

Meeting Date: \_\_\_\_\_

**APPLICANT INFORMATION:**

Name of applicant(s): PHILIP TESTA, CHRIS MAIER, JORDAN ANDINO

Trade name (DBA): 142 CARRIAGE HOUSE LLC "CARRIAGE HOUSE NYC"

Premises address: 142 110TH STREET

Cross Streets and other addresses used for building/premise: WABERLY + GREENWICH

**CONTACT INFORMATION:**

Principal(s) Name(s): PHILIP TESTA

Office or Home Address: [REDACTED]

City, State, Zip: [REDACTED] [REDACTED]

Telephone #: [REDACTED] 9 email: [REDACTED]

Landlord Name / Contact: ASCOT PROPERTIES / MICHAEL BROWN

Landlord's Telephone and Fax: [REDACTED]

**NAMES OF ALL PRINCIPAL(s):      NAMES / LOCATIONS OF PAST / CURRENT LICENSES HELD**

<u>PHILIP TESTA</u>	_____
<u>CHRIS MAIER</u>	_____
<u>JORDAN ANDINO</u>	_____

Briefly describe the proposed operation (i.e. "We are a family restaurant that will focus on..."):  
CARRIAGE HOUSE NYC IS AN AMERICAN RESTAURANT  
CELEBRATING THE DIVERSE AND VIBRANT FLAVORS OF  
INTERNATIONAL CUISINES.

**WHAT TYPE(S) OF LICENSE(S) ARE YOU APPLYING FOR ( MARK ALL THAT APPLY):**

a new liquor license (  Restaurant  Tavern / On premise liquor  Other )

an UPGRADE of an existing Liquor License

an ALTERATION of an existing Liquor License

a TRANSFER of an existing Liquor License

a HOTEL Liquor License

a DCA CABARET License

a CATERING / CABARET Liquor License

a BEER and WINE License

a RENEWAL of an existing Liquor License

an OFF-PREMISE License (retail)

OTHER : \_\_\_\_\_

If upgrade, alteration, or transfer, please describe specific nature of changes:

(Please include physical or operational changes including hours, services, occupancy, ownership, etc.)

FROM BEER/WINE TO FULL LIQUOR

If this is for a new application, please list previous use of location for the last 5 years:

Is any license under the ABC Law currently active at this location?  yes  no

If yes, what is the name of current / previous licensee, license # and expiration date: \_\_\_\_\_

LICENSE # 1353625 EXP. ~~10-3-23~~ 10-5-23

Have any other licenses under the ABC Law been in effect in the last 10 years at this location?

yes  no

If yes, please list DBA names and dates of operation:

UNKNOWN

**PREMISES:**

By what right does the applicant have possession of the premises?

\_\_\_ Own  Lease \_\_\_ Sub-lease \_\_\_ Binding Contract to acquire real property \_\_\_ other: \_\_\_\_\_

Type of Building: \_\_\_ Residential \_\_\_ Commercial  Mixed (Res/Com) \_\_\_ Other: \_\_\_\_\_

Number of floor: 4 Year Built : \_\_\_\_\_

Describe neighboring buildings:  
RESIDENTIAL ON BOTH SIDES

Zoning Designation: \_\_\_\_\_

Zoning Overlay or Special Designation (applicable) \_\_\_\_\_

Block and Lot Number: 610 / 7502

Does the premise occupy more than one building, zoning lot, tax lot or more than one floor? \_\_\_ yes  no

Is the premise located in a historic district?  yes \_\_\_ no

(if yes, have all exterior changes or changes governed by the Landmarks Preservation Commission (LPC) been approved by the LPC?  yes \_\_\_ no, please explain : \_\_\_\_\_

Will any outside area or sidewalk café be used for the sale or consumption of alcoholic beverages? (including sidewalk, roof and yard space)  no \_\_\_ yes : explain \_\_\_\_\_

What is the proposed Occupancy? 65

Does the premise currently have a valid Certificate of Occupancy (C of O) and all appropriate permits?

\_\_\_ no  yes

If yes, what is the maximum occupancy for the premises?                     

If yes, what is the use group for the premises? \_\_\_\_\_

If yes, is proposed occupancy permitted? \_\_\_ yes \_\_\_ no, explain : \_\_\_\_\_

If your occupancy is 75 or greater, do you plan to apply for Public Assembly permit? \_\_\_ yes  no

Do you plan to file for changes to the Certificate of Occupancy? \_\_\_ yes  no  
(if yes, please provide copy of application to the NYC DOB)

Will the façade or signage be changed from what currently exist at the premise?  no \_\_\_ yes

(if yes, please describe: \_\_\_\_\_

**INTERIOR OF PREMISES:**

What is the total licensed square footage of the premises? 1,691 (~~1,322 Dining~~)

If more than one floor, please specify square footage by floors: 1,691 / 784

If there is a sidewalk café, rear yard, rooftop, or outside space, what is the square footage of the area?  
N/A

If more than one floor, what is the access between floors? STAIRS

How many entrances are there? 1 How many exits? 1 How many bathrooms? 3

Is there access to other parts of the building?  no  yes, explain: \_\_\_\_\_

**OVERALL SEATING INFORMATION:**

Total number of tables? 18 Total table seats? 45

Total number of bars? 1 Total bar seats? 10

Total number of "other" seats? \_\_\_\_\_ please explain: \_\_\_\_\_

Total OVERALL number of seats in Premises: 55

**BARS:**

How many \*stand-up bars / bar seats are being applied for on the premises? Bars 1 Seats 10

How many service bars are being applied for on the premises? 1

Any food counters?  no  yes, describe: \_\_\_\_\_

**For Alterations and Upgrades:**

Please describe all current and existing bars / bar seats and specific changes: \_\_\_\_\_

1 Full Bar w/ SERVICE AND DINING - 10 TOTAL SEATS

\* A stand-up bar is any bar or counter (whether seating or not) over which a member of the public can order, pay for and receive food and alcoholic beverages.

**PROPOSED METHOD OF OPERATION:**

What type of establishment will this be? (check all that apply)

Bar  Bar & Food  Restaurant  Club/ Cabaret  Hotel  Other: \_\_\_\_\_

What are the Hours of Operation?

Sunday: Monday: Tuesday: Wednesday: Thursday: Friday: Saturday:

5 to 11 5 to 11 — to — 5 to 11 5 to 11 5 to 12 5 to 12

Will the business employ a manager? \_\_\_ no  yes, name / experience if known : CESAR GARCIA

Will there be security personnel?  no \_\_\_ yes( if yes, what nights and how many?) \_\_\_\_\_

Do you have or plan to install French doors, accordion doors or windows that open?  no \_\_\_ yes

If yes, please describe : \_\_\_\_\_

Will you have TV's ?  no \_\_\_ yes ( how many? ) \_\_\_\_\_

Type of MUSIC / ENTERTAINMENT: \_\_\_ Live Music \_\_\_ Live DJ \_\_\_ Juke Box  Ipod / CDs  none

Expected Volume level:  Background (quiet) \_\_\_ Entertainment level \_\_\_ Amplified Music  
(check all that apply)

Do you have or plan to install soundproofing? \_\_\_ no \_\_\_ yes - ALREADY PREVIOUSLY INSTALLED

IF YES, will you be using a professional sound engineer? \_\_\_\_\_

Please describe your sound system and sound proofing: LANTANO INSTALLED SOUNDPROOFING  
IN THE REAR KITCHEN AREA. WE HAVE IN-CEILING SPEAKERS

Will you be permitting: \_\_\_ promoted events \_\_\_ scheduled performances \_\_\_ outside promoters

\_\_\_ any events at which a cover fee is charged? \_\_\_ private parties

Do you have plans to manage or address vehicular traffic and crowd control on the sidewalk caused by your establishment?  no \_\_\_ yes ( if yes, please attach plans)

Will you be utilizing \_\_\_ ropes \_\_\_ movable barriers \_\_\_ other outside equipment (describe) \_\_\_\_\_  
NO

Are your premises within 200 feet of any school, church or place of worship?  no \_\_\_ yes

**If there is a school, church or place of worship within 200 feet of your premises or on the same block, please submit a block plot diagram or area map showing its' location in proximity to your applicant premises ( no larger than 8 ½ " x 11").**

Indicate the distance in feet from the proposed premise:

Name of School / Church: \_\_\_\_\_

Address: \_\_\_\_\_ Distance: \_\_\_\_\_

Name of School / Church: \_\_\_\_\_

Address: \_\_\_\_\_ Distance: \_\_\_\_\_

Name of School / Church: \_\_\_\_\_

Address: \_\_\_\_\_ Distance: \_\_\_\_\_

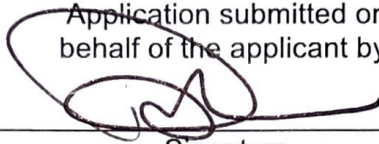
Please provide contact information for Residents / Community Board and confirm that if complaints are made you will address it immediately.

Contact Person: PHILIP TESTA Phone: 

Address: 

Email: 

Application submitted on behalf of the applicant by:



Signature

Print or Type Name PHILIP TESTA

Title OWNER

Thank you for your cooperation. Please return this questionnaire along with the other required documents as soon as you can. This will expedite your application and avoid any unnecessary delays. Use additional pages if necessary.



Community Board 2,  
Manhattan SLA Licensing Committee  
Donna Raftery, Co-Chair  
Robert Ely, Co-Chair



DO YOU REMEMBER THE 21ST NIGHT?  
SEPTEMBER 2023

### SEASONAL BUTTER CANDLE

*pumpkin spiced, candied pepitas*

*\*Leave the flashing at the Jersey Shore...  
Please refrain from using flash photo or video.*

### CH CANAPÉS

POMME PAVE WITH ASSORTED TOPPINGS  
*One of Each \$32 // Double Down \$60*

- ❖ LOBSTER aioli, sesame, soy, furikake \$9
- ❖ SCALLOP smoked Maldon, lemon whipped cream \$7
- ❖ SALMON smoked, creme fraiche, everything bagel \$6
- ❖ STEAK hot honey, sweet soy \$8
- ❖ MUSHROOM duxelle, truffle, ricotta salata \$5

### FROM THE GARDEN

BEET CARPACCIO VG, GF \$18  
*horseradish labne, sunflower & almond dukkah*

SHAVED BRUSSELS VG, GF \$24  
*blood orange, feta, Calabrian sweet chile vinaigrette, peanuts*

FRENCH ONION BURRATA VG \$21  
*soubise, focaccia crostini*

MAPLE CHARRED HEIRLOOM CARROTS VG, GF \$18  
*feta & ricotta mousse, lemon charcoal vadouvan, carrot top pesto*

NDUJA EGGPLANT GF, DF \$17  
*romanesco, mint, chives, toasted almonds*

THE BIG SALAD VG, GF \$18  
*mesclun, pickled grape vinaigrette, candied walnuts, granny smith apple*

HEIRLOOM SALAD VG, GF \$25  
*tomatoes, fried garbanzo, snow peas, whipped yogurt, feta*

### FROM THE SEA

SCALLOP PACCHERI NERI \$37  
*vino blanco, pecorino cream, dashi*

SPICY LOBSTER CHITARRA \$42  
*reduced lemon cream, bread crumbs*

COCONUT SEABASS GF, DF \$35  
*kale crisp, herb aromatics, furikake rice cake*

### FROM THE LAND

DRY AGED NY STRIP \$59  
*herb marinated, buttermilk horseradish cream, beef fat scallop potatoes*

MANGALISTA PORK CHOP GF, DF \$39  
*quince & apple chutney, seasonal greens, fennel pollen vinaigrette*

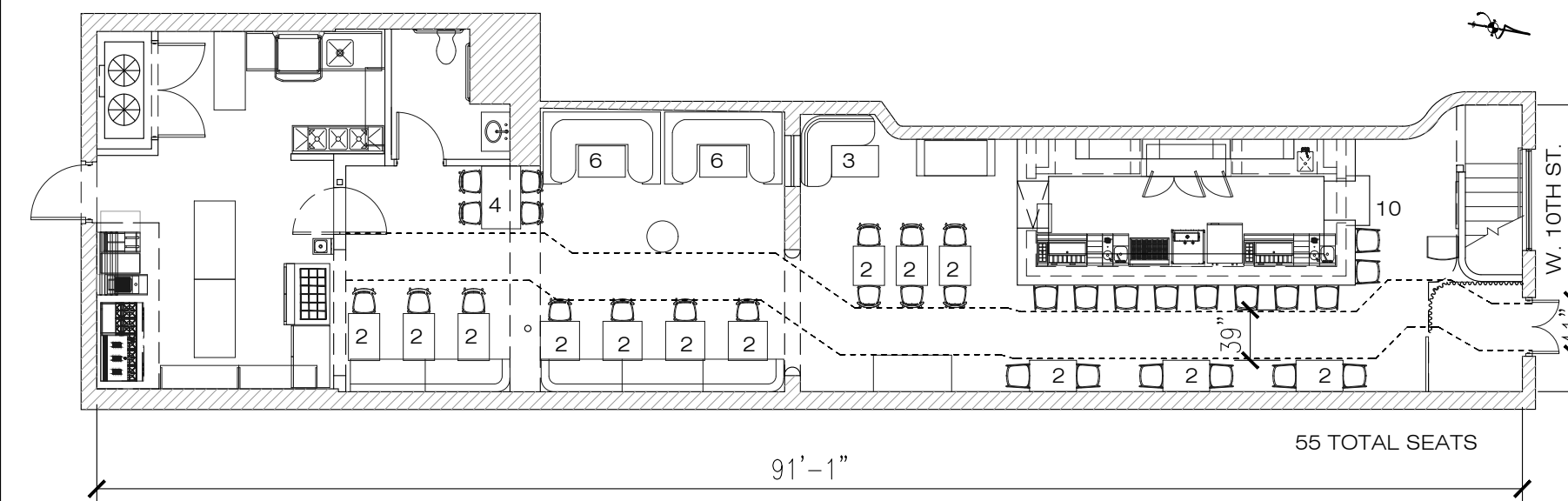
PERI PERI BIRD GF \$45  
*1/2 chicken, served on the bone, butter cream au jus*

OXTAIL AGNOLOTTI \$32  
*mascarpone, jasmine rice crisp, red wine demi glacé*

BISON SINIGANG GF, DF \$47  
*tamarind braised short rib, tomato, bok choy, Chinese long bean, taro root*

# PROPOSED INTERIOR ALTERATION CARRIAGE HOUSE

BLOCK 610 LOT 7502  
142 WEST 10TH STREET  
MANHATTAN, NEW YORK 10014



**FIRST FLOOR PLAN**  
3/32" = 1'-0"



ISSUE	
DATE	05.05.22
ISSUE FOR LANDLORD REVIEW	

**Architectura**  
Suite LL100  
One Executive Drive  
142 West 10th Street  
Manhattan, NY 10014  
Tel: 201-346-1400 Fax: 201-346-1420  
frontdesk@architectura.com

**Architectura**  
THE CARRIAGE HOUSE  
142 WEST 10TH STREET  
MANHATTAN, NY  
© ARCHITECTURA, 2021

## PROJECT TEAM

<b>ARCHITECT:</b> ARCHITECTURA ONE EXECUTIVE DRIVE, Suite LL100 FORT LEE, NJ 07024 TEL: 201-346.1400 CONTACT: CHRISTOPHER M. MANOS	<b>MEP ENGINEER:</b> ENGINEERING SOLUTIONS 150 WEST 30TH STREET, Suite 402 NEW YORK, NY 10001 TEL: 212-840.1030 CONTACT: JEFFREY SPIVAK	<b>TENANT:</b> CARRIAGE HOUSE CONTACT: PHILIP TESTA
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## ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1 HR	ONE HOUR	MFR	MANUFACTURER/MANUFACTURED
AFF	ABOVE FINISHED FLOOR	MIR	MIRRORED VIEW
ALUM	ALUMINUM	MTL	METAL
BD	BOARD	(N)	NEW
BOS	BOTTOM OF STRUCTURE	PLAM, P-LAM OR LAM	PLASTIC LAMINATE
CJ	CONTROL JOINT	PNL	PANELS
CPT/CPAD/CPTB	CARPET AND PAD AND CARPET BASE	PT / PTD	PAINT
CRT or CONC.	CONCRETE	QT	QUARRY TILE
CT/CTB	CERAMIC TILE/CERAMIC TILE BASE	RBR	RUBBER FLOORING
DR	DOOR	RCB	RUBBER COVE BASE
DWGS	DRAWINGS	RCP	REFLECTED CEILING PLAN
DWR	DRAWER	REM	RECESSED ENTRY MAT
EIFS	EXTERIOR INSULATION & FINISH SYSTEM	RO	ROUGH OPENING
EJ	EXPANSION JOINT	SC	SEALED CONCRETE
EXIST or (E)	EXISTING	SCWD	SOLID CORE WOOD DOOR
FEC	FIRE EXTINGUISHER CABINET	SIM	SIMILAR
FEC-HV	FIRE EXTINGUISHER CABINET & HOSE VALVE	SOG	SLAB ON GRADE
FOF	FACE OF FINISH	STL	STEEL
FOS	FACE OF STUD	STN	STONE
GWB	GYPSUM WALL BOARD	TBD	TO BE DETERMINED
GYP	GYPSUM	TYP	TYPICAL
HCWD	HOLLOW CORE WOOD DOOR	UNO	UNLESS NOTED OTHERWISE
HP	HIGH POINT	VCT	VINYL COMPOSITE TILE
HWD	HARDWOOD	VIF	VERIFY IN FIELD
INT	INTERIOR	VYL / WVC	VINYL WALL COVERING
LP	LOW POINT	WD	WOOD
MDF	MEDIUM DENSITY FIBERBOARD		

## SYMBOL LEGEND

<b>KEYNOTE DESIGNATION</b>		<b>PARTITION TYPE</b>	
<b>DOOR DESIGNATION</b>		<b>REVISION DESIGNATION</b>	
<b>WINDOW DESIGNATION</b>		<b>DEMOLITION KEY NOTE</b>	
<b>ROOM / SPACE DESIGNATION</b>		<b>COLUMN GRID DESIGNATION</b>	
<b>ELEVATION HEIGHT</b>		<b>ENLARGED DETAIL DESIGNATION</b>	
<b>ELEVATION DESIGNATION</b>		<b>INTERIOR ELEV. DESIGNATION</b>	

## GENERAL NOTES

- THE WORK DELINEATED IN THESE DRAWINGS SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS, & CONSTRUCTION CRITERIA OF THE LANDLORD. WORK SHALL CONFORM ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED; ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE PERFORMED BY THE TENANTS CONTRACTOR. ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE TENANTS CONTRACTOR(S).
- ALL REQUIREMENTS AND REGULATIONS PERTAINING TO THE HANDICAPPED AND OSHA MUST BE INCORPORATED IN THE WORK EVEN THOUGH THEY MAY NOT BE LISTED INDIVIDUALLY AND SEPARATELY IN EITHER THE DRAWINGS OR SPECIFICATIONS.
- LIMITATION OF DESIGN PROFESSIONAL'S LIABILITY: OWNER HEREBY AGREES THAT TO THE FULLEST EXTENT PERMITTED BY LAW, DESIGN PROFESSIONAL'S TOTAL LIABILITY TO OWNER OR CONTRACTOR FOR ANY AND ALL INJURIES, CLAIMS, LOSSES, ANY CAUSE OR CAUSES INCLUDING, BUT NOT LIMITED TO, DESIGN PROFESSIONAL'S NEGLIGENCE, ERRORS, OMISSIONS, STRICT DESIGN, ISSUES OR MODIFICATIONS ARISING FROM THE DEPARTMENT OF BUILDING REVIEW OR SELF-CERTIFICATION PROCESS, BREACH OF CONTRACT OR BREACH OF WARRANTY SHALL NOT EXCEED TEN PERCENT OF THE TOTAL COMPENSATION FOR ACTUAL ARCHITECTURAL SERVICES RECEIVED BY DESIGN PROFESSIONAL UNDER THIS AGREEMENT OR \$1000 WHICHEVER IS LESS. ACCEPTANCE OF THIS CONDITION AND LIMITATION OF LIABILITY, BY THE OWNER, SHALL BE UNDERSTOOD AND ACCEPTED BY THE OWNER UPON SUBMISSION OF THESE DRAWINGS TO THE NYDOB.
- THESE GENERAL NOTES SHALL APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED.
- REVIEW ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECTS IMMEDIATELY. NO INFORMATION OR DETAILS ON THE DRAWINGS OF THIS PROJECT MAY BE USED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
- DO NOT SCALE DRAWINGS.
- NO EQUIPMENT IS TO BE INSTALLED THAT REQUIRES STRUCTURAL ENGINEERING.

## PLOT PLAN



## LOCATION MAP



## GENERAL CONTRACTOR NOTES

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT THE SITE BEFORE STARTING WORK AND SHALL BE RESPONSIBLE FOR SAME. IF THERE IS ANY VARIATION FROM THESE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- ALL CONTRACTORS SHALL PROVIDE AND MAINTAIN CONTRACTORS LIABILITY PROPERTY DAMAGE INSURANCE AND WORKMENS COMPENSATION INSURANCE. ALL PHASES OF CONSTRUCTION SHALL COMPLY TO LOCAL, STATE, AND FEDERAL SAFETY LAWS.
- ALL WORK AND MATERIALS MUST COMPLY WITH THE STATE'S BUILDING CODE, AS WELL AS TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES. ALL PLUMBING AND HEATING WORK SHALL CONFORM WITH THE LOCAL HEALTH DEPARTMENT REQUIREMENTS AND WITH ALL OTHER APPLICABLE CODES AND ORDINANCES.
- NO WORK TO BE STARTED UNTIL ALL BUILDING PERMITS ARE SECURED BY THE CONTRACTOR.
- THE CONTRACTOR DOING THE WORK SHALL OBTAIN ALL NECESSARY PERMITS (SEWER, WATER, ELECTRIC, PLUMBING, ETC) AND APPROVALS OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO SECURE THE CERTIFICATE OF OCCUPANCY UPON THE COMPLETION OF THE WORK.
- ALL MATERIALS, ASSEMBLIES, FORMS, AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS:
  - IT SHALL HAVE BEEN ACCEPTED PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD.
  - OR, SHALL HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHODS BY THE COMMISSIONER.
  - OR, APPROVED BY THE BOARD OF STANDARD AND APPEALS.
- THE CONTRACTOR SHALL SUPPLY TO THE OWNER AND THE ARCHITECT COPIES OF ALL APPROVALS GRANTED BY THE B.S.A. & OR M.E.A. FOR EQUIPMENT INSTALLED UPON THE PREMISES.
- THE ARCHITECT HAS NOT BEEN RETAINED FOR ANY FIELD SUPERVISION OR INSPECTION. HIS SERVICE AND RESPONSIBILITIES ARE LIMITED TO THE PREPARATION OF THE PLAN AND BUILDING DEPARTMENT FILING TO OBTAIN PLAN APPROVAL. IT SHALL BE UNDERSTOOD THAT THE SCOPE OF THESE DRAWINGS INCLUDE ONLY ARCHITECTURAL INFORMATION AND THAT NO FURTHER LIABILITY WILL BE ASSUMED BY THE ARCHITECT BEYOND THESE SIGNED AND SEALED DOCUMENTS.
- THESE SPECIFICATIONS ARE GENERAL IN FORM. THE CONTRACTOR IN APPLYING THEM, ASSUMES COMPLETE RESPONSIBILITY FOR THEIR USE, SUBSTITUTIONS, CHANGES, AND OMISSIONS.
- THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, FIXTURES, APPLIANCES, AND LABOR NECESSARY TO COMPLETE ALL WORK NOTED ON PLANS AND IN ACCORDANCE WITH THE OWNER'S REQUIREMENTS OR AS OTHERWISE NOTED. ALL MATERIAL SHALL BE NEW AND FREE FROM ANY DEFECTS.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OR WASTE MATERIALS AND RUBBISH, AT COMPLETION OF THE WORK, PREMISES ARE TO BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
- SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF THE PERSONS & PROPERTY AND FOR ALL INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OR ENGINEERS JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- UPON COMPLETION OF THE WORK, REMOVE ALL PAINT AND VARNISH SPOTS FROM THE FLOOR, GLASS, TILE, ETC., AND LEAVE ALL DOORS FREE TO MOVE PROPERLY. ALL HARDWARE SHALL BE IN PERFECT OPERATION. REMOVE FROM PREMISES ALL RUBBISH AND ACCUMULATED MATERIALS OF WHATEVER NATURE, EXCEPT AS INDICATED BY OWNER. FLOORS SHALL BE LEFT IN A CLEAN, ORDERLY CONDITION ACCEPTABLE TO THE OWNER AND READY FOR OCCUPANCY.
- ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF OWNERS ACCEPTANCE UNLESS OTHERWISE NOTED.
- 5LB ABC FIRE EXTINGUISHERS AND SMOKE DETECTORS ARE REQUIRED TO BE MAINTAINED IN WORKING ORDER DURING CONSTRUCTION.
- NO TRENCHING OF SLAB ALLOWED.

## BUILDING DATA

ZONING OR BLDG CODE	DESCRIPTION
LOCATION	142 WEST 10TH ST., MANHATTAN, NY
BLOCK	610
LOT	7502
ZONE	R6
MAP NO.	12C
BIN	1010683
LANDMARK	GREENWICH VILLAGE HISTORIC DIST.
BUILDING HEIGHT	EXISTING TO REMAIN - NO CHANGE
BUILDING STORIES	EXISTING TO REMAIN - NO CHANGE
WORK AREA / FLOOR	FIRST FLOOR: 1,691 SF +/- BASEMENT: 257 SF +/-

## CODE ANALYSIS

BUILDING CONSTRUCTION CLASS:	3: NON-FIREPROOF STRUCTURES
USE GROUP:	6
OCCUPANCY CLASS:	COM (OLD CODE) B (2014 CODE EQUIVALENT)
FLOOR AREA:	
FIRST FLOOR:	DINING: 1,320 SF KITCHEN: 371 SF TOTAL: 1,691 SF
BASEMENT:	RESTROOMS: 257 SF (NOTE: NO CHANGE TO EXIST. BASEMENT LAYOUT) STORAGE: 527 SF TOTAL: 784 SF
OCCUPANT LOAD:	DINING: 55 PERSONS (SEATS) KITCHEN / OTHER: 5 PERSONS (200 SF / P) TOTAL: 60 PERSONS
# OF EXITS REQUIRED:	(1) EXISTING TO REMAIN OCC. LOAD < 75 (PER TABLE 6-3)
EXIT WIDTH:	41'22= 1.5 UNITS CAPACITY: 100/UNIT OF WIDTH (DOORS TO GRADE) 1.5 UNITSx100=150 CAPACITY

## LIST OF INSPECTIONS

- THE FOLLOWING ITEMS OF WORK SHALL BE SUBJECTED TO SPECIAL AND PROGRESS INSPECTIONS MADE AND WITNESSED BY THE DIRECT SUPERVISION OF AN ARCHITECT OR AN ENGINEER RETAINED BY THE CONTRACTOR WHO SHALL BE ACCEPTABLE TO THE ARCHITECT & ENGINEER OF RECORD.
- TEST REPORTS AND TECHNICAL REPORTS - STATEMENT OF RESPONSIBILITY FOR THE FOLLOWING ITEMS SHALL BE FILED WITH THE DEPARTMENT OF BUILDINGS:
- (SPECIAL & PROGRESS INSPECTIONS ARE NOT LIMITED TO THE BELOW LISTED)
- FIRESTOP, DRAFTSTOP, AND FIREBLOCK SYSTEMS BC 1704.25
  - FINAL 28-116.2.42 & BC 109.5 & DIRECTIVE 14 OF 1975
  - MECHANICAL SYSTEMS BC 1704.16
  - ENERGY CODE COMPLIANCE INSPECTION (TR8)
- ENERGY CODE PROGRESS INSPECTIONS REQUIRED IN ACCORDANCE WITH NEW YORK CITY ENERGY CONSERVATION CODE 2014 AND APPLICABLE SECTIONS OF THE NYC CONSTRUCTION CODE:
- (SPECIAL & PROGRESS INSPECTIONS ARE NOT LIMITED TO THE BELOW LISTED)
- AIR SEALING AND INSULATION - VISUAL INSPECTION
  - HVAC INSULATION AND SEALING
  - INTERIOR LIGHTING POWER
  - LIGHTING CONTROLS
  - MAINTENANCE INFORMATION

## 2016 NYC ENERGY CONSERVATION CODE ANALYSIS

- PROPOSED DESIGN VALUE:** NO CHANGE PROPOSED TO EXISTING EXTERIOR WALLS OR ANY BUILDING ENVELOPE RELATED CONSTRUCTIONS.
- CODE PRESCRIPTIVE VALUE & CITATION:** NYCECC C503.1 EXCEPTION #4 CONSTRUCTION WHERE THE EXISTING ROOF, WALL, OR FLOOR CAVITY IS NOT EXPOSED
- SUPPORTING DOCUMENTS:** SEE PLANS
- ENERGY CODE PROFESSIONAL STATEMENT**
- TO THE BEST OF MY KNOWLEDGE, BELIEF, & PROFESSIONAL JUDGMENT, ALL WORK UNDER THIS APPLICATION IS IN COMPLIANCE WITH THE 2016 NYCECC UTILIZING CHAPTER C5.

## FLOOD ZONE STATEMENT

PER FEMA MAPS #3604970182F AND #3604970182G, THE EXISTING BUILDING IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA.

CONV. NO.	1000019-1
REV. NO.	1
DATE	05/05/22
BY	ARCHITECT

BUILDING DATA	
CODE ANALYSIS	
PLOT PLAN	
LEGENDS & NOTES	

SCALE	DRAWN BY
AS SHOWN	C.M.
DATE	SHEET NO.
12.02.21	
PROJECT NUMBER	T-100.00
2021068	

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND PUBLISHED WORK OF THE ARCHITECT. ARCHITECTURA, THEY MAY NOT BE REPRODUCED, COPIED, TRANSFORMED, OR DISTRIBUTED FOR ANY REASON WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT.

**SPECIFICATIONS**

**1.01 GENERAL NOTES**  
 These specifications are general in form. The Owner in applying them assumes complete responsibility for their use, substitutions, changes, and omissions.

The Architect shall not have control or charge of and shall not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work, for the acts or omissions of the Contractor, Subcontractors or any other persons performing any of the Work, or for the failure of any of them to carry out the work in accordance with the Contract Documents.

All Contractors shall have and maintain Contractor's Liability Property Damage Insurance and Workman's Compensation Insurance. All phases of construction shall apply to local, state and federal safety laws. General Contractor shall protect adjacent properties and material from damage due to this construction, build all necessary barricades and furnish all necessary lighting and danger warnings. The Contractor shall verify all existing conditions at the site and be responsible for same. If there are any variations from these Drawings, he is directed to notify the Owner and/or Architect. All plumbing and heating work shall conform with the local Health Department requirements, and with all other applicable codes and ordinances. All plumbing to conform to National Plumbing Code. All electrical work and materials must conform to the requirements of N.E.C.A., N.B.F.U., and the local utility company. All workmanship and materials shall be guaranteed for one year from date of Owner's acceptance. All work and materials must conform to all applicable local, state, and federal codes. Mechanical and electrical work shall be confined to the space and locations allowed. If there is any change from these Drawings, the Owner and/or the Architect must be notified.

**1.02 SCOPE OF WORK**  
 The Contractor shall supply all materials, fixtures, appliances and labor necessary to complete all work noted on plans and as otherwise required. All materials shall be new and free from any defects. All work shall be performed in a competent, workmanlike manner acceptable with modern practice.

All dimensions and locations as indicated on the Drawings shall be considered as reasonably correct, but it shall be understood that they are subject to modifications as may be necessary or desirable at the time of installation to meet any unforeseen or other conditions.

Patch and repair existing areas disturbed by construction activities, if applicable.

Upon completion of the work, remove all paint and varnish spots from the floor, glass, tile, etc. and leave all doors and sash free to move properly. All hardware shall be in perfect operation. Remove from premises all rubbish and accumulated materials of whatever nature, except as indicated by Owner. Floors shall be left in a clean, orderly condition acceptable to the Owner and ready for occupancy.

**PART II - MATERIALS**

**2.02 FRAMING MATERIALS: METAL**  
 Studs and Tracks: ANSI/ASTM C645; galvanized sheet steel, 26 gauge (0.5mm) thick, "C" shape.

Furring, Framing and Accessories: ANSI/ASTM C645.

Fasteners: GA201 and GA216.

Adhesive: ANSI/ASTM C557.

Install studing in accordance with manufacturer's instructions. Metal stud spacing should be 16 inches on center. Partition heights shall be full height to floor or roof construction above or as indicated on drawings.

Install double studs at door frame jambs. Install stud tracks on each side of opening, at frame head height, and between studs and adjacent studs.

Nail wood blocking to studs. Install blocking for support of wall cabinets, toilet accessories, and hardware.

Coordinate installation of bucks, anchors, blocking, electrical and mechanical work placed in or behind partition framing.

Erect furring channels vertically. Secure in place on alternate channel flanges at maximum 16 inches on center. Space furring channels maximum 16 inches on center, not more than 4 inches from floor and ceiling lines and abutting walls.

Erect free-standing metal stud framing tight to concrete masonry walls, attached by adjustable furring brackets in accordance with manufacturer's instructions.

Partitions are dimensioned to nominal thickness.

**2.03 GYPSUM BOARD MATERIALS**  
**SHEETROCK(R)** brand MOLD TOUGH(TM) gypsum panels: mold resistance under ASTM D3273 ; 5/8 inch thick (or as shown on drawings), maximum permissible length; ends square cut, tapered square edges.

Fire Rated Gypsum Board: ANSI/ASTM C36; fire resistive type, UL rated; 5/8 inch thick (or as shown on drawings), maximum permissible length; ends square cut, tapered square edges.

Moisture Resistant Gypsum Board: ANSI/ASTM C630; 5/8 inch thick (or as shown on drawings), maximum permissible length; ends square cut, tapered square edges.

Treat joints with three coats compound. Finish smooth and even. All gypsum board materials shall be the products of the U.S. Gypsum Company, delivered to the site in the original, unopened containers or bundles. Store materials in a place protected from moisture and use in strict accordance with manufacturer's specifications.

**2.04 WALL MATERIALS**

All other wall materials other than SHEETROCK(R) brand MOLD TOUGH(TM) gypsum panels to be mold-resistant products such as: DUROCK(R) brand cement board and FIBEROCK(R) brand AQUA-TOUGH(TM) interior panels, tile backboard and underlayment.

**2.05 ACCESSORIES**

Acoustical Insulation: FS-HH-I-521; preformed mineral wool, friction fit type without integral vapor barrier membrane, 2 inch thick.

Corner Beads: Metal.

Edge Trim: GA201 and GA216; Type LC bead.

Joint Materials: ANSI/ASTM C475; reinforcing tape, joint compound, adhesive, water and fasteners.

**2.09 PAINTING**

Finishes shall be as follows:

- Interior Gypsum Board:  
 One (1) coat primer-sealer  
 Two (2) coats latex finish paint
- Interior Wood Trim: (NOT INCLUDING CEILING)  
 One (1) coat primer  
 Two (2) coats enamel finish paint  
 One (1) coat wood stain  
 Two (2) coats marine varnish

Paint color and wood stain colors as selected by Owner and/or Architect. Verify all finishes with Owner.

**2.10 Exterior insulation and finish system(s).**  
 Class PM EIFS: Exterior wall cladding systems consisting of an inner layer of board insulation mechanically fastened to supporting substrates, a layer of glass-fiber-mesh-reinforced base coat applied directly to exterior face of board insulation, and a textured protective finish coat as based on the classification developed by EIMA.

**EIFS Performance:** Comply with the following:  
 1. Bond Integrity: Free from bond failure within EIFS components or between system and supporting wall construction, resulting from exposure to fire, wind loads, weather, or other in-service conditions.  
 2. Weather tightness: Resistant to water penetration from exterior into EIFS and assemblies behind it or through them into interior of building that results in deterioration of thermal-insulating effectiveness or other degradation of EIFS and assemblies behind it, including substrates, supporting wall construction, and interior finish.

**2.11 MASONRY**  
 Masonry blocks shall be hollow load-bearing units conforming to ASTM C-90 grade N.1. They shall be laid level, plumb and straight in a full bed of mortar.

Brick and stone veneer shall be as shown on drawings, and laid in a full bed of mortar with galvanized ties 2'-0" o.c. horizontal and vertical. All joints shall be well tooled.

Concrete shall be transit mix and shall be stone aggregate, 3/4" maximum, having a minimum strength of 3000 psi at 28 days. All concrete exposed to the weather shall be air-entrained.

All footings to bear on firm undisturbed soil. Bottoms on exterior footings to be a minimum of 3'-0" below finished grade. Wherever footings are stepped, bottoms to be stepped not more than two feet vertical to four feet horizontal.

Do not backfill against foundation walls until concrete has attained maximum strength. Where backfilling is placed against foundation walls or grade beams before floor construction is in place, provide temporary bracing.

Slabs to bear on a 4" porous gravel or crushed stone fill over compacted subgrade. Provide vapor barrier as indicated on the drawings.

**2.12 DOORS**  
 Wood doors shall be solid core of size as indicated on drawings, 1-3/8" thick, birch veneer with hardware.

Exterior doors shall be weather-stripped with applicable type weather stripping as manufactured by the "Zero Corporation" or an approved

Flush doors shall be 1-3/4" thick #18 U.A. gauge heavy duty, roller level steel skin doors, welded construction or equal to Ceco Metal equal. Regent doors or Acme steel doors. Refer to the door schedule or the drawings for all doors, which are to have an underwriter's label.

All hollow metal frames shall be combination frame and flat trim with corners mitered, welded for full length to fit and ground smooth. Install three (3) T-shaped anchors for each jamb for anchoring into masonry. Steel angle spreaders shall be welded at the bottom of door bucks to assure proper alignment. All bucks shall be properly reinforced, cut, drilled, etc., ready for finished hardware.

Frames shall be formed of grade #16 gauge sheet steel. All frames shall be drilled for door silencers.

All hollow metal doors and frames shall be given one shop coat of gray primer.

**2.13 TRIM**  
 Trim shall be stock sections and shall be neatly fitted and mitered and complete including doors, window casings, aprons and stools.

**2.14 VINYL FLOOR TILE AND BASE**  
 Vinyl composition floor tile shall be equal to that product by Kentile, Armstrong or Flitkote. All tiles shall be 12" x 12" squares, 1/8" thick. Exolon vinyl composite tile is manufactured by Armstrong. Color to be as selected by Owner and/or Architect.

Base to be 0.080 gauge, 4" high cove base with preformed internal and external corners as manufactured by Armstrong. Color to be as selected by Owner and/or Architect.

Cement shall be as recommended by the manufacturer of the tile used, subject to the approval by the Architect. Deliver in sealed containers and use without the addition of any unauthorized materials. Any sharp or rough spots in base of wall to be ground smooth before setting.

**PART III - EXECUTION**

**3.01 WORKMANSHIP**  
 No painting or finishing shall be done when the air is dust-laden nor when weather and temperature conditions are unsuitable. Temperature within the building shall be maintained at a minimum of 60 degrees F, during the painting and drying periods. Exterior painting shall not be done in damp or rainy weather.

All canopies of lighting fixtures, switch plates and the like shall be removed before painting and replaced afterwards.

All edges of wood doors shall be given the same kinds of and number of coats as specified for the faces.

Access doors, plates, panel boxes, steel grilles, registers and the like shall be painted in with the adjoining surfaces on which they occur, using the same kind of paint, number of coats, color, and finish.

Materials shall be spread to a uniform and proper film thicknesses showing no runs, sags, crawls or other defects. Paint shall be applied in a manner showing a minimum of brush marks. Varnishes and enamels shall be uniformly flowed on. Finished surfaces shall be uniform in sheen, color, and texture.

All coats shall be dry before succeeding coats are applied. Allow a minimum of 24 hours between applications on any one surface, unless otherwise specified by the manufacturer. Undercoats shall be tinted a lighter shade to facilitate identification of each coat where multiple coats of the same material are to be applied.

Prime coats on woodwork, except where their application is required at the shop, shall be applied immediately after the work is in place.

All materials shall be thoroughly mixed and strained if necessary. Additions of thinners such as linseed oil, turpentine and the like shall be added to ready-mix paint only in accordance with the manufacturer's written instructions.

When required or directed, Contractor shall prepare samples of sufficient size for each kind of work specified. Sample panels shall be entirely satisfactory to the Architect before work proceeds.

**3.02 MISCELLANEOUS**

Railings shall be designed to withstand 200 lbs. of horizontal force.

All exterior openings shall be properly flashed. Provide complete weather-stripping of jambs, head and sill at all exterior openings.

**3.03 EXCAVATION (if required)**

The work of this Section consists of furnishing all labor, materials, equipment and appliances necessary to complete all excavation, backfill, and grading work as indicated on the Drawings and specified herein.

Foundation: Excavate all earth, boulders, loose and soft rock as shown on plans. All footings shall bear on solid undisturbed earth. Earth shall be capable of supporting two tons PSF.

Excavate for foundation walls, footings, areas, driveways, etc., and such other work as may be necessary to the depths shown on the Drawings. All trenches for foundations, footings, etc. must have solid level and undisturbed bottoms.

Stack all topsoil in a neat pile when directed by Owner.

All exterior foundations must go down at least 3'-0" below the finished grade. The excavations shall be kept as free as possible of surface drainage.

Provide sufficient space around walls for waterproofing before filling in.

**3.04 CLEANING UP**  
 Upon completion of work, remove from premises all excess materials including rubbish that has been accumulated during work, leaving the site in first class condition.

**PART IV - PLUMBING**

**4.01 GENERAL**

All plumbing work shall conform with the local health department requirements and shall be subject to the approval of the Plumbing Inspector.

Water closets shall be tank type with round front bowl and closed Vented piping inside building shall be PVC or type DWV copper pipe and fittings. Soil pipe and fittings shall be PVC or cast iron.

Water piping shall be Type L hard copper tubing in building and Type K soft copper tubing for underground installation.

Fixture colors to be as selected by the Owner and/or Architect.

**PART VI - FIRE PROTECTION SPRINKLER SYSTEM (if required)**

Provide design, securing of required approvals, fabrication, materials, supervision, coordination, for modification to the automatic fire protection sprinkler system. The entire system shall be as required for a complete, approved system in accordance with all applicable codes and all agencies having jurisdiction.

The automatic fire protection sprinkler system shall be connected to the domestic water supply (if allowed). All piping shall be concealed above the ceiling.

Sprinkler heads shall be 1/2" automatic closed type, 165 degree, chrome plated, semi-recessed type, equal to Viking Micromat.

Coordinate, as required, to assure proper and adequate provisions in the work of the other trades for interface with this system. All work shall be subject to the approval of the Architect.

Fully test the system at the completion of the installation. Secure a letter of final acceptance from the Fire Marshal.

**CONSTRUCTION PLAN**

- NOTIFY ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES OR DISCREPANCIES WITH PLANS IN RELATION TO EXISTING FIELD CONDITIONS.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE ON THE CONSTRUCTION DOCUMENTS. DO NOT SCALE.
- ALL DIMENSIONS ARE FROM THE FACE OF FINISH WALL TO FACE OF FINISH WALL OR COLUMN LINE UNLESS OTHERWISE NOTED ON PLANS.
- ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS OR INSTRUCTIONS.
- ALL WORK SHALL BE EXECUTED IN A MANNER ACCEPTABLE TO THE OWNER.
- UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, TRANSPORTATION, PERMITS AND OTHER SERVICES AND FACILITIES NECESSARY FOR PROPER AND TIMELY EXECUTION OF WORK.
- THE TENANTS CONTRACTOR WARRANTS TO THE OWNER AND TO THE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT ARE NEW UNLESS OTHERWISE SPECIFIED AND THAT ALL WORK WILL BE AS SPECIFIED AND FREE OF DEFECTS.
- FOR ALL WOOD MEMBER REQUIRED BY CODE TO BE FIRE RETARDANT TREATED, PROVIDE PRESSURE IMPREGNATION WITH FIRE RETARDANT CHEMICALS TO PROVIDE UL PRS FIRE HAZARD CLASSIFICATION, ALL WOOD SHALL BE IDENTIFIED WITH A UL LABEL CERTIFYING THIS CLASSIFICATION AND FM DIAMOND.
- APPROVED FIRE EXTINGUISHERS SHALL BE INSTALLED AS REQUIRED BY LOCAL AUTHORITY.
- ALL PENETRATIONS OF FIRE RESISTIVE FLOOR OR SHAFT WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORMS TO UL STANDARDS FOR THROUGH PENETRATION FIRESTOP SYSTEMS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS WHICH SHOW COMPLETE CONFORMANCE TO THE UL LISTING OF THE ARCHITECT. SUCH DRAWINGS SHALL BE AVAILABLE TO ANY CITY INSPECTORS. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION WITH ALL VARIABLES DEFINED.
- ALL OUTSIDE CORNERS AT DRYWALL PARTITIONS AND FURRINGS TO HAVE METAL CORNER BEADS SPACKLE AND SMOOTH.
- HVAC CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR INTENDED DIFFUSER DUCT, THERMOSTAT LOCATIONS, ETC. FOR REVIEW PRIOR TO FABRICATION AND INSTALLATION OF SAME.
- THE CONTRACTOR IS TO REPLACE ANY FIREPROOFING REMOVED FROM THE BUILDING STRUCTURE DURING DEMOLITION/CONSTRUCTION.
- ACCESS PANELS IN WALL OR CEILING FOR PLUMBING, MECHANICAL, OR ELECTRICAL ACCESS TO BE FLUSH FRAMELESS GYP. BD. PANELS.
- ALL GLASS, INTERIOR AND EXTERIOR, AND ALL STOREFRONT METAL TO BE CLEANED WITH A LIQUID DETERGENT AT COMPLETION OF CONSTRUCTION.
- PROVIDE DIAGONAL BRACING TO STRUCTURE ABOVE ALL DOORS, GLAZING HEADS AND JAMBS AS REQUIRED TO MAKE ASSEMBLY RIGID.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING INTEGRITY OF RATED PARTITIONS & STRUCTURE PARTICULARLY WHERE PENETRATED BY VARIOUS TRADES AND SERVICES.
- THE GENERAL CONTRACTOR TO PROVIDE AND INSTALL PAPER COVERING APPLIED TO THE STOREFRONT GLAZING DURING MERCHANDISING.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN UP OF THE ENTIRE PREMISES TO INCLUDE BUT NOT LIMITED TO FLOORS, MILLWORK, FIXTURES, ETC. FOLLOWING THE INSTALLATION OF THE MILLWORK.
- G.C. SHALL SUPPLY & INSTALL PROPER AND ADEQUATE WOOD BLOCKING TO SUPPORT ALL OWNER SUPPLIED AND MWC APPLIED & INSTALLED ITEMS FOR FIRM AND SECURE INSTALLATION ON WALLS, COLUMNS, ETC. GC SHALL COORDINATE WITH MWC FOR REQUIRED LOCATIONS AND ADEQUACY OF BLOCKING REQUIREMENT AND PROVIDE ALL SUCH BLOCKING PRIOR TO CLOSING UP ANY AND ALL WALLS, COLUMNS, ETC. IF REQUIRED BY CODE AND LOCAL BUILDING OFFICIAL, SUCH BLOCKING SHALL BE FIRE RETARDANT TREATED TO MEET SUCH REQUIREMENT.
- CORE DRILLING SHALL BE CONDUCTED BEFORE OR AFTER BUSINESS HOURS AND SHALL NOT INTERFERE WITH ADJACENT TENANTS ABILITY TO CONDUCT BUSINESS.
- ALL INSULATION MATERIALS SHALL BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS TO ACHIEVE PROPER DENSITIES, MAINTAIN CLEARANCES, AND UNIFORM R-VALUES.
- EXTERIOR WALL CAVITIES ISOLATED DURING FRAMING SHALL BE FULLY INSULATED TO THE LEVELS OF THE SURROUNDING WALLS. WHEN INSTALLED IN WOOD FRAMING, FACE BATT INSULATION SHALL BE FACE STAPLED.
- EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF AND WALL PANELS, OPENINGS AT PENETRATIONS THROUGH WALLS, FLOORS, CEILING, AND ROOFS AND ALL OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE FOAM FILLED OR FRICTION FIT SEALED, CAULKED, GASKET, OR WEATHER STRIPPED TO LIMIT AIR LEAKAGE.
- ALL PUBLIC AREAS ADJACENT TO OR IMPACTED BY THE WORK PERFORMED BY CONTRACTORS AND/OR SUBCONTRACTORS SHALL BE PROTECTED TO THE SATISFACTION OF THE BUILDING MANAGEMENT.
- ALL GLASS SHALL BE SAFETY OR TEMPERED GLASS AND ALL CLEAR GLASS SHALL BE STAFFIRE OR LOW IRON GLASS.
- FABRICATION OF ALL MILLWORK SHALL BE PERFORMED BY SKILLED MECHANICS USING THE BEST TECHNIQUES KNOWN TO THE TRADE AND IN CONFORMANCE WITH ALL TRADE STANDARDS, SPECIFICALLY THE "PREMIUM GRADE" QUALITY STANDARDS AND THE GUIDELINES FOR "HIGH PRESSURE LAMINATE" OF THE ARCHITECTURAL WOODWORK INSTITUTE.
- ALL MATERIALS SHALL BE FIRE RATED TO CONFORM WITH THE APPROPRIATE CODES.
- ALL LIGHT FIXTURES SHALL BE UL APPROVED.
- ALL FRAMING MATERIALS SHALL BE OF NONCOMBUSTIBLE OR FIRE-RETARDANT MATERIALS.

**FIRE-RETARDANT NOTE**

- ALL WOOD TO BE FIRE RETARDANT TREATED
- FIRE RETARDANT TREATED WOOD
- MATERIAL - FIRE RETARDANT TREATED WOOD SHALL BE PRESSURE TREATED WITH FIRE RETARDANT CHEMICALS IN ACCORDANCE WITH REFERENCE STANDARDS RS 5-3 AND RS 5-4. WHERE USED AS A STRUCTURAL ELEMENT OR AS FURRING, THE MATERIAL SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN TWENTY-FIVE WHEN TESTED IN ACCORDANCE WITH REFERENCE STANDARD RS 5-5 WHEN EXPOSED FOR A PERIOD OF AT LEAST THIRTY MINUTES, WITH NO EVIDENCE OF SIGNIFICANT PROGRESSIVE COMBUSTION. WHERE USED AS INTERIOR FINISH OR TRIM, THE MATERIAL SHALL HAVE A FLAME SPREAD RATING THAT MEETS THE REQUIREMENTS OF SECTION 27-348 OF THIS SUBCHAPTER FOR THE LOCATION IN WHICH IT IS USED. SUBSEQUENT TO TREATMENT, MATERIAL TWO INCHES THICK OR LESS SHALL BE AIR DRIED OR KILN DRIED TO AN AVERAGE MOISTURE CONTENT OF NOT MORE THAN NINETEEN PERCENT.
  - LABEL - ALL FIRE-RETARDANT TREATED WOOD SHALL BEAR THE IDENTIFICATION OF A TESTING LABORATORY OR PRODUCER CERTIFYING TO THE PERFORMANCE THEREOF, IN ACCORDANCE WITH THE ACCEPTANCE REQUIREMENTS OF SECTION 27-131 OF ARTICLE SEVEN OF SUBCHAPTER ONE OF THIS CHAPTER.
  - APPLICATION - FIRE-RETARDANT TREATED WOOD MAY NOT BE USED WHERE EXPOSED TO THE WEATHER OR IN INTERIOR SPACES WHERE THE RELATIVE HUMIDITY IS NORMALLY EIGHTY PERCENT OR MORE. THERE SHALL BE NO FABRICATION OF THE MATERIAL AFTER TREATMENT, SUCH AS CUTTING, SHAPING, OR GROOVING FOR SPLINES OR RING CONNECTORS SO AS TO EXPOSE UNTREATED SURFACES. EXCEPT THAT THE MATERIAL MAY BE CUT TO LENGTH, SHAPED, OR GROOVED IF THE EXPOSED SURFACES OR EDGES ARE TIGHTLY BUTTED AGAINST OTHER MATERIAL THAT IS NONCOMBUSTIBLE OR THAT IS FIRE RETARDANT TREATED, SO THAT NO UNTREATED WOOD IS LEFT EXPOSED TO DANGER OF IGNITION. HOLES MAY BE BORED OR CUT FOR PLUMBING OR HEATING PIPES AND FOR ELECTRIC OUTLETS ONLY IF THE OPENINGS ARE COVERED [SIC] WITH TIGHTLY-FITTED NONCOMBUSTIBLE ESCUTCHEONS OR COVER PLATES. THE ALLOWABLE WORKING STRESSES OF THE MATERIAL SHALL BE NINETY PERCENT OF THE ALLOWABLE STRESSES FOR UNTREATED MEMBER OF LIKE CLASSIFICATION.

**FLAME SPREAD CLASSIFICATION RATING**

INTERIOR FINISH: MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH THE SURFACE FRAME-SPREAD RATING IN ASTM E-84 "STANDARD METHODS OF TEST FOR SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS" AND SMOKE-DEVELOPED INDEXES. INTERIOR FINISH SHALL BE GROUPED IN THE FOLLOWING CLASSES:

INTERIOR FINISH CLASS	FLAME-SPREAD RATING	SMOKE-DEVELOPED
CLASS I (OR A) *	0 - 25	0-450 *
CLASS II (OR B) *	26 - 75	0-450 *
CLASS III (OR C) *	76 - 200	0-450 *

INTERIOR FINISH, EXCEPT FINISH FLOORING AND FLOOR COVERING, WALL COVERING AND COATINGS LESS THAN 0.036 INCH TOTAL THICKNESS, SHALL HAVE FLAME SPREAD RATING NOT GREATER THAN THAT OF THE FOLLOWING INTERIOR FINISH CLASS.

EXIT AND SHAFTS *	A
CORRIDORS *	A
ROOMS	B

\* NO MATERIAL IN THE FOLLOWING LOCATIONS SHALL DEVELOPE SMOKE IN GREATER DENISTY THEN THE RATING OF 25

**2014 TENANT PROTECTION / SAFETY NOTES**

GENERAL: ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE NEW YORK CITY BUILDING CODES AND REGULATIONS IN ACCORDANCE WITH ALL OTHER AGENCIES HAVING JURISDICTION.

STRUCTURAL: CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHEREVER ANY STRUCTURAL WORK IS INVOLVED.

MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING ARE TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.

FIRE SAFETY: ALL BUILDING MATERIALS STORED AT THE CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS IS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR. ALL MATERIAL TO BE STORED IN AN ORDERLY FASHION. ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURER'S CONTAINERS. SUCH MATERIALS ARE TO BE KEPT AWAY FROM HEAT. ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE. ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE ARE EXPOSED CONDUITS. ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS. CONTRACTOR, AT ALL TIMES, TO ENSURE THAT THERE IS NO NATURAL GAS LEAKAGE IN THE BUILDINGS, OR ANY FLAMMABLE GAS TO BE USED DURING CONSTRUCTION.

DUST CONTROL: DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM, AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA. CONTRACTOR TO ISOLATE CONSTRUCTION AREAS FROM OCCUPIED BUILDING AREA BY MEANS OF TEMPORARY PARTITIONS OR HEAVY WEIGHT DROP CLOTHS. DEBRIS, DIRT, AND DUST TO BE CLEANED UP AND CLEARED FROM THE BUILDING SITE PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION.

NOISE AFTER HOURS: CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS, MONDAY TO FRIDAY, EXCEPT LEGAL HOLIDAYS. CONTRACTOR MUST OBTAIN WRITTEN PERMISSION FROM ALL AFFECTED PARTIES TO WORK OTHER THAN REGULAR HOURS.

CONSTRUCTION WORK WILL BE CONFINED TO THE PROPOSED CONSTRUCTION FLOORS. CONTRACTOR WILL LIMIT TO THE MINIMAL THE AMOUNT OF DUST, DIRT, OR OTHER SUCH INCONVENIENCE CREATED TO ALL OTHER AREAS WITHIN THE BUILDING.

THERE WILL BE NO ONE OCCUPYING THE AREAS UNDER CONSTRUCTION DURING THE COURSE OF THE CONSTRUCTION WORK.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO OTHER TENANTS.



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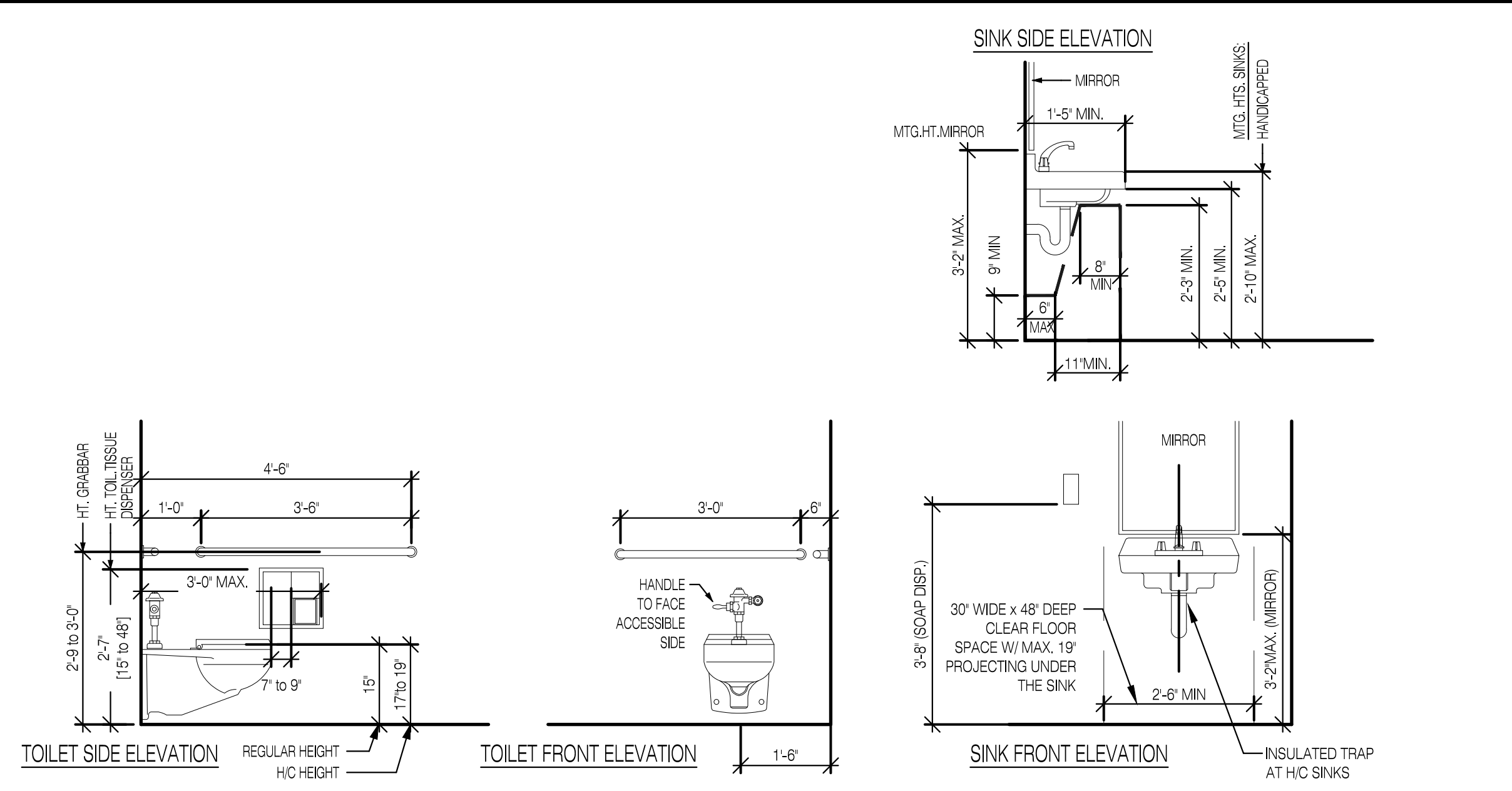
THE CARRIAGE HOUSE  
 142 WEST 10TH STREET  
 MANHATTAN, NY  
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CONRAD ROYALTY JR. P.A.  
 NY Architect #026019-1

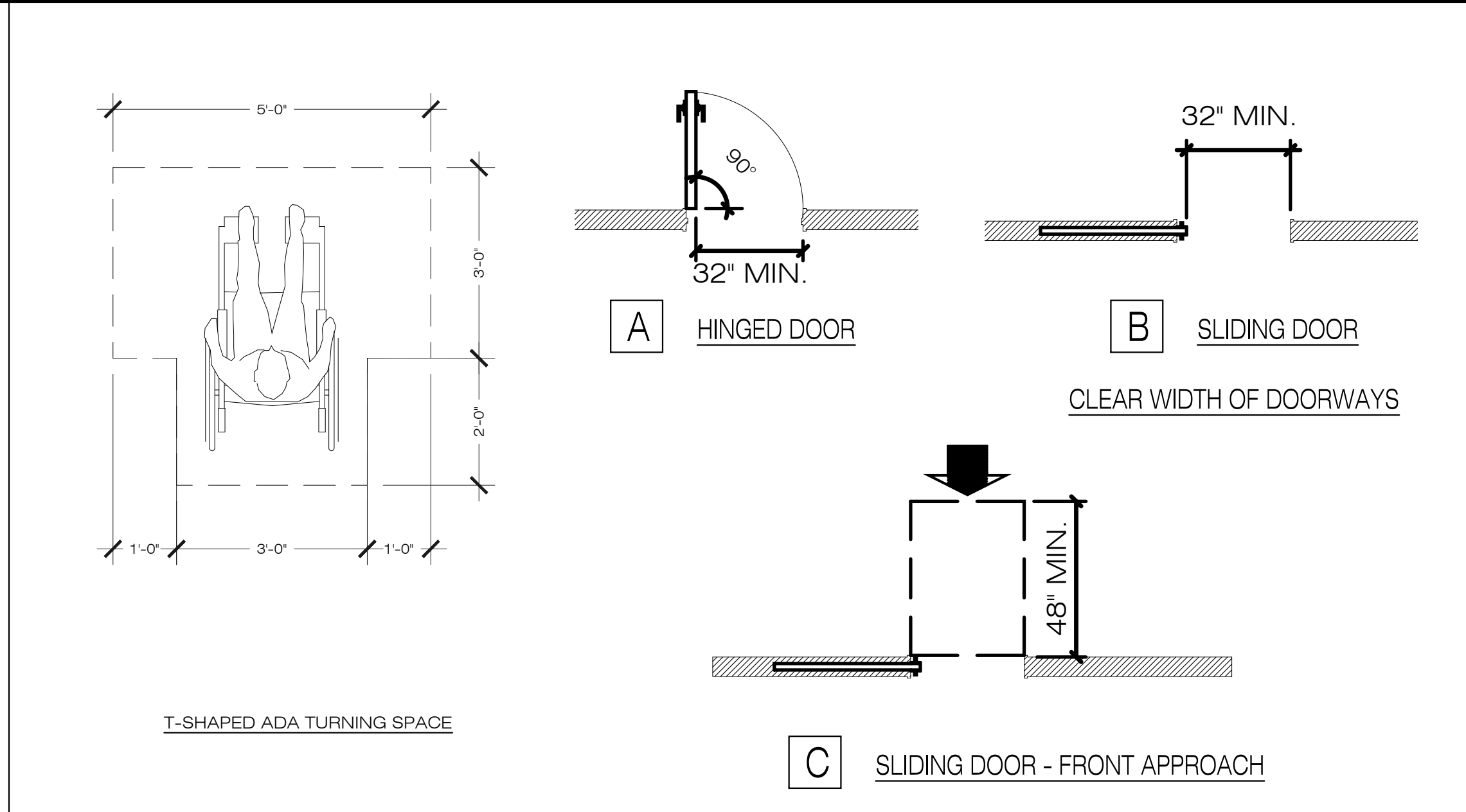
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SPECIFICATIONS & NOTES

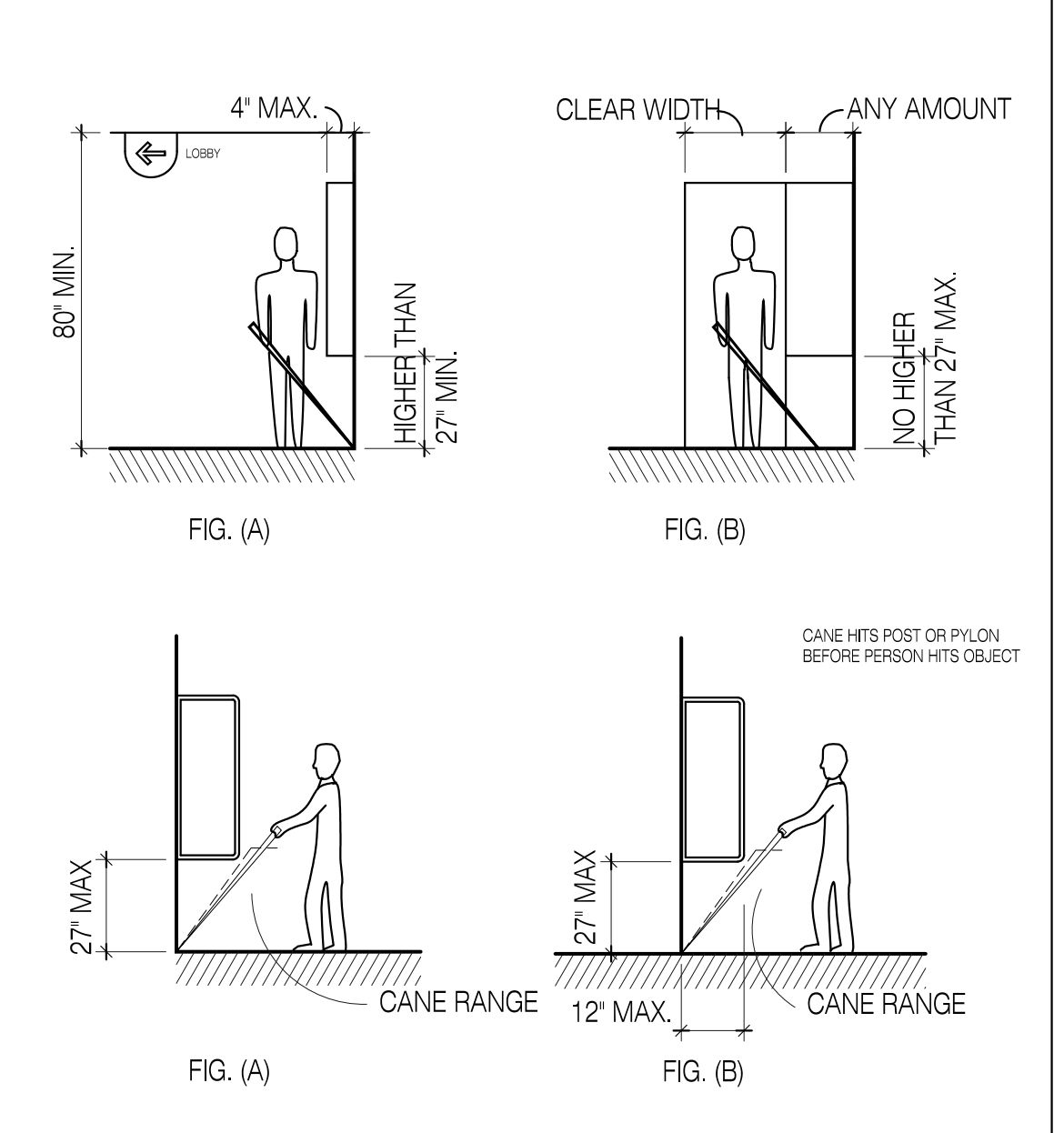
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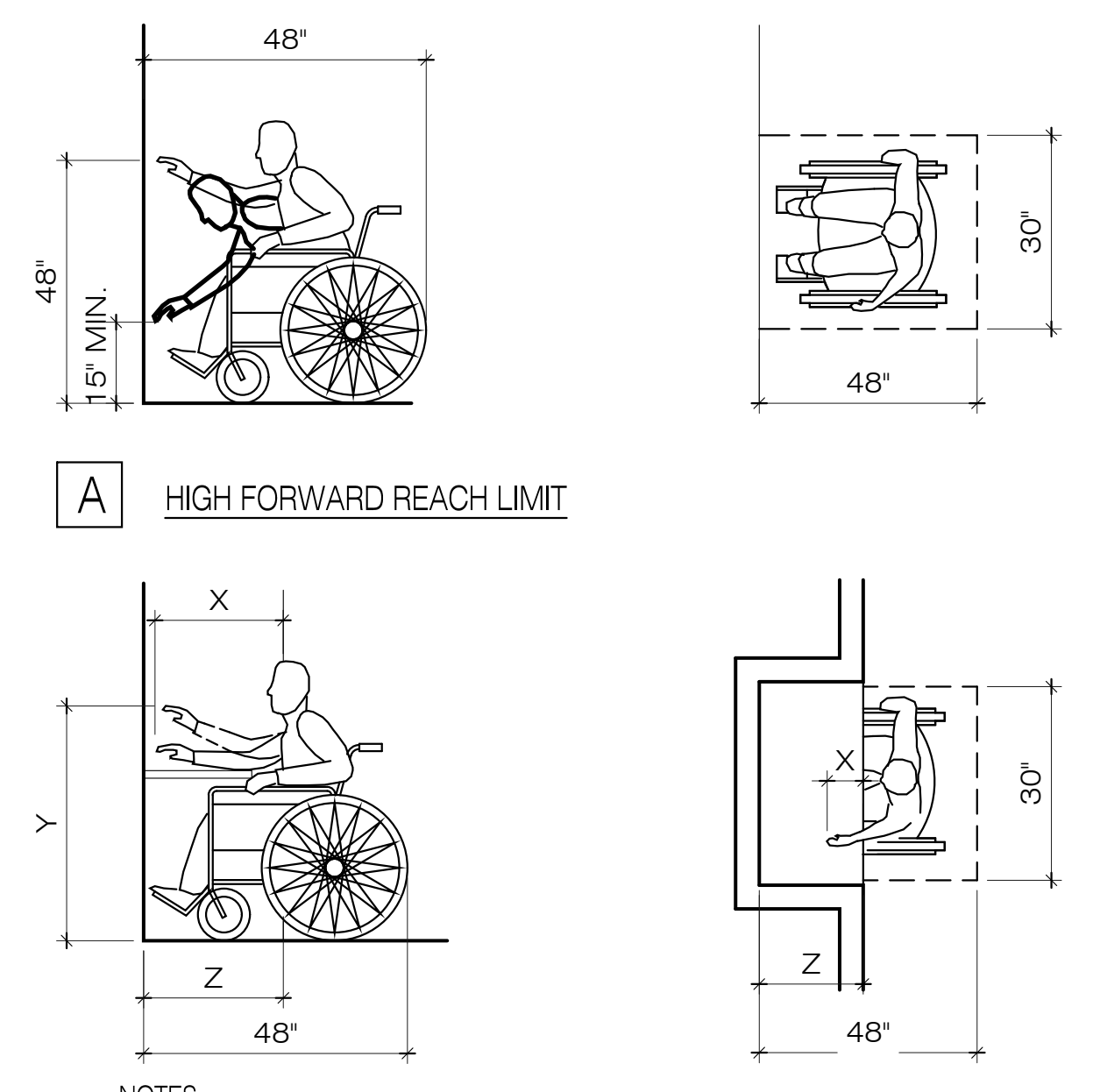
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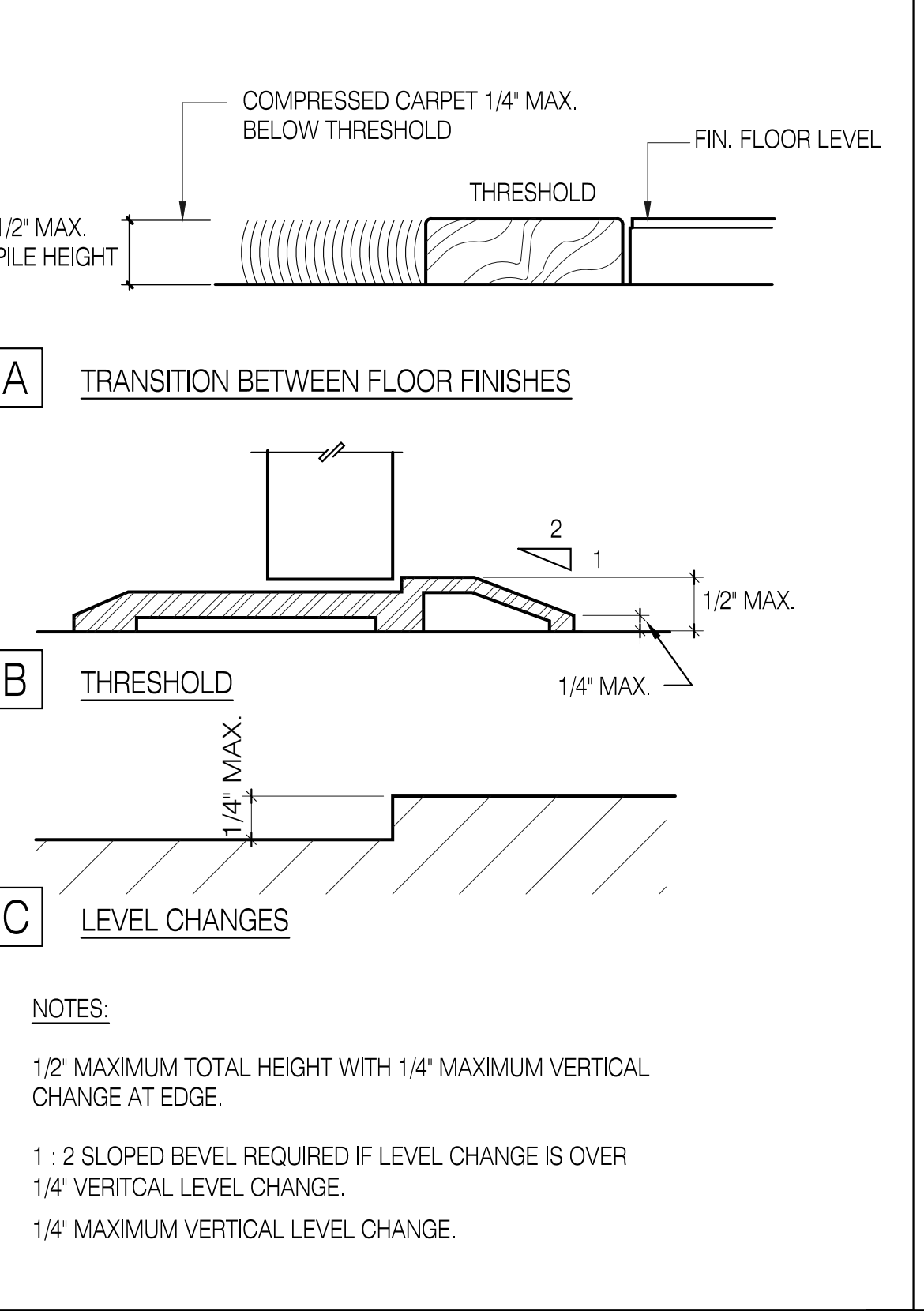
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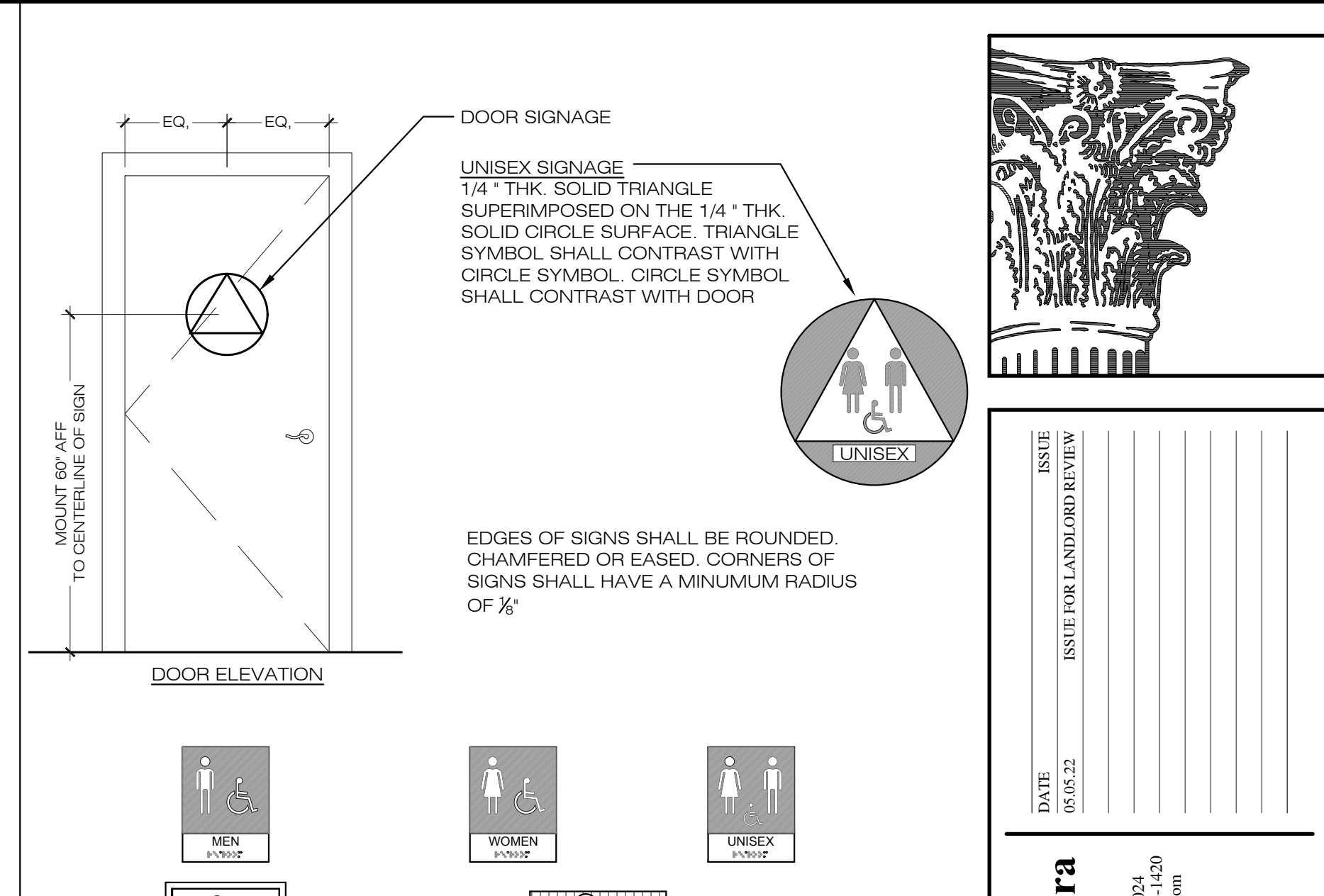
SCALE: N.T.S. **PROTRUDING OBJECTS** 5



SCALE: N.T.S. **REACH REQUIREMENTS** 3



SCALE: N.T.S. **THRESHOLD / LEVEL CHANGES** 4



SCALE: N.T.S. **SIGNS / PICTOGRAMS** 1

**LETTERS AND NUMBERS:**

- LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED 1/32" MINIMUM AND SHALL BE SANS-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE.
- RAISED CHARACTERS OR SYMBOLS SHALL BE A MINIMUM OF 5/8" HIGH.
- PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE A MINIMUM OF 6" IN HEIGHT.
- LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3.5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1.5 AND 1:10.
- EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- CHARACTERS AND NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO FLOOR IN COMPLIANCE WITH SECTION 1121B. THE MINIMUM CHARACTER HEIGHT SHALL BE 3". CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE REGULATIONS. DOTS SHALL BE 1/10" ON CENTERS IN EACH CELL WITH 2/10" SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/40" ABOVE THE BACKGROUND.

**SIGN LOCATIONS:**

- ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.
- RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH CODE. SIGNS SHALL BE WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT LEAF DOORS, SIGNS SHALL BE PLACE ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60" ABOVE SHALL BE DETERMINED SO THAT THE PERSON MAY APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.
- ADDITIONAL DIRECTIONAL SIGNS ALONG ACCESSIBLE PATH OF TRAVEL ARE REQUIRED.
- BUILDINGS REMODELED TO PROVIDE ACCESSIBLE SANITARY FACILITIES FOR PUBLIC USE SHALL HAVE INFORMATION POSTED IN THE LOBBY AS PART OF THE BUILDING DIRECTORY.

**NOTES:**  
 TOILET ROOM IDENTIFICATION SIGNAGE TO COMPLY WITH CBC 11B-703

**CONTRACTOR:** B. R. A. ARCHITECTURE, INC. #026018-1

**DRAWING TITLE:**  
 AMERICANS w/ DISABILITIES ACT REGULATIONS DETAILS NOTES

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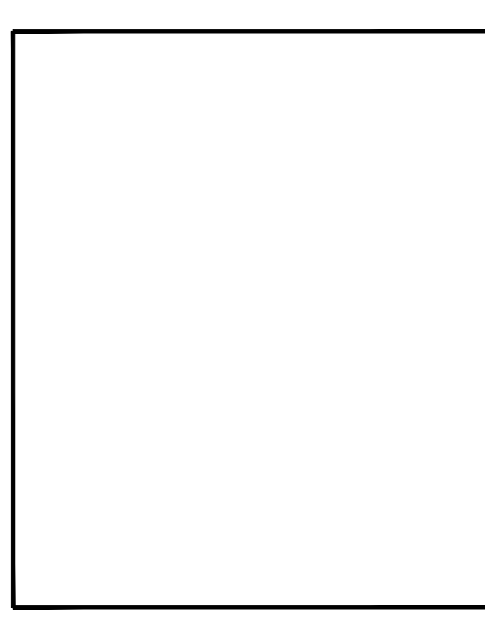
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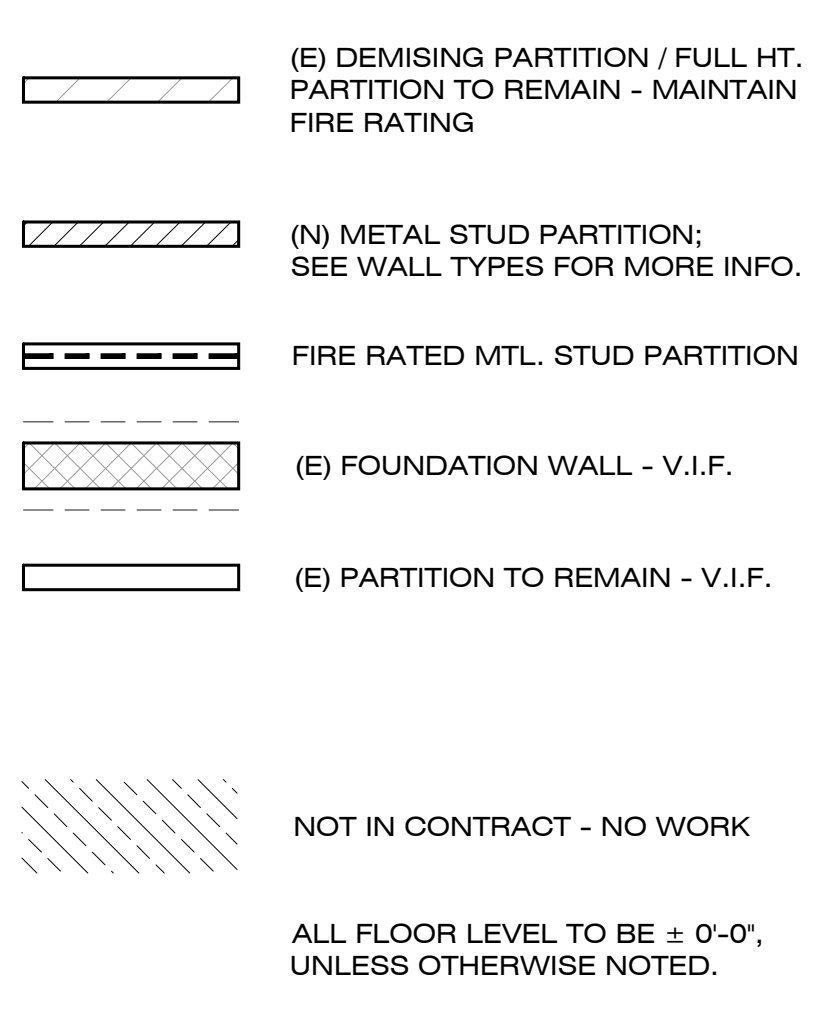
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SCALE: N.T.S. **REACH REQUIREMENTS** 3

NOT USED

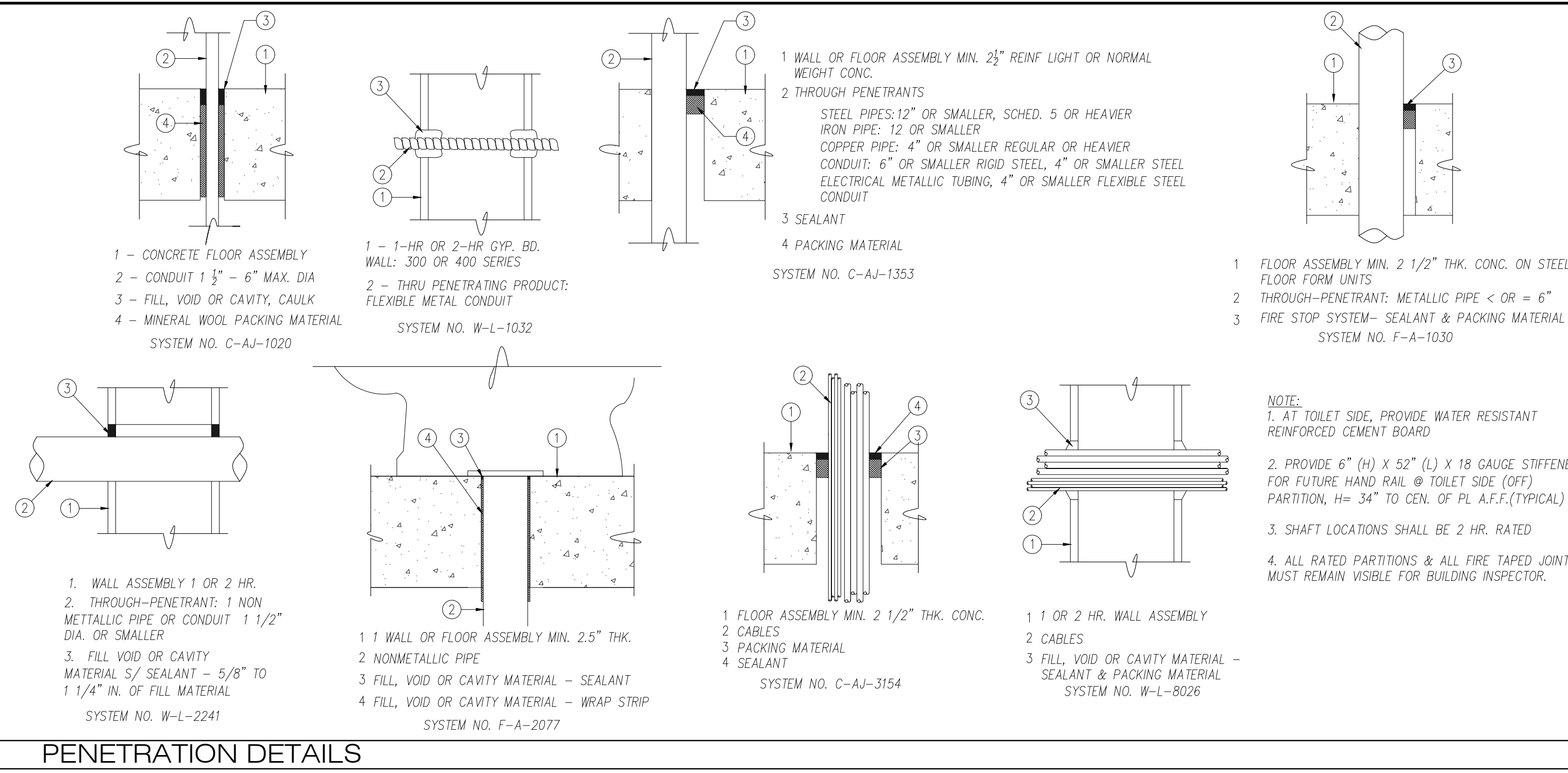
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1. NOTIFY ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES OR DISCREPANCIES WITH PLANS IN RELATION TO EXISTING FIELD CONDITIONS.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE ON THE CONSTRUCTION DOCUMENTS. DO NOT SCALE.
3. ALL DIMENSIONS ARE FROM THE FACE OF FINISH WALL TO FACE OF FINISH WALL OR COLUMN LINE (UNLESS OTHERWISE NOTED ON PLANS).
4. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS OR INSTRUCTIONS.
5. ALL WORK SHALL BE EXECUTED IN A MANNER ACCEPTABLE TO THE OWNER.
6. UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, TRANSPORTATION, PERMITS AND OTHER SERVICES AND FACILITIES NECESSARY FOR PROPER AND TIMELY EXECUTION OF WORK.
7. THE TENANTS CONTRACTOR WARRANTS TO THE OWNER AND TO THE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT ARE NEW UNLESS OTHERWISE SPECIFIED AND THAT ALL WORK WILL BE AS SPECIFIED AND FREE OF DEFECTS.
8. FOR ALL WOOD MEMBER REQUIRED BY CODE TO BE FIRE RETARDANT TREATED, PROVIDE PRESSURE IMPREGNATION WITH FIRE RETARDANT CHEMICALS TO PROVIDE UL PRS FIRE HAZARD CLASSIFICATION. ALL WOOD SHALL BE IDENTIFIED WITH A U.L. LABEL CERTIFYING THIS CLASSIFICATION AND FM DIAMOND.
9. APPROVED FIRE EXTINGUISHERS SHALL BE INSTALLED AS REQUIRED BY LOCAL AUTHORITY.
10. ALL PENETRATIONS OF FIRE RESISTIVE FLOOR OR SHAFT WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORMS TO UL STANDARDS FOR THROUGH PENETRATION FIRESTOP SYSTEMS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS WHICH SHOW COMPLETE CONFORMANCE TO THE UL LISTING OF THE ARCHITECT. SUCH DRAWINGS SHALL BE AVAILABLE TO ANY CITY INSPECTORS. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION WITH ALL VARIABLES DEFINED.
11. ALL OUTSIDE CORNERS AT DRYWALL PARTITIONS AND FURRING TO HAVE METAL CORNER BEADS SPACKLE AND SMOOTH.
12. HVAC CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR INTENDED DIFFUSER DUCT, THERMOSTAT LOCATIONS, ETC. FOR REVIEW PRIOR TO FABRICATION AND INSTALLATION OF SAME.
13. THE CONTRACTOR IS TO REPLACE ANY FIREPROOFING REMOVED FROM THE BUILDING STRUCTURE DURING DEMOLITION/CONSTRUCTION.
14. ACCESS PANELS IN WALL OR CEILING FOR PLUMBING, MECHANICAL, OR ELECTRICAL ACCESS TO BE FLUSH FRAMELESS GYP. BD. PANELS.
15. ALL GLASS, INTERIOR AND EXTERIOR, AND ALL STOREFRONT METAL TO BE CLEANED WITH A LIQUID DETERGENT AT COMPLETION OF CONSTRUCTION.
16. PROVIDE DIAGONAL BRACING TO STRUCTURE ABOVE ALL DOORS, GLAZING HEADS AND JAMBS AS REQUIRED TO MAKE ASSEMBLY RIGID.
17. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING INTEGRITY OF RATED PARTITIONS & STRUCTURE PARTICULARLY WHERE PENETRATED BY VARIOUS TRADES AND SERVICES.
18. THE GENERAL CONTRACTOR TO PROVIDE AND INSTALL PAPER COVERING APPLIED TO THE STOREFRONT GLAZING DURING MERCHANDISING.
19. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN UP OF THE ENTIRE PREMISES TO INCLUDE BUT NOT LIMITED TO FLOORS, MILLWORK, FIXTURES, ETC. FOLLOWING THE INSTALLATION OF THE MILLWORK.
20. G.C. SHALL SUPPLY & INSTALL PROPER AND ADEQUATE WOOD BLOCKING TO SUPPORT ALL OWNER SUPPLIED AND MWC APPLIED & INSTALLED ITEMS FOR FIRM AND SECURE INSTALLATION ON WALLS, COLUMNS, ETC. GC SHALL COORDINATE WITH MWC FOR REQUIRED LOCATIONS AND ADEQUACY OF BLOCKING REQUIREMENT AND PROVIDE ALL SUCH BLOCKING PRIOR TO CLOSING UP ANY AND ALL WALLS, COLUMNS, ETC. IF REQUIRED BY CODE AND LOCAL BUILDING OFFICIAL. SUCH BLOCKING SHALL BE FIRE RETARDANT TREATED TO MEET SUCH REQUIREMENT.
21. CORE DRILLING SHALL BE CONDUCTED BEFORE OR AFTER BUSINESS HOURS AND SHALL NOT INTERFERE WITH ADJACENT TENANTS ABILITY TO CONDUCT BUSINESS.
22. ALL INSULATION MATERIALS SHALL BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS TO ACHIEVE PROPER DENSITIES, MAINTAIN CLEARANCES, AND UNIFORM R-VALUES.
23. EXTERIOR WALL CAVITIES ISOLATED DURING FRAMING SHALL BE FULLY INSULATED TO THE LEVELS OF THE SURROUNDING WALLS. WHEN INSTALLED IN WOOD FRAMING, FACE BATT INSULATION SHALL BE FACE STAPLED.
24. EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF AND WALL PANELS, OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH WALLS, FLOORS, AND ROOFS AND ALL OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE FOAM FILLED OR FRICTION FIT SEALED, CAULKED, GASKET, OR WEATHER STRIPPED TO LIMIT AIR LEAKAGE.
25. ALL PUBLIC AREAS ADJACENT TO OR IMPACTED BY THE WORK PERFORMED BY CONTRACTORS AND/OR SUBCONTRACTORS SHALL BE PROTECTED TO THE SATISFACTION OF THE BUILDING MANAGEMENT.
26. ALL GLASS SHALL BE SAFETY OR TEMPERED GLASS AND ALL CLEAR GLASS SHALL BE STAFFIRE OR LOW IRON GLASS.
27. FABRICATION OF ALL MILLWORK SHALL BE PERFORMED BY SKILLED MECHANICS USING THE BEST TECHNIQUES KNOWN TO THE TRADE AND IN CONFORMANCE WITH ALL TRADE STANDARDS, SPECIFICALLY THE "PREMIUM GRADE" QUALITY STANDARDS AND THE GUIDELINES FOR "HIGH PRESSURE LAMINATE" OF THE ARCHITECTURAL WOODWORK INSTITUTE.
28. ALL MATERIALS SHALL BE FIRE RATED TO CONFORM WITH THE APPROPRIATE CODES.
29. ALL LIGHT FIXTURES SHALL BE UL APPROVED.
30. ALL FRAMING MATERIALS SHALL BE OF NONCOMBUSTIBLE OR FIRE-RETARDANT MATERIALS.

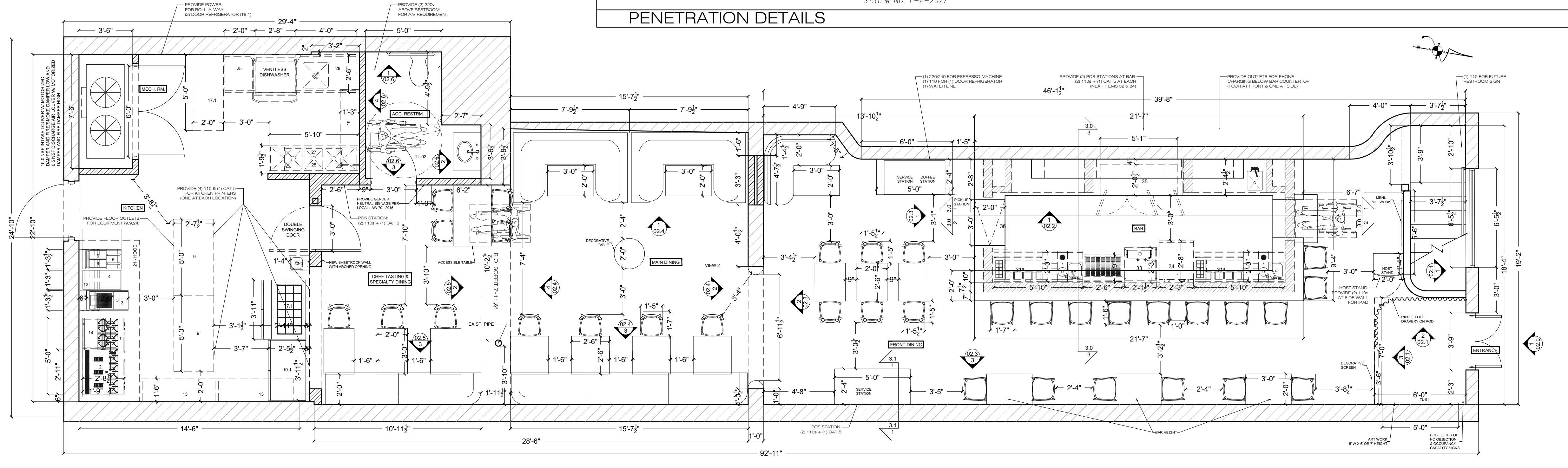


**PARTITION LEGEND**

ALL FLOOR LEVEL TO BE ± 0'-0", UNLESS OTHERWISE NOTED.



**PENETRATION DETAILS**

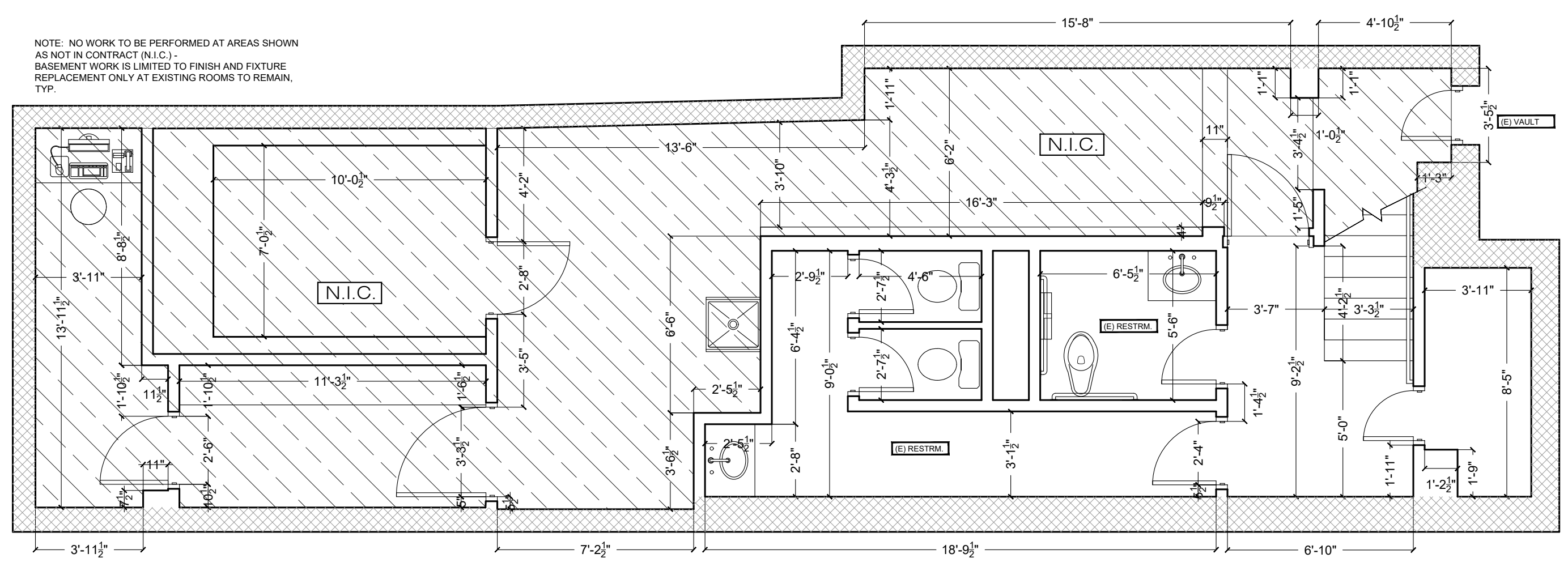


**2 | PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**CONSTRUCTION GENERAL NOTES**

**1 | PROPOSED BASEMENT FLOOR PLAN**



SCALE: 1/4" = 1'-0"



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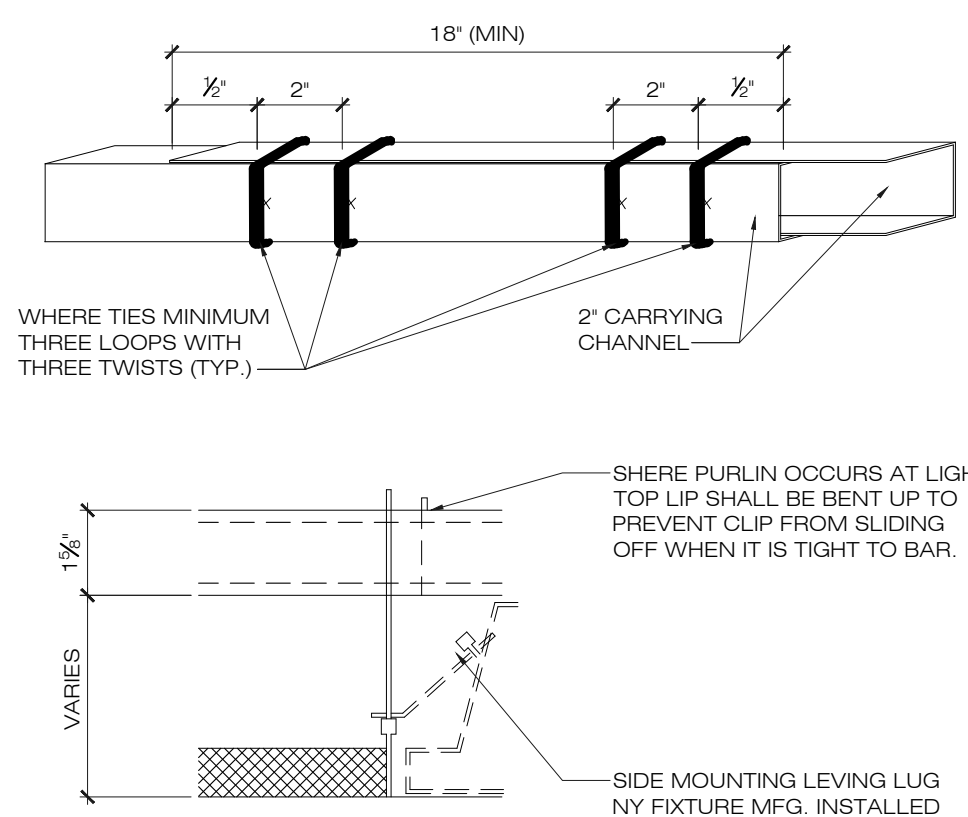
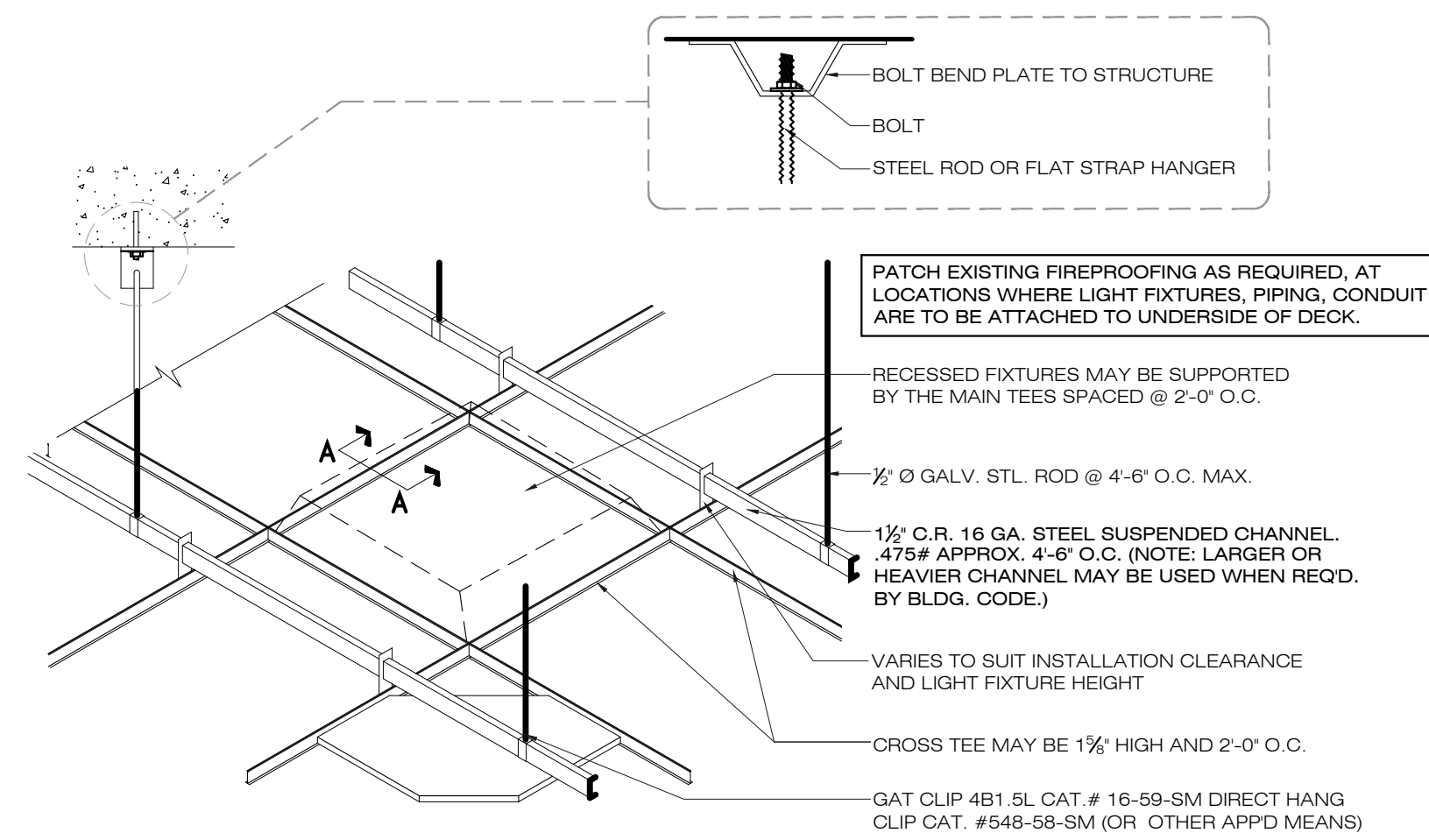
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 GENERAL NOTES

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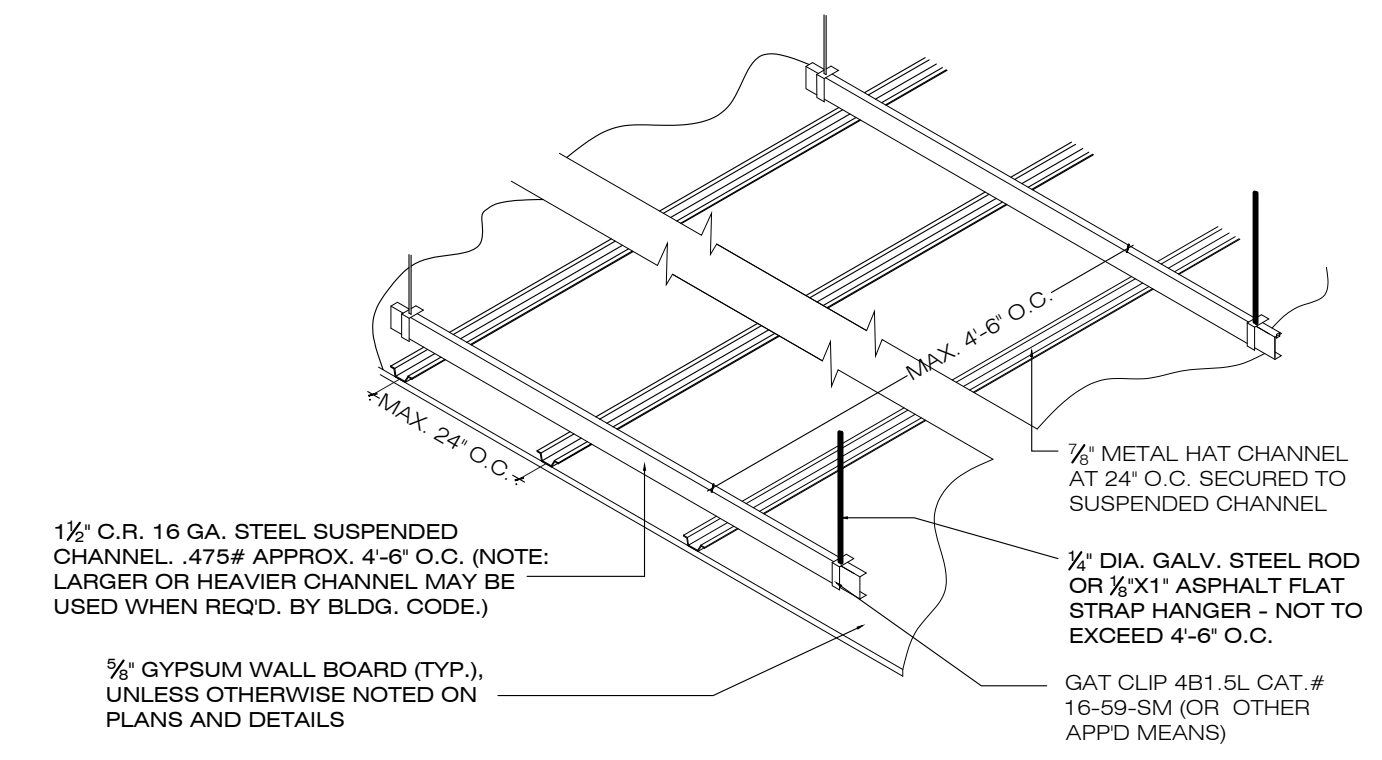
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1. THE GENERAL CONTRACTOR HAS THE RESPONSIBILITY TO SUBMIT PLANS FOR THE NEW SPACES.
2. EMERGENCY LIGHTS TO BE INSTALLED ON SEPARATE CIRCUIT
3. ALL FINISHING AND PAINTING REQUIREMENTS SHALL BE DIRECTED TO THE FINISHES SCHEDULE, SPECIFICATIONS, AND INTERIOR ELEVATIONS.
4. ALL LIGHT FIXTURE INCLUDING EXIT LIGHTS, EMERGENCY LIGHTS, ETC. SHALL BE INSTALLED BY THE CONTRACTOR.
5. CONTRACTOR TO USE LASER FOR LEVELING OF ALL SOFFITS, CEILINGS AND SUSPENDED GRIDS.
6. ELECTRICAL CONTRACTOR TO VERIFY IF SERVICE PROVIDED IS ADEQUATE. IF NOT, NOTIFY ARCHITECT IMMEDIATELY.
7. ALL LIGHTING FIXTURES TO BE UL APPROVED AND SHALL BEAR UL LABELS.
8. ELECTRICAL CONTRACTOR MUST PROVIDE AN IDENTIFICATION NAMEPLATE ON TENANTS MAIN ELECTRICAL SERVICE FUSIBLE DISCONNECT SWITCH IN LANDLORDS' ETCHED TO LEAVE WHITE LETTERS. THE SIZE SHALL BE ONE INCH HIGH BY REQUIRED LENGTH, WITH TENANTS SPACE NUMBER ENGRAVED ON IT. PERMANENTLY AFFIX TO DISTRIBUTION PANEL.
9. DIFFUSERS TO HAVE HANG WIRES ON ALL FOUR CORNERS.
10. LIGHTS TO HAVE HANG WIRES.
11. EMERGENCY LIGHTS TO BE INSTALLED ON SEPARATE CIRCUIT.
12. ALL FIXTURES TO BE INSTALLED IN ACOUSTIC CEILING AREA SHALL BE LOCATED AS SHOWN IN REFLECTED CEILING PLAN.
13. ALL LIGHTING FIXTURES TO HAVE A PRISMATIC LENS AND/OR GLARE CONTROL.
14. ALL FIRE DAMPERS MUST BE IDENTIFIED BY STICKER INSTALLED ON CLG. BELOW.
15. DUCT FIRE DAMPER MUST BE INSTALLED WITH BREAKAWAY CONNECTION.
16. G.C. TO INSTALL ACCESS DOORS AS NECESSARY, CONFIRM LOCATIONS. ACCESS PANEL MUST BE FLUSH FRAMELESS GYPSUM PANELS IN PUBLIC AREA. G.C. MUST PROVIDE AN ALLOWANCE FOR ACCESS PANELS IN BID.
17. G.C. TO COORDINATE MECHANICAL AND ELECTRICAL LAYOUT WITH FURNITURE / FIXTURE PLANS. G.C. TO REPORT CONFLICTS W/ ARCHITECT PRIOR.
18. CEILING SUPPORT SYSTEM TO BE ATTACHED ONLY TO STRUCTURAL BEAM MEMBERS NOT UNDERSIDE OF DECKING.
19. ALL SECURITY OR OTHER EQUIPMENT LOCATED IN THE MAIN ENTRY AREA MUST BE INSTALLED IN MANNER THAT IS CONCEALED FROM PUBLIC VIEW. ALL SECURITY DEVICES AND SYSTEMS SHALL BE INTEGRATED WITHIN THE DESIGN AND FINISHES.

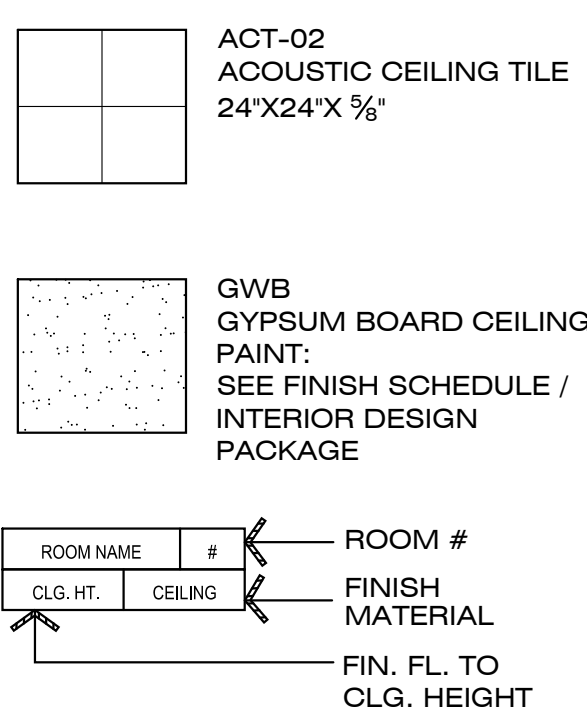
### 3 ACT CEILING ATTACHMENT DETAILS



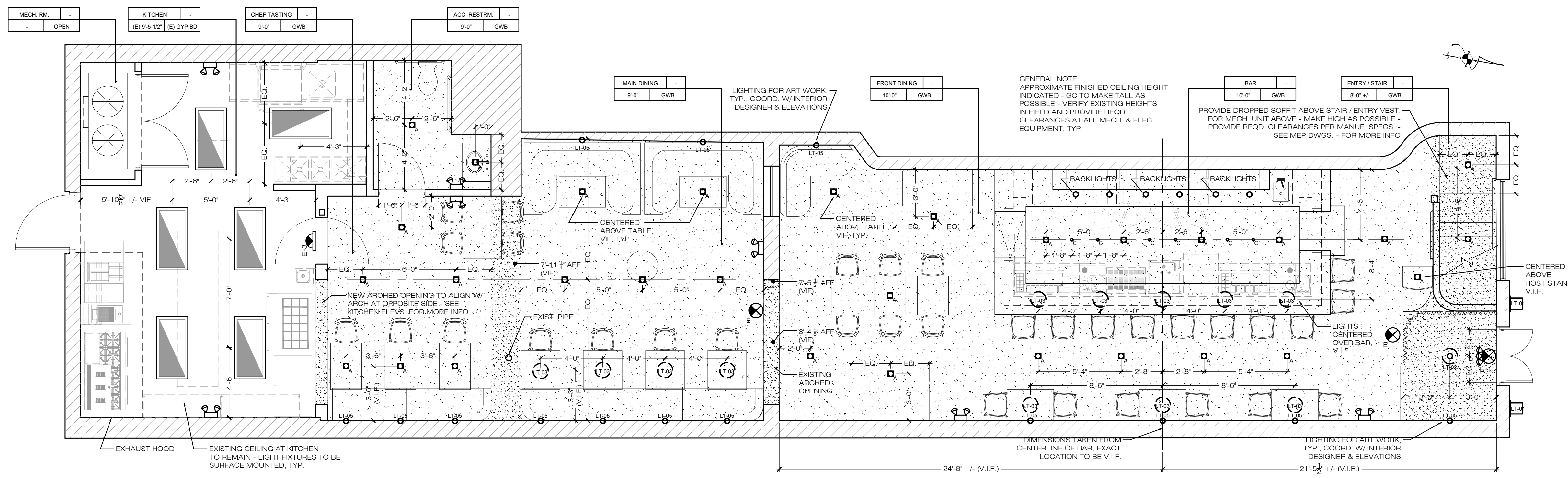
### 4 GWB CEILING ATTACHMENT DETAILS



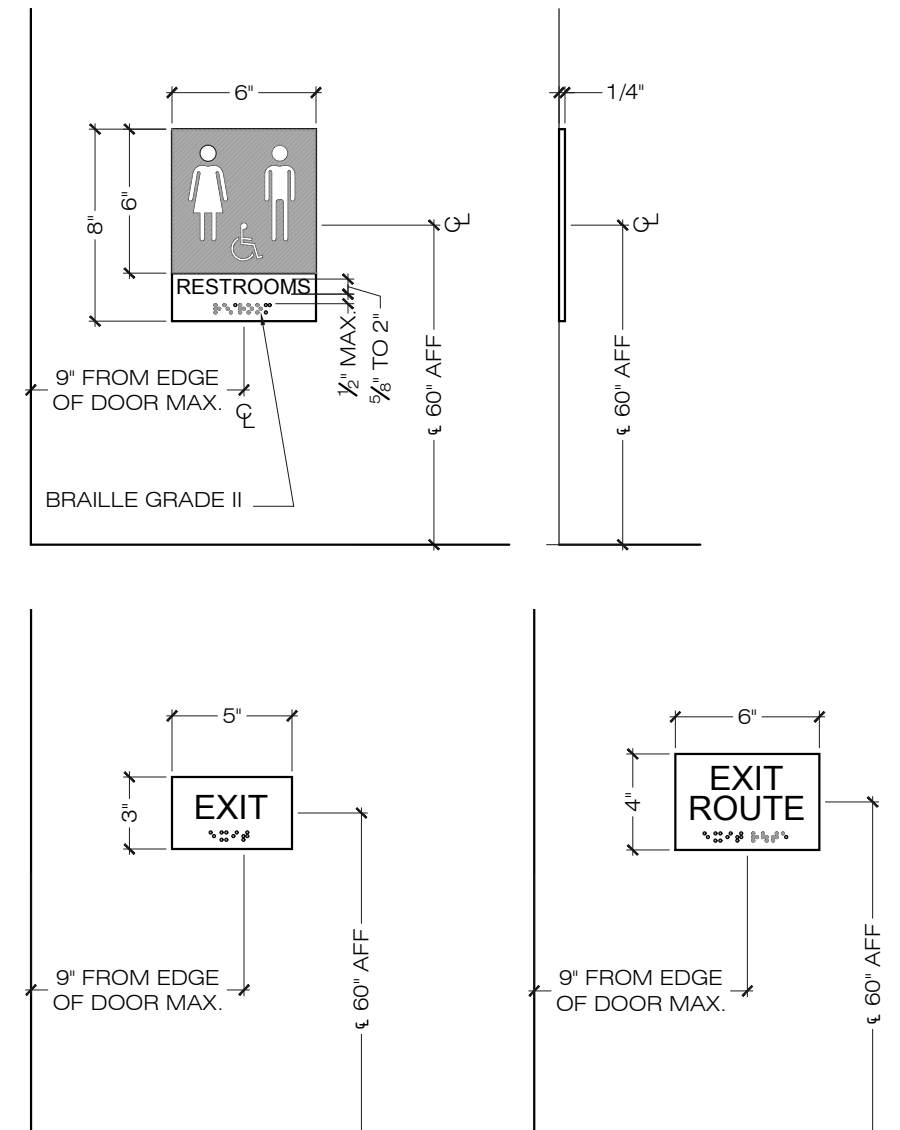
### CEILING PLAN NOTES



### 2 PROPOSED FIRST FLOOR REFLECTED CEILING PLAN



### CEILING LEGEND



NOTE: ALL HEIGHTS ARE APPROXIMATE. GO TO COORD. W/ ARCHITECT IF NECESSARY.

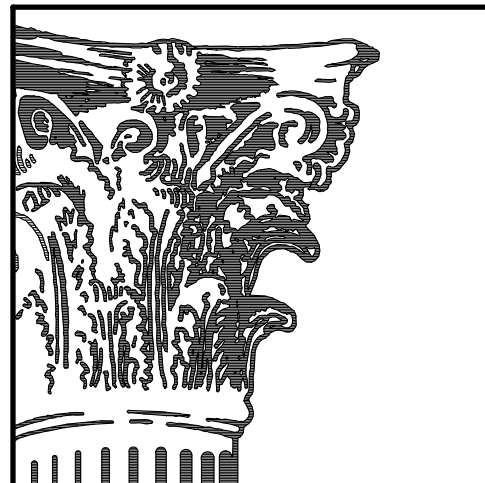
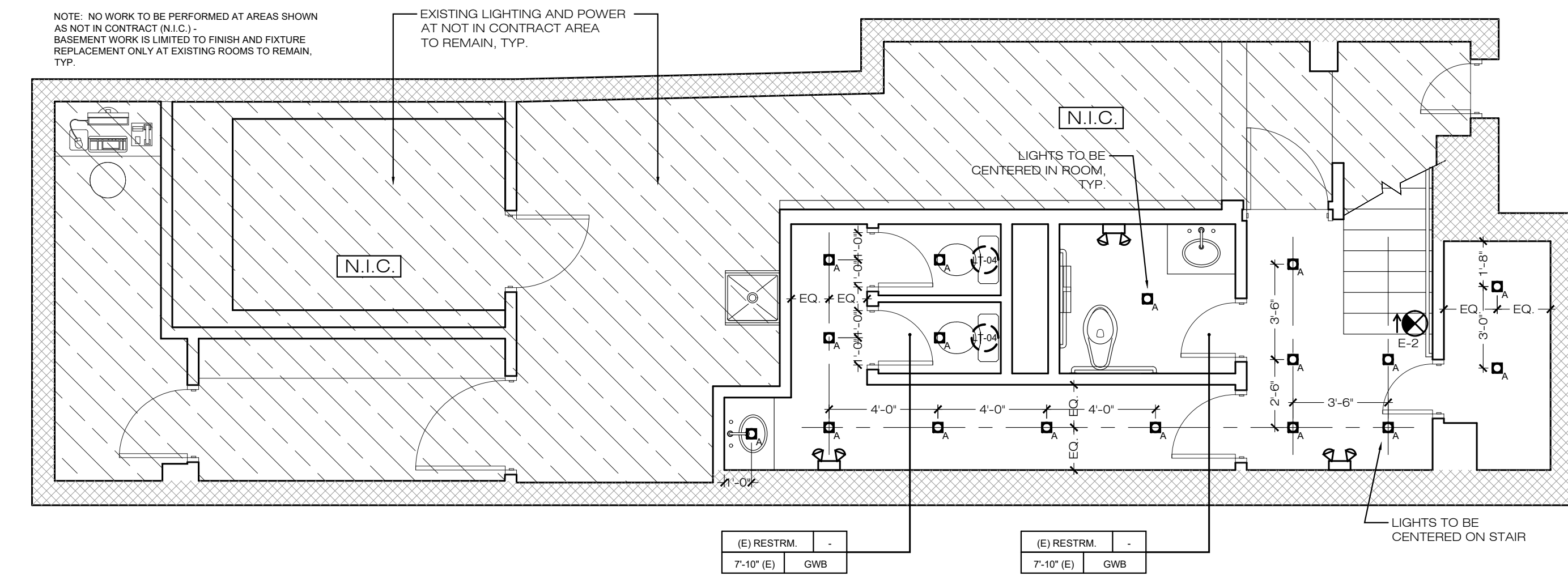
NOTE: EXISTING FIRE ALARM AND SPRINKLER TO BE MODIFIED AS REQD. - SEE MEP DRAWINGS FOR MORE INFO.

NOTE: EXISTING EMERGENCY LIGHTING TO BE MODIFIED AS REQD. - SEE MEP DRAWINGS FOR MORE INFO.

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NUMBER	NOTES
ETS-1	5'X3" TACTILE EXIT SIGN WALL MOUNTED 1/2" ACRYLIC AND MATTE FINISHED	TBD	TBD	CHARACTERS TO BE SANS SERIF UPPERCASE AND RAISED 1/32". CHARACTERS SIZE TO BE BETWEEN 5/8" MIN & 2" MAX.
ETS-2	6'X4" TACTILE EXIT ROUTE SIGN WALL MOUNTED 1/2" ACRYLIC SIGN AND MATTE FINISHED	TBD	TBD	(GRADE II) BRAILLE TO BE PLACED A MIN. OF 3/8" AND A MAX. OF 1/2" DIRECTLY BELOW CHARACTERS ON CENTERED.
RST-1	6'X8" RESTROOM SIGN WALL MOUNTED ACRYLIC SIGN AND MATTE FINISHED	TBD	TBD	CHARACTERS & BRAILLE TO BE HORIZONTAL FORMAT. PICTOGRAMS TO BE RAISED 1/32".
RST-U	12'X12" UNISEX RESTROOM DOOR SIGN WALL MOUNTED 1/4" ACRYLIC SIGN AND MATTE FINISHED	TBD	TBD	DOORWAYS LEADING TO SANITARY FACILITIES TO BE IDENTIFIED WITH GEOMETRIC SYMBOL CENTERED ON DOOR 60" ABOVE FINISH FLOOR. EDGES OF SIGNS TO BE ROUNDED. SIGNS TO BE 1/4" THICK. CORNERS OF SIGNS TO HAVE MIN. RADIUS OF 1/8".

### TACTILE SIGN LEGEND

### 1 PROPOSED BASEMENT REFLECTED CEILING PLAN



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REFLECTED CEILING PLANS  
GENERAL NOTES  
LEGEND & LIGHTING SCHEDULE

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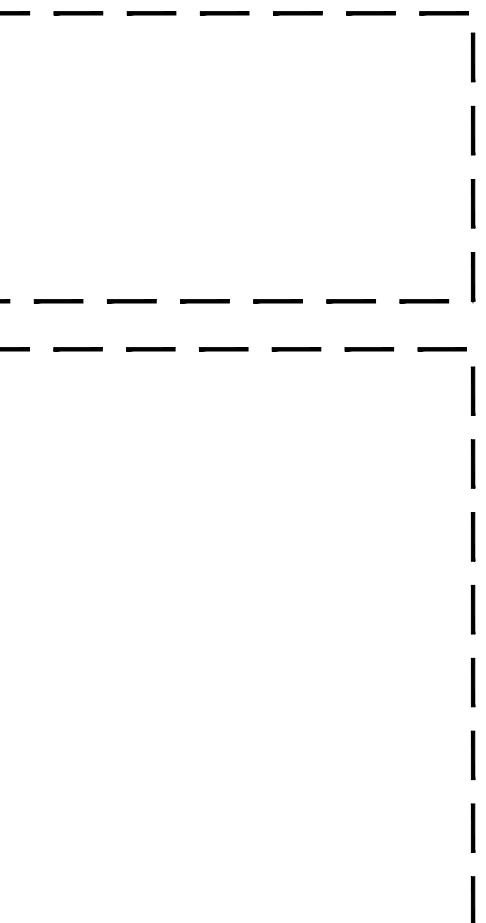
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CONV. BY: R. A. NY ARCHITECT #026019-1

DRAWING TITLE:  
 INTERIOR ELEVATIONS  
 KITCHEN

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**GENERAL MECHANICAL NOTES**

- REFER TO SPECIFICATIONS AND MANUFACTURERS SHEETS FOR FINAL EQUIPMENT REQUIREMENTS. SEE MEP DRAWINGS FOR MORE INFO.
- ALL WORK TO BE IN COMPLIANCE WITH PREVAILING CODES.
- VERIFY CONDITIONS OF EXISTING WATER AND DRAIN LINES. WATER AND DRAIN LINES TO BE INSIDE OF WALLS. SURFACE MOUNTED WORK IS NOT ACCEPTABLE.
- ALL PLUMBING CONNECTION HEIGHTS ARE TO CENTER LINE OF ROUGH-IN, UNLESS OTHERWISE NOTED.
- ALL WATER LINES TO BE VALVED AT STUB-IN LOCATIONS.
- INSULATE ALL WATER LINES RUNNING FROM WATER HEATER TO FINAL HOOK-UP ON EQUIPMENT.
- PLUMBING CONTRACTOR TO MOUNT ALL DISPOSERS, FAUCETS, BASKET DRAINS, TO/ON EQUIPMENT WITH FINAL CONNECTION TO ROUGH-INS) AFTER EQUIPMENT IS SET IN PLACE.
- PLUMBING CONTRACTOR TO PROVIDE AND INSTALL A GAS SOLENOID VALVE WITH INTERLOCK TO EXHAUST VENTILATOR FIRE PROTECTION SYSTEM.
- PLUMBING CONTRACTOR TO PROVIDE AND INSTALL WATER HEATER.
- PLUMBING CONTRACTOR TO PROVIDE AND INSTALL WATER HAMMER ARRESTORS IN LINE BEFORE ALL SOLENOID VALVES. I.E. AT DISHWASHER, DISPOSER(S), ICE MAKER(S), STEAMER(S), ETC.
- PLUMBING CONTRACTOR TO PROVIDE AND INSTALL ALL INDIRECT WASTE LINES (i.e.: WALK-IN COOLERS/FREEZERS, REFRIGERATED BASES, HOT WELLS).
- PLUMBING CONTRACTOR TO PROVIDE AND INSTALL A CHECK VALVE IN CARBONATOR WATER SUPPLY LINE.
- BEVERAGE CONDUIT TO BE PVC/EMT WITH SMOOTH INTERIOR AND ONE MINIMUM 24" RADIUS SWEEP BEND AT EACH END. PVC/EMT TO BE SEALED DURING CONSTRUCTION. SHORT RADIUS FACTORY "ELLS" ARE NOT ACCEPTABLE.

WALK-IN BOX (COOLERS & FREEZERS) (AS APPLICABLE)  
 SEE FLOOR PLAN FOR SIZES AND LOCATIONS  
 \* ALL FINAL ELEC. & MECH. REQS. ARE TO BE VERIFIED WITH THE WALK-IN BOX MANUFACTURER

- PROVIDE: 120-V, 1-PH SERVICE, 5.0 FL. AMPS, WALL STUB OUT AS REQUIRED, FOR WALK-IN BOX DOOR HEATER, ALARM, & LIGHTS.
- PROVIDE: 1" INDIRECT DRAIN LINE FROM EVAPORATOR COIL TO FLOOR DRAIN.
- PROVIDE: WALL STUB OUT AS REQUIRED FOR WALK-IN BOX EVAPORATOR COIL.
- PROVIDE: STUB AS REQD. (VIF) FOR REMOTE REFRIGERATION SYSTEM - CONDENSER UNIT.

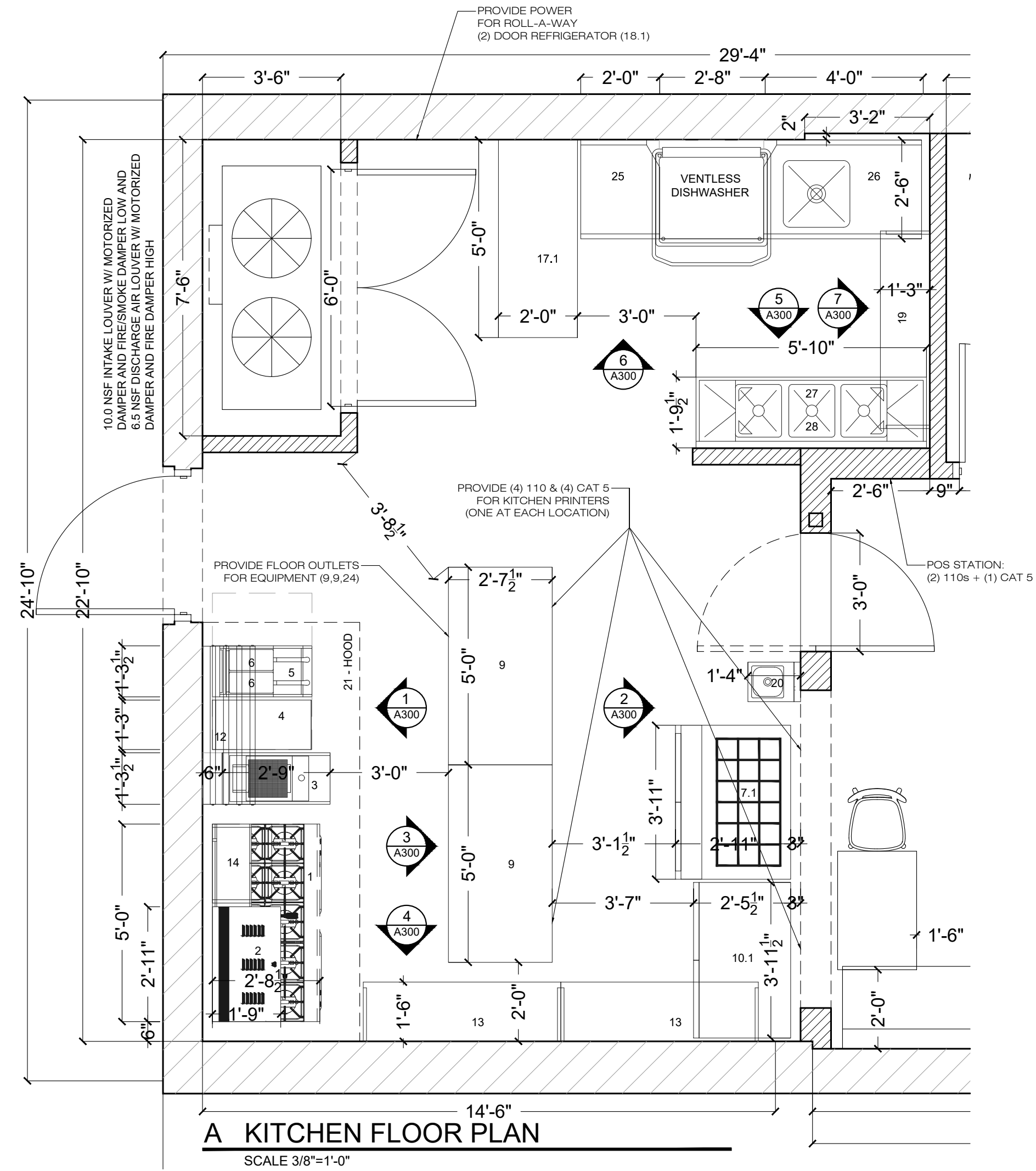
- GENERAL NOTES:**
- EQUIPMENT SCHEDULE PROVIDED FOR CONVENIENCE & REFERENCE. - SEE EQUIPMENT MANUFACTURERS SPECIFICATIONS FOR FINAL CONFIRMATION OF ALL MECHANICAL, ELECTRICAL, AND PLUMBING REQUIREMENTS, TYP. - SEE M.E.P. DRAWINGS FOR MORE INFO.
  - PROVIDE ALL REQUIRED CLEARANCES AROUND EQUIPMENT AS REQUIRED BY MANUFACTURERS SPECIFICATIONS, TYP.
  - ALL MILLWORK TO BE FIELD VERIFIED PRIOR TO FABRICATION. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR REVIEW.
  - ALL MILLWORK ITEMS SHALL BE FABRICATED BY AN EXPERIENCED CARPENTER USING THE BEST TECHNIQUES KNOWN TO THE TRADE AND IN CONFORMANCE WITH ALL TRADE STANDARDS, SPECIFICALLY THE "PREMIUM GRADE" QUALITY STANDARDS AND THE GUIDELINES FOR "HIGH PRESSURE LAMINATE" OF THE ARCHITECTURAL WOODWORK INSTITUTE
  - NO EQUIPMENT TO BE INSTALLED WHICH REQUIRES STRUCTURAL MODIFICATIONS.

SEE EQUIPMENT SCHEDULE ON SHEET A301 FOR MORE INFO.

**GENERAL ELECTRICAL NOTES**

- ALL WORK DONE IN ACCORDANCE WITH ALL LOCAL CODES.
- REFER TO SPECIFICATIONS AND MANUFACTURERS SHEETS FOR FINAL EQUIPMENT REQUIREMENTS. SEE ELECTRICAL ENGINEERING PLANS FOR COMPLETE SCOPE OF WORK AND ELECTRICAL SPECIFICATIONS.
- ELECTRICAL CONTRACTOR IS TO VERIFY ALL REQUIREMENTS FOR EQUIPMENT AND/OR ITEMS LABELED AS BEING FURNISHED "BY OTHERS".
- EC TO SUPPLY AND INSTALL ALL DUPLEX RECEPTACLES AND SWITCHES WITH STAINLESS STEEL FACE PLATES.
- EC TO SUPPLY ALL NECESSARY CONTACTORS, STARTERS, AND DISCONNECTS.
- EC TO SUPPLY CONTACTORS AND/OR SHUNT TRIP BREAKERS TO PROVIDE FOR TOTAL FUEL SHUT-OFF TO COOKING BATTERY.
- EC TO INTERWIRE CONDENSING UNIT WITH EVAPORATOR COILS IN WALK-IN COOLERS/FREEZERS UNITS.
- EC TO PROVIDE AND INSTALL HEAT TAPE AROUND CONDENSATE DRAIN LINES IN WALK-IN FREEZERS.
- EC TO INTERWIRE FIRE EXTINGUISHING SYSTEM WITH EXHAUST FAN AND COOKING BATTERY TO CAUSE FAN TO TURN ON AND COOKING BATTERY TO TURN OFF WHEN FIRE SYSTEM IS ACTIVATED.
- EC TO FLUSH MOUNT ALL ROUGH-INS IN BAR DIE WALL AND AT BAR AREA.
- VERIFY ALL P.O.S. LOCATIONS AND REQUIREMENTS WITH P.O.S. CONTRACTOR.
- ELECTRICAL CONNECTION (WIRING) FOR ALL WALK-IN REFRIGERATION COMPONENTS & SWITCHES BY EC.
- ALL ELECTRICAL CONNECTION HEIGHTS ARE TO CENTER LINE OF ROUGH-IN, UNLESS NOTED OTHERWISE.
- KITCHEN VENDOR WILL NOT BE RESPONSIBLE FOR FURNISHING ELECTRICAL APPURTENANCES, SUCH AS LINE OR DISCONNECT SWITCHES, SAFETY CUTOUTS, CONTROL PANELS, FUSE BOXES, FITTINGS AND INTERWIRING REQUIRED BETWEEN EQUIPMENT AND CONTROL PANELS UNLESS SPECIFIED IN CONTRACT.
- EC IS TO SUPPLY AND INSTALL ALL CONDUIT, WIRING, BOXES, SWITCHES, FACEPLATES, BRACKETS, ETC. TO COMPLETE INSTALLATION. ALSO MAKE ALL FINAL CONNECTIONS TO KITCHEN EQUIPMENT INCLUDING ALL INTERWIRING REQUIRED FOR WALK-IN COOLERS AND FREEZERS AND THEIR COMPRESSORS, BLOWER COILS, TIMERS, HEATERS AND LIGHTING.
- EC IS TO DO ALL INTERWIRING FOR EXHAUST HOOD LIGHTING, BLOWERS, DAMPERS AND FIRE SUPPRESSION SYSTEM, INCLUDING THE SUPPLYING AND INSTALLATION OF A SHUNT-TRIP BREAKER FOR EQUIPMENT AND A FAN INTERLOCK MECHANISM.
- UNLESS OTHERWISE SPECIFIED, THE EC IS TO PROVIDE AND INSTALL ALL CORDS, WITH PLUGS AND RECEPTACLES WHERE NECESSARY. THIS SHALL INCLUDE ALL VOLTAGES (RE. 120, 208, 220, 240).
- EC TO CONFIRM LOCAL CODE REQUIREMENTS. IF REQUIRED, USE 20 AMP GFI AT APPLIANCE AND 30 AMP GFI AT ELECTRICAL PANEL.

- PROVIDE PROTECTIVE COVERS AT LIGHTS IN ALL FOOD STOR., PREPARATION, AND WASH AREAS, TYP.
- ALL GLASS TO BE SAFETY OR TEMPERED GLASS. ALL LIGHTING, WIRING, TACK, OR OTHER SIMILAR ELEMENTS TO BE HIDDEN FROM CUSTOMER VIEW.
- PROVIDE MOISTURE RESISTANT GYP. BD. AT ALL WET AREAS (RESTROOMS, UTILITY RMS., ETC.). PROVIDE 5/8" CEMENT BACKER BOARD AT KITCHEN AND WET AREA PARTITIONS - PROVIDE WATERPROOF MEMBRANE 4" MIN. AFF AND 16" MIN. FROM WALL BASE.
- MAINTAIN 18" CLEAR AROUND EXHAUST HOODS TO COMBUSTIBLES - NO COMBUSTIBLE FRAMING, BLOCKING, OR FINISHES ALLOWED AROUND KITCHEN COOKING EQUIPMENT AND EXHAUST HOODS. PROVIDE STAINLESS STEEL BEHIND AND BELOW HOOD.
- 18 GA STAINLESS STEEL - USE FINISH WASHERS & FLAT HEAD SCREWS. CLEAR SILICONE SEALANT BETWEEN STAINLESS STEEL PANELS.
- FIRE EXTINGUISHER, COORDINATE FINAL LOCATIONS WITH FIRE MARSHAL.
- SPRINKLER SYSTEM TO BE MODIFIED AS REQD. SEE MEP DRAWINGS FOR MORE INFO.

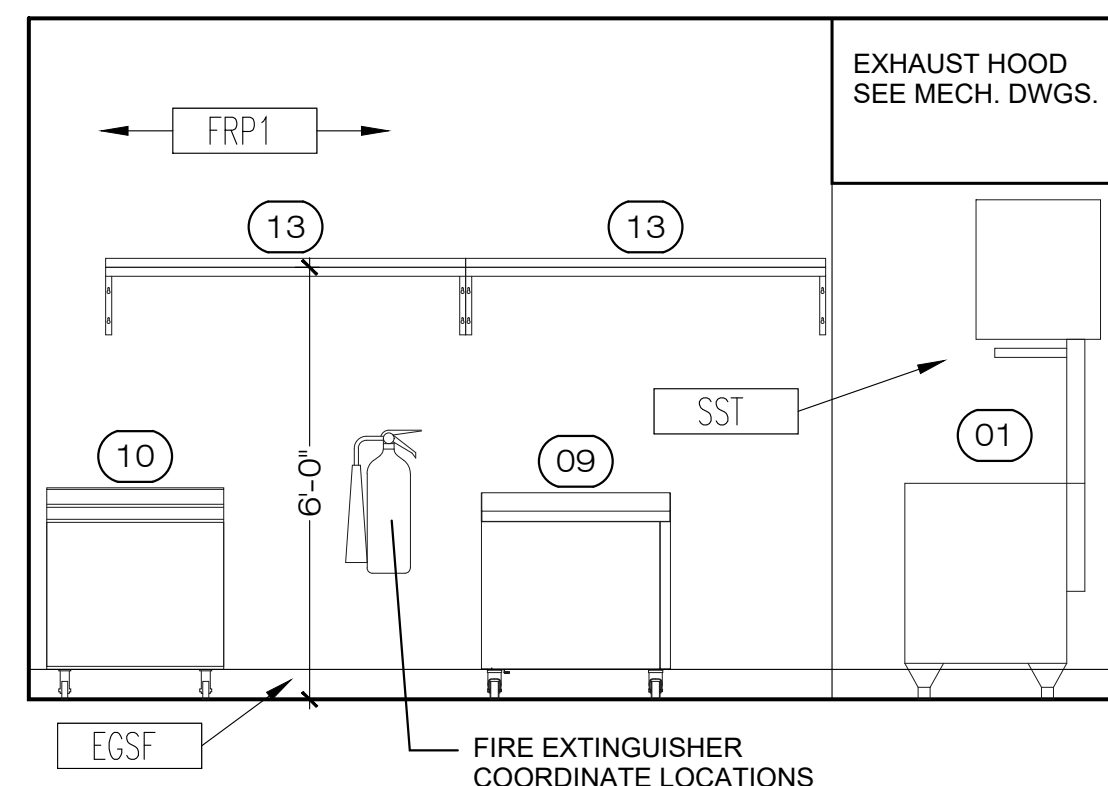


**FINISH LEGEND**

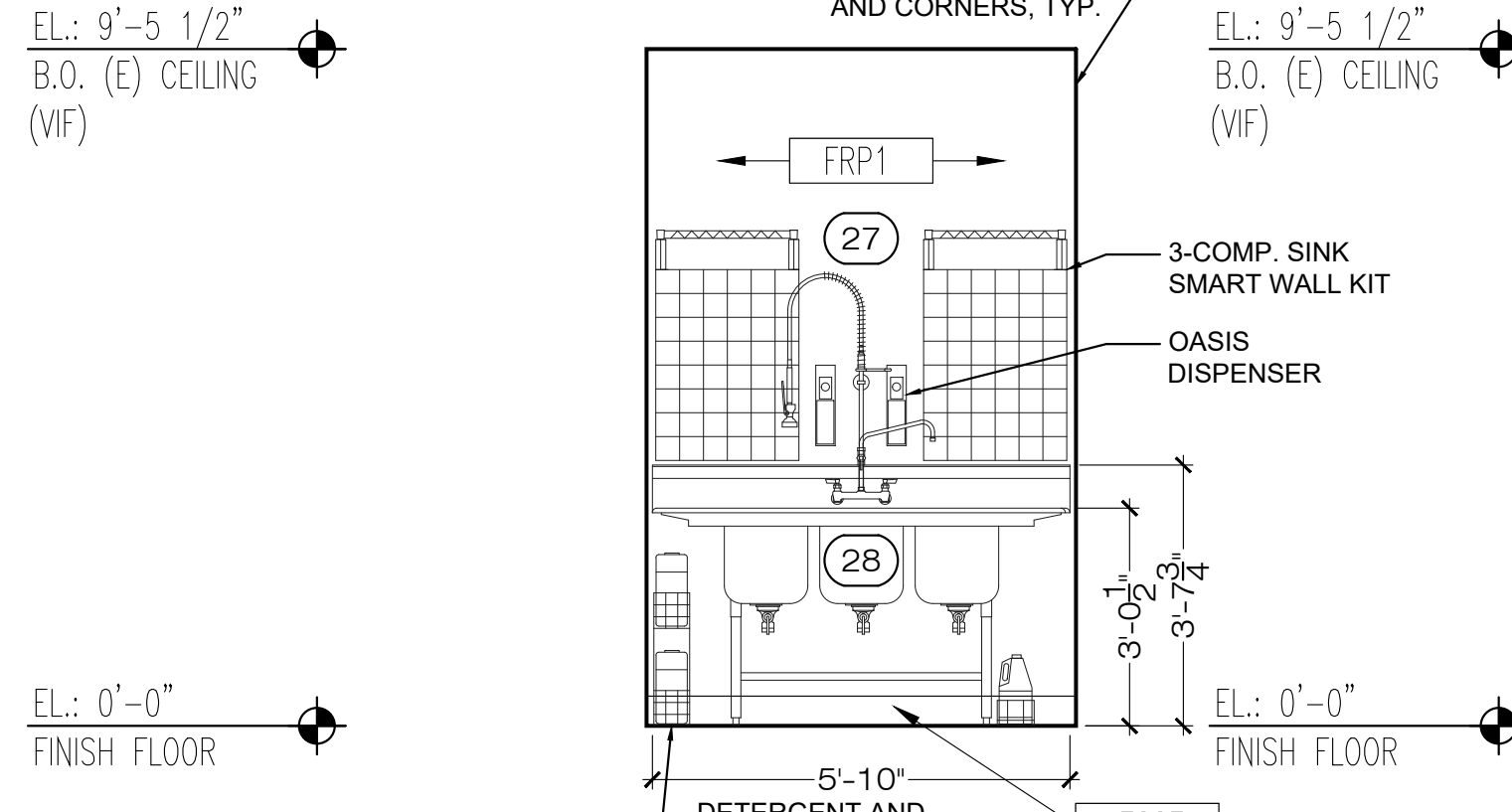
EGSF: ECOGRIP SLIP RESISTANT SAFETY FLOORING AT KITCHEN FLOOR AND BASE

SST: 18 GA STAINLESS STEEL, BRUSHED FINISH AT HOOD & COOK LINE

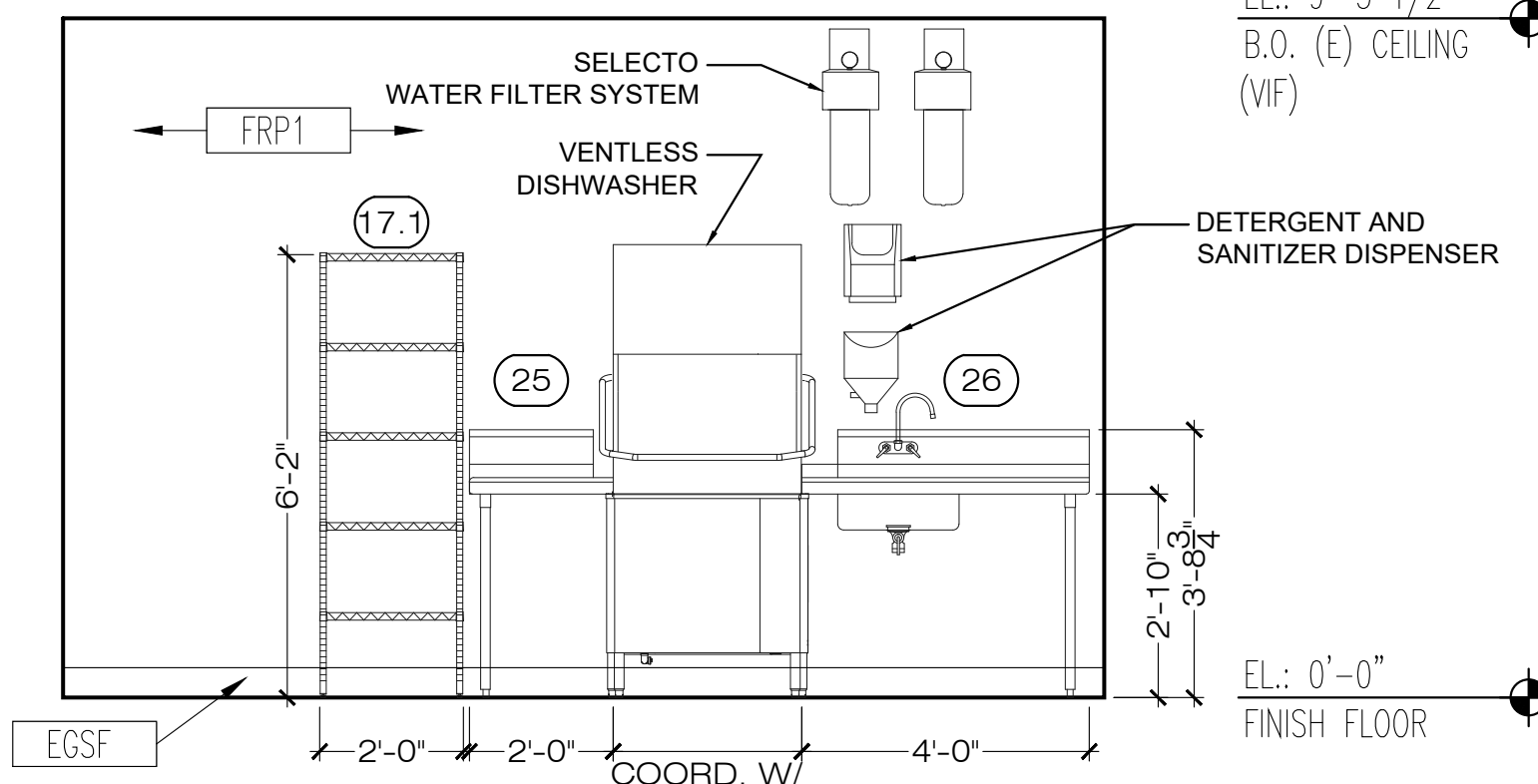
FRP1: FIBERGLASS REINFORCED PLASTIC, PEBBLE TEXTURE, WHITE AT KITCHEN PARTITIONS



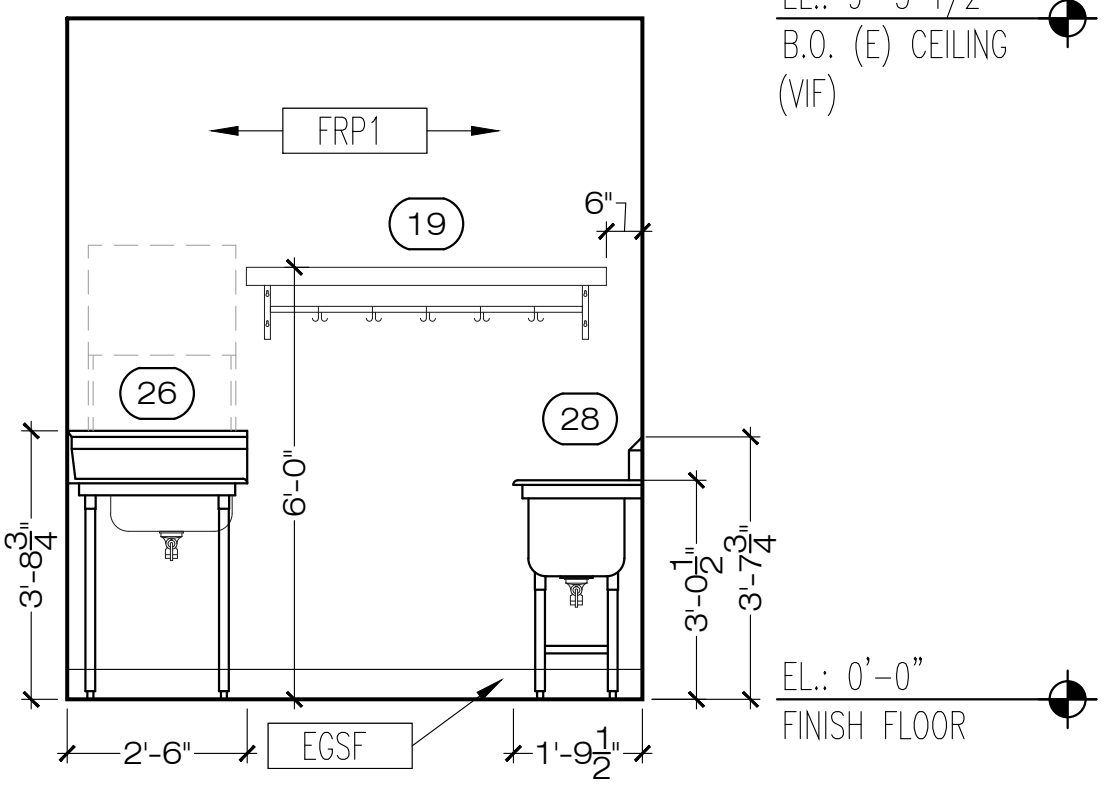
**4 ELEVATION AT SIDE WALL**  
 SCALE 3/8"=1'-0"



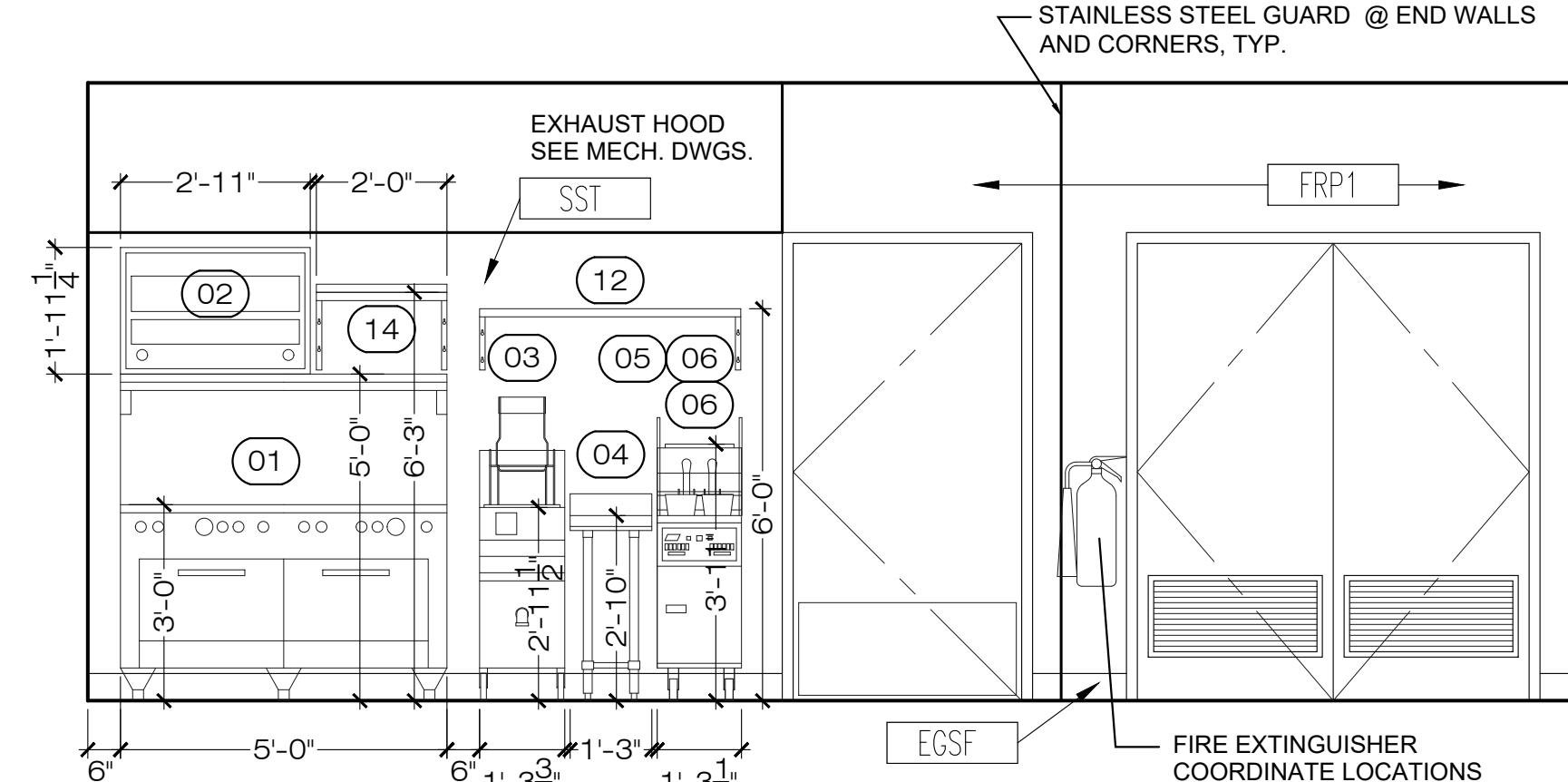
**5 ELEVATION AT SINK**  
 SCALE 3/8"=1'-0"



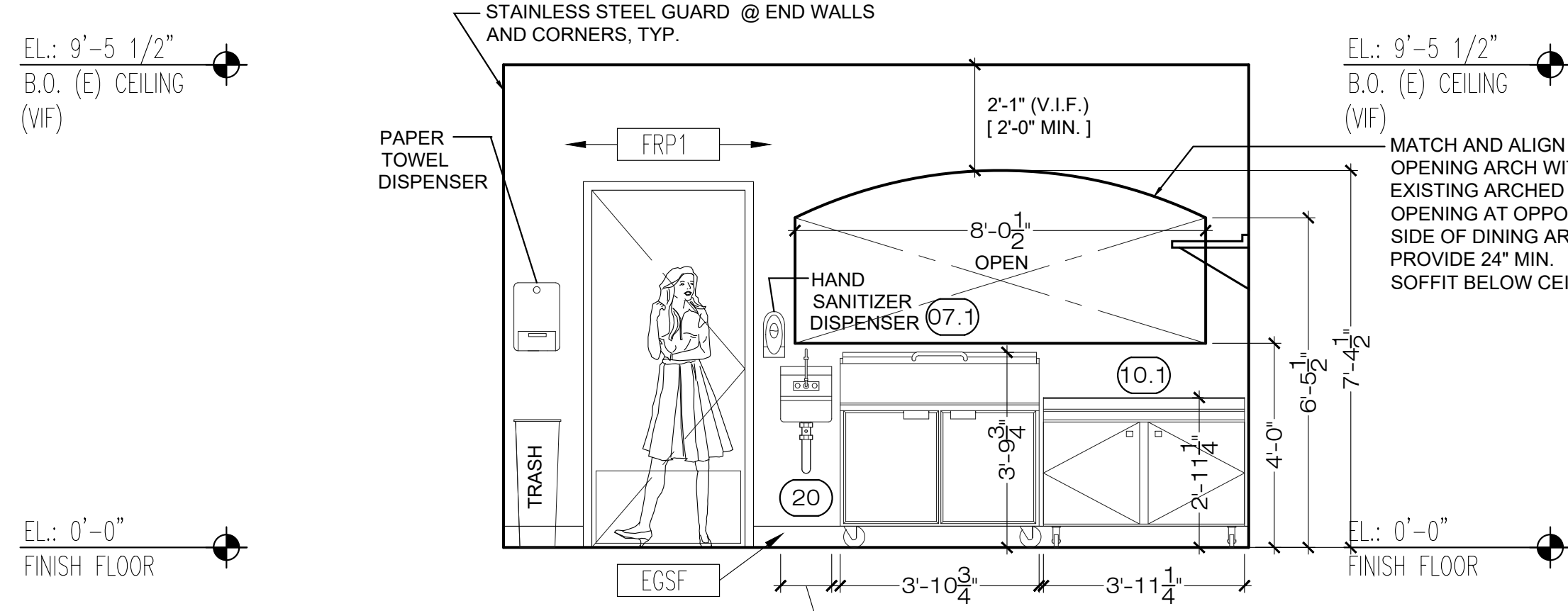
**6 ELEVATION AT DISHWASHING**  
 SCALE 3/8"=1'-0"



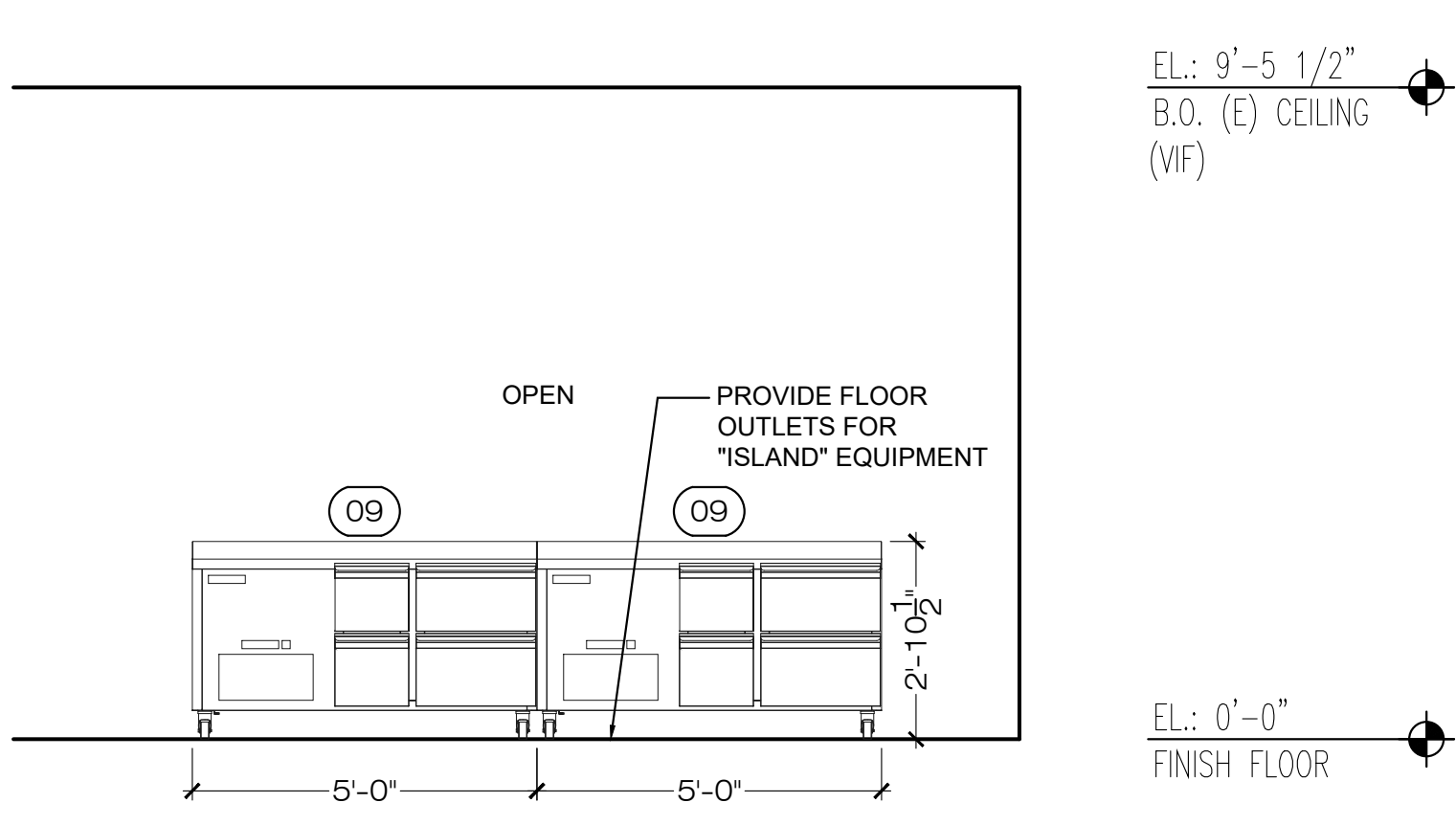
**7 ELEVATION AT SINK**  
 SCALE 3/8"=1'-0"



**1 ELEVATION AT COOK LINE**  
 SCALE 3/8"=1'-0"



**2 ELEVATION AT SERVICE LINE**  
 SCALE 3/8"=1'-0"



**3 ELEVATION AT PREP LINE**  
 SCALE 3/8"=1'-0"



