

# ALT 2- ROOF ADDITION & INTERIOR RENOVATIONS

ADDRESS:460-462 WEST BROADWAY NEW YORK, NY 10012

## GENERAL NOTES

1. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN ALL REQUIRED PERMITS BEFORE THE START OF WORK AND SHALL OBTAIN ALL REQUIRED APPROVALS UPON COMPLETION.

2. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, CODES, AND REGULATIONS AND ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK AND SECURE ANY REQUIRED CERTIFICATES OF INSPECTION, TESTING, OR APPROVAL.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. ALL NECESSARY SIGNS SHALL BE POSTED WARNING AGAINST DANGERS.

4. THE CONTRACTOR SHALL PURCHASE AND MAINTAIN SUCH INSURANCE AS WILL PROTECT HIM FROM CLAIMS WHICH MAY ARISE OUT OF OR RESULT FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT.

5. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND ARCHITECT FROM ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.

6. ALL CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY CONDITIONS AND DIMENSIONS AT THE SITE AND SHALL INFORM THE ARCHITECT OF ANY AND ALL ERRORS, OMISSIONS, AND CLARIFICATIONS BEFORE THE START OF THE WORK.

7. ANY DEVIATION BETWEEN THE DIMENSIONS FURNISHED ON THE DRAWINGS AND ACTUAL FIELD DIMENSIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE CUTTING, FITTING, AND PATCHING THAT MAY BE REQUIRED TO COMPLETE WORK OR TO MAKE ITS SEVERAL PARTS FIT TOGETHER CORRECTLY.

10. ALL WORK SHALL BE PERFORMED BY SKILLED TRADESMEN AND SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH GENERALLY ACCEPTED STANDARDS.

11. ALL EQUIPMENT PROVIDED BY THE CONTRACTOR OR THE OWNER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

12. WHERE THE CODE PRESCRIBES THE USE OF A PARTICULAR MATERIAL AND ALTERNATE MATERIALS ARE TO BE SUBSTITUTED, IT SHALL BE SHOWN TO BE EQUIVALENT TO THE SPECIFIED MATERIAL TO THE SATISFACTION OF THE COMMISSIONER OF BUILDINGS.

13. ALL ELECTRICAL WIRING AND CIRCUITRY SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ELECTRICAL WORK SHALL COMPLY WITH NATIONAL AND LOCAL ELECTRICAL CODES, AND THE REQUIREMENTS OF THE LOCAL UTILITY COMPANY.

14. THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL WORK WILL BE OF THE BEST QUALITY, FREE FROM FAULTS AND DEFECTS. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR STARTING WITH THE DATE OF FINAL PAYMENT. DURING THE TIME THE CONTRACTOR SHALL MAKE GOOD ANY DEFECTS IN THE WORK.

## PROJECT DIRECTORY

**ARCHITECT:** dY-O design office  
143 WEST 29 STREET  
NEW YORK, NY 10001  
  
CONTACT: STEFANO MORISI, R.A. A.I.A.  
POSITION: PRINCIPAL  
1-917-960-3961  
WWW.STUDIODYO.COM  
INFO@STUDIODYO.COM

**BUILDING LANDLORD:** CRISTINA CALORI  
CONY REALTY, INC.  
444 MADISON AVE  
NEW YOR, NY 10022

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16	A-700.00	SIGHTLINE	1	12/11/2023
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## PROFESSIONAL STATEMENT

(PER ECC 101.5.2.1)

"TO THE BEST OF MY KNOWLEDGE BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 NEW YORK CITY ENERGY CONSERVATION CODE (NYCECC) CHAPTER C4,"AS PER CH C5 OF THE 2020 ECCNY.

## ASHRAE STANDARD 90.1 ENERGY CODE

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ASHRAE STANDARD 90.1 ENERGY CODE.

## BUILDING INFORMATION

EXISTING	PROPOSED
BLDG TYPE: MIXED RESIDENTIAL & COMMERCIAL	MIXED USE COMM / RES
COMMUNITY BOARD: MANHATTAN 10012	
BLOCK: 516	
LOT: 7501	
BIN: 1087256	
ZONING MAP: 12C	
ZONE: M1-5A	
LANDMARK BUILDING: L - LANDMARK	
C OF O: 117105	
MULTIPLE DWELLING CLASSIFICATION: HAEA	
OCC. CLASS (1968): CELLAR: RETAIL 1ST: RETAIL 2ND: ART GALLERY & JMWQA 3RD: JMWQA 4TH-5TH: OFFICE & JMWQA	
ZONING USE GROUP: M1-5A - LIGHT MFR DISTRICT	
CONST. CLASS: 3, NON-FIREPROOF	
HEIGHT: 5 STORIES (65')	5 STORIES (65') + ROOF ADDITION

## ABBREVIATIONS

Pound OR Number	HI	High
& And	HP	High Point
@ At	HVAC	Heating,Ventilating,AirConditioning
AD Area Drain	INSUL	Insulated or Insulation
AFF Above Finished Floor	INT	Interior
ALUM Aluminum	LBR	Load Bearing
ANOD Anodized	LO	Low
BYND Beyond	MAX	Maximum
BOT Bottom	MO	Masonry Opening
CJ Control Joint	MECH	Mechanical
CLG Ceiling	MEMBR	Membrane
CLR Clear	MIN	Minimum
CONT Continuous	MTL	Metal
CTYD Courtyard	NIC	Not In Contract
DBL Double	NLB	Non Load Bearing
DEMO Demolish/Demolition	NO	Number
DIA Diameter	OC	On Center
DIM Dimension	PLUMB	Plumbing
DN Down	PLYD	Plywood
DR Door	PT	Pressure Treated
DWG Drawing	PNT	Paint or Painted
EA Each	RD	Roof Drain
EL Elevation	REQD	Required
ELEC Electrical	RM	Room
EQ Equal	SIM	Similar
EXIST Existing	SPEC	Specification
EXT Exterior	SS	Stainless Steel
FC Floor to Ceiling Height	STL	Steel
FD Floor Drain	TO	Top Of
FS Floor to Sill Height	TYP	Typical
FIXT Fixture	UNO	Unless Noted Otherwise
GALV Galvanized	U/S	Underside
	VIF	Verify In Field
	W/	With

## PLOT PLAN

## PROJECT INFORMATION

SCOPE OF WORK: VERTICAL ENLARGEMENT OF EXISTING OFFICE IN 5-STORY BUILDING AT 462 WEST BROADWAY, NEW YORK. NEW USE TO BE OFFICE. EXISTING BUILDING IS JMWQA AS PER CO.

## APPROVED DOB JOBS

120151904 SPRINKLER

## ZONING MAP 12C



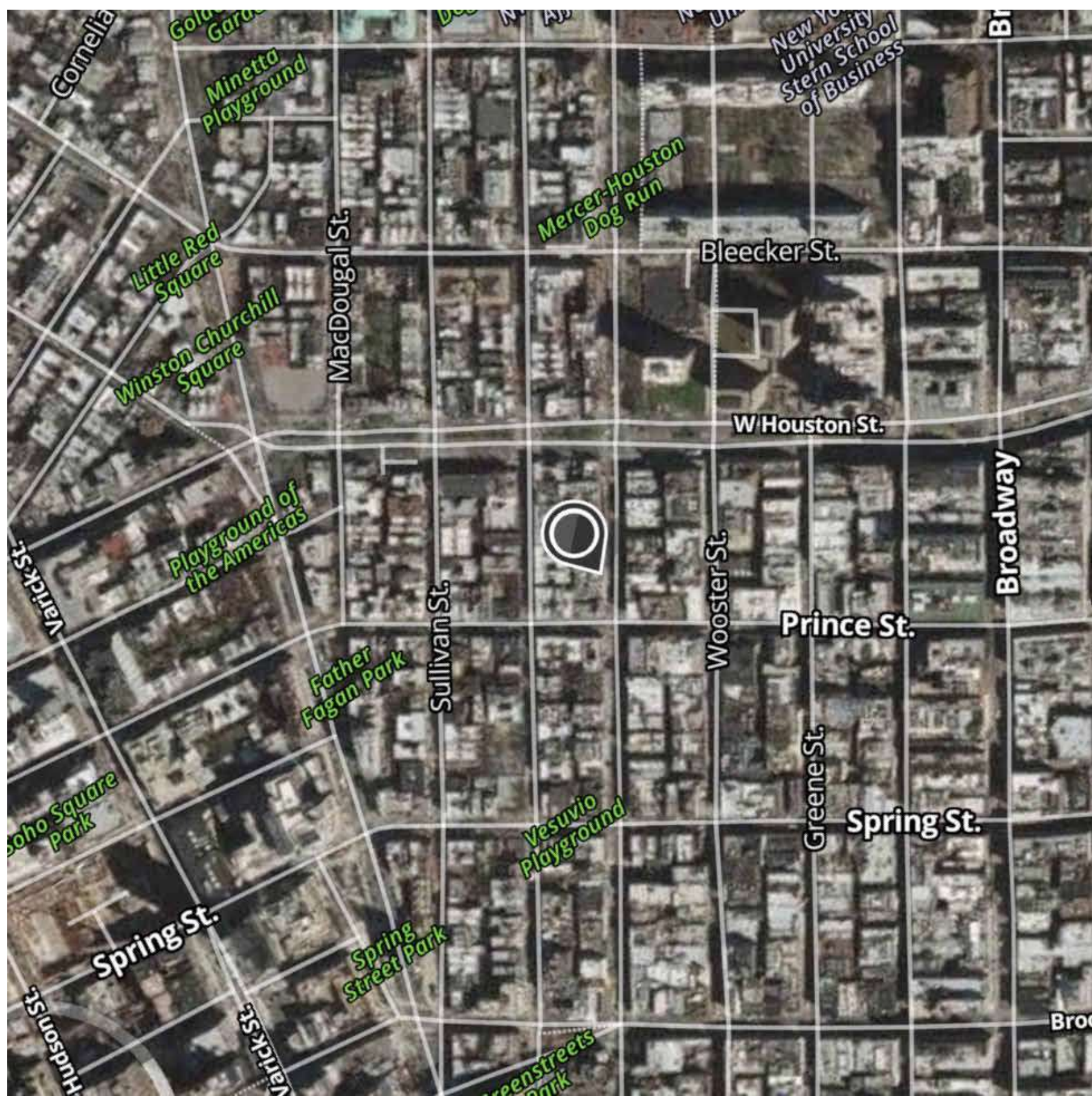
## ARCHITECTURAL SYMBOL LEGEND

101 DOOR TAG	CL CENTERLINE	1 Ref 1 Ref 1 Ref ELEVATION MARK	N NORTH ARROW
11 WINDOW TAG	20R @ 7 1/2" STAIR RUN TAG	1 Ref 1 Ref SECTION HEAD	101 ROOM TAG
11 WALL TAG	Name Elevation LEVEL HEAD		

## SITE LOCATION



## AERIAL VIEW



## PROJECT INFORMATION:

ADDRESS:	460-462 WEST BROADWAY NEW YORK, NY 10012
DATE:	06/23/2022
GROSS FLOOR AREA:	15,204SF

## ARCHITECT OF RECORD:

**dY-O**  
design office

DY-O DESIGN OFFICE  
143 WEST 29 STREET  
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## DESIGN ARCHITECT:

**MCF**  
Architect  
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## OWNER:

CRISTINA CALORI  
CONY REALTY, INC.  
444 MADISON AVE  
NEW YOR, NY 10022

## DOB JOB #:

120070485

## DISCLAIMER:

The architect shall not have control or charge of and shall not be responsible for construction means, methods, deviations, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, sub-contractors, or any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents. written dimensions on this drawing shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. shop details must be submitted to this office for review before proceeding with fabrication, not valid for construction unless signed and sealed by the architect and approved by the department of buildings.

Rev	Date	Description	Issued By	Issued To
1	12/11/2023	DOB Submission 1	DYO	DOB

## SHEET TITLE:

COVER SHEET

## SEAL AND SIGNATURE

DATE	MM/DD/YYYY
DRAWN BY	BB
CHECKED BY	SM
DYO NO.	220809

**T-100.00**

SHEET 01 OF 21



BUILDING INFO	
ADDRESS:	460-462 WEST BROADWAY
BLOCK	516
LOT	7501
COMMUNITY DISTRICT	MANHATTAN 10012
STREET TYPE	NARROW (70')
LANDMARK STATUS	YES
LANDMARK TYPE	HISTORIC DISTRICT
HISTORIC DISTRICT	SoHo-Cast Iron Historic District Extension
LPC DESIGNATION DATE	MAY 11,2010
LOT FRONTAGE	50'
LOT DEPTH	75'
LOT AREA	3750 SF
BUILDING FOOTPRINT	3750 SF
ZONING MAP	12C
ZONING	M1-5A - LIGHT MANUFACTURING DISTRICT (HIGH PERFORMANCE)
SPECIAL ZONING DISTRICT	SoHo-NoHo Mixed Use District (SNX)

GENERAL ZONING NOTES

Zoning Resolution Articles that apply to this project:  
Art.I Chapter 5: Residential Conversion within Existing Buildings  
Art.III Chapter 5: Bulk Regulations for Mixed Buildings in Commercial Districts

Multiple Dwelling law Article 277 (Residential conversion)

**12-10 Definitions**  
**Mixed building (2/2/11):** A "mixed building" is a #building# in a #Commercial District# used partly for #residential use# and partly for #community facility# or #commercial use#.

**Enlargement, or to enlarge (2/2/11):** An "enlargement" is an addition to the #floor area# of an existing #building#, an increase in the size of any other structure, or an expansion of an existing #use#, including any #uses accessory# thereto, to an open portion of a #zoning lot# not previously used for such #use#. To "enlarge" is to make an #enlargement#.

**Extension, or to extend (12/15/61):** An "extension" is an increase in the amount of existing #floor area# used for an existing #use#, within an existing #building#. To "extend" is to make an #extension#.

**Height factor (3/22/16):** The "height factor" of a #zoning lot# is equal to the total #floor area# of a #building# divided by its #lot coverage#.

**Lot coverage (3/22/16):** "Lot coverage" is that portion of a #zoning lot# which, when viewed directly from above, would be covered by a #building# or any part of a #building#. However, for purposes of computing a #height factor#, any portion of such #building# covered by a roof which qualifies as #open space#, or any terrace, balcony, breeze way, or porch or portion thereof not included in the #floor area# of a #building#, shall not be included in #lot coverage#.

**Open space ratio (2/2/11):** The "open space ratio" of a #zoning lot# is the number of square feet of #open space# on the #zoning lot#, expressed as a percentage of the #floor area# on that #zoning lot#.

**"Floor area":** is the sum of the gross areas of the several floors of a #building# or #buildings#, measured from the exterior faces of exterior walls or from the center lines of walls separating two #buildings#.

**Floor area ratio (2/2/11):** is the total #floor area# on a #zoning lot#, divided by the #lot area# of that #zoning lot#.

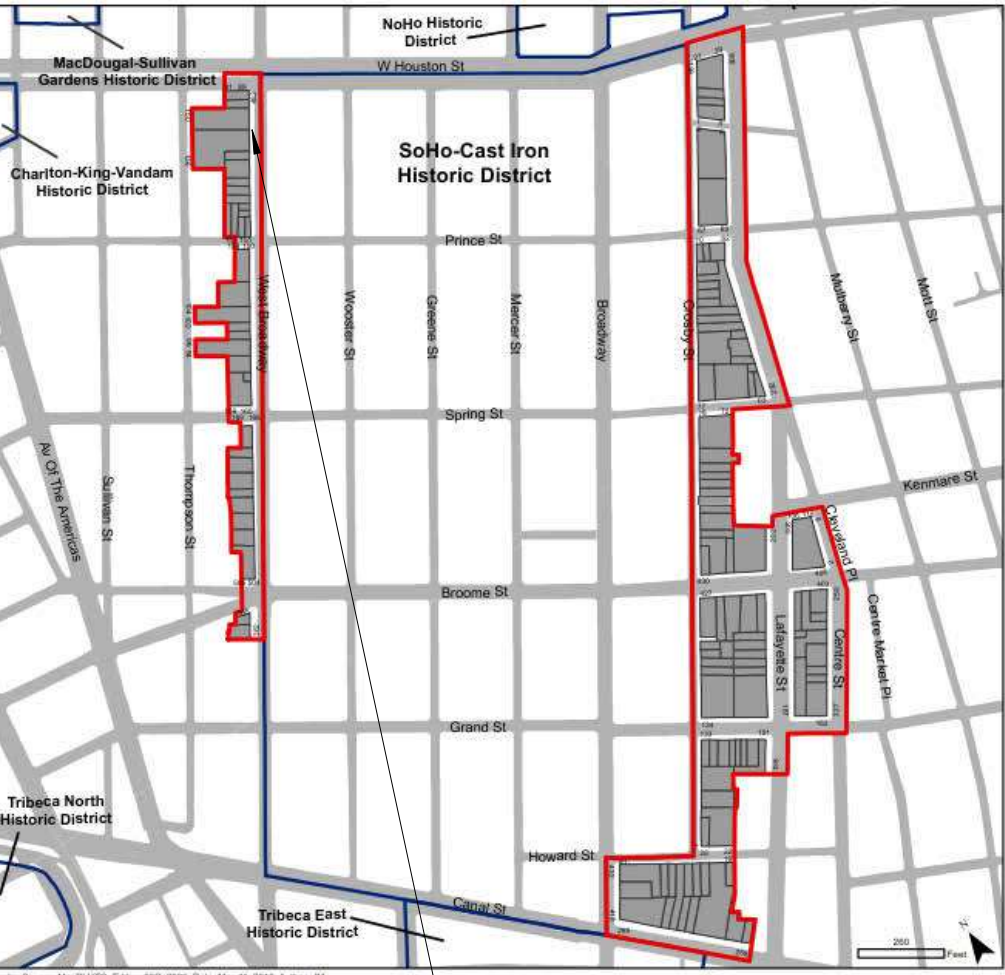
**Yard (9/19/73):** A "yard" is that portion of a #zoning lot# extending open and unobstructed from the lowest level to the sky along the entire length of a #lot line#, and from the #lot line# for a depth or width set forth in the applicable district #yard# regulations. Where a #street setback line# is shown on the City Map the #yard# extends along the entire length of the #street setback line#, and from the #street setback line# for a depth or width set forth in the applicable district #yard# regulations.

32-10 Uses Permitted as-of-right

32-11 - Use Groups 1 and 2 in C1 C2 C3 C4 C5 C6

32-15 - Use Group 6 in C1 C2 C4 C5 C6 C8

SOHO-CAST IRON HISTORIC DISTRICT EXTENSION



Boundary of Existing Districts  
Boundary of District Extension  
Tax Map Lots, District Extension

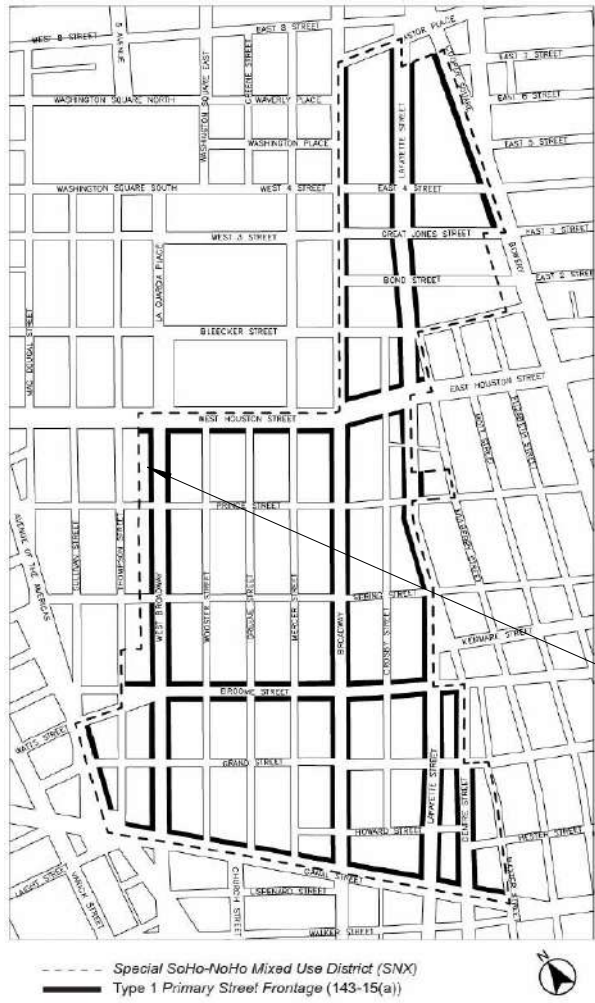
However, for any zoning lot located in a Historic District designated by the Landmarks Preservation Commission, the minimum and maximum base heights may be modified as follows:

(1) the minimum base height of a street wall may vary between the minimum height set forth in the table above, and the height of the street wall of an adjacent building before setback, if such height is lower than the minimum base height; and

(2) the maximum base height of a street wall may vary between the maximum base height set forth in the table above, and the height of the street wall of an adjacent building before setback, if such height is higher than the maximum base height.

(c) Setbacks  
At a height not lower than the minimum base height or higher than the maximum base height specified for the applicable district in the table in paragraph (b) of this Section, a setback shall be provided in accordance with paragraph (c) of Section 23-662 (Maximum height of buildings and setback regulations) shall apply to such setbacks.

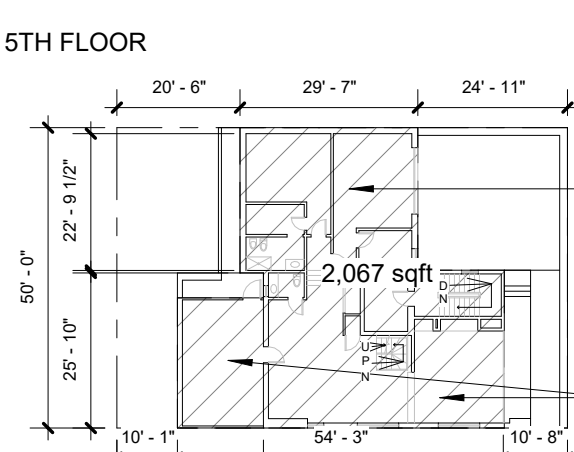
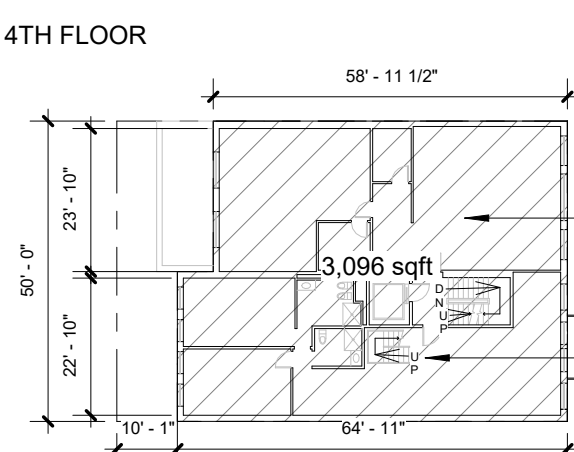
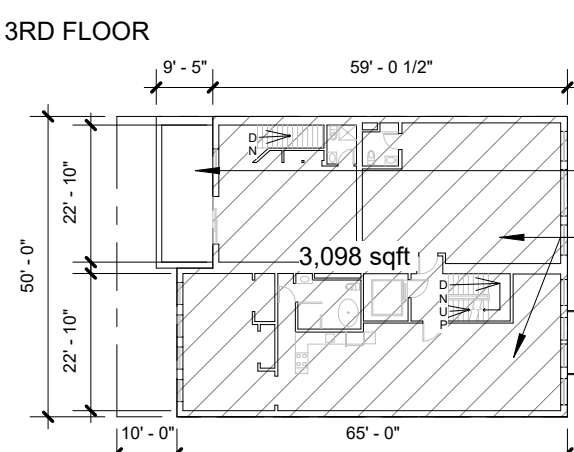
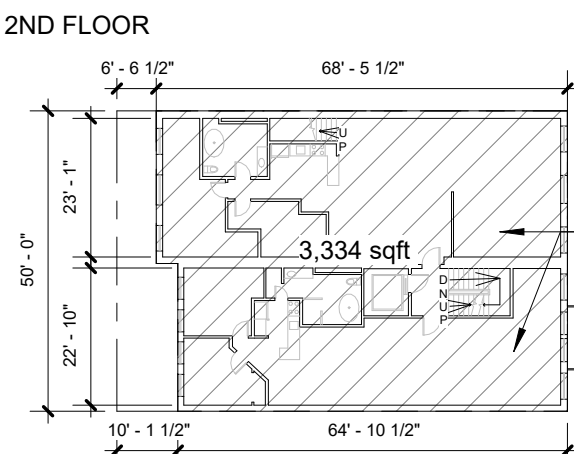
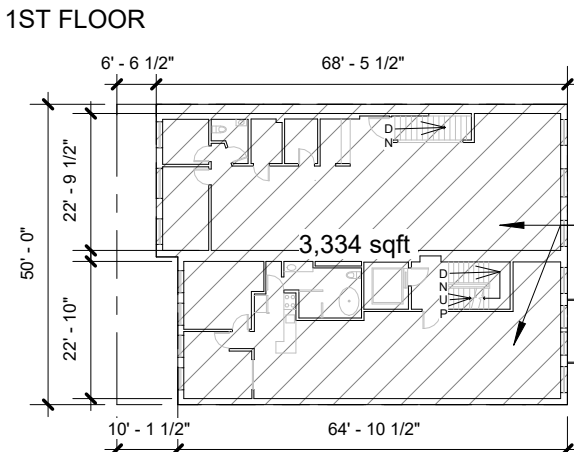
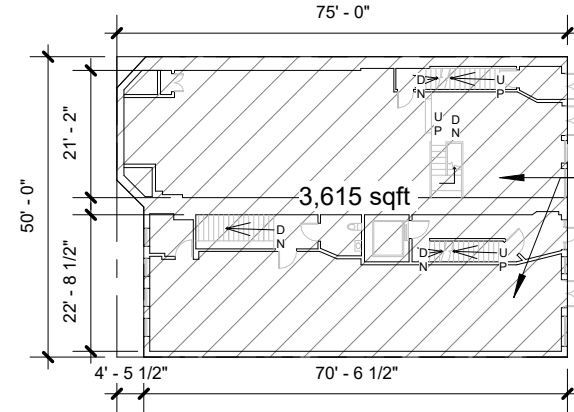
ZONING ANALYSIS						
ZR	ITEM/DESCRIPTION	PERMITTED	EXISTING	PROPOSED	COMPLIANCE	NOTES
USES						
42-131	USE GROUP #	6, 17D	6, 17D		COMPLIES	RETAIL (CEL,1ST), JMWQA (2ND,3RD,4TH,5TH,6TH)
FAR						
43-12	FLOOR AREA (FAR=5)	18,750	17,341	18,016	COMPLIES	MAX FA=5x3750= 18,750SF
43-12	MAX FOR ZONING LOT	18,750	17,341	17,341	COMPLIES	REMAINING FA= 1,409 SF
LOT COVERAGE						
43-17	MIN INTERIOR LOT	3,600	3,750	N/A		
YARD						
ZR 143-23 (b)	MINIMUM REAR YARD	20'	N/A	23'-11"	COMPLIES	PROVIDED REAR YARD AT 6TH FLOOR EXTENSION= 23'-11"
HEIGHT & SETBACK						
ZR 143-24 (b)	MINIMUM BASE HEIGHT	60'	52'	52'		
ZR 143-24 (b)	MAXIMUM BASE HEIGHT	105'	52'	52'		
ZR 143-24 (b)	MAXIMUM BUILDING HEIGHT	145'	65'	65'		
ZR 23-662 (c)	MINIMUM SETBACK DEPTH	10'	N/A	22'-5"		



460-462 WEST BROADWAY

FLOOR AREA CALCULATION & MECHANICAL DEDUCTIONS

NOTE:  
CELLAR FLOOR DOES NOT CONTRIBUTE TO FLOOR AREA.



LANDMARKS PRESERVATION COMMISSION NOTES

REAR YARD AND ROOFTOP ADDITIONS

- THE SCOPE OF WORK DOES NOT RESULT IN DAMAGE TO, OR THE DEMOLITION OF A SIGNIFICANT ARCHITECTURAL FEATURE OF THE HISTORIC BUILDING, SUCH AS A PITCHED ROOF, A HISTORIC DORMER OR SKYLIGHT X IS NOT VISIBLE FROM A PUBLIC THOROUGHFARE
- SCOPE OF WORK SHALL NOT AFFECT SIGNIFICANT ARCHITECTURAL FEATURES OF ADJACENT IMPROVEMENTS
- THERE ARE NO OUTSTANDING DOB OBJECTIONS FOR USE OF ROOF IS NO MORE THAN ONE STORY WITH A HEIGHT OF NO MORE THAN 11 FEET ABOVE THE ROOF OF THE STRUCTURE ON WHICH IT IS TO BE CONSTRUCTED
- STRUCTURE SHALL BE SET BACK AT LEAST 3 FEET FROM THE PLANE OF THE REAR FAÇADE
- IS NOT TO BE CONSTRUCTED ON A STRUCTURE WITH A GRANDFATHERED REAR YARD ADDITION OR ENLARGEMENT, A REAR YARD ADDITION OR ENLARGEMENT APPROVED BY THE LPC STAFF PURSUANT TO SECTION 2-16 OF THE LANDMARKS PRESERVATION COMMISSION'S RULES, OR A REAR YARD ADDITION OR ENLARGEMENT APPROVED BY THE FULL COMMISSION

QUALITY HOUSING NOTES

- ZR 28-12** REFUSE STORAGE AND DISPOSAL
- ZR 28-13** NOT APPLICABLE, BUILDING HAS LESS THAN 9 DWELLING UNITS
- ZR 28-14** LAUNDRY FACILITIES
- NOT MANDATORY/ NOT APPLIED
- ZR 28-14** DAYLIGHT IN CORRIDORS
- EXISTING & PROPOSED CORRIDOR AT FIRST FLOOR
- RESIDENTIAL ENTRY HAS A GLAZED AREA OF 51SF > 20SF THUS IS DEDUCTED HALF OF THE AREA OF THE CORRIDOR
- ZR 28-21** REQUIRED RECREATION SPACE
- NOT APPLICABLE, BUILDING HAS LESS THAN 9 DWELLING UNITS
- ZR 28-23** PLANTING AREAS
- NOT APPLICABLE, EXISTING BUILDING IS A ZERO LOT BUILDING
- ZR 28-31** DENSITY PER CORRIDOR
- NOT APPLICABLE, BUILDING HAS LESS THAN 9 DWELLING UNITS

NOTES

-THE FOLLOWING TABLE CALCULATES THE TOTAL PROPOSED FLOOR AREA ON THE LOT.

- AS PER **ZR 111-20 (a) (11)** THE MAXIMUM FLOOR AREA RATIO PERMITTED IS 5.0.

- ALL PARAPETS ARE 3'-6" HIGH THUS AS PER ZR 12-10 DEFINITION OF FLOOR AREA AT ITEM (10); THE PARAPETS DO NOT CONSTITUTE AN ENCLOSURE NO MORE THAN 67% OF THE PERIMETER OF SUCH BALCONY OR TERRACE ENCLOSED.

- D1 IS THE DEDUCTION FOR DAYLIGHT AS PER ZR 28-14.

- AS PER ZR 23-44 b(4) THE GREENHOUSE SHALL BE LIMITED TO AN AREA LESS THAN 25% OF THE REQUIRED REAR YARD. REQUIRED REAR YARD IS 28.92' MAX AREA OF GREENHOUSE SHALL BE 137.4. PROPOSED GREENHOUSE IS 133SF < 137.4.

NOTES

-THE FOLLOWING TABLE CALCULATES THE TOTAL PROPOSED FLOOR AREA ON THE LOT.

- M1 THROUGH M6 REFERS TO MECHANICAL SPACE WHICH IS NOT INCLUDED IN THE CALCULATION OF FLOOR AREA AS PER **ZR 12-10 DEFINITION OF FLOOR AREA** WHERE DEDUCTION FOR MECHANICAL ALLOWED IS 50sf FOR THE FIRST UNIT AND 30sf FOR THE SECOND UNIT AND 10 SF FOR ADDITIONAL UNITS TOTAL = 90sf

- AS PER **ZR 23-153** THE MAXIMUM FLOOR AREA RATIO PERMITTED IS 5.0, MAXIMUM LOT COVERAGE IS 70%.

- ALL PARAPETS ARE 3'-6" HIGH THUS AS PER ZR 12-10 DEFINITION OF FLOOR AREA AT ITEM (10); THE PARAPETS DO NOT CONSTITUTE AN ENCLOSURE NO MORE THAN 67% OF THE PERIMETER OF SUCH BALCONY OR TERRACE ENCLOSED.

- AS PER ZR **23-441 B(3)** THE GREENHOUSE SHALL BE LIMITED TO AN AREA LESS THAN 25% OF THE REQUIRED REAR YARD. AS PER ZN 23-52 (B) REQUIRED REAR YARD MAY BE REDUCED BY SIX INCHES FOR EACH FOOT BY WHICH THE DEPTH OF THE ZONING LOT IS LESS THAN 90'. THE REQUIRED REAR YARD IS 22'-6" AND THE REQUIRED REAR YARD IS 1,125 SQFT. THE AREA OF GREENHOUSE SHALL BE 281.3 SQFT, THE EXISTING GREENHOUSES ARE 290SF & 230SF

FAR CALCULATION						
FLOOR	DESCRIPTION	BUILDING CODE	FLOOR AREA (sf)		ZONING NET FLOOR AREA (sf)	
			FA DEDUCTION		COMMERCIAL	RESIDENTIAL
CEL	RETAIL	1849	ID	SF	0	
1ST	RETAIL	1083	M1	86.5	996.5	
2ND	RES. UNIT 2	1511.9	M2	1.25		1510.65
3RD	RES. UNIT2	1511.9	M3	1.25		1510.65
4TH	RES. UNIT 2	1511.9	M4	1.75		1510.15
5TH	RES. UNIT 2	1511.9	M5	2.25		1509.65
6TH	RES. UNIT 2	947	M6	2.50		944.50
TOTAL ZONING FLOOR AREA					7982 SF	

ZONING NOTES

Zoning Resolution Articles that apply to this project:  
**Article II: Residence District Regulations**  
**Chapter 3- Residential Bulk Regulations in Residence Districts**

ZR 23-60  
Height And Setback Regulations

ZR 23-66: Height And Setback Requirements for Quality Housing Buildings

ZR 23-662: Maximum Height of Buildings and Setback regulations

(c) Setback requirements  
For all Quality Housing buildings, a setback shall be provided in accordance with the following regulations:

- At a height not lower than the minimum base height or higher than the maximum base height specified for the applicable district in paragraph (b) of this Section, a setback with a depth of at least 10 feet shall be provided from any street wall fronting on a wide street, and a setback with a depth of at least 15 feet shall be provided from any street wall fronting on a narrow street.
- The depth of such required setback may be reduced by one foot for every foot that the street wall is located beyond the street line, but in no event shall a setback of less than seven feet in depth be provided, except as otherwise set forth in this Section. To allow street wall articulation, where a street wall is divided into different segments and located at varying depths from the street line, such permitted setback reduction may be applied to each street wall portion separately.
- Notwithstanding the provisions of paragraph (c)(2) above, the depth of such setbacks may include the depth of recesses or outer courts in the street wall of the building base, provided that the aggregate width of any such recessed portion of a street wall with a setback less than seven feet, as applicable, does not exceed 30 percent of the aggregate width of street wall at any level.
- These setback provisions are optional for any building wall that either is located beyond 50 feet of a street line, or oriented so that lines drawn perpendicular to it, in plan, would intersect a street line at an angle of 65 degrees or less. In the case of an irregular street line, the line connecting the most extreme points of intersection shall be deemed to be the street line. Furthermore, dormers provided in accordance with the provisions of Section 23-621 (Permitted obstructions in certain districts) may penetrate a required setback area.

PROJECT INFORMATION:

ADDRESS: 460-462 WEST BROADWAY  
NEW YORK, NY 10012

DATE: 06/23/2022

GROSS FLOOR AREA: 15,204SF

ARCHITECT OF RECORD:

**DYO**  
design office

DY-O DESIGN OFFICE  
143 WEST 29 STREET  
NEW YORK, NY 10001 SUITE# 902A

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DESIGN ARCHITECT:

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Architect  
Monica Cardin Fontana

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CCNY REALTY, INC.  
444 MADISON AVE  
NEW YOR, NY 10022

DOB JOB #:

120070485

DISCLAIMER:

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Rev	Date	Description	Issued By	Issued To
1	12/11/2023	DOB Submission 1	DYO	DOB

SHEET TITLE:

GENERAL NOTES  
ZONING & LPC

SEAL AND SIGNATURE

**REGISTERED ARCHITECT**  
STEFANO MORISI  
038410  
STATE OF NEW YORK

DATE MM/DD/YYYY

DRAWN BY BB

CHECKED BY SM

DYO NO. 220809

**Z-100.00**

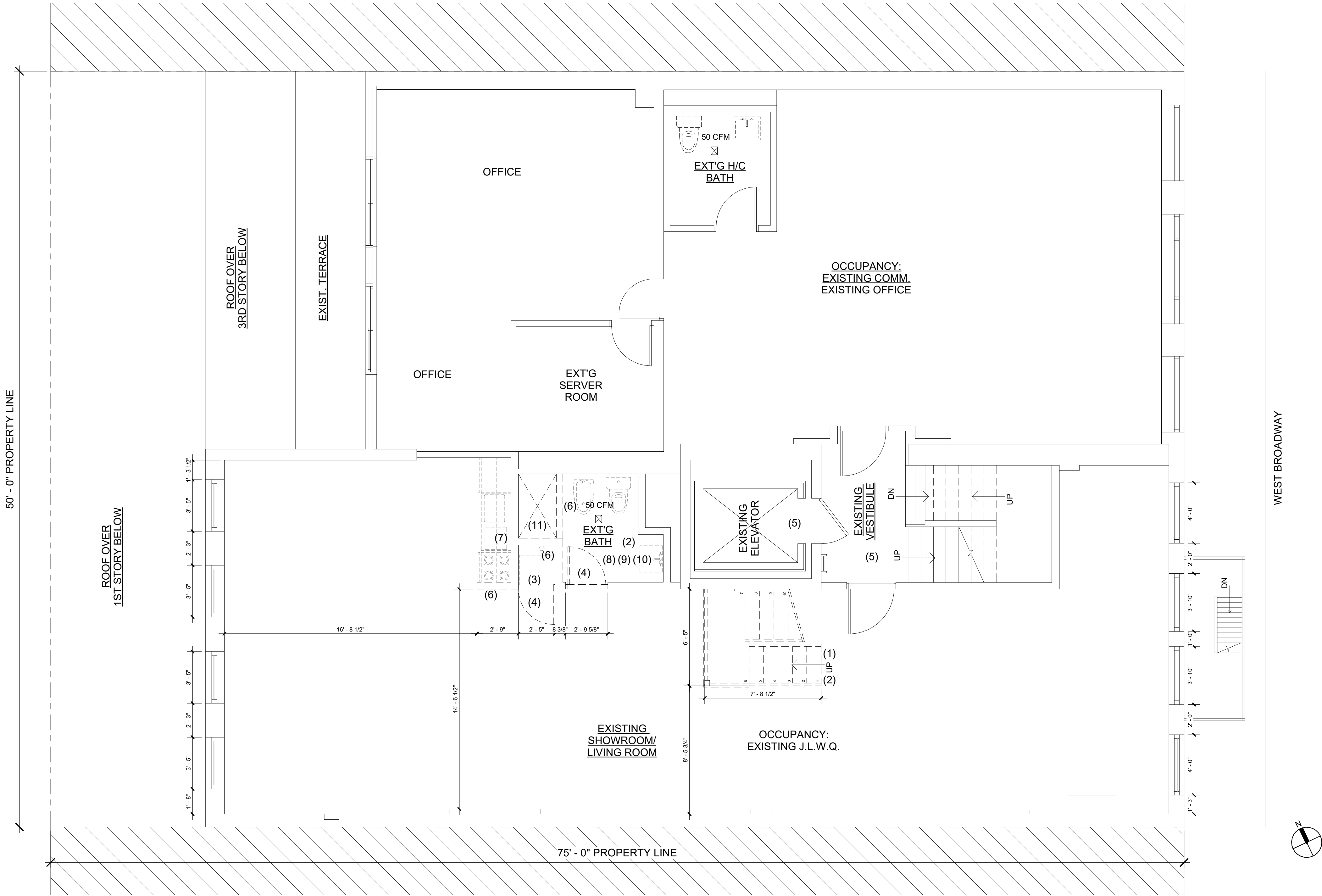
SHEET 06 OF 21



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LEGEND	DEMOLITION NOTES	GENERAL DEMOLITION NOTES:	
<div><div>DEMOLITION</div><div>EXISTING PARTITION TO REMAIN</div><div>NEW PARTITION</div></div>	<div>1. REMOVE EXISTING WOOD STAIRCASE. REMOVE STAIRCASE PARTITION.</div> <div>2. ALL TILES AND FIXTURES TO BE REMOVED.</div> <div>3. EXISTING WASHER DRYER TO BE RELOCATED ON SIXTH FLOOR.</div> <div>4. DOORS TO BE REMOVED.</div> <div>5. EXISTING BUILDING MAIN STAIRS AND ELEVATOR TO REMAIN.</div> <div>6. PARTITION WALLS TO BE REMOVED.</div> <div>7. KITCHEN EQUIPMENT TO BE REMOVED.</div> <div>8. EXITING BATHROOM TO BE DEMO'D.</div> <div>9. ALL PLUMBING FIXTURES TO BE REMOVED.</div> <div>10. CEILING FIXTURES TO BE REMOVED.</div> <div>11. EXISTING SHOWER TO BE REMOVED AND RELOCATED.</div>	<div>1. REMOVE EXISTING WOOD STAIRCASE AND PATCH AWAY REMAINING WOOD THAT WILL BE EXPOSED.</div> <div>2. REMOVE EXISTING PARTITIONS INCLUDING GYPSUM BOARD, WOOD, AND METAL FRAMES.</div> <div>3. REMOVE EXISTING BATHROOM FIXTURES. ( GC TO PROTECT APARTMENTS BELOW.</div> <div>4. DEMOLITION AND CONSTRUCTION DEBRIS SHALL BE REMOVED DAILY</div>	

1 DEMO 5TH FLOOR  
1/4" = 1'-0"



PROJECT INFORMATION:

ADDRESS: 460-462 WEST BROADWAY  
NEW YORK, NY 10012

DATE: 06/23/2022

GROSS FLOOR AREA: 15,204SF

ARCHITECT OF RECORD:

**DYO**  
design office

DY-O DESIGN OFFICE  
143 WEST 29 STREET  
NEW YORK, NY 10001 SUITE# 902A

CONTACT: STEFANO MORISI R.A.  
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DESIGN ARCHITECT:

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SHEET TITLE:

FIFTH FLOOR  
DEMO PLAN

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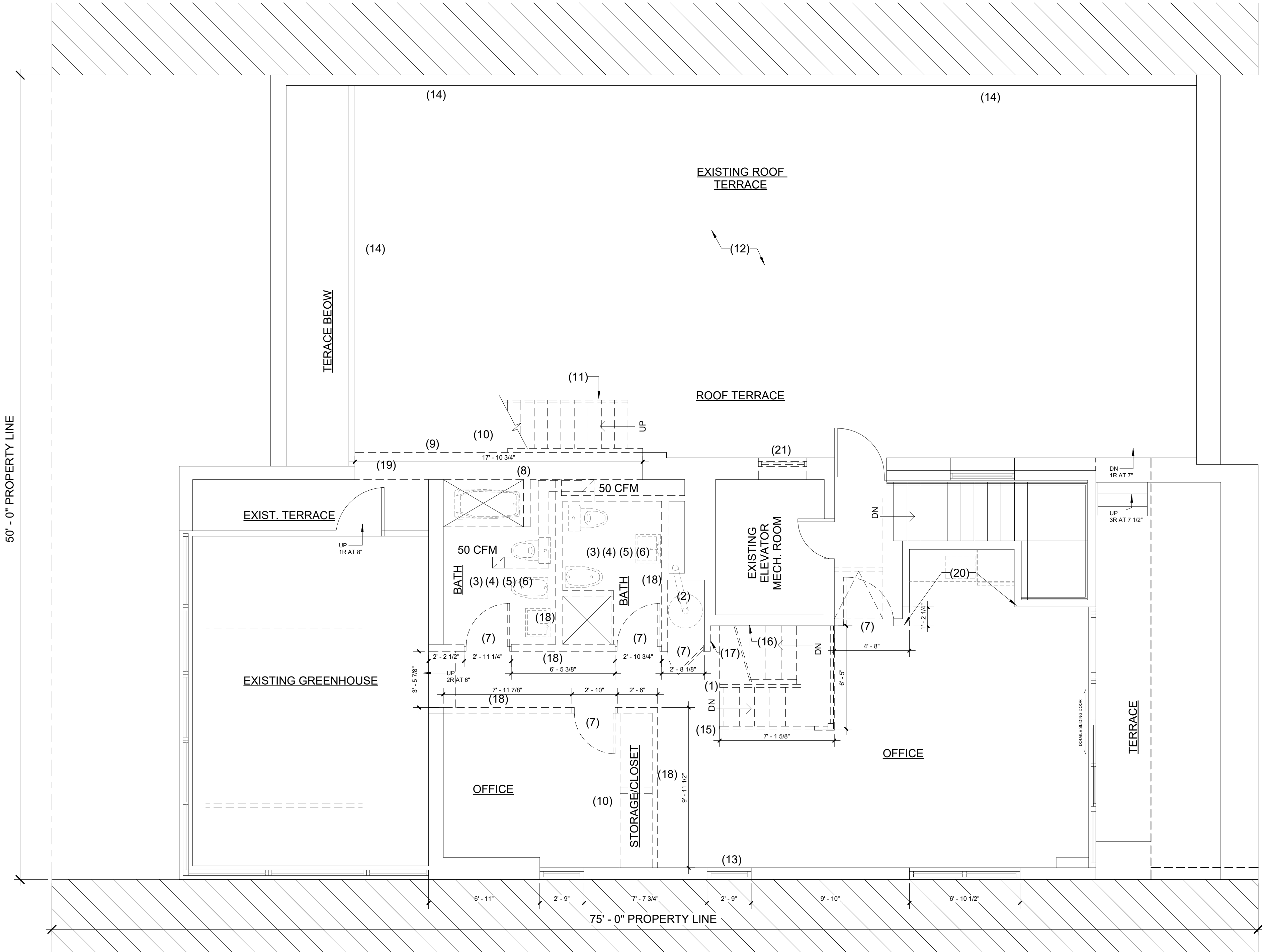
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SHEET 06 OF 21

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1 DEMO 6TH FLOOR  
1/4" = 1'-0"

LEGEND	DEMOLITION NOTES	GENERAL DEMOLITION NOTES:	LOT LINE WINDOW CALCULATIONS
<div><div>DEMOLITION</div><div>EXISTING PARTITION TO REMAIN</div><div>NEW PARTITION</div></div>	<div>1. REMOVE EXISTING INTERIOR STAIRCASE.</div> <div>2. EXISTING WATER HEATER TANK TO BE REMOVED. PLUMBING TO BE CAPPED.</div> <div>3. EXISTING BATHROOM TO BE DEMOD.</div> <div>4. ALL PLUMBING FIXTURES TO BE REMOVED.</div> <div>5. ALL EXISTING PLUMBING TO BE CAPPED.</div> <div>6. CEILING FIXTURES TO BE REMOVED.</div> <div>7. DOORS TO BE REMOVED.</div> <div>8. NEW OPENING ON EXISTING WALL DOWN TO INTERIOR FLOOR LEVEL (L 10'-7" x H10'-0")</div> <div>9. EXISTING EXTERIOR HOWER TO BE REMOVED. PLUMBING TO REMAIN FOR NEW USE</div> <div>10. EXISTING CLOSET TO BE REMOVED.</div> <div>11. EXISTING METAL STAIRCASE TO BE REMOVED.</div> <div>12. EXISTING WOOD COMPOSITRE FLOOR TO BE REMOVED FROM TERRACE.</div> <div>13. EXISTING WINDOW TO BE REMOVED. PREP OPENING FOR NEW LARGER SIZE WINDOW. SEE PROPOSED.</div> <div>14. FENCE AROUND TERRACE PERIMETER TO BE REMOVED AND REPLACED.</div> <div>15. DEMO FLOOR TO MEET NEW STAIR POINT OF ARRIVAL. SEE PROPOSED DRAWINGS.</div> <div>16. ALIGN TOP WALL WITH WALL BENEATH. WALL TO BE FLUSH ACCORDING TO 5TH FLOOR FACE.</div> <div>17. DEMO WALL TO BE FLUSH WITH WALL ADJACENT TO STAIR. ELECTRICAL EQUIPMENT TO BE RELOCATD.VIF.</div> <div>18. PARTITION WALLS TO BE REMOVED.</div> <div>19. EXT. WALL TO BE PARTLY DEMOD. ALLOW ENTRY TO TERRACE FROM GREENHOUSE ROOM.</div> <div>20. ALIGN WALL WITH EXISTING PARTITION.</div> <div>21. EXTERIOR WINDOW FROM ELEVATOR MECHANICAL ROOM TO BE REMOVED.</div>	<div>1. REMOVE EXISTING WOOD STAIRCASE AND PATCH AWAY REMAINING WOOD THAT WILL BE EXPOSED.</div> <div>2. REMOVE EXISTING PARTITIGS INCLUDING GYPSUM BOARD, WOOD, AND METAL FRAMES.</div> <div>3. REMOVE EXISTING BATHROOM FIXTURES. (GC TO PROTECT APARTMENTS BELOW)</div> <div>4. DEMOITION AND CONSTRUCTION DEBRIS SHALL BE REMOVED DAILY.</div> <div>5. G.C SHALL MAINTAIN ELEVATORS, HALLWAYS, STAIRCASE AND OTHER COMMON SOACES FREE OF MATERIALS, TOOLS AND GARBAGE.</div> <div>6. EXISTING SPACES WHERE NO WORK IS DONE SHALL REMAIN FREE OF DUST AND DEBRIS.</div>	<div>MASONRY WALL AREA = 41.5' x 11' = 456.5 SF</div> <div>PERMITTED OPENINGS AS PER TABLE 3-4 = 10% x 456.5 = 45.65 S.F.</div> <div>PROPOSED WALL OPENINGS = 12 + 12 + 21 = 45 S.F.</div>

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SHEET TITLE:

SIXTH FLOOR  
DEMO PLAN

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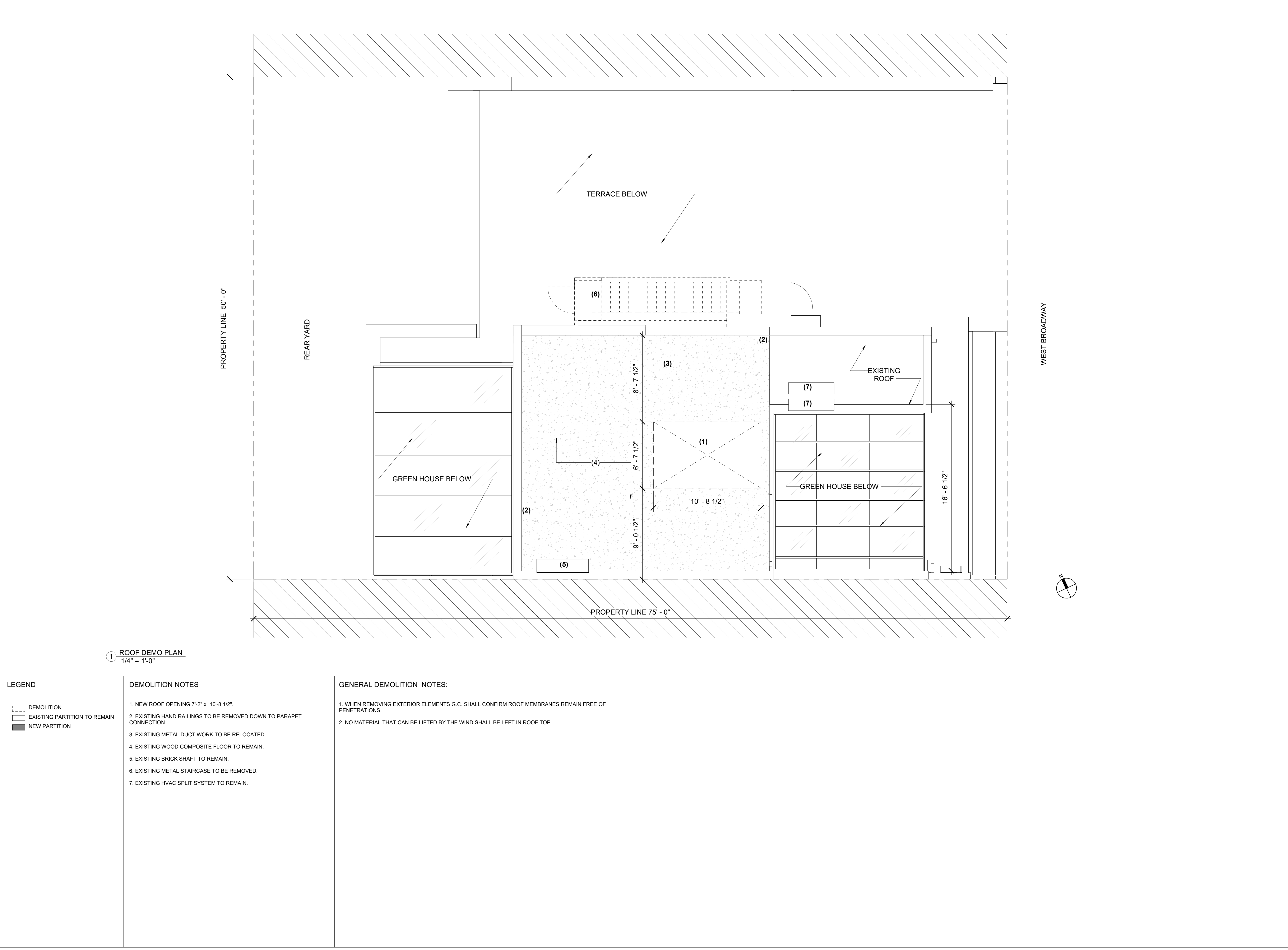
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SHEET 07 OF 21



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SHEET TITLE:

ROOF DEMO PLAN

SEAL AND SIGNATURE

DATE MM/DD/YYYY

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CHECKED BY SM

DYO NO. 220809

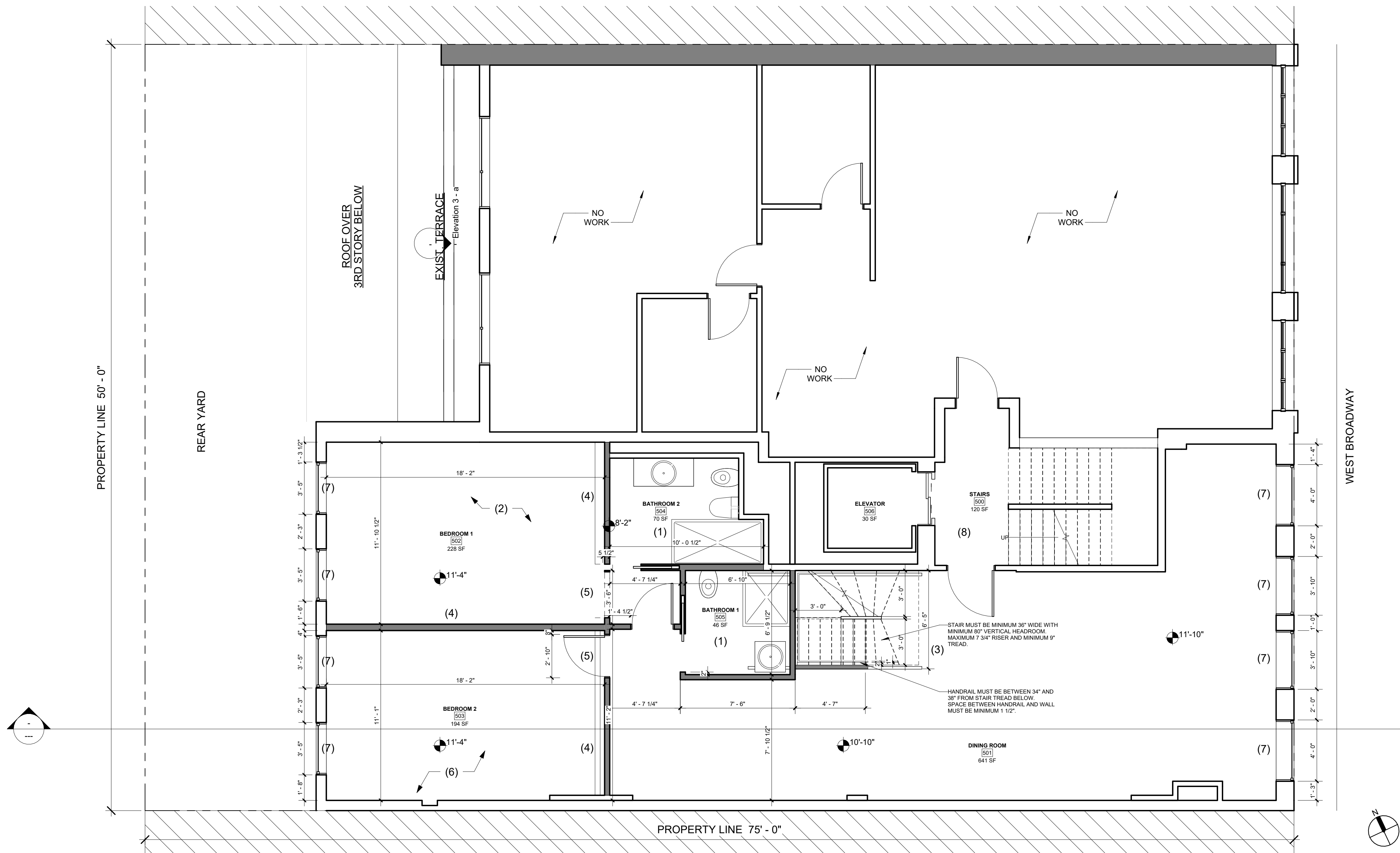
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SHEET 08 OF 21

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LEGEND	PROPOSED WORK KEY NOTES:	GENERAL CONSTRUCTION NOTES:	STAIR NOTES:	FIRE DEPARTMENT NOTES
<div><div></div>DEMOLITION</div> <div><div></div>EXISTING PARTITION TO REMAIN</div> <div><div></div>NEW PARTITION</div>	<div>1. NEW W/C AND HAND SINK</div> <div>2. NEW KITCHEN</div> <div>3. NEW STAIRS TO 6TH FLOOR, WITH RAILING AND GLASS PANEL. SEE STAIR DETAIL.</div> <div>4. NEW PARTITION WALLS.</div> <div>5. NEW OPENINGS AND DOORS.</div> <div>6. NEW BEDROOM.</div> <div>7. FACADE/EXTERIOR WINDOWS TO REMAIN THE SAME.</div> <div>8. EXISTING BUILDING MAIN STAIRCASE AND ELEVATOR TO REMAIN.</div>	<div>1. GC TO PREVENT ANY DAMAGE TO FLOORS BELOW.</div> <div>2. GC TO PROTECT ALL EXISTING FLOORS AND WALLS.</div> <div>3.GC TO ISOLATE FLOOR AND CEILING WITH PLASTIC SHEATHING.</div>	<div>ALL INTERIOR STAIRS COMPLY WITH THE FOLLOWING CODE:</div> <div>NYCBC 2022</div> <div>1011 STAIRWAYS</div> <div>1011.2 WIDTH AND CAPACITY</div> <div>THE MINIMUM WIDTH SHALL BE NOT LESS THN 44 INCHES</div> <div>EXC 1.1. A WIDTH OF NOT LESS THAN 36 INCHES SHALL BE PERMITTED IN A STAIRWAY THAT SERVES AN OCCUPANT LOAD OF 50 OR LESS CUMULATIVE FOR ALL STORIES.</div> <div>1011.3 HEADROOM</div> <div>STAIRWAYS SHALL HAVE A HEADROOM CLEARANCE OF NOT LESS THAN 84 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF NOSINGS. THE MINIMUM CLEARANCE SHALL BE MAINTAINED THE FULL WIDTH OF THE STAIRWAY AND LANDING.</div> <div>EXC 1. IN GROUP R-2 AND R-3 CCUPANCIES STAIRWAYS SHALL HAVE A HEADROOM CLEARANCE OF NOT LESS THAN 80 INCHES.</div> <div>1011.4 WALKLINE</div> <div>THE WALKLINE ACROSS WINDER TREADS SHALL BE CONCENTRIC TO THE DIRERCTION OF TRAVEL THROUGH THE TURN AND LOCATED 12 INCHES FROM THE SIDE WHERE WINDERS ARE NARROWER. THE 12 INCH DIMENSION SHALL BE MEASURED FROM THE WIDEST POINT OF THE CLEAR STAIR WIDTH AT THE WALKING SURFACE OF THE WINDER, WHERE WINDERS ARE ADJACENT WITHIN THE FLIGHT, THE POINT OF THE WIDEST CLEAR STAIR WIDTH OF THE ADJACENT WINDERS SHALL BE USED.</div> <div>1011.5.2 RISER HEIGHT AND TREAD DEPTH</div> <div>STAIR RISER HEIGHTS SHALL BE 7 INCHES MAXIMUM AND 4 INCHES MINIMUM. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN THE NOSINGS OF ADJACENT TREADS.</div> <div>RENGTANGULAR TREAD DEPTHS SHALL BE 11 INCHES MINIMUM MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S NOSING.</div> <div>EXC. 3.1. IN GROUP R-2 OCCUPANCIES THE SUM OF TWO RISERS PLUS ONE TREAD EXCLUSIVE OF NOSING SHALL BE NOT LESS THAN 24 INCHES NOR MORE THAN 25 1/2 INCHES.</div> <div>EXC.3.2. IN GROUP R-2 OCCUPANCIES THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES AND THE MINIMUM TREAD DEPTH SHALL BE 9 1/2 INCHES PLUS NOSING. TREADS MAY BE UNDERCUT A DISTANCE EQUAL TO THE NOSING. A NOSING NOT LESS THAN 3/4 INCH BUT NO MORE THAN 1 1/4 INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11 INCHES.</div> <div>EXC.5. WITHIN GROUP R-2 OCCUPANCIES WINDERS SHALL HAVE A MINIMUM TREAD DEPTH OF 10 INCHES MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE, WHEN MEASURED AT A POINT 12 INCHES FROM THE SIDE WHERE THE TREADS ARE NARROWER. WINDER TREADS HAVE TO HAVE A MINIMUM TREAD DEPTH OF 6 INCHES AT ANY POINT. WITHIN ANY FLIGHT OF STAIRS, THE GREATEST WINDER TREAD DEPTH AT THE 12 INCH WALK LINE SHALL NOT EXCEED THE SMALLEST BY MOE THAN 3/8 INCH.</div> <div>1011.5.4 DIMENSIONAL UNIFORMITY</div> <div>STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT OR BETWEEN THE LARGEST AND SMALLEST TREAD DEPTH SHALL NOT EXCEED 3/8 INCH IN ANY FLIGHT OF STAIRS. THE GREATEST WNDER TREAD DEPTH AT THE WALKLINE WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.</div> <div>EXC.2. CONSISTENTLY SHAPED WNDERS, COMPLYING WITH SECTION 1011.5, DIFFERING FROM RECTANGULAR TREADS IN THE SAME FLIGHT OF STAIRS.</div> <div>1011.5.5 NOSING AND RISER PROFILE</div> <div>NOSINGS SHALL HAVE A CURVATURE OR BEVEL OF NOT LESS THAN 1/16 INCH BUT NOT MORE THAN 9/16 INCH FROM THE FOREMOST PROJECTION OF THE TREAD. RISERS SHALL BE SOLID AND VERTICAL OR SLOPED UNDER THE TREAD ABOVE FROM THE UNDERSIDE OF THE NOSING ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL.</div> <div>1011.5.5.1 NOSING PROJECTION SIZE</div> <div>THE LEADING EDGE (NOSINGS) OF TREADS SHALL PROJECT NOT MORE THAN 1 1/4 INCHES BEYOND THE TREAD BELOW.</div> <div>1011.11 HANDRAILS</div> <div>STAIRWAYS WITHIN DWELLING UNITS ARE PERMITTED TO HAVE A HANDRAIL ON ONE SIDE ONLY.</div> <div>1014 HANDRAILS</div> <div>1014.2 HEIGHT</div> <div>HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSINGS, SHALL BE UNIFORM, NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.</div> <div>EXC.2. WHERE HANDRAIL FITTINGS OR BENDINGS ARE USED TO PROVIDE CONTINUOUS TRANSITION BETWEEN FLIGHTS, TRANSITION AT WINDER TREADS, TRANSITION FROM HANDRAIL TO GUARD, OR WHERE USED AT AT THE START OF A FLIGHT, THE HANDRAIL HEIGHT AT THE FITTINGS OR BENDINGS SHALL BE PERMITTED TO EXCEED THE MAXIMUM HEIGHT.</div> <div>1014.4 CONTINUITY</div> <div>HANDRAILS WITHIN DWELLING UNITS ARE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A TURN OR LANDING. WITHIN A DWELLING UNIT, THE USE OF A VOLUTE, TURNOUT, STARTING EASIGN OR STARTING NEWL IS ALLOWED OVER THE LOWEST TREAD.</div> <div>1014.7 CLEARANCE</div> <div>CLEAR SPACE BETWEEN A HANDRAIL AND WALL OR OTHER SURFACE SHALL BE NOT LESS THAN 1 1/2 INCHES. A HANDRAIL AND A WALL OR OTHER SURFACE ADJACENT TO THE HANDRAIL SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS.</div>	<div>1. AS PER FDNY 504.4.4 A CLEAR PATH OF NOT LESS THAN 6' HORIZONTAL WIDTH OF 9' IN HEIGHT SHALL BE PROVIDED FROM THE FRONT OF THE BUILDING TO THE REAR OF THE BUILDING AND FROM ONE SIDE OF THE BUILDING TO THE OTHER. SUCH PATH SHALL BE ACCESSIBLE FROM EACH ROOFTOP PERIMETER ACCESS LANDING REQUIRED PERSUANT TO FC504.4.3 IT SHALL AFFORD ACCESS TO THE BULKHEAD DOOR AND ANY ACCESS LADDERS, SKYLIGHTS, SCUTTLES AND SHAFTS. A CONDUIT OR PIPE MAY CROSS SUCH PATH IN ACCORDANCE WITH FC504.4.7 A FIXED LADDER OR OTHER APPROVED MEANS SHALL BE PROVIDED TO AFFORD ACCESS ALONG THE CLEAR PATH RFROM ONE ROOF LEVEL TO THE NEXT, INCLUDING THE BULKHEAD.</div> <div>2. AS PER 504.4.3AN ACCESS LANDING 6' IN ANY DIMENSION CONNECTED TO THE CLEAR PATH IS REQUIRED.</div>

2 PROPOSED FIFTH FLOOR PLAN  
1/4" = 1'-0"



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SHEET TITLE:

PROPOSED FIFTH FLOOR

SEAL AND SIGNATURE



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A-103.00

SHEET 09 OF 21



PROJECT INFORMATION:

ADDRESS: 460-462 WEST BROADWAY  
NEW YORK, NY 10012

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SHEET TITLE:

PROPOSED SIXTH FLOOR

SEAL AND SIGNATURE



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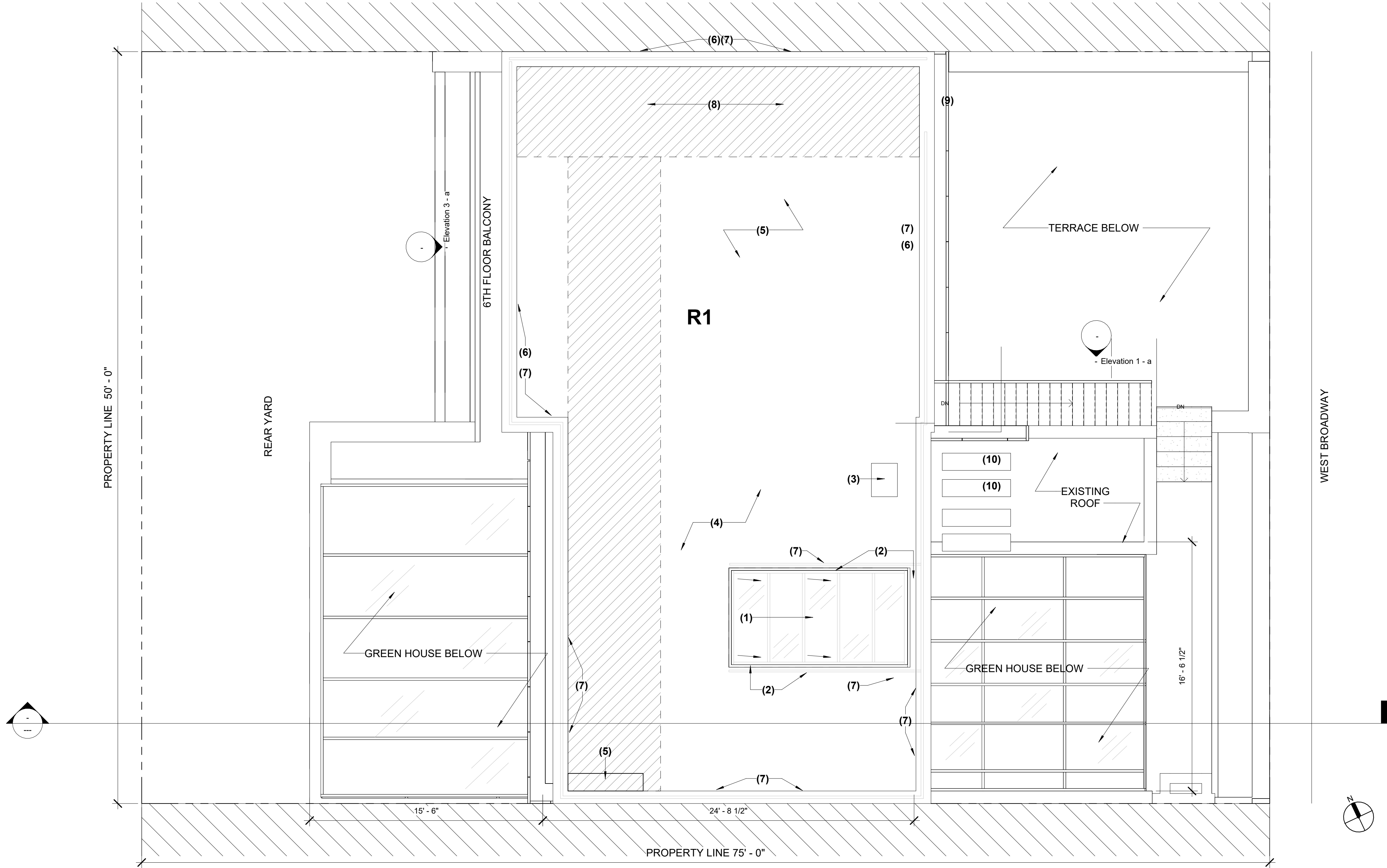
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SHEET 10 OF 21

PROPOSED SIXTH FLOOR PLAN  
1/4" = 1'-0"

LEGEND	PROPOSED WORK KEY NOTES:	GENERAL CONSTRUCTION NOTES:	STAIR NOTES:	FIRE DEPARTMENT NOTES	
<div><div></div>DEMOLITION</div> <div><div></div>EXISTING PARTITION TO REMAIN</div> <div><div></div>NEW PARTITION</div>	<div>1. NEW INTERIOR STAIRCASE TO ROOF.</div> <div>2. NEW POSITION OF LAUNDRY MACHINES.</div> <div>3. NEW CLOSET. PARTITION WALL TO BE FLUSH WITH WALL ADJACENT TO STAIR.</div> <div>4. METAL STEPS TO NEW ADDITION.</div> <div>5. NEW W/C AND HAND SINK.</div> <div>6. RELOCATION OF EXISTING E.C PANEL.</div> <div>7. NEW FLOOR OPENING TO MATCH SIZE NEEDED FOR NEW STAIR. (6'-2" x 7'-11")</div> <div>8. NEW FLOOR TO BE FLUSH WITH EXISTING TERRACE FLOOR.</div> <div>9. EXISTING FENCE AROUND TERRACE PERIMETER TO BE REMOVED AND REPLACED WITH NEW PARTITION WALLS.</div> <div>10. EXISTING FENCE TO BE REMOVED AND REPLACED WITH BALCONY HALF WALL.</div> <div>11. BATHROOM WINDOW SILL HEIGHT 5'-0" ABOVE FINISH FLOOR.</div> <div>12. NEW BATHROOM WINDOW.</div> <div>13. STEP LEADING TO EXISTING GREENHOUSE 1 SPACE.</div> <div>14. STEP LEADING TO EXISTING OFFICE/GREENHOUSE 2 SPACE.</div> <div>15. ALIGN NEW WALL WITH EXISTING.</div> <div>16. NEW PARTITION WALLS ALIGNED WITH EXISTING.</div> <div>17. FDNY SHIP LADDER ACCESS TO NEW SPACE ROOF.</div> <div>18. STEP FROM EXISTING GREENHOUSE 1 SPACE TO TERRACE.</div> <div>19. NEW LARGER WINDOW OVER EXISTING WINDOW OPENING.</div>	<div>1. GC TO PREVENT ANY DAMAGE TO FLOORS BELOW.</div> <div>2. GC TO PROTECT ALL EXISTING FLOORS AND WALLS.</div> <div>3.GC TO ISOLATE FLOOR AND CEILING WITH PLASTIC SHEATHING.</div>	<div>ALL INTERIOR STAIRS COMPLY WITH THE FOLLOWING CODE:</div> <div>NYCBC 2022</div> <div>1011 STAIRWAYS</div> <div>1011.2 WIDTH AND CAPACITY</div> <div>THE MINIMUM WIDTH SHALL BE NOT LESS THN 44 INCHES</div> <div>EXC 1.1. A WIDTH OF NOT LESS THAN 36 INCHES SHALL BE PERMITTED IN A STAIRWAY THAT SERVES AN OCCUPANT LOAD OF 50 OR LESS CUMULATIVE FOR ALL STORIES.</div> <div>1011.3 HEADROOM</div> <div>STAIRWASY SHALL HAVE A HEADROOM CLEARANCE OF NOT LESS THAN 84 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF NOSINGS. THE MINIMUM CLEARANCE SHALL BE MAINTAINED THE FULL WIDTH OF THE STAIRWAY AND LANDING.</div> <div>EXC 1. IN GROUP R-2 AND R-3 OCCUPANCIES STAIRWAYS SHALL HAVE A HEADROOM CLEARANCE OF NOT LESS THAN 80 INCHES.</div> <div>1011.4 WALKLINE</div> <div>THE WALKLINE ACROSS WINDER TREADS SHALL BE CONCENTRIC TO THE DIRERCTION OF TRAVEL THROUGH THE TURN AND LOCATED 12 INCHES FROM THE SIDE WHERE WINDERS ARE NARROWER. THE 12 INCH DIMENSION SHALL BE MEASURED FROM THE WIDEST POINT OF THE CLEAR STAIR WIDTH AT THE WALKING SURFACE OF THE WINDER, WHERE WINDERS ARE ADJACENT WITHIN THE FLIGHT, THE POINT OF THE WIDEST CLEAR STAIR WIDTH OF THE ADJACENT WINDERS SHALL BE USED.</div> <div>1011.5.2 RISER HEIGHT AND TREAD DEPTH</div> <div>STAIR RISER HEIGHTS SHALL BE 7 INCHES MAXIMUM AND 4 INCHES MINIMUM. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN THE NOSINGS OF ADJACENT TREADS. RENCTANGULAR TREAD DEPTHS SHALL BE 11 INCHES MINIMUM MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREADS NOSING.</div> <div>EXC. 3.1. IN GROUP R-2 OCCUPANCIES THE SUM OF TWO RISERS PLUS ONE TREAD EXCLUSIVE OF NOSING SHALL BE NOT LESS THAN 24 INCHES NOR MORE THAN 25 1/2 INCHES.</div> <div>EXC.3.2. IN GROUP R-2 OCCUPANCIES THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES AND THE MINIMUM TREAD DEPTH SHALL BE 9 1/2 INCHES PLUS NOSING. TREADS MAY BE UNDERCUT A DISTANCE EQUAL TO THE NOSING. A NOSING NOT LESS THAN 3/4 INCH BUT NO MORE THAN 1 1/4 INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11 INCHES</div> <div>EXC.5. WITHIN GROUP R-2 OCCUPANCIES WINDERS SHALL HAVE A MINIMUM TREAD DEPTH OF 10 INCHES MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE, WHEN MEASURED AT A POINT 12 INCHES FROM THE SIDE WHERE THE TREADS ARE NARROWER, WINDER TREADS HAVE TO HAVE A MINIMUM TREAD DEPTH OF 6 INCHES AT ANY POINT. WITHIN ANY FLIGHT OF STAIRS, THE GREATEST WINDER TREAD DEPTH AT THE 12 INCH WALK LINE SHALL NOT EXCEED THE SMALLEST BY MOE THAN 3/8 INCH.</div>	<div>1011.5.4 DIMENSIONAL UNIFORMITY</div> <div>STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT OR BETWEEN THE LARGEST AND SMALLEST TREAD DEPTH SHALL NOT EXCEED 3/8 INCH IN ANY FLIGHT OF STAIRS. THE GREATEST WNDER TREAD DEPTH AT THE WALKLINE WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.</div> <div>EXC.2. CONSISTENTLY SHAPED WINDERS, COMPLYING WITH SECTION 1011.5, DIFFERING FROM RECTANGULAR TREADS IN THE SAME FLIGHT OF STAIRS.</div> <div>1011.5.5 NOSING AND RISER PROFILE</div> <div>NOSINGS SHALL HAVE A CURVATURE OR BEVEL OF NOT LESS THAN 1/16 INCH BUT NOT MORE THAN 9/16 INCH FROM THE FOREMOST PROJECTION OF THE TREAD. RISERS SHALL BE SOLID AND VERTICAL OR SLOPED UNDER THE TREAD ABOVE FROM THE UNDERSIDE OF THE NOSING ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL.</div> <div>1011.5.5.1 NOSING PROJECTION SIZE</div> <div>THE LEADING EDGE (NOSINGS) OF TREADS SHALL PROJECT NOT MORE THAN 1 1/4 INCHES BEYOND THE TREAD BELOW.</div> <div>1011.11 HANDRAILS</div> <div>STAIRWAYS WITHIN DWELLING UNITS ARE PERMITTED TO HAVE A HANDRAIL ON ONE SIDE ONLY.</div> <div>1014 HANDRAILS</div> <div>1014.2 HEIGHT</div> <div>HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSINGS, SHALL BE UNIFORM, NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.</div> <div>EXC.2. WHERE HANDRAIL FITTINGS OR BENDINGS ARE USED TO PROVIDE CONTINUOUS TRANSITION BETWEEN FLIGHTS, TRANSITION AT WINDER TREADS, TRANSITION FROM HANDRAIL TO GUARD, OR WHERE USED AT AT THE START OF A FLIGHT, THE HANDRAIL HEIGHT AT THE FITTINGS OR BENDINGS SHALL BE PERMITTED TO EXCEED THE MAXIMUM HEIGHT.</div> <div>1014.4 CONTINUITY</div> <div>HANDRAILS WITHIN DWELLING UNITS ARE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A TURN OR LANDING. WITHIN A DWELLING UNIT, THE USE OF A VOLUTE, TURNOUT, STARTING EASIGN OR STARTING NEWEL IS ALLOWED OVER THE LOWEST TREAD.</div> <div>1014.7 CLEARANCE</div> <div>CLEAR SPACE BETWEEN A HANDRAIL AND WALL OR OTHER SURFACE SHALL BE NOT LESS THAN 1 1/2 INCHES. A HANDRAIL AND A WALL OR OTHER SURFACE ADJACENT TO THE HANDRAIL SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS.</div>	<div>1. AS PER FDNY 504.4.4 A CLEAR PATH OF NOT LESS THAN 6' HORIZONTAL WIDTH OF 9' IN HEIGHT SHALL BE PROVIDED FROM THE FRONT OF THE BUILDING TO THE REAR OF THE BUILDING AND FROM ONE SIDE OF THE BUILDING TO THE OTHER. SUCH PATH SHALL BE ACCESSIBLE FROM EACH ROOFTOP PERIMETER ACCESS LANDING REQUIRED PURSUANT TO FC504.4.3 IT SHALL AFFORD ACCESS TO THE BULKHEAD DOOR AND ANY ACCESS LADDERS, SKYLIGHTS, SCUTTLIES AND SHAFTS. A CONDUIT OR PIPE MAY CROSS SUCH PATH IN ACCORDANCE WITH FC504.4.7 A FIXED LADDER OR OTHER APPROVED MEANS SHALL BE PROVIDED TO AFFORD ACCESS ALONG THE CLEAR PATH RFROM ONE ROOF LEVEL TO THE NEXT, INCLUDING THE BULKHEAD.</div> <div>2. AS PER 504.4.3AN ACCESS LANDING 6' IN ANY DIMENSION CONNECTED TO THE CLEAR PATH IS REQUIRED.</div>





2- PROPOSED ROOF PLAN  
1/4" = 1'-0"

LEGEND	PROPOSED WORK KEY NOTES:	GENERAL CONSTRUCTION NOTES:	FIRE DEPARTMENT NOTES
<div><div>DEMOLITION</div><div>EXISTING PARTITION TO REMAIN</div><div>NEW PARTITION</div></div>	<div>1. NEW RETRACTABLE SKY LYGHT MODEL T.B.D</div> <div>2. NEW CURB TO BE WATERPROOF AND TO FINISH AT EXISTING FLOOR HEIGHT</div> <div>3. NEW POSTION OF DUCT</div> <div>4. EXISTING WOOD COMPOSITE FLOOR TO REMAIN</div> <div>5. NEW WOOD COMPOSITE FLOOR TO MATCH EXISTING IN SIZE AND COLOR (APRX 645 SF)</div> <div>6. NEW PARAPET TO MATCH IN HEIGHT EXISTING ADJACENT WALL</div> <div>7. NEW GLASS RAILING TO MATCH EXISING IN HEIGHT</div> <div>8. NEW FDNY ROOF ACCESS PATH AS PER 504.4.4</div> <div>9.NEW SHIP LADDER</div> <div>10. NEW HVAC SPLIT SYSTEM (36,000 BTU CONDENSER FUJITSU AOU36RLXFZ1)</div>	<div>1. EXISTING BUILDING IS JOINT LIVING WORK QUARTERS FOR ARTIST (JLWQA)</div> <div>2. ROOF ENLARGEMENT TO BE SAME HEIGHT AS EXISTING 6TH FLOOR ROOF</div> <div>3. ENLARGEMENT FOR OFFICE USE</div> <div>4. NO CHANGE TO LIVING AREAS THROUGHOUT</div>	<div>1. AS PER FDNY 504.4.4 A CLEAR PATH OF NOT LESS THAN 6' HORIZONTAL WIDTH OF 9' IN HEIGHT SHALL BE PROVIDED FROM THE FRONT OF THE BUILDING TO THE REAR OF THE BUILING AND FROM ONE SIDE OF THE BUILDING TO THE OTHER. SUCH PATH SHALL BE ACCESSIBLE FROM EACH ROOFTOP PERIMETER ACCESS LANDING REQUIREDER PERSUANT TO FC504.4.3 IT SHALL AFFORD ACCESS TO THE BULKHEAD DOOR AND ANY ACCESS LADDERS, SKYLIGHTS, SCUTTLES AND SHAFTS. A CONDUIT OR PIPE MAY CROSS SUCH PATH IN ACCORDANCE WITH FC504.4.7 A FIXED LADDER OR OTHER APPROVED MEANS SHALL BE PROVIDED TO AFFORD ACCESS ALONG THE CLEAR PATH RFROM ONE ROOF LEVEL TO THE NEXT, INCLUDING THE BULKHEAD.</div> <div>2. AS PER 504.4.3AN ACCESS LANDING 6' IN ANY DIMENSIONON CONNECTED TO THE CLEAR PATH IS REQUIRED.</div>

PROJECT INFORMATION:

ADDRESS: 460-462 WEST BROADWAY  
NEW YORK, NY 10012

DATE: 06/23/2022

GROSS FLOOR AREA: 15,204SF

ARCHITECT OF RECORD:

**DYO**  
design office

DY-O DESIGN OFFICE  
143 WEST 29 STREET  
NEW YORK, NY 10001 SUITE# 902A

CONTACT: STEFANO MORISI R.A.  
T: 1-917-960-3961  
E: INFO@STUDIODYO.COM

DESIGN ARCHITECT:

**MCF**  
Architect  
Monica Cardin Fontana

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OWNER:

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444 MADISON AVE  
NEW YOR, NY 10022

DOB JOB #:

120070485

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Rev	Date	Description	Issued By	Issued To
1	12/11/2023	DOB Submission 1	DYO	DOB

SHEET TITLE:

PROPOSED ROOF  
PLAN

SEAL AND SIGNATURE

DATE MM/DD/YYYY

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DYO NO. 220809



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







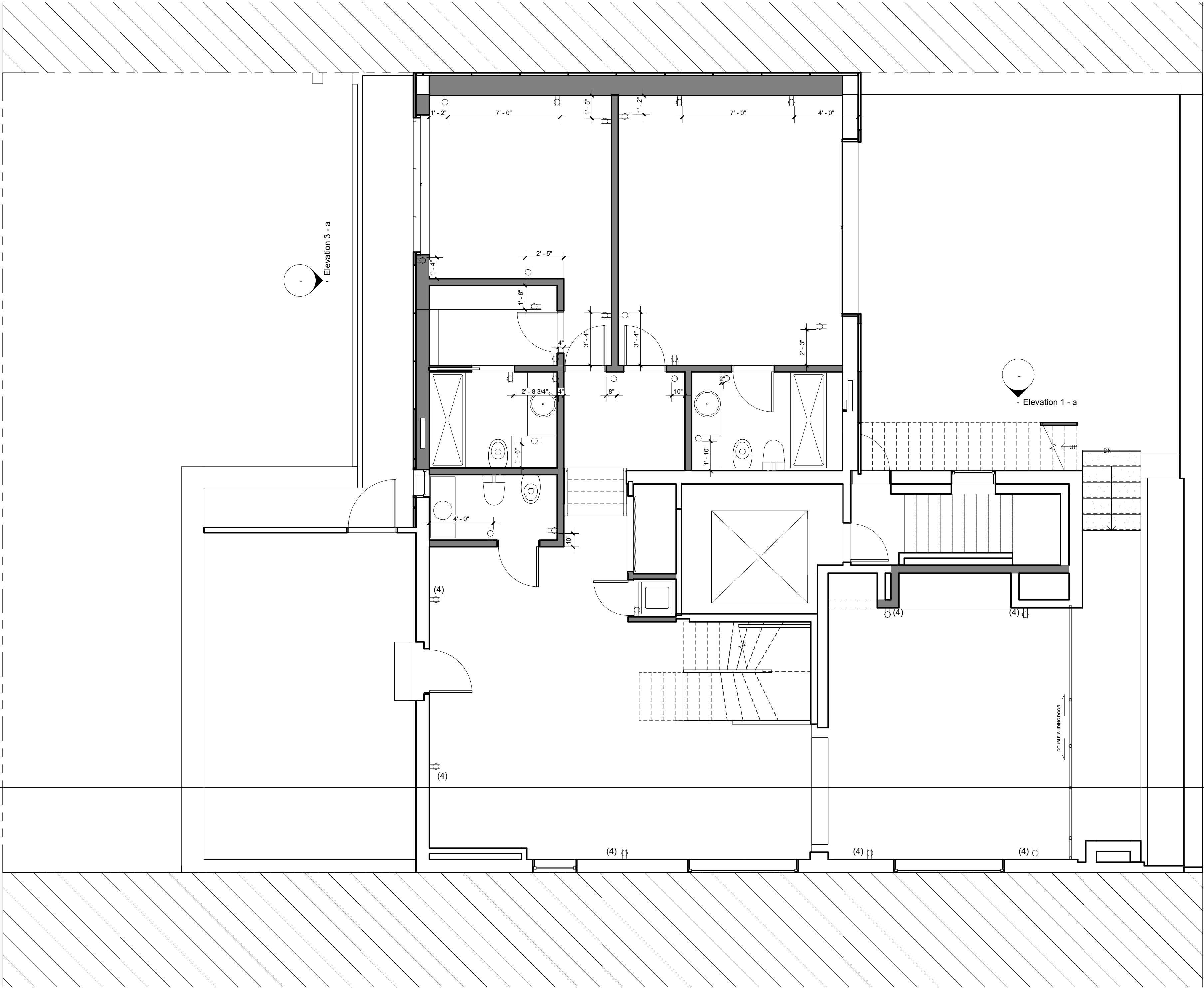
PROJECT INFORMATION:					
ADDRESS:		460-462 WEST BROADWAY NEW YORK, NY 10012			
DATE:		06/23/2022			
GROSS FLOOR AREA:		15,204SF			
ARCHITECT OF RECORD:					
<div><div><div>DYO</div><div>design office</div></div><div>DYO-0 DESIGN OFFICE 143 WEST 29 STREET NEW YORK, NY 10001 SUITE# 902A  CONTACT: STEFANO MORISI R.A. T: 1-917-960-3961 E: INFO@STUDIODYO.COM</div></div>					
DESIGN ARCHITECT:					
<div><div><div>MCF</div><div>Architect</div></div><div>Monica Cardin Fontana <a href="mailto:info@cardinfontana.it">info@cardinfontana.it</a> - <a href="http://www.cardinfontana.it">www.cardinfontana.it</a></div></div> <div>VIA MARCONI, 43 CASALECCHIO DI RENO, (BO) ARCHITETT@CARDINFONTANA.IT WWW.CARDINFONTANA.IT</div>					
OWNER:					
CRISTINA CALORI CONY REALTY, INC. 444 MADISON AVE NEW YORK, NY 10022					
DOB JOB #:					
120070485					
DISCLAIMER:					
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Rev	Date	Description	Issued By	Issued To	
1	12/11/2023	DOB Submission 1	DYO	DOB	
SHEET TITLE:					
5TH FLOOR PROPOSED POWER PLAN					
SEAL AND SIGNATURE			DATE	MM/DD/YYYY	
<div><div><div>REGISTERED ARCHITECT</div><div>STEFANO MORISI</div><div></div></div></div>			DRAWN BY	BE	
			CHECKED BY	SM	
			DYO NO.	220809	
A-106.00					
SHEET		12	OF 21		



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LEGEND		
	MASTER SWITCH OFF	
	SWITCH CONTROLLING DESIGNATE CIRCUIT	
	LOCAL SWITCH	
	DOUBLE SWITCH	
	DIMMER SWITCH	
	DENOTES CIRCUIT IN NUMBER IN AREA	
	DENOTES LIGHT FIXTURES ON SAME CIRCUIT	
	EXIT SIGN	
OSC	OCCUPANT SENSOR CONTROL	
DRC	DAYLIGHT RESPONSIVE CONTROL	
PROPOSED RCP AND POWER PLAN NOTES:		
1. PROPOSED LIGHTING WITHIN THE RATED CEILING CONFORMS TO NYC BUILDING CODE AND DOES NOT COMPROMISE THE RATED CEILING.		
2. FOR ALL RELOCATED OR NEW ELECTRICAL POINTS NEW BRANCH WIRING IS TO BE SUPPLIED BACK TO THE ELECTRICAL PANEL.		
3. APPLIANCE TO HAVE A DEDICATED CIRCUIT.		
4. EXISTING OUTLETS OUTSIDE OF SCOPE OF WORK TO REMAIN.		
ENERGY COMPLIANCE NOTES:		
1. RECESSED LIGHT FIXTURES PENETRATING THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE AIR BARRIER AS PER 2020ECC CHAPTER 4, TABLE R402.4.1.1 AIR BARRIER AND INSULATION INSTALLATION		
2. RECESSED LIGHT FIXTURES PENETRATING THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED AS PER 2020ECC CHAPTER 4, TABLE R402.4.1.1 AIR BARRIER AND INSULATION INSTALLATION		

1 SIXTH FLOOR PROPOSED POWER PLAN  
1/4" = 1'-0"



PROJECT INFORMATION:

ADDRESS: 460-462 WEST BROADWAY  
NEW YORK, NY 10012  
DATE: 06/23/2022  
GROSS FLOOR AREA: 15,204SF

ARCHITECT OF RECORD:



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DESIGN ARCHITECT:



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SHEET TITLE:

6TH FLOOR  
PROPOSED  
POWER PLAN

SEAL AND SIGNATURE



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GROSS FLOOR AREA: 15,204SF

## 120070485

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SHEET 14 OF 21





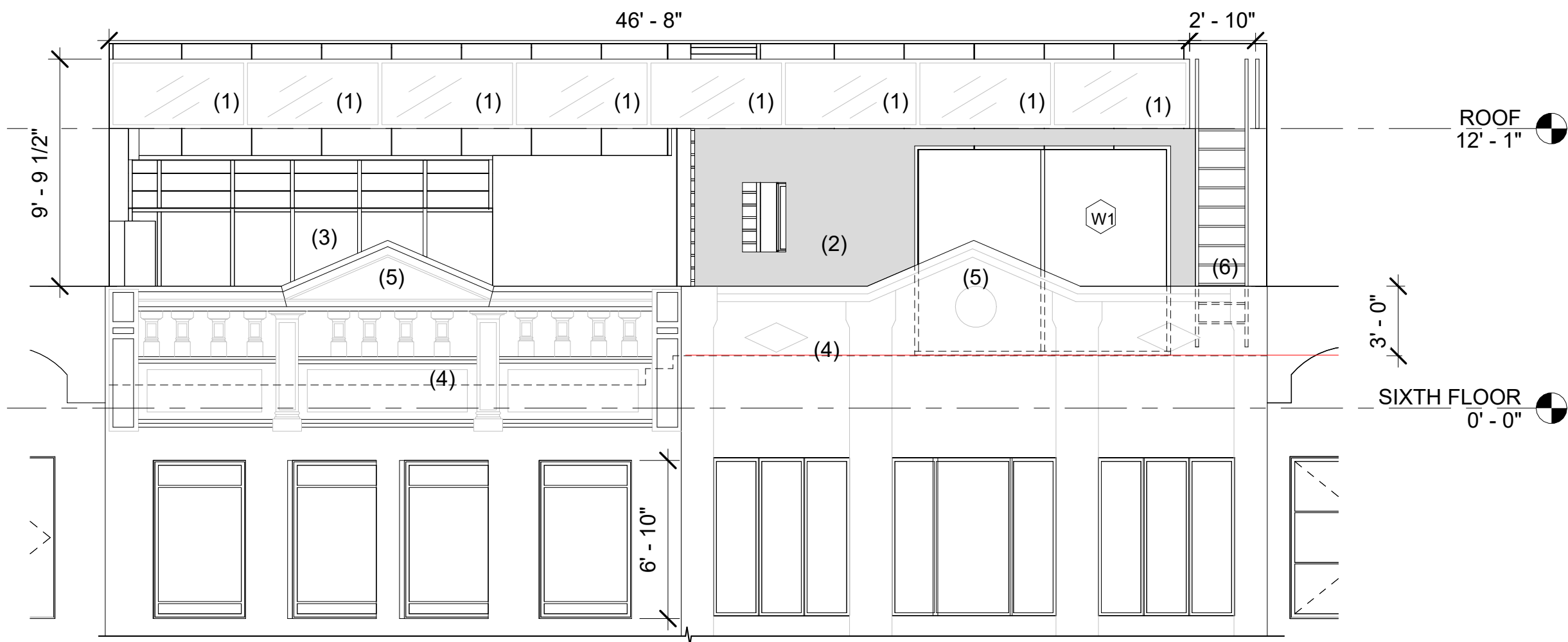
GROSS FLOOR AREA: 15,204SF

## 120070485

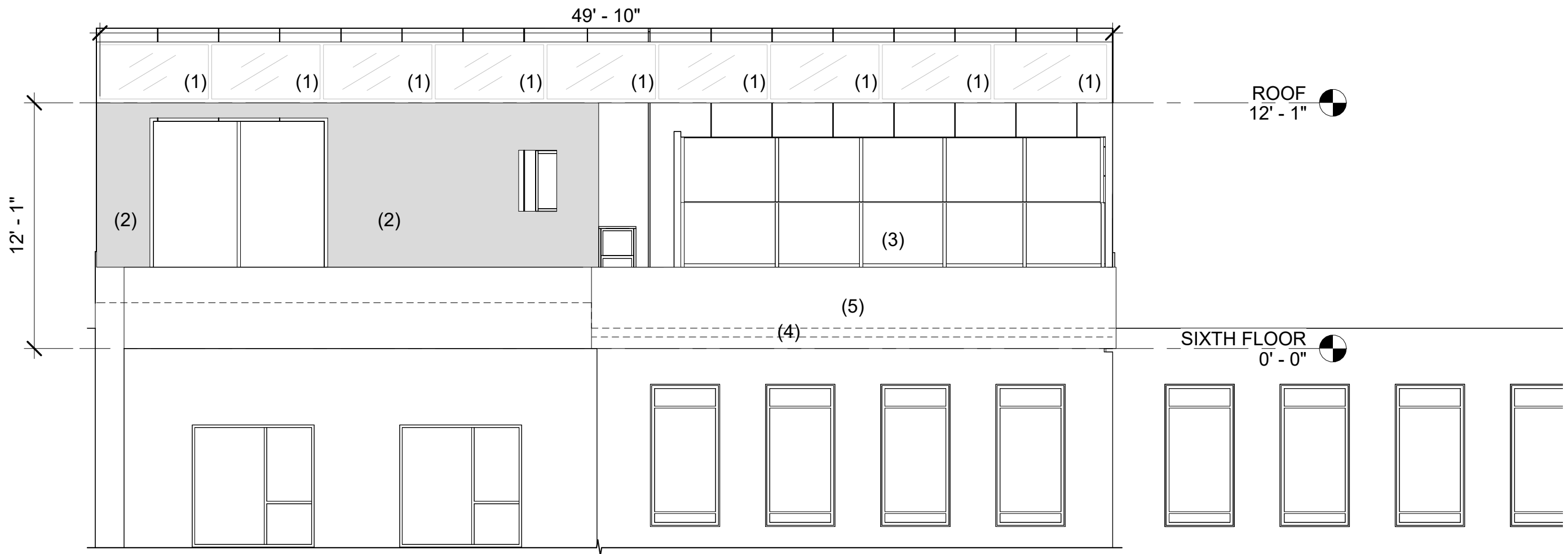
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SHEET **15** OF 21

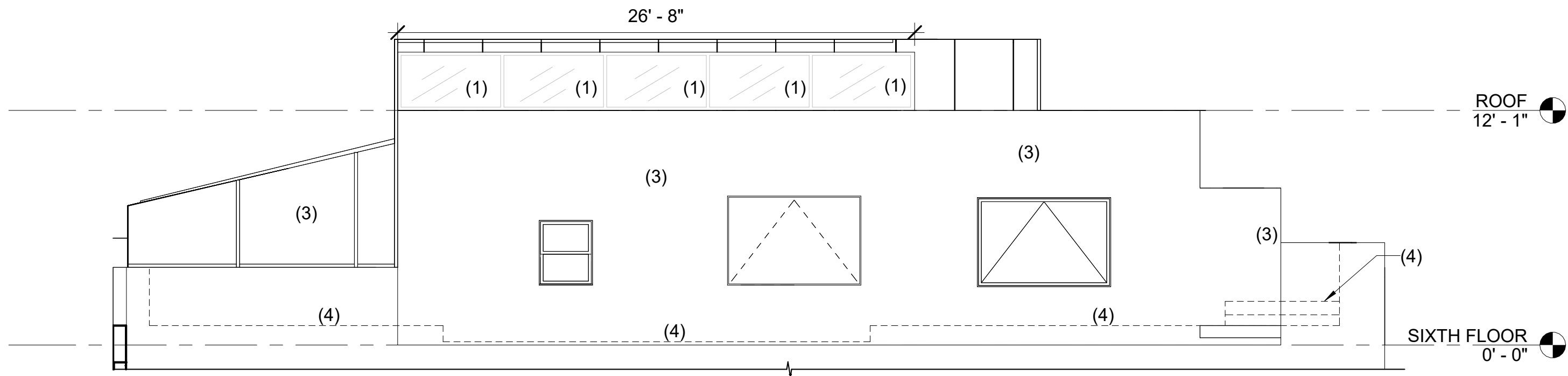




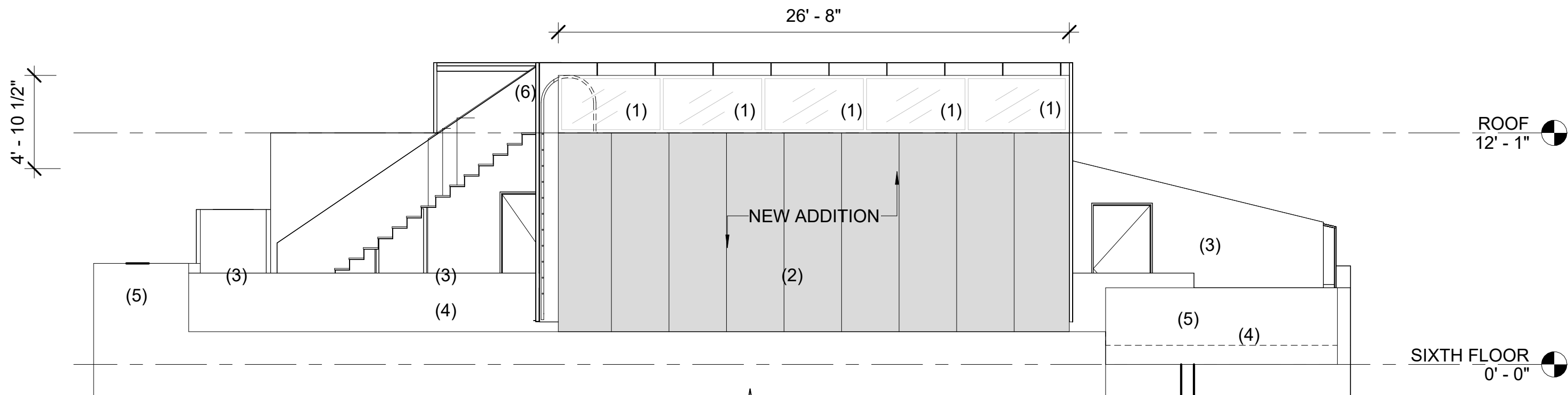
1 WEST MADISON ELEVATION  
3/16" = 1'-0"



2 REAR ELAVATION (WEST)  
3/16" = 1'-0"



4 NORTH ELAVATION  
3/16" = 1'-0"



3 SOUTH ELEVATION  
3/16" = 1'-0"

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ELEVATIONS

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SHEET 17 OF 21

LEGEND

NEW ADDITION

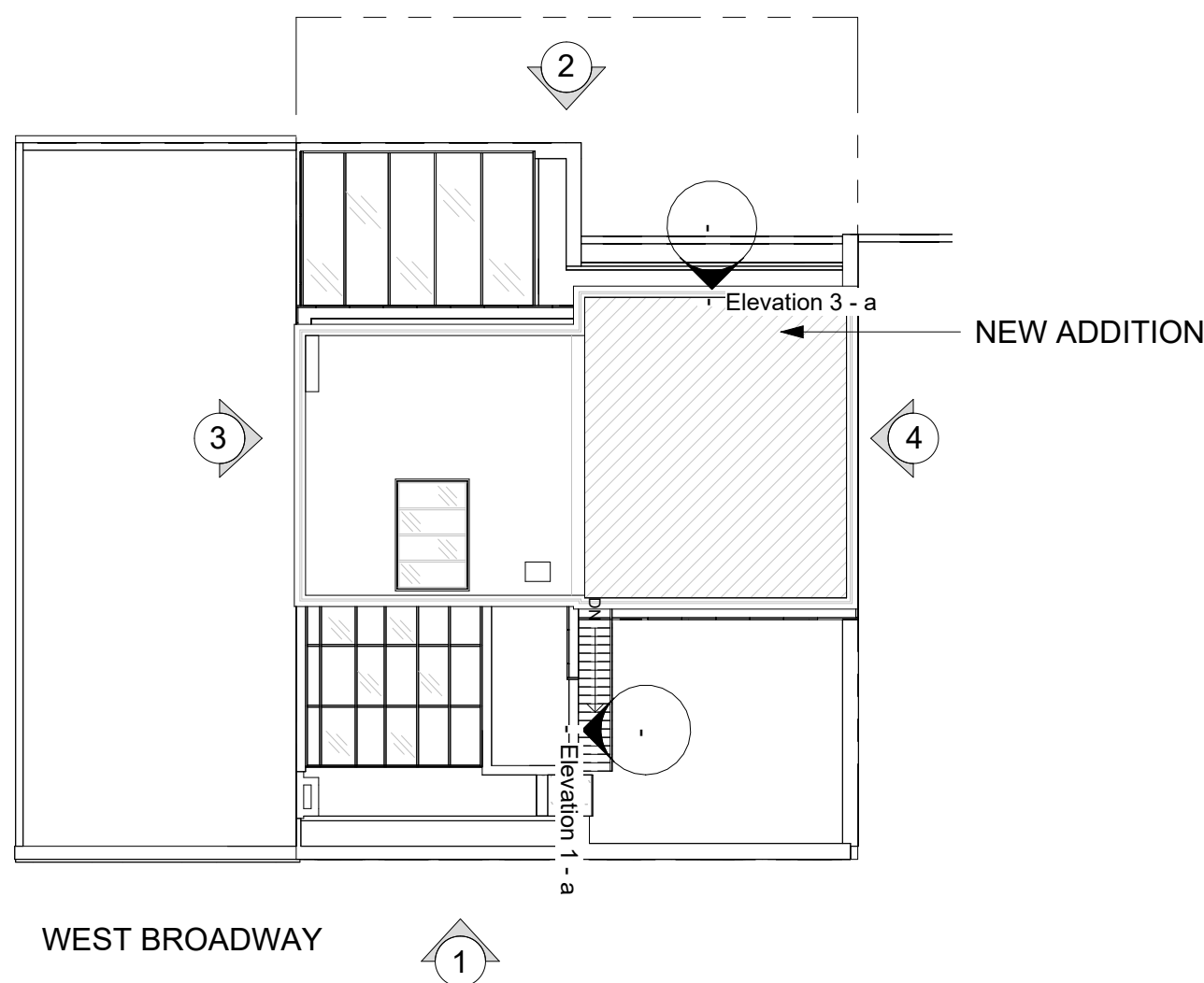
PROPOSED ELEVATION KEY NOTES:

1. NEW GLASS HAND RAILING TO MATCH EXISTING HAND RAILS IN HEIGHT
2. NEW EXTERIOR WALLS TO MATCH IN HEIGHT ADJASENT WALLS
3. EXISTING GREEN HOUSE TO REMAIN, EXISTING WALLS TO REMAIN.
4. EXTERIOR LEVEL TO REMAIN THE SAME
5. EXISITNG PARAPET WALL TO REMAIN UNTOUCHED
6. NEW METAL SHIP LADDER TO COMPLY WITH FDNY STANDARDS

GENERAL CONSTRUCTION NOTES:

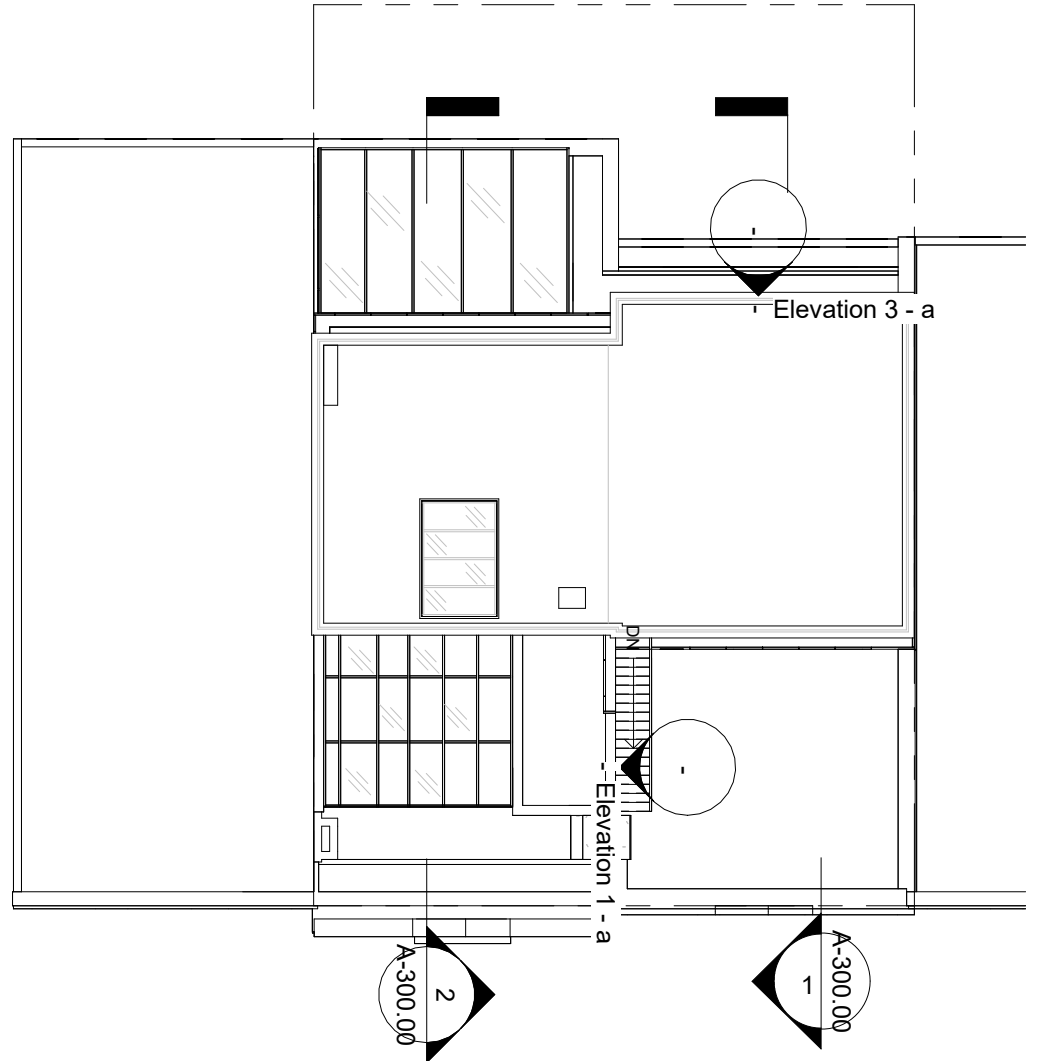
1. EXISTING BUILDING IS JOINT LIVING WORK QUARTERS FOR ARTIST (JLWQA)
2. ROOF ENLARGEMENT TO BE SAME HEIGHT AS EXISTING 6TH FLOOR ROOF
3. ENLARGEMENT FOR OFFICE USE
4. NO CHANGE TO LIVING AREAS THROUGHOUT
5. ALL RAILINGS TO MATCH IN HEIGHT PREVIUS HAND RAILS
6. WARINING! NO MATERIAL THAT CAN POTENTIALLY BE LIFTED BY WIND SHALL BE LEFT LOOSED AT ROOF TOP
- 7.NO MATERIAL SHALL REST ON ADJASENT PROPERTIES

KEY PLAN

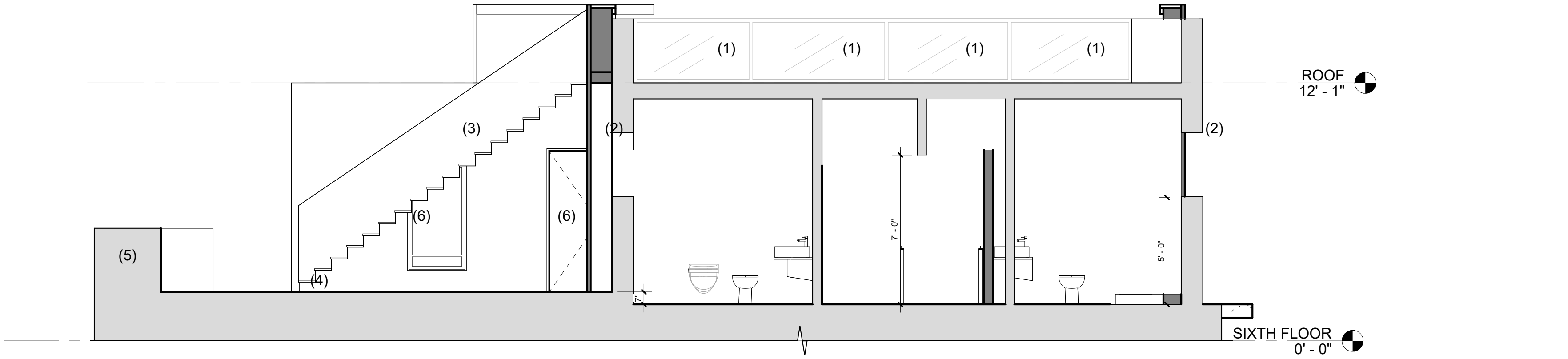




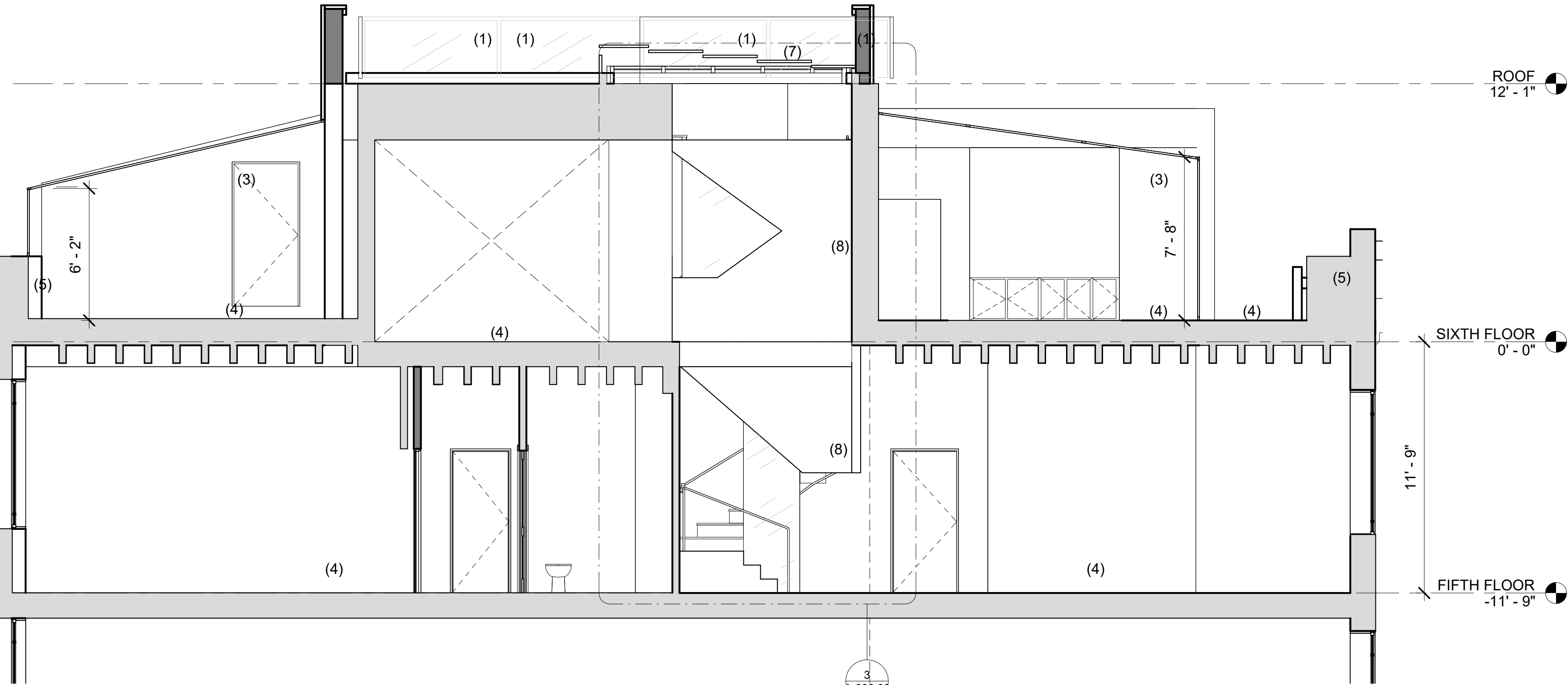
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<div>LEGEND</div> <div><div><div></div></div><div>NEW ADDITION</div></div>	<div>PROPOSED SECTION KEY NOTES:</div> <div><div>1. NEW GLASS HAND RAILING TO MATCH EXISTING HAND RAILS IN HEIGHT</div><div>2. NEW EXTERIOR WALLS TO MATCH IN HEIGHT ADJASENT WALLS</div><div>3. EXISTING GREEN HOUSE TO REMAIN, EXISTING WALLS TO REMAIN.</div><div>4. EXTERIOR LEVEL TO REMAIN THE SAME</div><div>5. EXISITNG PARAPET WALL TO REMAIN UNTOUCHED</div><div>6. EXISTING DOOR AND WINDOW TO REMAIN</div><div>7. NEW OPERABLE SKY LIGHT</div></div>	<div>GENERAL CONSTRUCTION NOTES:</div> <div><div>1. G.C TO V.I.F ALL DIMENSTIONS</div><div>2. NEW OPEINING ON ROOF SHALL BE WATERPROOFED WITH KEMPER 2K-PUR</div><div>3. ALL GLAZING USED FOR EXTERIOR SHALL BE LAMINATED TEMPERED GLASS</div><div>4. G.C TO V.I.F SKY LIGHT OPENING POSITION</div></div>	<div>KEY PLAN</div> <div></div>
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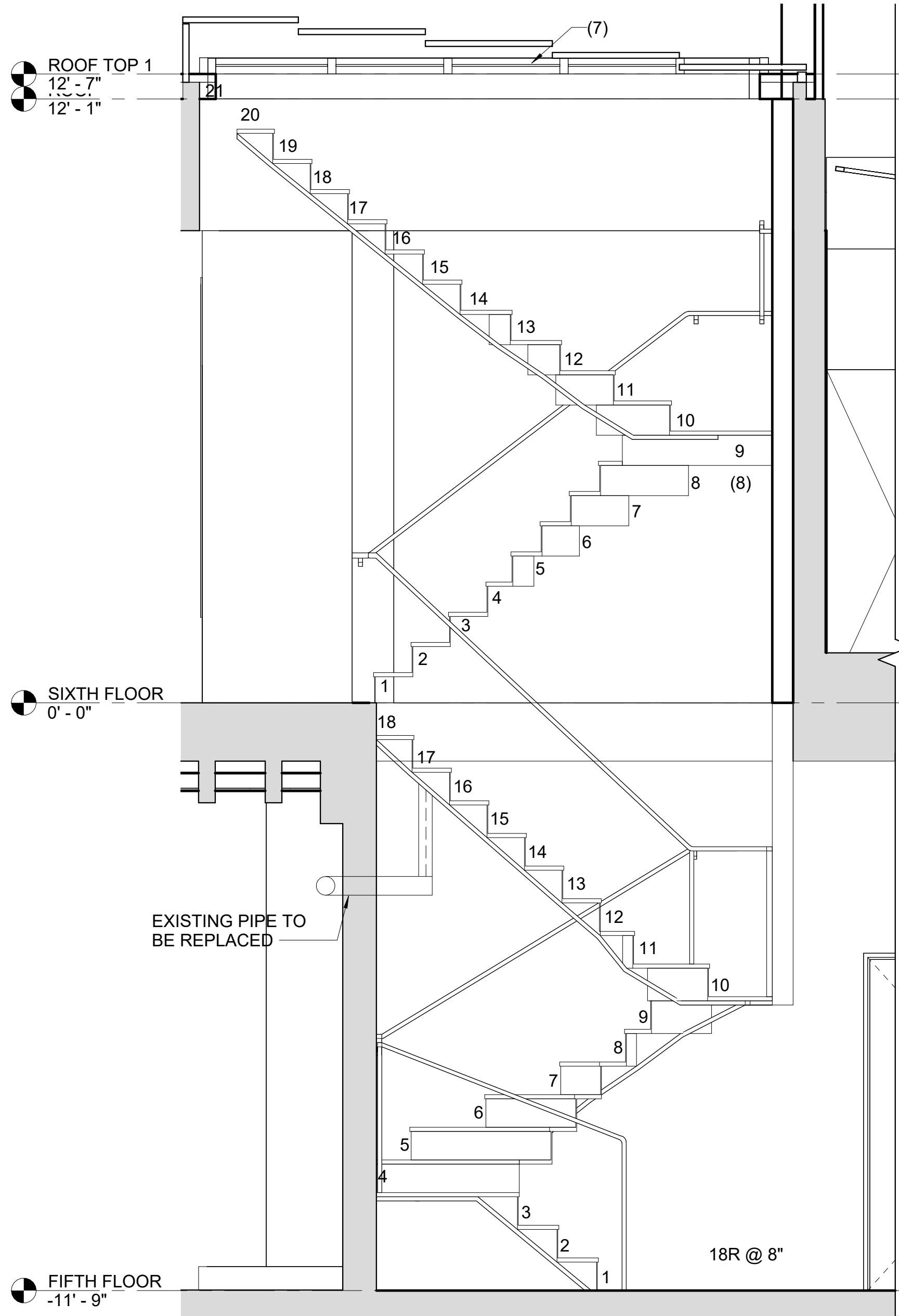
1 Roof Section  
1/4" = 1'-0"



2 Fifth & Sixth Floor Section  
1/4" = 1'-0"



3 Stairs Callout  
1/2" = 1'-0"



PROJECT INFORMATION:

ADDRESS: 460-462 WEST BROADWAY  
NEW YORK, NY 10012

DATE: 06/23/2022

GROSS FLOOR AREA: 15,204SF

ARCHITECT OF RECORD:

**DYO**  
design office

DY-O DESIGN OFFICE  
143 WEST 29 STREET  
NEW YORK, NY 10001 SUITE# 902A

CONTACT: STEFANO MORISI R.A.  
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**MCF**  
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444 MADISON AVE  
NEW YOR, NY 10022

DOB JOB #:

120070485

DISCLAIMER:

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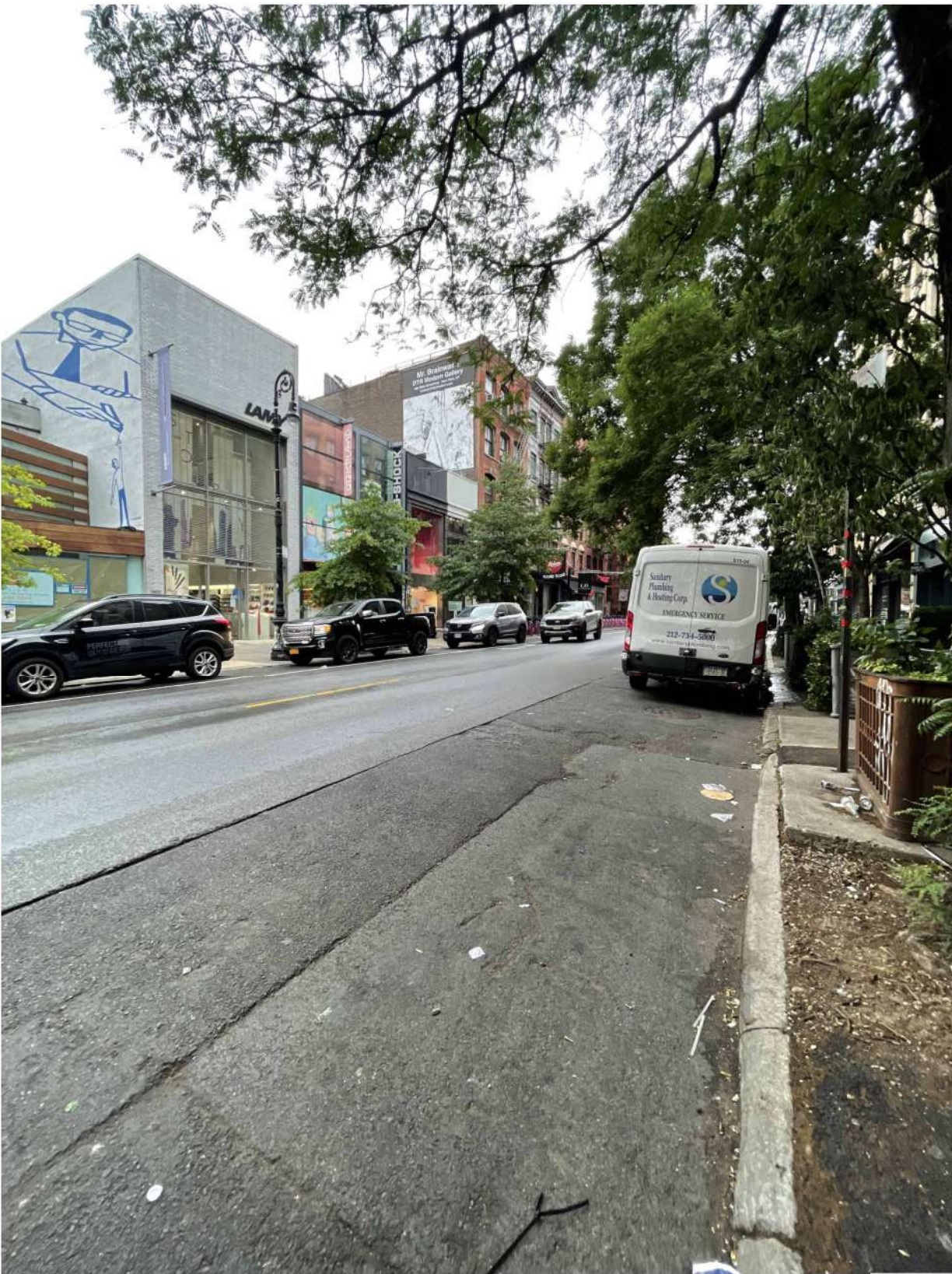
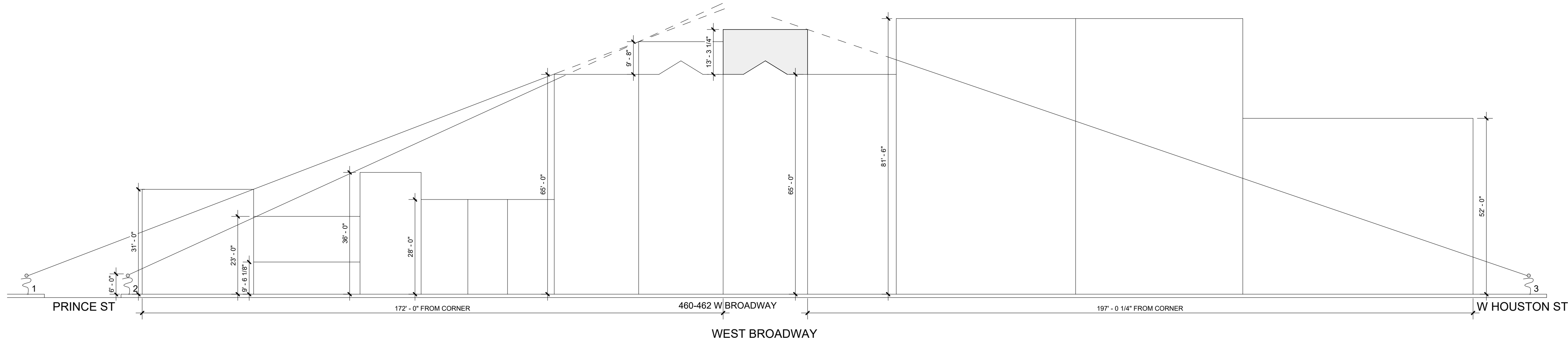
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DYO NO. 220809

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SHEET 18 OF 21





VIEW 1: EXISTING VIEW FROM PRINCE ST CORNER



VIEW 2: EXISTING VIEW FROM PRINCE ST CORNER



VIEW 3: EXISTING VIEW FROM WEST HOUSTON ST CORNER



VIEW 4: EXISTING VIEW FROM WEST HOUSTON ST CORNER



VIEW 1: PROPOSED VIEW FROM PRINCE ST CORNER



VIEW 2: PROPOSED VIEW FROM PRINCE ST CORNER



VIEW 3: PROPOSED VIEW FROM WEST HOUSTON ST CORNER



VIEW 4: PROPOSED VIEW FROM WEST HOUSTON ST CORNER

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## ROOFTOP RENDERS

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NORTH WEST VIEW



NORTH EAST VIEW

PROJECT INFORMATION:

ADDRESS: 460-462 WEST BROADWAY  
NEW YORK, NY 10012

DATE: 06/23/2022

GROSS FLOOR AREA: 15,204SF

ARCHITECT OF RECORD:



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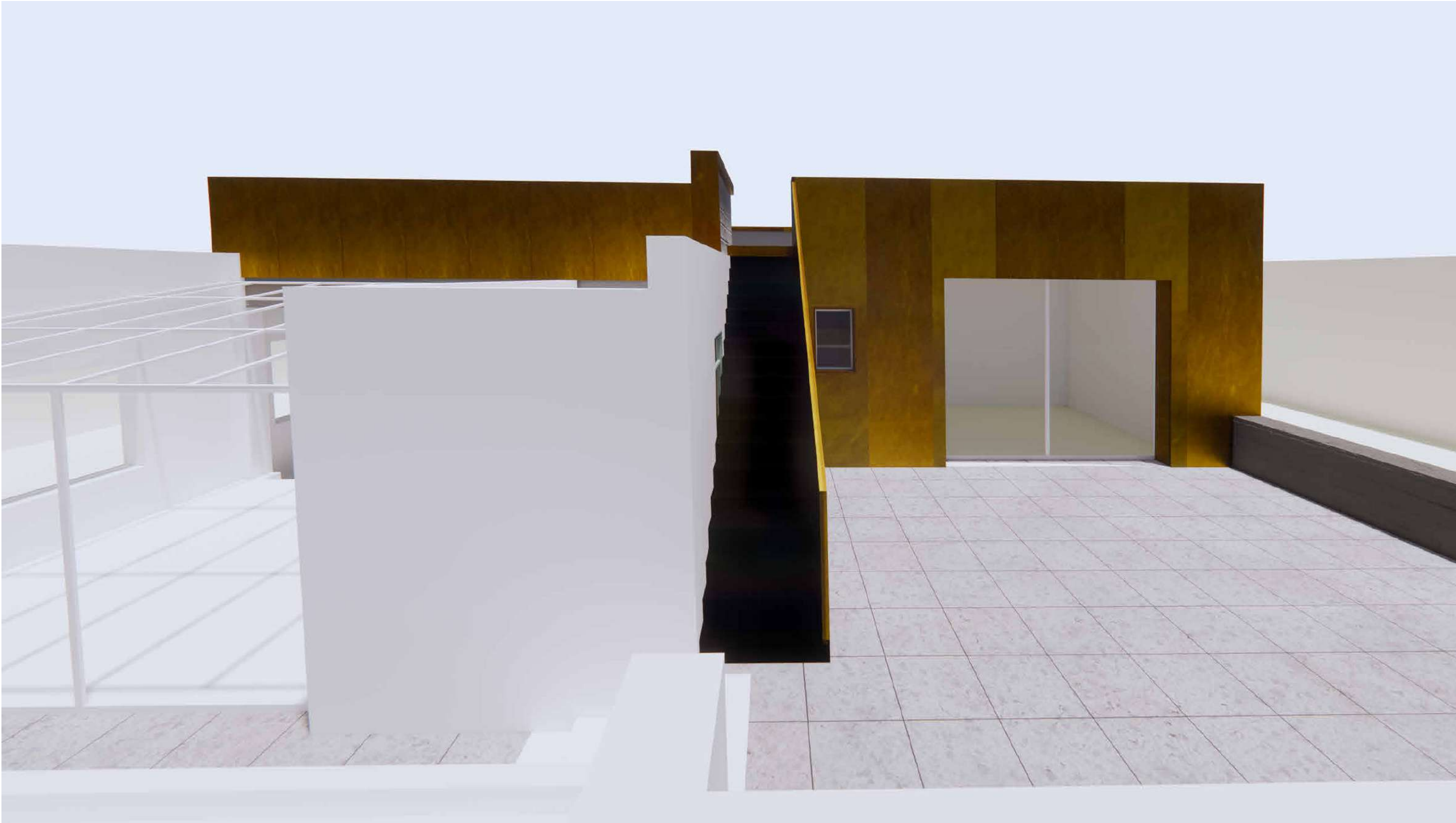
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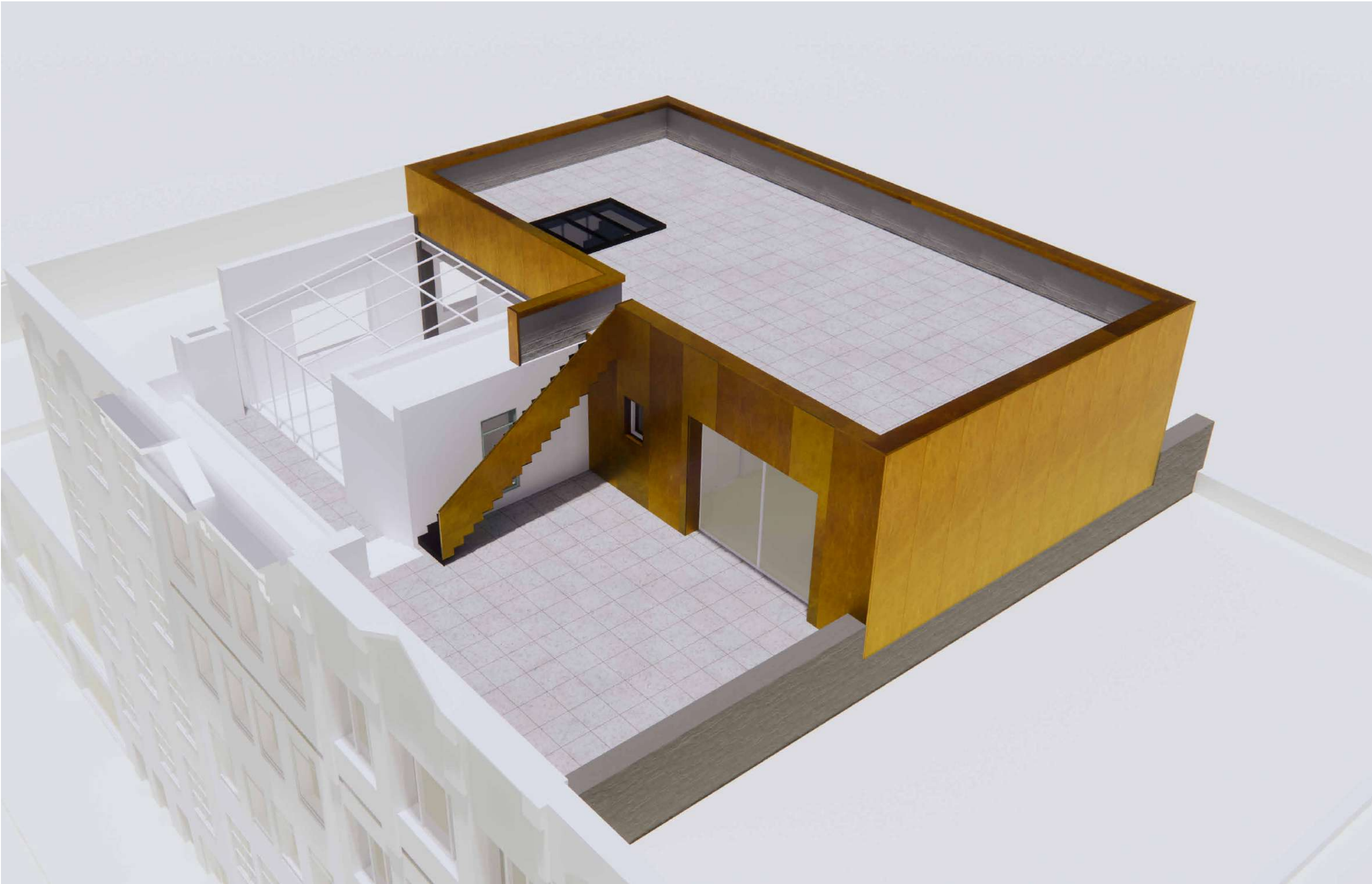
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SHEET OF 21





WEST MADISON VIEW



SOUTH WEST VIEW

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DATE: 06/23/2022

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ARCHITECT OF RECORD:



DY-O DESIGN OFFICE  
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