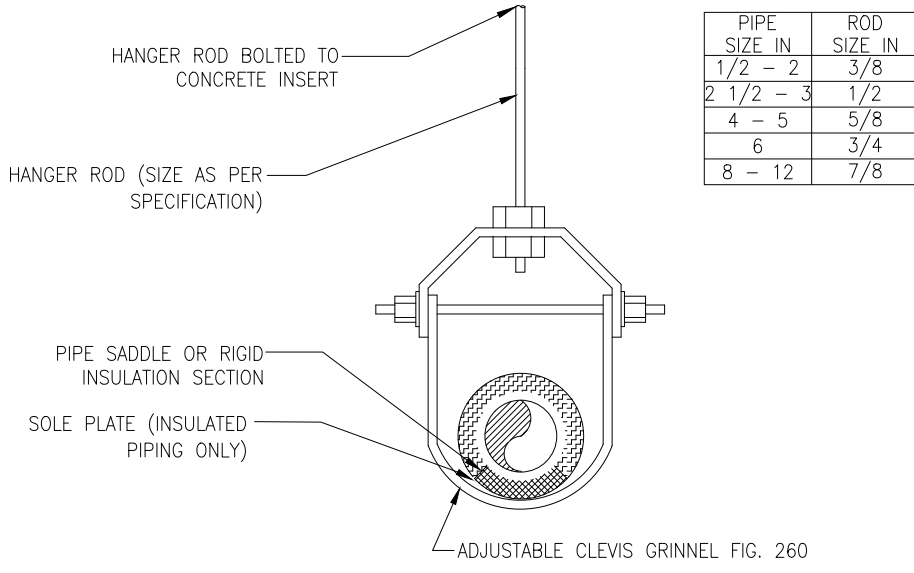
EXIST. FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

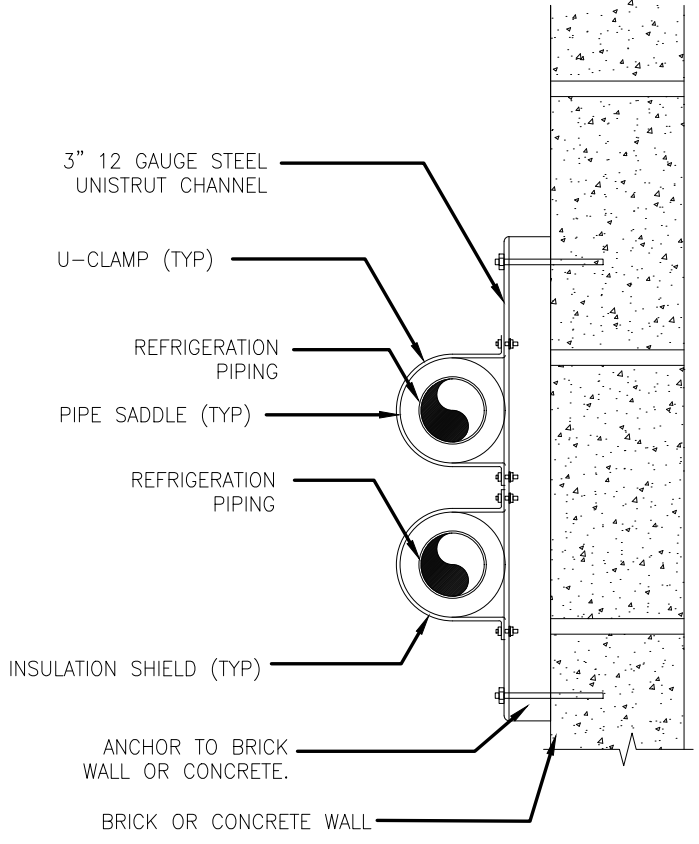
TABLE C403.2.8
MINIMUM PIPE INSULATION
(THICKNESS IN INCHES)

FLUID OPERATION TEMPERATURE RANGE AND USAGE (°F)	INSULATION CONDUCTIVITY		NOMINAL PIPE OR TUBE SIZE: (Inches)				
	CONDUCTIVITY Btu. in./ h. ft2. °F)b	MEAN RATING TEMPERATURE, °F	<1	1 TO < 1-1/2	1-1/2 TO <4	4 TO <8	≥ 8
141-200	0.25 -0.29	125	1.5	1.5	2.0	2.0	2.0



TYPICAL FOR ALL HOT WATER WATER PIPING UP TO 6"

SUSPENDED PIPING SUPPORT DETAIL
SCALE: NOT TO SCALE



PIPE WALL SUPPORT DETAIL
SCALE: NOT TO SCALE

DRAWING LEGEND

REVISIONS		
NUMBER	DATE	BIS JOB NUMBER

DRAFT MASTER
ENGINEERING P.C

35 -28 41st STREET
LONG ISLAND CITY NY 11101
TEL : 718-433-2550
FAX: 718-706-6119

PROJECT :
**INSTALLATION OF PLUMBING
FIXTURES FOR PROPOSED TAKE OUT
PIZZERIA**

30 CARMINE STREET
MANHATTAN NY 10014

WORK FLOOR :
FIRST FLOOR

DRAWING TITLE :
-EXISTING 1ST FLOOR PLAN
-PROPOSED 1ST FLOOR PLAN



DATE	6.1.25
PROJECT NO.	30CARMINE
DRAWING BY	RG
CHECK, BY	ANTHONY GURBAIL
DRAWING NO.	PL-002.00

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS, DETAILS AND JOB CONDITIONS PRIOR TO COMMENCING ANY WORK, AND REPORT ANY DISCREPANCY TO ATTENTION OF ENGINEER.
2. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE REQUIREMENTS OF SAFETY OF PUBLIC AND PROPERTY DURING CONSTRUCTION, AND SHALL BE HELD RESPONSIBLE FOR SAFE MAINTENANCE UNTIL COMPLETION OF ALL WORK.
3. NO DRAWINGS TO BE SCALED. DIMENSIONS ARE TO BE USED.
4. ARCHITECT/ENGINEER HAS NOT BEEN RETAINED FOR THE FULL SUPERVISION OF WORK AND IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR ARCHITECT/ENGINEER OF ANY DISCREPANCY OR CHANGE ON THE APPROVED PLANS AND OF ANY UNFORESEEN DEVELOPMENT THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION. ANY DEVIATION FROM THE APPROVED PLANS REQUIRE AN AMENDMENT AND APPROVAL OF SAME BY THE BUILDING DEPARTMENT.
5. LOCATIONS OF EQUIPMENT SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL MAKE FIELD ADJUSTMENT AS NECESSARY.
6. ALL WIRING, OUTLETS APPURTENANCES TO COMPLY WITH THE REQUIREMENTS OF THE N.Y.S. ELECTRICAL CODE. ALL OUTLETS, SWITCHES, BELL SYSTEMS, ETC. TO BE LOCATED AS DIRECTED BY THE OWNER IF NOT SHOWN ON PLANS.
7. CEILING OPENINGS FOR ELECTRICAL, OUTLET BOXES AND RECESSED LIGHTING FIXTURE MAY NOT EXCEED 16 SQ. FT. FOR EACH 90 SQ. FT. OF CEILING AREA.
8. PIPING AND EQUIPMENT ARE INDICATED IN SCHEMATIC FORM. THE CONTRACTOR SHALL PROVIDE NECESSARY OFFSETS, TRANSITIONS, BENDS, AND ADJUSTMENT IN LOCATION SUBJECT APPROVAL OF ENGINEER.
10. SUSPENDED CEILING SHALL COMPLY WITH APPLICABLE SECTION OF BUILDING CODE, WITH METAL HANGERS, PURING AND RUNNERS AS REQUIRED.

GENERAL REQUIREMENTS

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NEW YORK ZONING CODE, AND THE DIRECTIONS OF THE CITY OF NEW YORK BUILDING DEPARTMENT. SHOULD ANYTHING CONTAINED IN THE CONTRACT DOCUMENTS BE A VARIANCE WITH SAID CODES, CONTRACTORS SHALL IMMEDIATELY INFORM THE ARCHITECT.
2. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS ON THESE DOCUMENTS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE WORK AND THE ARCHITECT SHALL BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THE DRAWINGS.
3. CONTRACTORS SHALL PROVIDE ALL ITEMS AND LABOR NECESSARY FOR THE COMPLETION OF THE WORK SHOWN ON THE CONTRACT DOCUMENTS WHETHER THOSE ITEMS ARE EXPRESSLY SPECIFIED OR NOT, INCLUDING, BUT NOT LIMITED TO TAX, PURCHASE, DELIVERY ARRANGEMENTS AND STORAGE.
4. PRIOR TO THE SUBMISSION OF BIDS, CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH CONSTRUCTION DOCUMENTS AND INSPECT THE EXISTING CONDITIONS AND ADVISE THE ARCHITECT OF ANY CONDITIONS WHICH MIGHT INTERFERE WITH THE WORK OR CAUSE ANY MODIFICATIONS TO THE PROPOSED NEW CONSTRUCTION.
5. CONTRACTORS SHALL PROVIDE SUPERVISION ADEQUATE FOR THE COMPLETION OF
6. CONTRACTORS SHALL COORDINATE ALL LABOR AND MATERIALS INVOLVED IN THE PROJECT AND BE RESPONSIBLE FOR SCHEDULING OF TRADES INVOLVED. THE WORK.
7. CONTRACTORS SHALL BE LICENSED AND INSURED FOR LIABILITY AND PROPERTY DAMAGE AS REQUIRED BY LAW AND THE BUILDING OWNER SHALL SUBMIT SUCH PROOF TO THE OWNER AND ARCHITECT TO AVOID THAT ANY CLAIMS AND/OR LIENS ON THE WORK BE ASSOCIATED WITH THE OWNER AND ARCHITECT.
8. CONTRACTORS SHALL CARRY INSURANCE FOR A MINIMUM OF 100 PERCENT OF THE VALUE OF WORK IN PLACE AND SHALL COMPLY WITH ANY AND ALL ADDITIONAL SUCH REQUIREMENTS.
9. CERTIFICATES OF INSURANCE TO BE FILED WITH THE BUILDING OWNER AND ARCHITECT LISTING EACH AS CO-INSURED.
10. CONTRACTORS SHALL BE RESPONSIBLE FOR AND SHALL OBTAIN AND PAY FEES FOR ANY AND ALL PERMITS NECESSARY TO COMPLETE THE WORK, INCLUDING, BUT NOT LIMITED TO, PLUMBING, MECHANICAL AND ELECTRICAL INSPECTIONS AND WORK.
11. NO EXTRA WORK SHALL BE PERFORMED OR ADDITIONAL CHARGES BE MADE UNLESS AUTHORIZATION IS OBTAINED IN WRITING FROM THE OWNER AND ARCHITECT PRIOR TO SUCH WORK.
12. CONTRACTORS SHALL EXAMINE CONTRACT DOCUMENTS FOR ALL ITEMS AND VERIFY THEIR AVAILABILITY TO ASSURE THAT THE WORK WILL PROCEED WITHOUT DELAY. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
13. CONTRACTORS SHALL MAINTAIN CONTINUOUS AND ADEQUATE PROTECTION OF ALL EXITING CONDITIONS AND NEW CONSTRUCTION, AND SHALL REPAIR OR REPLACE ANY WORK, NEW OR EXISTING, WHICH IS DAMAGED.
14. CONTRACTORS SHALL KEEP JOB SITE FREE OF DEBRIS AND HAZARDOUS CONDITIONS AND BE RESPONSIBLE FOR THE REMOVAL OF ALL EQUIPMENT AND DEBRIS PRIOR TO RECEIPT OF PAYMENT. ALL WORK PROCEDURES AND METHODS SHALL COMPLY WITH OSHA AND OTHER APPLICABLE REGULATIONS.
15. CONTRACTORS SHALL THOROUGHLY EXAMINE ALL CONTRACT DOCUMENTS AND IMMEDIATELY ADVISE THE ARCHITECT OF ANY ERRORS, CONFLICTS OR DISCREPANCIES IN THE DOCUMENTS IN WRITING. ARCHITECT WILL NOT BE LIABLE FOR ASSUMPTIONS MADE BY THE CONTRACTOR.
16. ALL WORK AND EQUIPMENT SHALL BE FULLY GUARANTEED FOR ONE YEAR FORM THE DATE OF FINAL PAYMENT.
17. THE CONTRACTOR SHALL COOPERATE WITH OTHERS REQUIRING STORAGE AT THE SITE.
18. ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER AND IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
19. CONTRACTOR TO ENSURE ADEQUATE CLEARANCE FOR MOVING ALL MATERIALS, ASSEMBLIES AND EQUIPMENT ONTO AND OFF THE SITE AS REQUIRED.
20. THE CONTRACTOR SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS, ARRANGE FOR ALL INSPECTIONS, OBTAIN ALL PERMITS AND CERTIFICATES OF APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THIS CONTRACT. HE SHALL COMPLY WITH ALL LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS AND WITH THE CITY OF NEW YORK BUILDING CODE AND THE DIRECTION OF THE DESIGNATED BUILDING INSPECTOR.
21. CONTRACTOR SHALL APPROPRIATELY COORDINATE WORK COMPLETED AND SCHEDULE ARCHITECT'S SITE OBSERVATIONS.
22. CONTRACTOR SHALL COORDINATED AND COMPLY WITH BUILDING OWNER SCHEDULING REQUIREMENTS AND COMMUNICATE WITH BUILDING OWNER.
23. ALL NOTES APPLY TO BOTH THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS AS WELL AS ANY WORKERS AND TRADES EMPLOYED BY THE OWNER UNDER OTHER AGREEMENTS.
24. CONTRACTOR SHALL SUBMIT A SUCH LIST OF WORK REMAINING AFTER SUBSTANTIAL COMPLETION TO THE ARCHITECT AND PROCEED TO COMPLETE THIS WORK WITHIN A TWO WEEK PERIOD.
25. ALL MATERIALS AND EQUIPMENT SPECIFIED FOR THIS PROJECT ARE TO BE NEW AND UNUSED, BEST OF THEIR RESPECTIVE KINDS AND FREE OF DEFECTS.
26. ARCHITECT CERTIFIES THAT THESE DRAWINGS ARE IN COMPLIANCE WITH HANDICAPPED CODE.
27. CONTRACTOR SHALL SUBMIT SAMPLES OF ANY AND ALL MATERIALS, FINISHES, COLORS, ETC. USED FOR THIS WORK TO THE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE OR INSTALLATION.
28. ALL AREAS FINISHED ON SITE TO HAVE SAMPLE AREA PREPARED TO BE APPROVED BY

TR1: TECHNICAL REPORT STATEMENT OF RESPONSIBILITY

SPECIAL INSPECTION ITEMS

- FIRE-RESISTANT PENETRATION AND JOINTSBC 1704.27
- TENANT PROTECTION PLAN COMPLIANCE.....BC 1705.26 (2022)

PROGRESS INSPECTION ITEMS

- FINAL28-116.2.4.2 BC 110.5
- DIRECTIVE 14 OF 1975, AND RCNY §101-10

TR8: TECHNICAL REPORT STATEMENT OF RESPONSIBILITY FOR ENERGY CODE PROGRESS INSPECTIONS.

SCOPE OF WORK:

-INTERIOR RENOVATION FOR CHANGE OF EXISTING CAFE INTO TAKE OUT PIZZERIA

PLUMBING FILED UNDER

DOB NOW JOB # M01237751-S1

MECHANICAL APPLICATION DOB NOW JOB # M01216840-I1

NYCECC TABULAR ANALYSIS:

WORK ITEMS INCLUDING NEW AND/OR REPLACEMENT	PROPOSAL DESIGNED VALUES	CODE PRESCRIBED VALUE & CITATION
ENVELOPE, WINDOWS DOOR, STORE FRONT, BASEMENT	NA OR NO CHANGE	NA OR NO CHANGE
INTERIOR PARTITIONS BETWEEN CONDITIONED CORRIDOR AND CONDITIONED APARTMENT	NA OR NO CHANGE	NA OR NO CHANGE
PIPING INSULATIONS	NA OR NO CHANGE	NA OR NO CHANGE
INTERIOR LIGHTING	NA OR NO CHANGE	NA OR NO CHANGE
EXTERIOR LIGHTING	NA OR NO CHANGE	NA OR NO CHANGE
HVAC SYSTEMS	NA OR NO CHANGE	NA OR NO CHANGE
OTHER NOTE:	NA OR NO CHANGE	

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, ALL WORK UNDER THIS APPLICATION IS IN COMPLIANCE WITH THE NYCECC 2020 CHAPTER C4.

ACCESSIBILITY COMPLIANCE

-PLANS TO BE IN COMPLIANCE WITH BC 1101.3.2 FOR ACCESSIBLE FEATURES AND CONSTRUCTION , WHERE VALUE OF THE ALTERATION DOES NOT EXCEED 50 PERCENT OF THE VALUE OF THE EXISTING BUILDING, COMPLIANCE WITH ADA REQUIREMENTS FOR BATHROOM, ACCESSIBILITY FOR MANEUVERABILITY AND DESIGNATED SECTION FOR ACCESSIBILITY PATRON TO DINE.

-IN ACCORDANCE WITH BC 1103.3.2.2 EMPLOYEE WORK AREAS SHALL BE CONSTRUCTED SO THAT INDIVIDUALS WITH DISABILITIES CAN APPROACH, ENTER AND EXIT THE WORK AREA, IN ADDITION AT LEAST ONE BUT NOT LESS THAN 5 PERCENT OF FIXED SEATING, TABLES, DESK AND WORK SURFACES, IF PROVIDED WITHIN EMPLOYEE WORKING AREAS SHALL BE LOCATED ON AN ACCESSIBLE ROUTE AND COMPLY WITH SECTION 902.

-IN COMPLIANCE WITH BC 1104.3.1 EMPLOYEE WORK AREA COMMON USE CIRCULATION PATHS WITHIN EMPLOYEE WORK AREA SHALL BE ACCESSIBLE ROUTES.

-IN COMPLIANCE WITH BC 907.5.2.3.1. PUBLIC AND COMMON AREA SHALL HAVE VISIBLE ALARM NOTIFICATION APPLIANCE PROVIDED IN PUBLIC USE AREAS AND COMMON USE AREAS AS DEFINED IN CHAPTER 2

DRAWING LIST:

A-001.00----- PLOT PLAN, GENERAL NOTES

A-002.00----- EXISTING / PROPOSED 1ST FL PLAN

PLOT PLAN

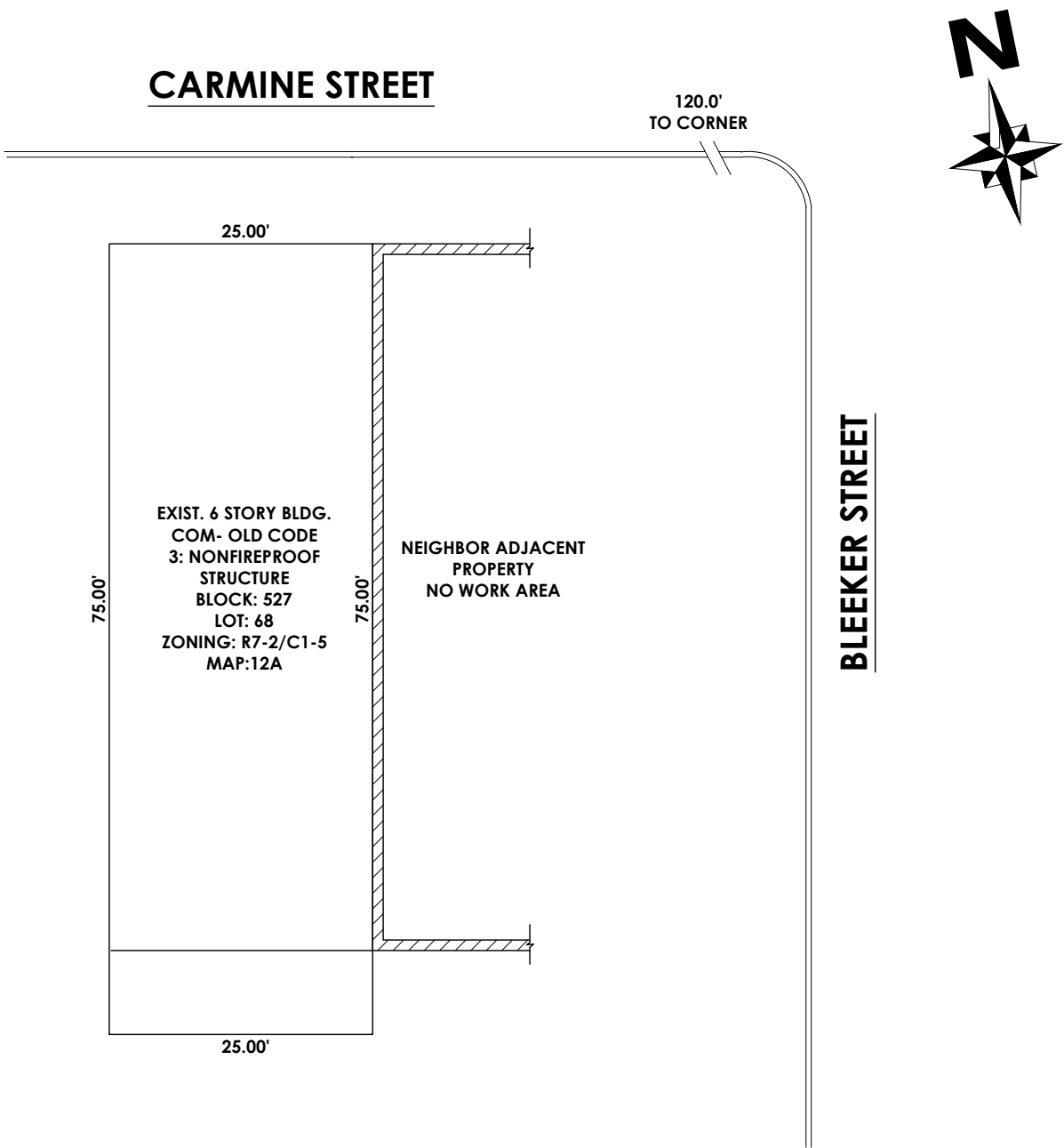
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BLOCK: 527

LOT : 68

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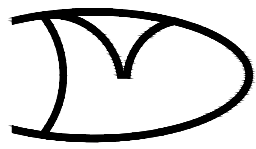
MAP : 12A



DRAWING LEGEND

REVISIONS

NUMBER	DATE	BIS JOB NUMBER



DRAFT MASTER
ENGINEERING P.C

35 -28 41st STREET
LONG ISLAND CITY NY 11101

TEL : 718-433-2550
FAX: 718-706-6119

PROJECT :

INTERIOR RENOVATION FOR
CHANGE OF EXISTING CAFE INTO
TAKE OUT PIZZERIA

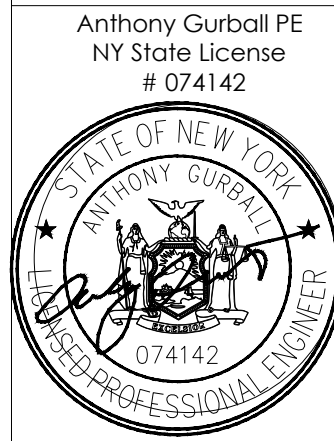
30 CARMINE STREET
NEW YORK NY 10014

WORK FLOOR :

FIRST FLOOR

DRAWING TITLE :

-GENERAL NOTES
-PLOT PLAN

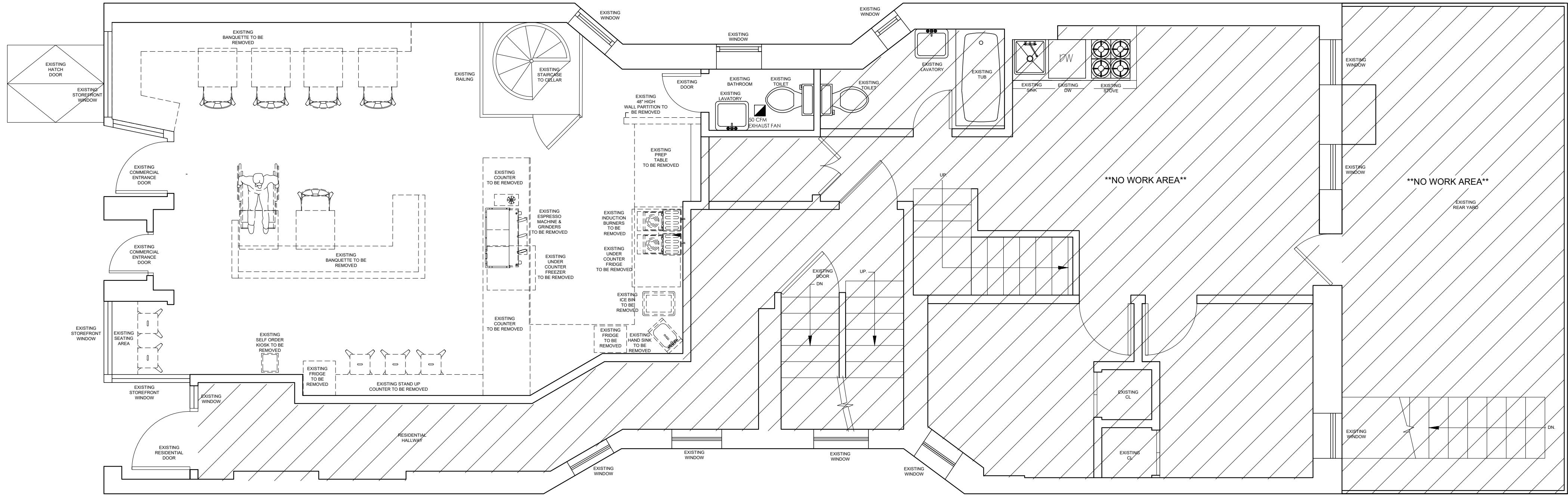


DATE	6.5.25
PROJECT NO.	30CARMINE
DRAWING BY	RG
CHECK, BY	ANTHONY GURBAIL
DRAWING NO.	

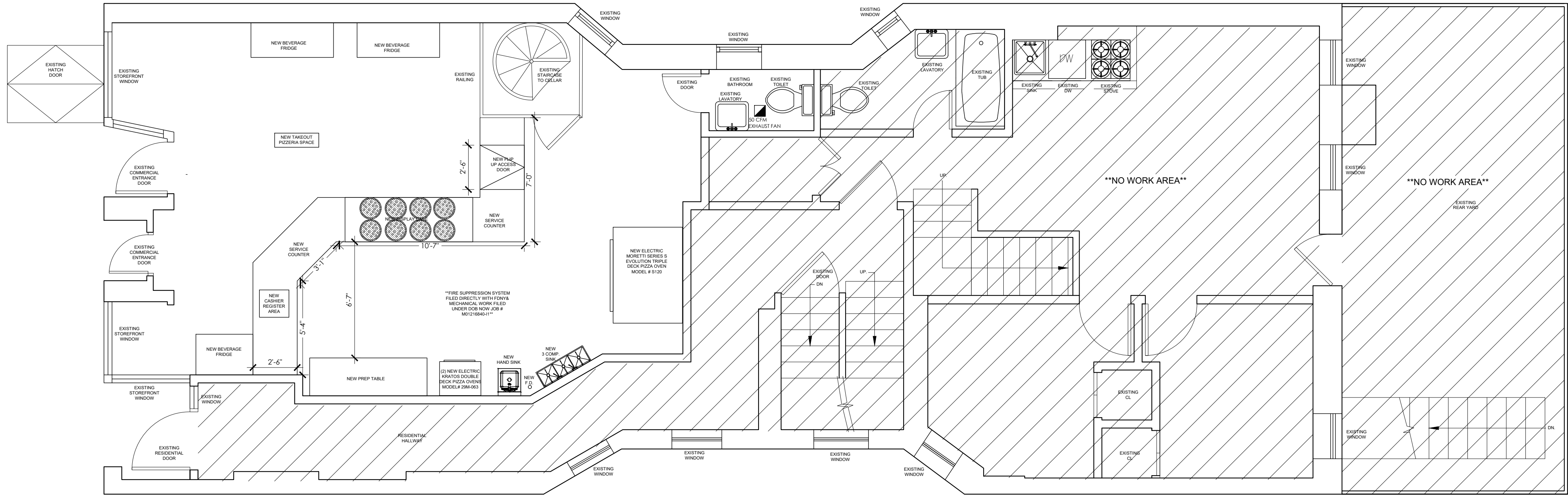
A-001.00

1 OF 3

DOB NOW JOB # M01237751-I1



EXIST. FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

DRAWING LEGEND

REVISIONS		
NUMBER	DATE	BIS JOB NUMBER

 DRAFT MASTER
ENGINEERING P.C.


35 -28 41st STREET
LONG ISLAND CITY NY 11101
TEL : 718-433-2550
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PROJECT :
**INTERIOR RENOVATION FOR
CHANGE OF EXISTING CAFE INTO
TAKE OUT PIZZERIA**

30 CARMINE STREET
NEW YORK NY 10014

WORK FLOOR :
FIRST FLOOR

DRAWING TITLE :
-EXISTING 1ST FLOOR PLAN
-PROPOSED 1ST FLOOR PLAN

	DATE	6.1.25
	PROJECT NO.	30CARMINE
	DRAWING BY	RG
	CHECK. BY	ANTHONY GURBALL

DRAWING NO.
A-002.00
2 OF 3

DOB NOW JOB # M01237751-I1