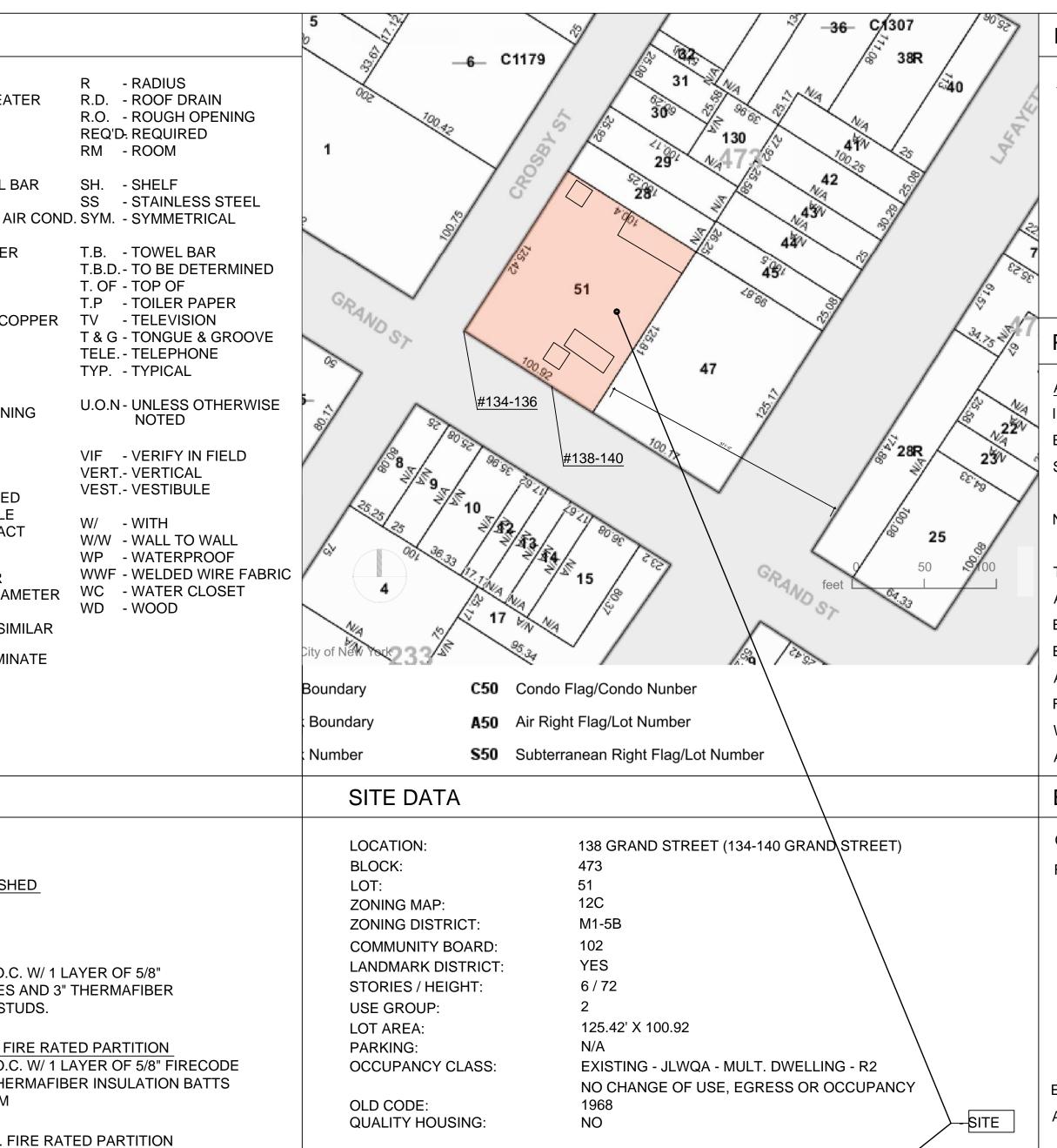
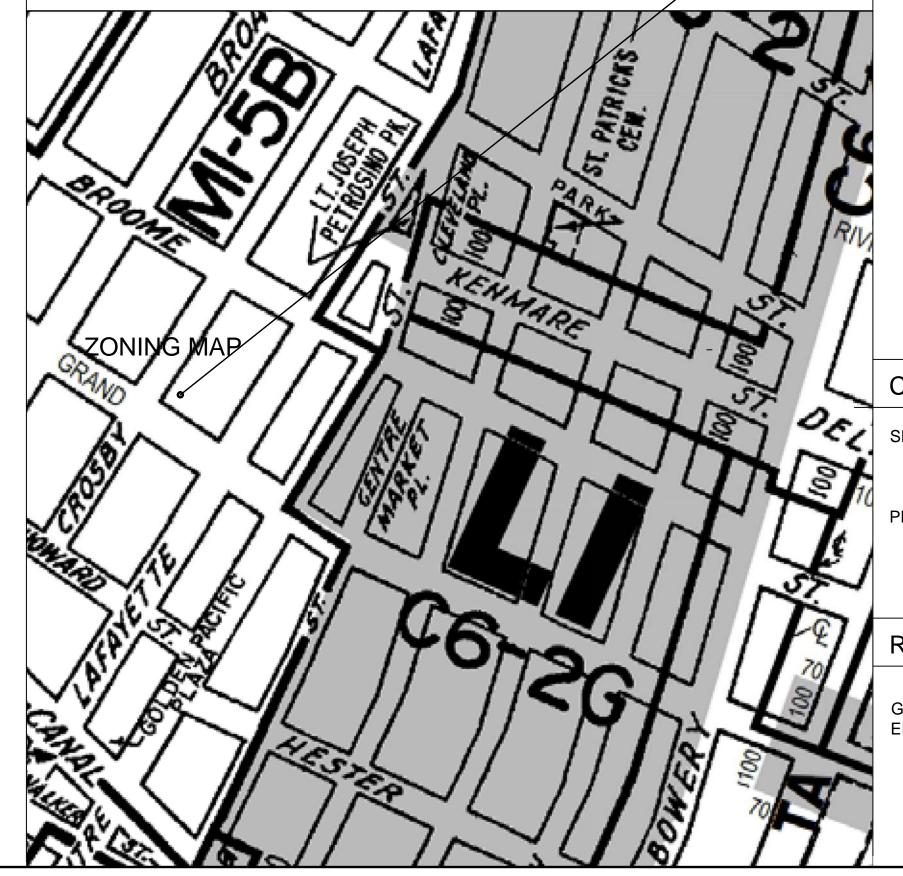
	ARCHITECTURAL ABBREVIATIONS			
TENANT PROTECTION NOTES	AC - AIR CONDITIONING ADJ ADJUSTABLE A.F.F ABOVE FINISH FLOO A.P ACCESS PANEL B.F BOILER FLUE B.OF - BOTTOM OF BR - BEDROOM BLDG BUILDING BLKG BLOCKING BSMT BASEMENT C.B CATCH BASIN C.J CONTROL JOINT CAB CABINET CLG CEILING CMU - CONC. MAS. UNIT CONC: CONCRETE CTR COUNTER DS - DOWNSPOUT DW - DISHWASHER DBL DOUBLE D.L.O DAY LIGHT OPENING DN - DOWN DR - DOOR ELEV ELEVATION EQ EQUAL EXIST: EXISTING EXT EXTERIOR F.B.O FURNISHED BY OTH	H.W.H. HOT WATER HEATER H.W.H. HOT WATER HEATER HDR HEADER HDR HEADER HDW HARDWARE H.P HIGH POINT H.T HEIGHT H.T.B HEATED TOWEL BAR HTG HEATING I.D INSIDE DIAMETER KIT KITCHEN KIT KITCHEN L.C.C LEAD COATED COPPER L.C.C LOW POINT M.O MASONRY OPENING MAS MASONRY MAX MAXIMUM MIN MINIMUM MIN MINIMIM MIN MINIMUM MIN MINIMUM MIN MINIMUM MIN MINIMU		
 TENANT PROTECTION PLAN NOTES 1. EGRESS - ALL ENTRANCES, HALLS AND MEANS OF EGRESS WILL BE MAINTAINED FOR SAFE UNOBSTRUCTED PASSAGE AT ALL TIMES BY ALL PERSONS BY THE SITE SUPERINTENDENT 2. FIRE SAFETY - SMOKE DETECTORS SHALL BE MAINTAINED DURING CONSTRUCTION, FIRE EXTINGUISHERS SHALL BE ON SITE - 1 PER 1,000SF. NO MATERIALS SHALL BE STORED SUCH THAT THEY CREATE A FIRE HAZARD. 3. HEALTH - DUST SHALL BE MINIMIZED BY USE OF VACUUMS, WATER AND PLASTIC PARTITIONS. STICKY WALK OFF MATS SHALL BE PROVIDED AT THE SITE ENTRANCE. FRESH AIR SHALL BE PROVIDED BY WINDOWS AND EXHAUST FANS USED WHEN SMELLS ARE GENERATED. NOISE MITIGATION BLANKETS SHALL BE INSTALLED FOR HIGH DECIBEL WORK. BATHROOMS TO BE CLEANED TWICE A WEEK. NO LEAD OR ASBESTOS SHALL BE DISTURBED IF 	F.B.O FORNISHED BY OFF F.D FLOOR DRAIN F.O.F FACE OF FINISH F.S FULL SIZE FDN FOUNDATION FIN FINISH FLR FLOOR FPSC - FIRE PROOF SELF OF FTG FOOTING GWB - GYPSUM WALL BOA	OPG OPENING WD - WOOD OPP. SIM OPPOSITE SIMILAR PL. LAM PLASTIC LAMINATE POL POLISHED PLYWD PLYWOOD CLOSING		
ENCOUNTERED. 4. COMPLIANCE WITH HOUSING STANDARDS - THE REQUIREMENTS OF THE NYC	EX	ISTING WALL TO REMAIN		
 HOUSING MAINTENANCE CODE AND APPLICABLE NYS MULTIPLE DWELLING LAWS SHALL BE STRICTLY OBSERVED. 5. STRUCTURAL - MODIFICATION OF THE BUILDING STRUCTURE, IF REQURIED BY THESE DOCUMENTS, IS TO BE UNDERTAKEN IN SUCH A WAY WHICH WOULD NOT ENDANGER THE TENANTS. BRIDGING, SHORING OR TEMPORARY VACANCY WILL BE COORDINATED WITH THE SPECIFIC ACTIVITIES REQUIRED. 6. NOISE - CONSTRUCTION WILL BE CONFINED TO HOURS STIPULATED BY LANDLORD IN TENANT'S GUIDELINES AND NYC REGULATIONS (M-F 8A-5P) WHICHEVER IS MORE RESTRICTIVE. NOISY WORK WILL NOT START BEFORE 9A. PADDING BELOW DROPPED DEBRIS REQUIRED. 7. ESSENTIAL SERVICES - DURING CONSTRUCTION ALL SERVICES INCLUDING 	UN 20 GY	EXISTING WALL TO BE DEMOLISHED UNRATED PARTITION 20 GA. 2X4 METAL STUDS, 16" O.C. W/ 1 LAYER OF 5/8" GYPSUM BOARD ON BOTH SIDES AND 3" THERMAFIBER INSULATION BATTS BETWEEN STUDS.		
 ELECTRICITY, HOT AND COLD WATER, HEAT, AND GAS WILL BE MAINTAINED FOR THE TENANTS IN THE BUILDING. REQUIRED SHUT DOWNS WILL BE NOTICED 36 HOURS IN ADVANCE AND TAKE PLACE BETWEEN 10A-4P. 8. WORK AREA LIMITS - CONSTRUCTION WILL BE CONFINED TO THE TENANT'S DEMISED INTERIOR, WORK WILL NOT CREATE DUST, DIRT OR OTHER INCONVENIENCES TO OTHER AREAS IN THE BUILDING. PUBLIC HALLWAYS TO BE PROTECTED WITH MASONITE. 9. GAS - LINES WILL BE SHUT OFF IN THE AREA WHERE REMODELING IS 	20 "X" BE	W NON LOAD BEARING 1HR. FIRE RATED PARTITION GA. 2X4 METAL STUDS, 16" O.C. W/ 1 LAYER OF 5/8" FIRECODE GWB BOTH SIDES AND 3" THERMAFIBER INSULATION BATTS TWEEN STUDS. MEA#80-98-M W NON LOAD BEARING 2 HR. FIRE RATED PARTITION		
 9. GAS - LINES WILL BE SHOT OFP IN THE AREA WHERE REMODELING IS ADJACENT, BUT REMAIN ON FOR USE BY THE BUILDING TENANTS. 8. CONTACT - A RESPONSIBLE PERSON SHALL BE ON THE CONSTRUCTION SITE DURING NORMAL BUSINESS HOURS TO ASSURE THAT SAFETY IS MAINTAINED AND CONTACT INFO WILL BE ON THE REQUIRED SIGN POSTED ON AT THE SITE. 9. DEBRIS - ALL DEMOLITION DEBRIS NOT DESIGNATED FOR REUSE SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF LEGALLY. SITE SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WEEK. 	20 "X" BE	GA. 2X4 METAL STUDS 16" O.C. W/ 2 LAYER OF 5/8" FIRECODE GWB BOTH SIDES AND 3" THERMAFIBER INSULATION BATTS TWEEN STUDS. MEA#80-98-M W NON LOAD BEARING 2 HR FIRE RATED SHAFT WALL GA. 2.5" C-H STUDS (SYSTEM B), 24" O.C. W/ 2 LAYERS 5/8"		
UPON ISSUANCE OF A PERMIT FOR WORK CONTAINING A TPP (TENANT PROTECTION PLAN) REQUIREMENT, THE NYC-DOB WILL MAKE IT PUBLICLY AVAILABLE ON ITS WEBSITE PER 28-104.8.4.1 AND,	SH	RECODE "X" SHEETROCK GYPSUM BOARD ON FINISHED SIDE, 1' EETROCK GYPSUM LINER PANELS BETWEEN STUDS ON SHAFT DE. MEA# 309-03-M		
A COPY OF THE TPP WILL BE AVAILABLE TO ANY TENANT AND BE PROVIDED UPON A REQUEST MADE TO THE BUILDING MANAGEMENT PER 28-104 8.4.2 AND, UPON ISSUANCE OF A WORK PERMIT THE OWNER SHALL (i) DISTRIBUTE A NOTICE REGARDING SUCH PLAN TO EACH DWELLING UNIT OR (ii) POST A NOTICE REGARDING SUCH PLAN IN A CONSPICUOUS PLACE IN THE BUILDING LOBBY AS	20 SIE	EATHED EXISTING WALL GA. 2"X2" METAL STUDS, 16" O.C. W/ 1 LAYER OF 5/8" GWB ONE DES AND 2" THERMAFIBER FOIL FACED INSULATION BATTS TWEEN STUDS.		
 WELL AS ON EACH FLOOR WITHIN TEN FEET OF THE ELEVATOR OR MAIN STAIR PER 28-104 8.4.3 AND; THE NOTICE SHALL BE IN A FORM APPROVED BY THE DOB AND INCLUDE: 1. A STATEMENT THAT OCCUPANTS OF THE BUILDING MAY OBTAIN A PAPER COPY OF SUCH PLAN FROM THE OWNER AND MAY ACCESS THE DOB WEBSITE; 	MA PS 24" 291	W REINFORCED CONCRETE BLOCK WALL SONRY UNITS, FIRE RESISTANCE RATING OF 3 HOURS, 1000 I MINIMUM WITH TYPE "S" MORTAR, MINIMUM #4 REBAR EVERY ' AND HORIZONTAL BRIDGING EVERY 2'-0" VERTICALLY. MEA 1-03-M. SEE STRUCTURAL DRAWINGS FOR BLOCK SIZE AND INFORCING REQUIRED.		
2.THE NAME AND CONTACT INFO FOR THE SITE SAFETY MANAGER, SITE SAFETY COORDINATOR OR THE SUPERINTENDENT OF CONSTRUCTION REQUIRED BY SECTION 3301.3 OR THE BUILDING OWNER OR OWNER'S DESIGNEE AND	CO	<u>ICK INFILL</u> MMON BRICK EXTERIOR WYTHE AND 4"x8"x16" CMU INTERIOR (THE. HORIZONTAL REINFORCEMENT EVERY 2'-0" VERTICALLY.		
3. A STATEMENT THAT OCCUPANTS MAY CALL 311 TO MAKE COMPLAINTS ABOUT THE WORK.	ZXO INS ON PL` AN	W STEEL STUD EXTERIOR WALL - 1 HOUR FIRE RATED 6 HEAVY GAUGE STEEL STUD WITH 3" MINERAL WOOL BATT SULATION AND 3" FIBERGLASS INSULATION. INTERIOR FACE IS IE LAYER 5/8" FIRECODE X GYP. BD. EXTERIOR IS 3/4" CDX YWOOD, 1 1/2" FOIL FACED RIGID INSULATION, HOUSE WRAP ID 5/8" FIBERGLASS SHEATHING AND CEMENTITIOUS OR RYLIC STUCCO FINISH OF VARYING THICKNESS. MEA #216-08		
	and the second s	W POURED REINFORCED CONCRETE WALL DOPSI MINIMUM POURED CONCRETE WITH WATERPROOFING MIXTURE. SEE STRUCTURAL DRAWINGS FOR REINFORCING R PLACEMENT AND ADDITIONAL BEARING CAPACITIES.		



ZONING MAP

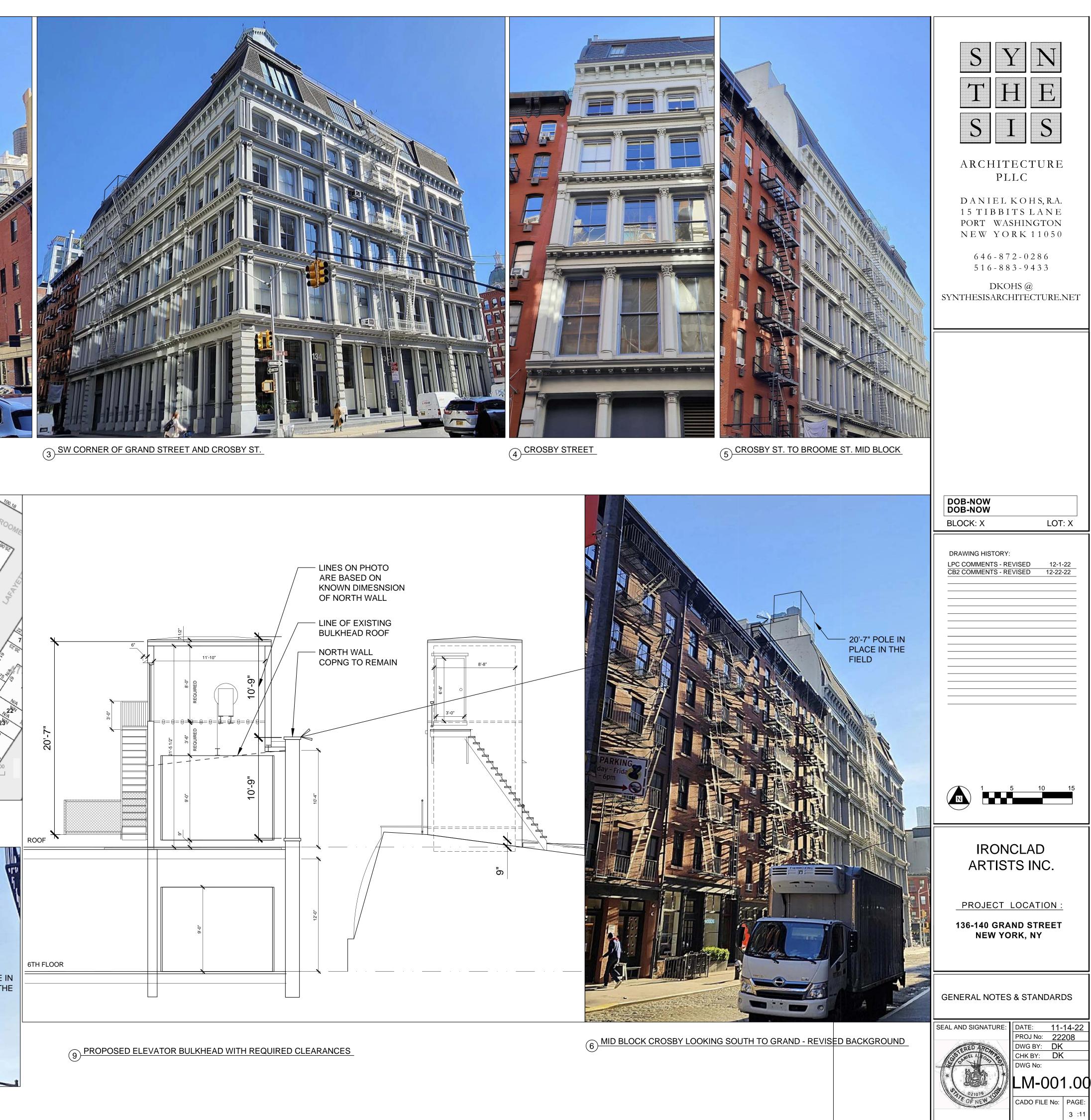


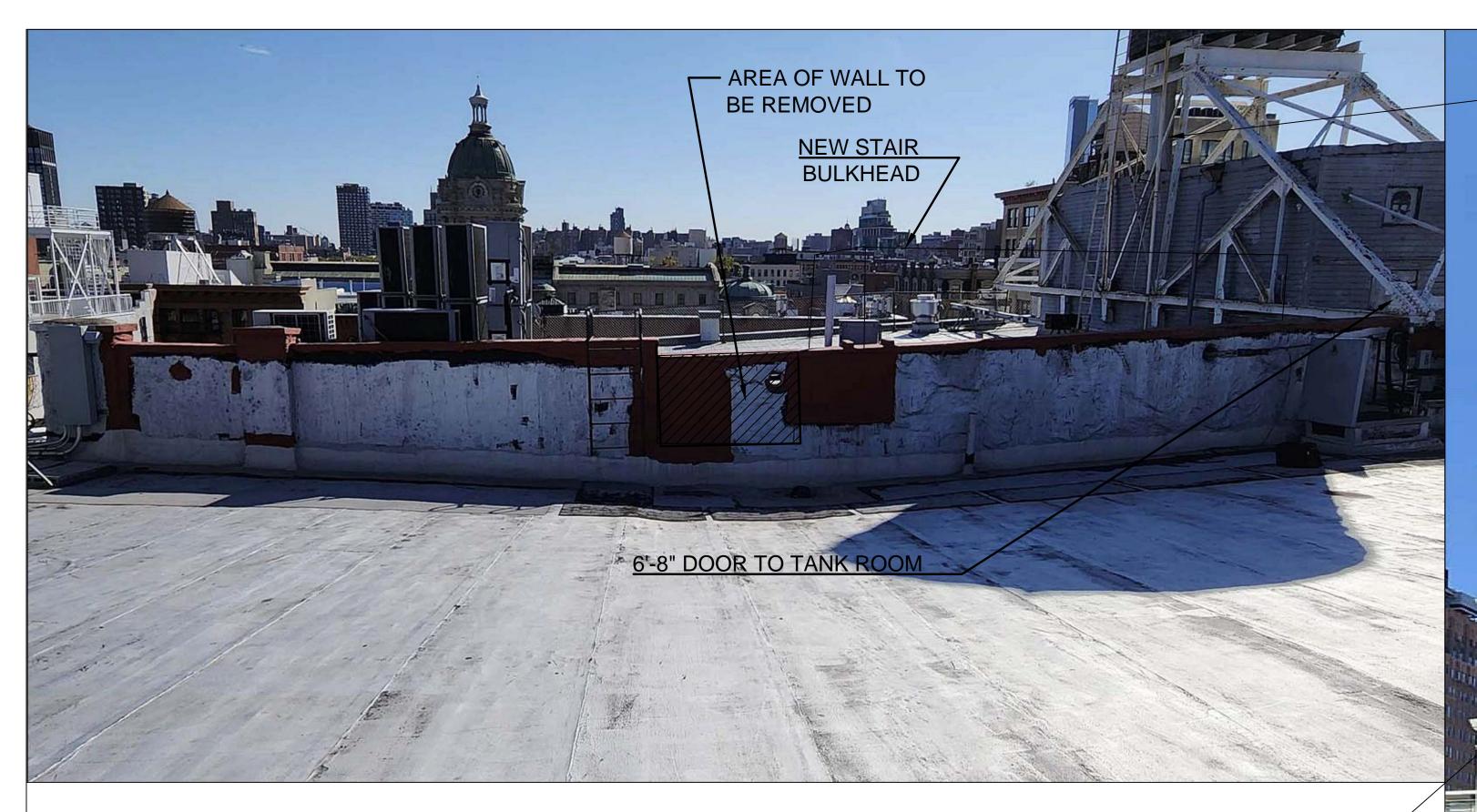
DRAWING INDEX			
T-003*GENERAL NOTELM-100PHOTOS OF ELELM-101PHOTOS OF STAA-100EXISTING CONEA-101EXISTING CONE	AL IMPACT AND FLOOD MAP SS - ADA STANDARDS EVATOR BULKHEAD EXISTING + AIR EXTENSION TO ROOF AND DITIONS AND CONSTRUCTION P DITIONS AND CONSTRUCTION P IEW ELEVATOR LOBBY AND EN STRUCTION AN C-2	NEW BULKHEAD LAN - ELEVATOR LAN - STAIR TO ROOF	SYN THE SISIS
			PLLC
* - DRAWING NOT IN LANDMARKS SUBMISSION PROPOSED PROJECT			D A N I E L К O H S, R.A. 1 5 Т I В В I Т S L A N E
ALTERATION TYPE 2 INTERIOR RENOVATION OF ELEVATOR LOBBY. NEW ENTRANCE DOORS ELEVATOR MODERNIZATION REQUIRING NEW BULKHEAD STAIR ACCESS TO ROOF IN NEW BULKHEAD NO CHANGE TO USE, EGRESS OR OCCUPANCY		PORT WASHINGTON NEW YORK 11050 646-872-0286 516-883-9433 DKOHS @ SYNTHESISARCHITECTURE.NET	
THE EXISTING PASSENGER ELEVATOR DOES NOT SERVICE ALL APARTMENTS WHICH IS ONE OF THE REASONS THE MANUAL SERVICE ELEVATOR IS BEING UPGRADED TO AN AUTOMATIC PASSENGER ELEVATOR. THIS PRESENTS THE OPPORTUNITY TO PROVIDE SAFER ACCESS TO THE ROOF WHICH IS CURRENTLY ONLY BY MEANS OF A 14 FOOT HIGH LADDER TO A HATCH. THE ELEVATOR AND BUILDING STAIR WILL BE EXTENDED TO THE ROOF FOR WORKERS, MAINTENANCE STAFF AND FUTURE ACCESSIBLE RECREATION SPACE.			
BUILDING CODE - 1	968		
CONSTRUCTION CLASS: FIRE RESISTANCE RATINGS: ENERGY CODE - SEE PAGE T ACCESSIBILITY - SEE PAGE T	RESISTANCE RATINGS: TABLE 3-4 COMBUSTIBLE CONSTRUCTION: 1HR STRUCTURAL COLUMNS, GIRDERS, TRUSSES 2HR BEARING WALLS 1HR FLOORS 2HR EXIT CORRIDORS 2HR SHAFT WALLS (BC 708.4) 1HR EXTERIOR WALLS .75HR ROOF		DOB-NOW BLOCK: X LOT: X DRAWING HISTORY:
			IRONCLAD ARTISTS INC.
CONTROLLED INSPECTIONS			
SPECIAL INSPECTIONS: PROGRESS INSPECTIONS:	FIRE STOPPING FIRE RESISTANCE RATED CONSTRUCTION FIRE RESISTANCE PENETRATIONS AND JOINTS ENERGY CODE STRUCTURAL STABILITY		<u>PROJECT LOCATION :</u> 136-140 GRAND STREET NEW YORK, NY
FINAL		TITLE PAGE	
RELATED APPLICATIONS:		SEAL AND SIGNATURE: DATE: 11-14-22	
GENERAL CONSTRUCTION ELEVATOR	M M		PROJ No: 22208 DWG BY: DK CHK BY: DK DWG No: T-OO1.OO CADO FILE No: PAGE: 1 :11



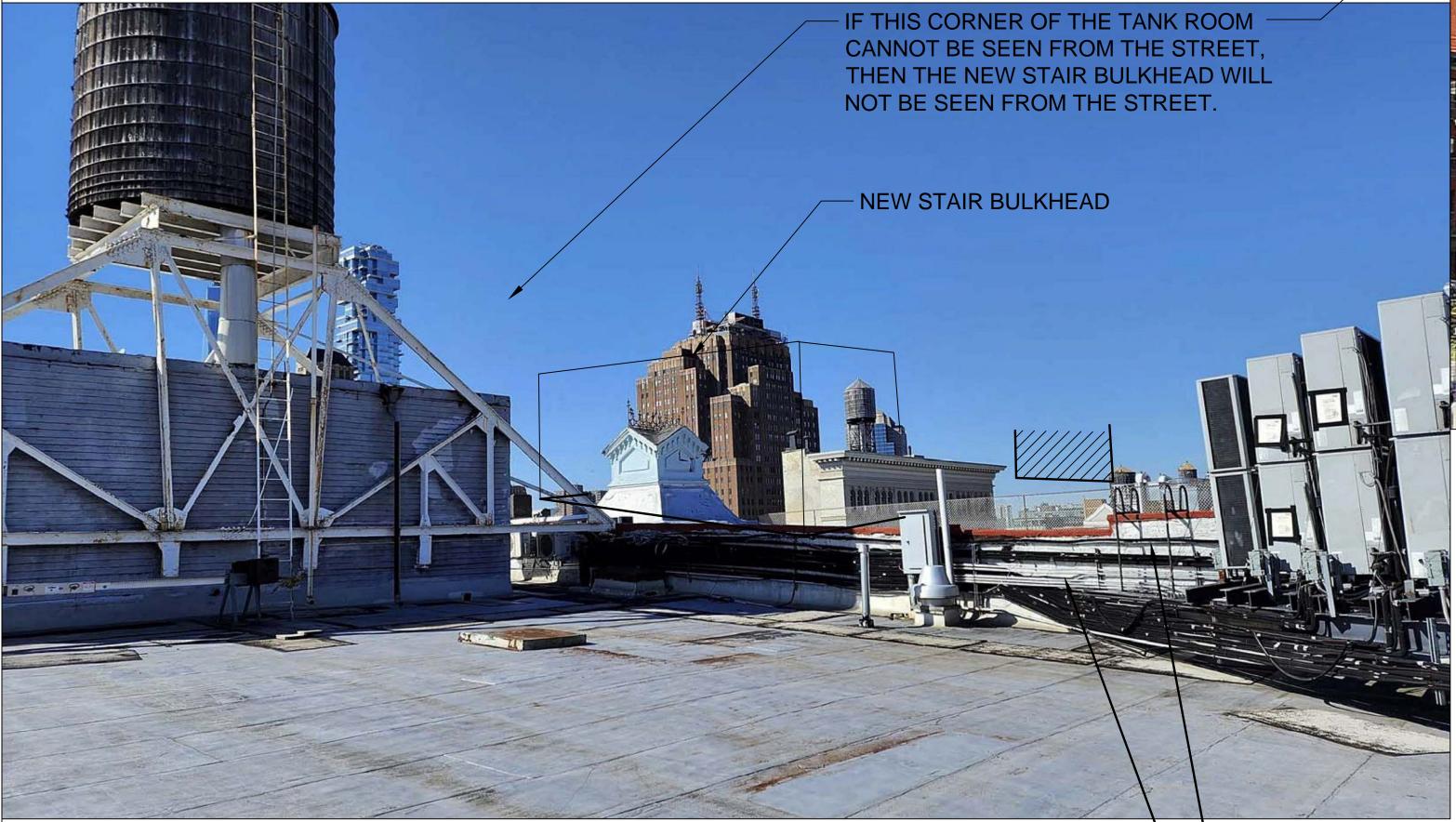








(1) EXISTING CONDITIONS - LOOKING EAST TO PARAPET WALL



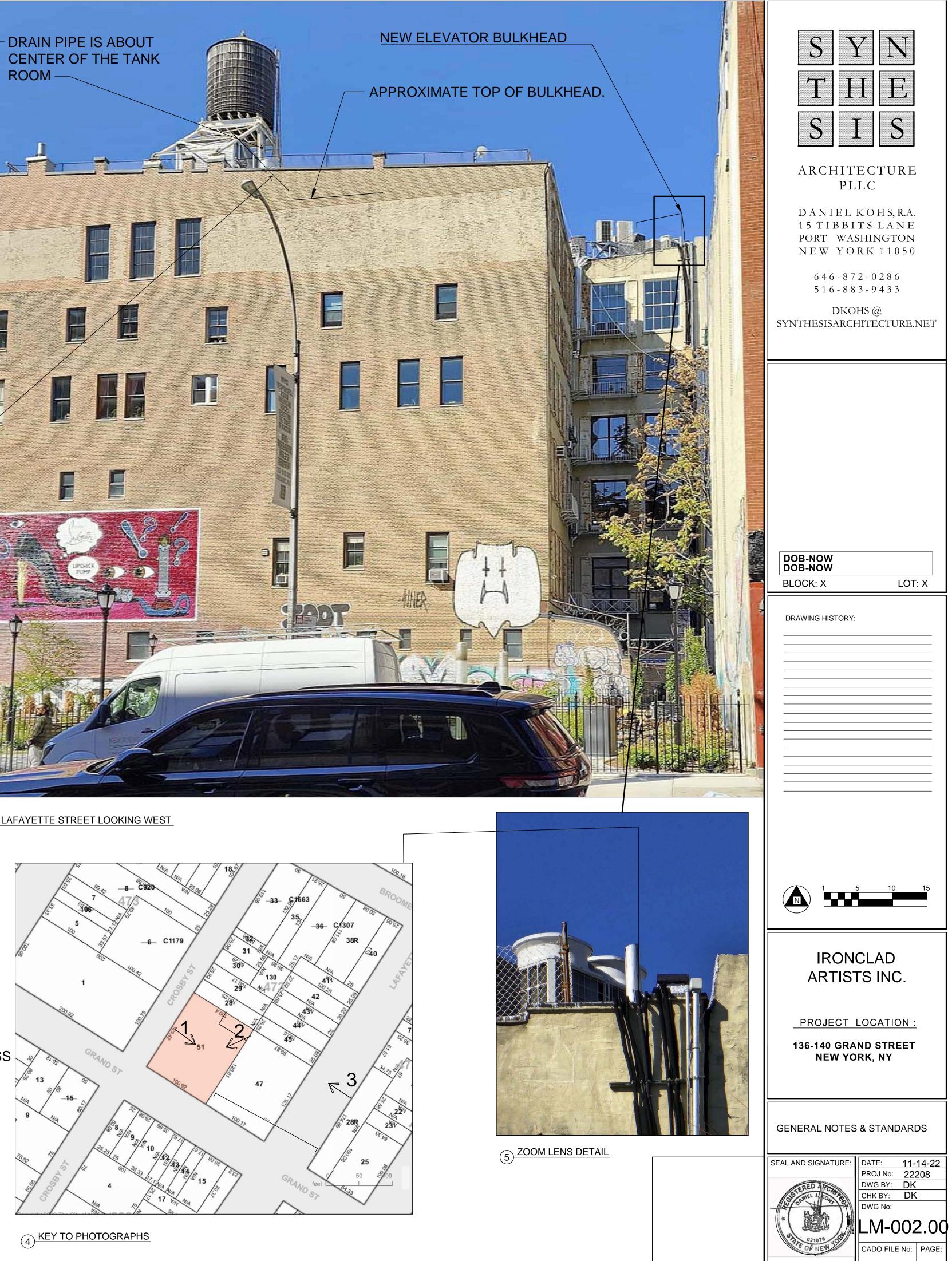
2 EXISTING CONDITIONS - LOOKING SOUTH WEST TO NEW STAIR BULKHEAD LOCATION

LANDMARK NOTES:

- THE BULKHEAD IS NOT VISIBLE FROM THE STREET IF THE NORTH WEST CORNER OF THE LARGER TANK ROOM IS NOT VISIBLE.
- THE ELECTRICAL BOX IS THE NORTHERN LIMIT OF THE NEW STAIR BULKHEAD.
- THE AREA OF PARAPET WALL TO BE REMOVE WILL CREATE A SAFE PASSAGE FROM ON ROOF TO THE OTHER WHICH IS THE LOCATION OF THE ELEVATOR BULKHEAD. CURRENT ACCESS FOR ALL ELEVATOR INSTALLERS WOULD BE OVER THE LADDER INSTALLED AMIDST THE AC DUNNAGE WHICH IS NOT ACCEPTABLE TO THE INSTALLERS.

3 EXISTING CONDITIONS - EAST ELEVATION





- LADDER IS CURRENT ACCESS TO WEST ROOF AND ELEVATOR BULKHEAD

- AREA OF WALL TO **BE REMOVED**

