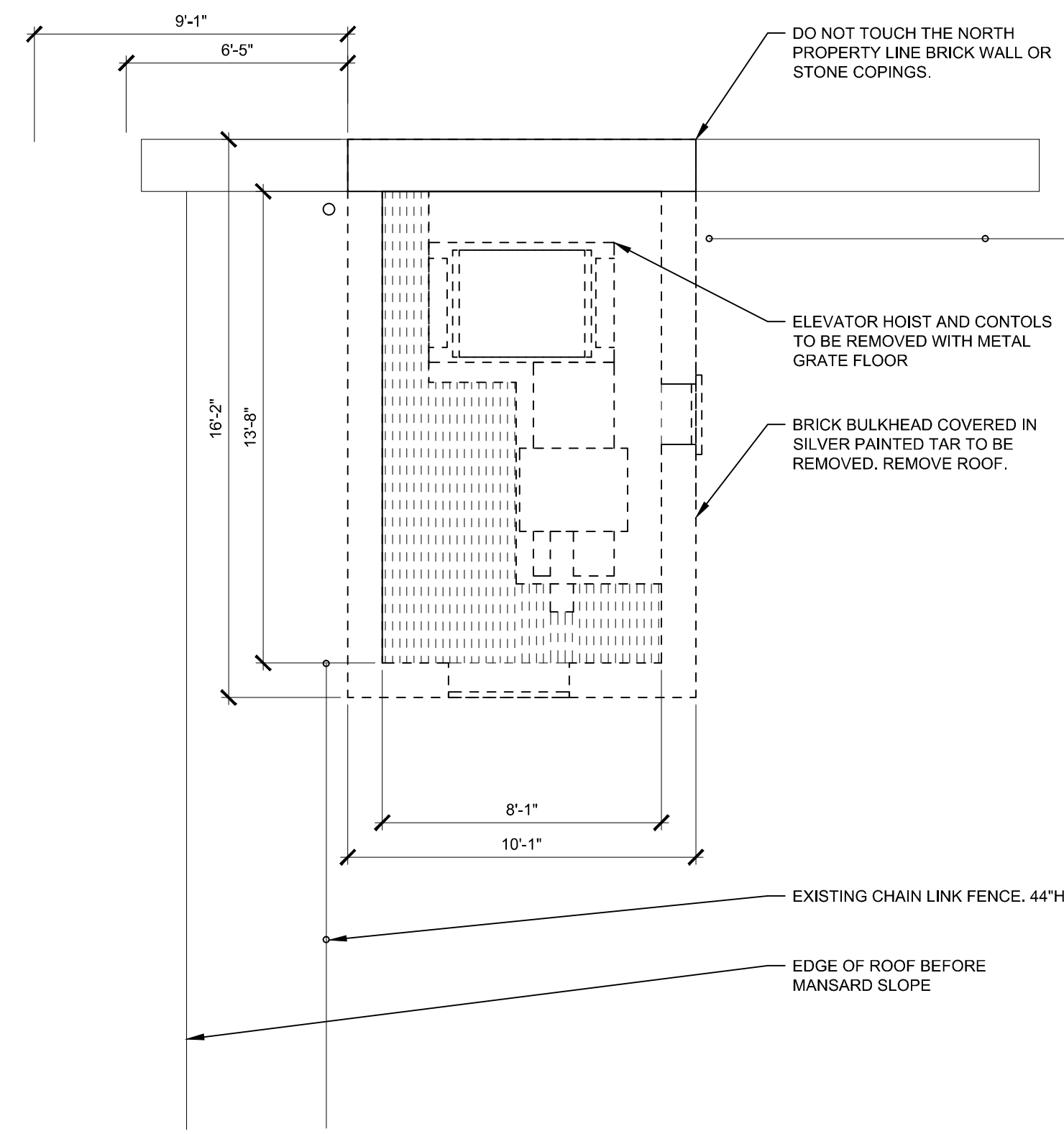
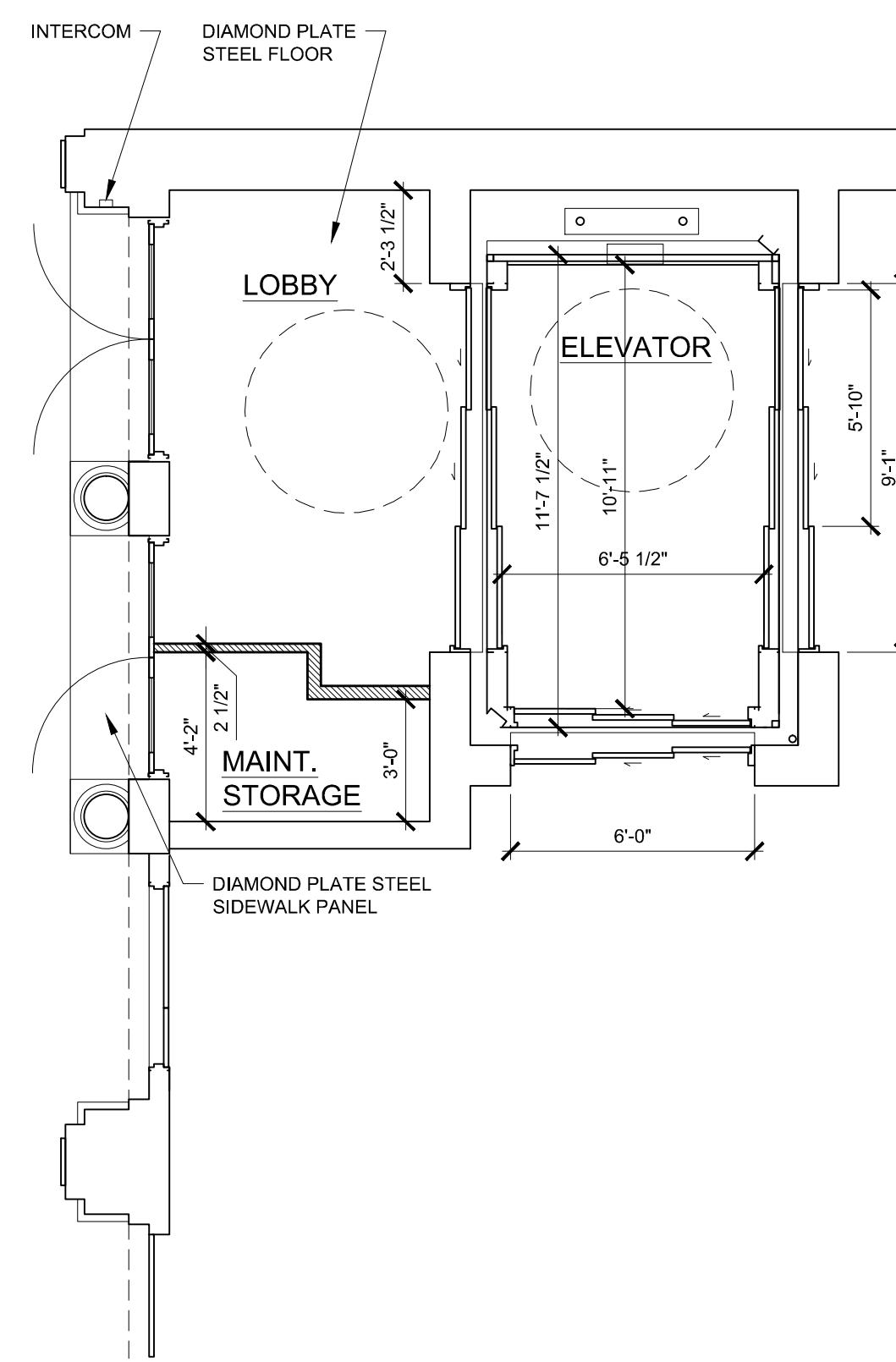


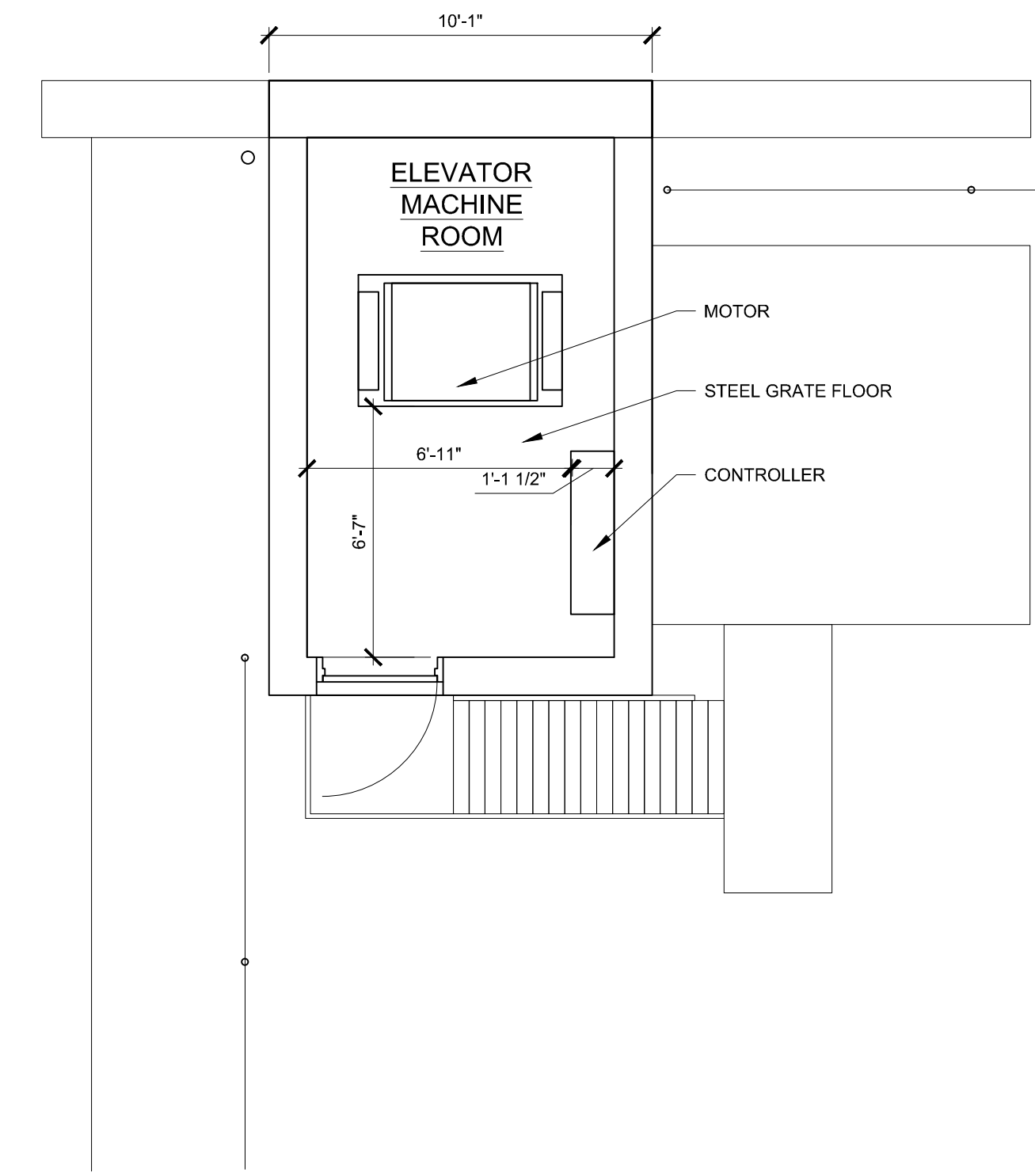
1 EXISTING CONDITIONS - 1ST FLOOR PLAN - CROSBY STREET ENTRANCE
SCALE 1/4" = 1'-0"



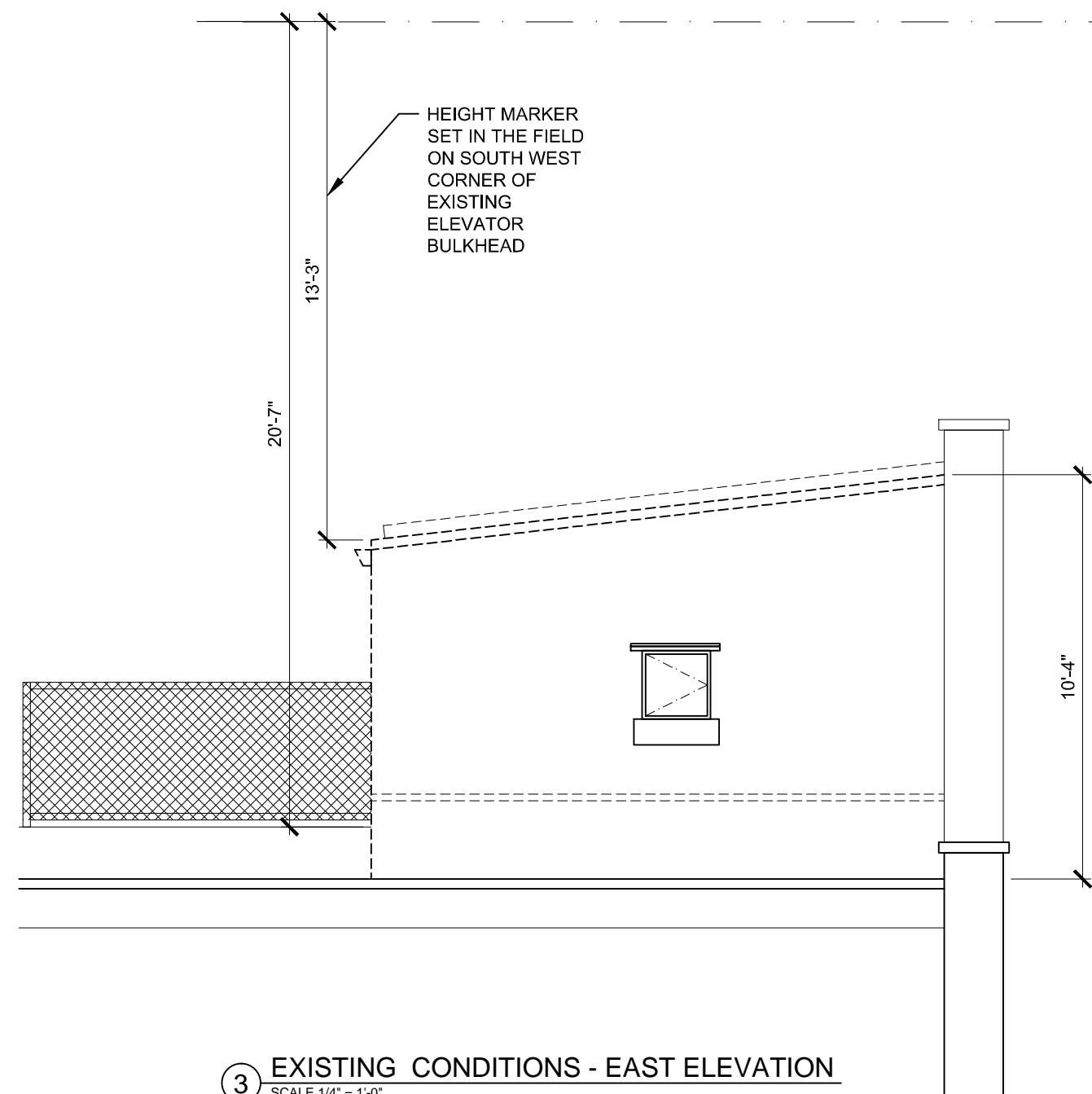
2 EXISTING CONDITIONS - ROOF PLAN - BULKHEAD
SCALE 1/4" = 1'-0"



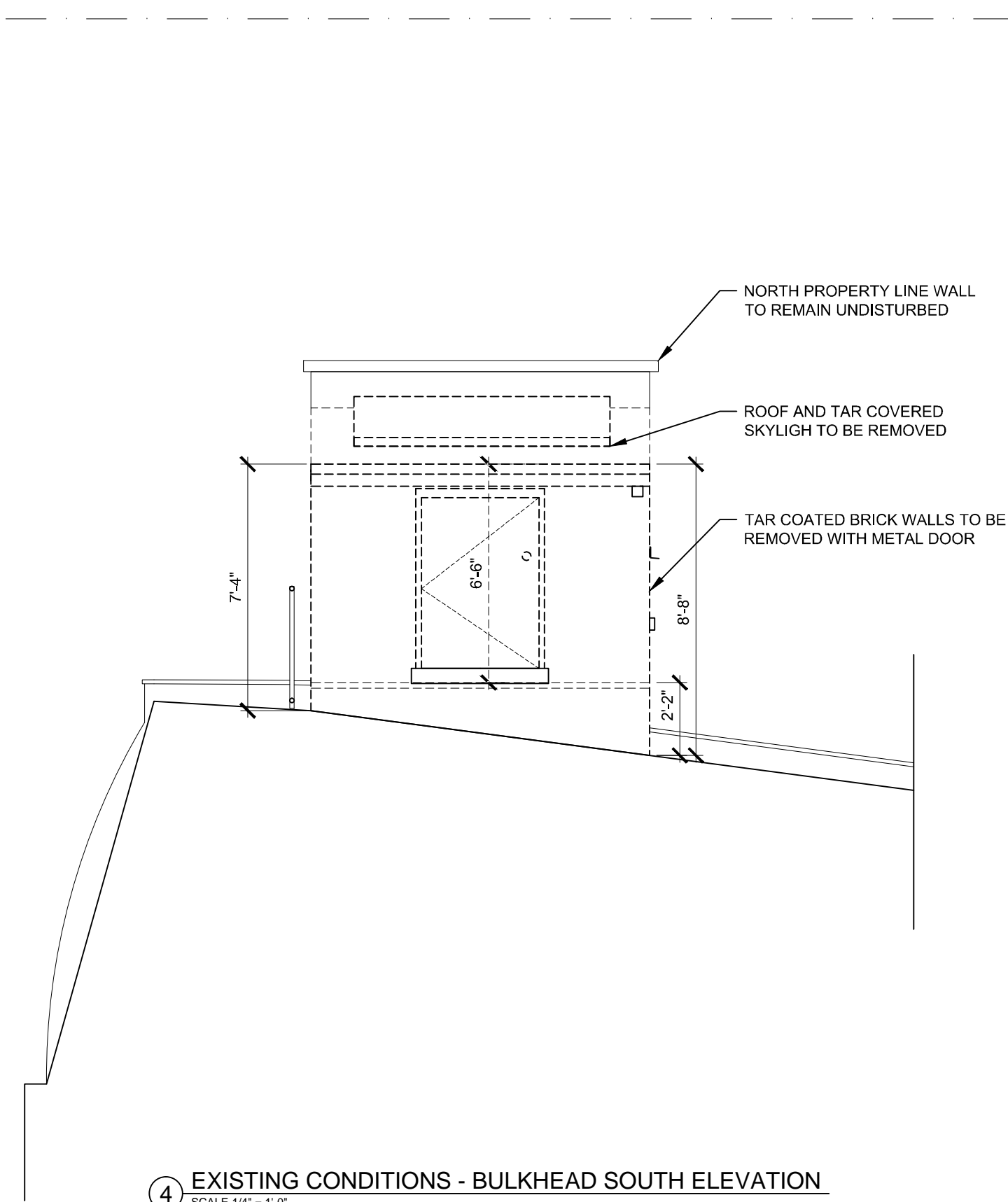
5 PROPOSED CONDITIONS - 1ST FLOOR PLAN
SCALE 1/4" = 1'-0"



6 PROPOSED CONDITIONS - ROOF PLAN - BULKHEAD
SCALE 1/4" = 1'-0"



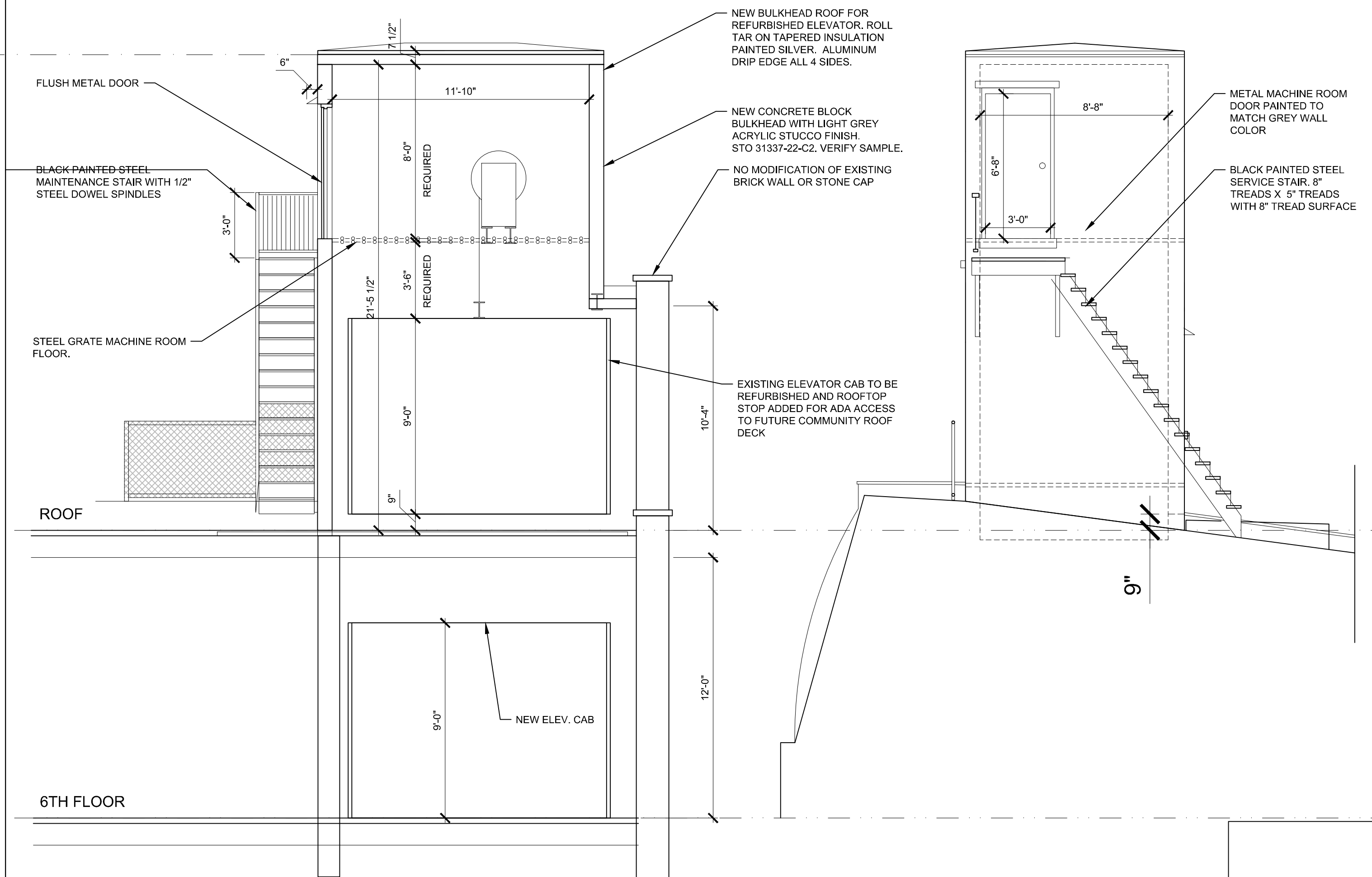
3 EXISTING CONDITIONS - EAST ELEVATION
SCALE 1/4" = 1'-0"



4 EXISTING CONDITIONS - BULKHEAD SOUTH ELEVATION
SCALE 1/4" = 1'-0"



9 PROPOSED STUCCO SAMPLE - LIGHT GRAY
SCALE 1/4" = 1'-0"



7 PROPOSED CONDITIONS - EAST ELEVATION
SCALE 1/4" = 1'-0"

8 PROPOSED CONDITIONS - BULKHEAD SOUTH ELEVATION
SCALE 1/4" = 1'-0"

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ARCHITECTURE
PLLC

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15 TIBBITS LANE
PORT WASHINGTON
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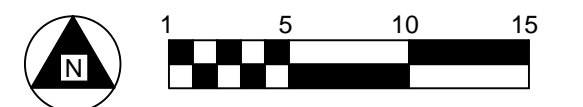
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DOB-NOW
DOB-NOW
BLOCK: X LOT: X

DRAWING HISTORY:

LPC COMMENTS - REVISED 12-1-22
CB2 COMMENTS - REVISED 12-22-22



IRONCLAD
ARTISTS INC.

PROJECT LOCATION :
136-140 GRAND STREET
NEW YORK, NY

ELEVATOR BULKHEAD PLANS

SEAL AND SIGNATURE: DATE: 11-14-22

PROJ No: 22209

DWG BY: DK

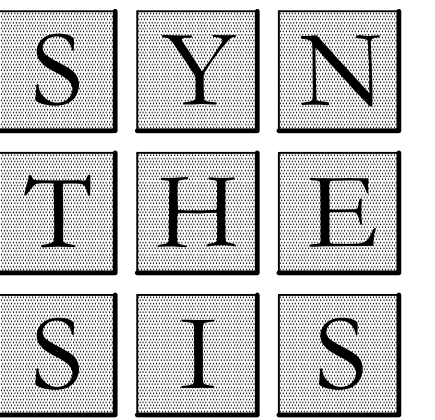
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CADO FILE No: PAGE:

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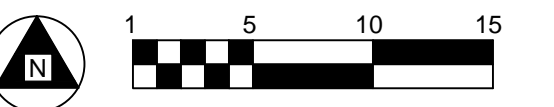
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DOB-NOW

BLOCK: X

LOT: X

DRAWING HISTORY:

LPC COMMENTS - REVISED 12-1-22
CB2 COMMENTS - REVISED 12-22-22



IRONCLAD
ARTISTS INC.

PROJECT LOCATION :
136-140 GRAND STREET
NEW YORK, NY

CROSBY STREET AWNING

SEAL AND SIGNATURE: _____ DATE: 11-14-22

PRJ No: 22209

DWG BY: DK

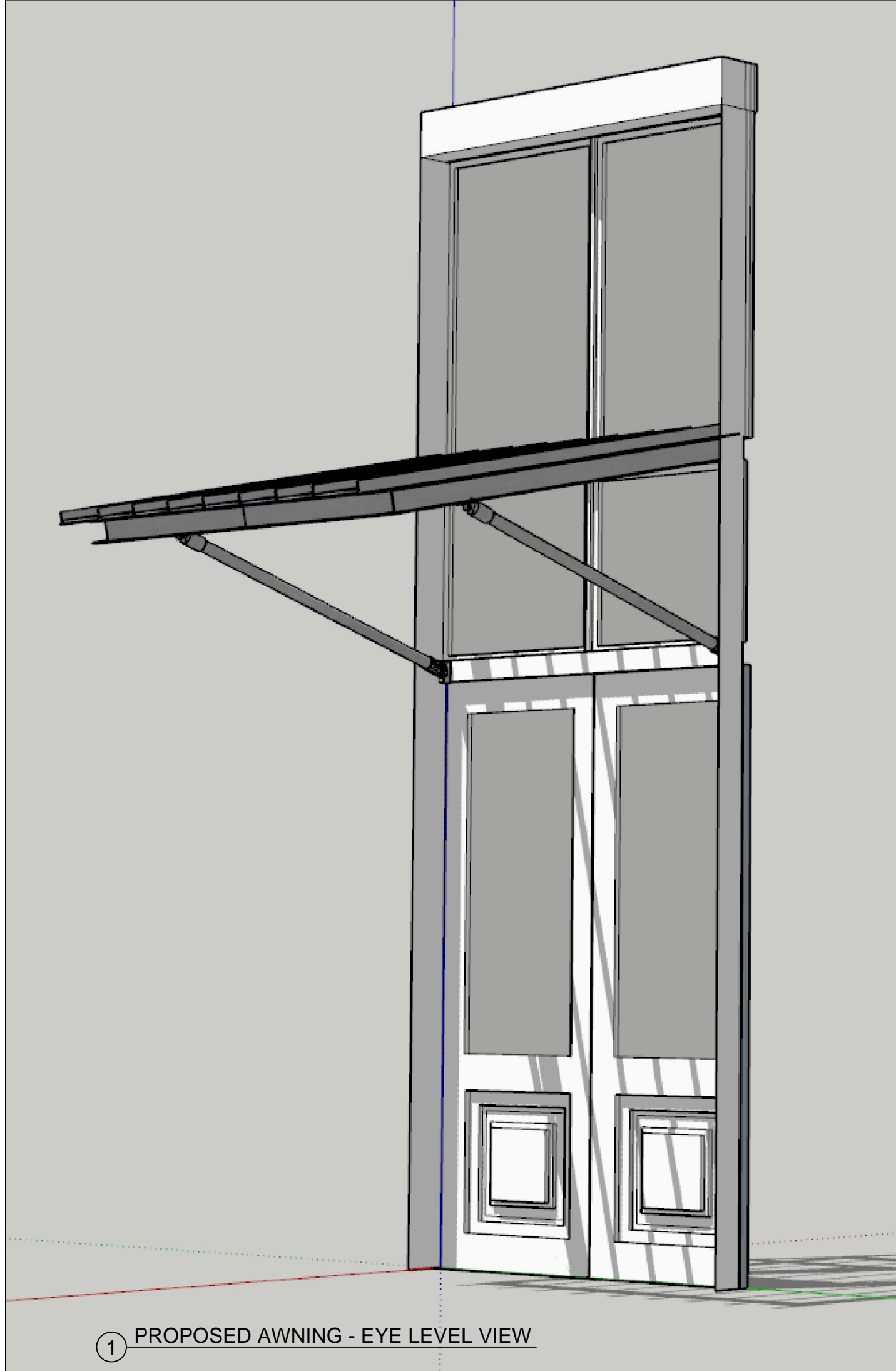
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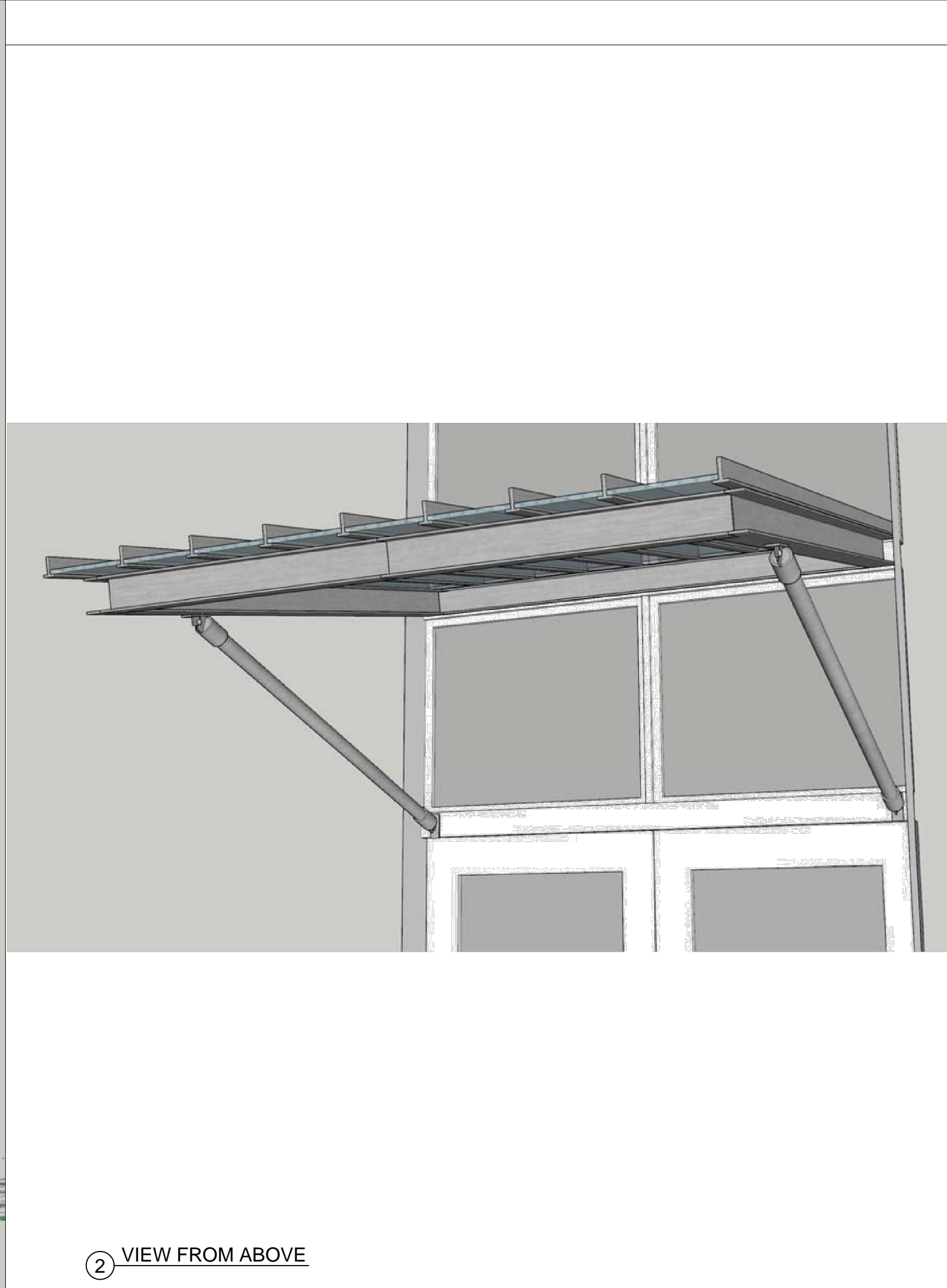
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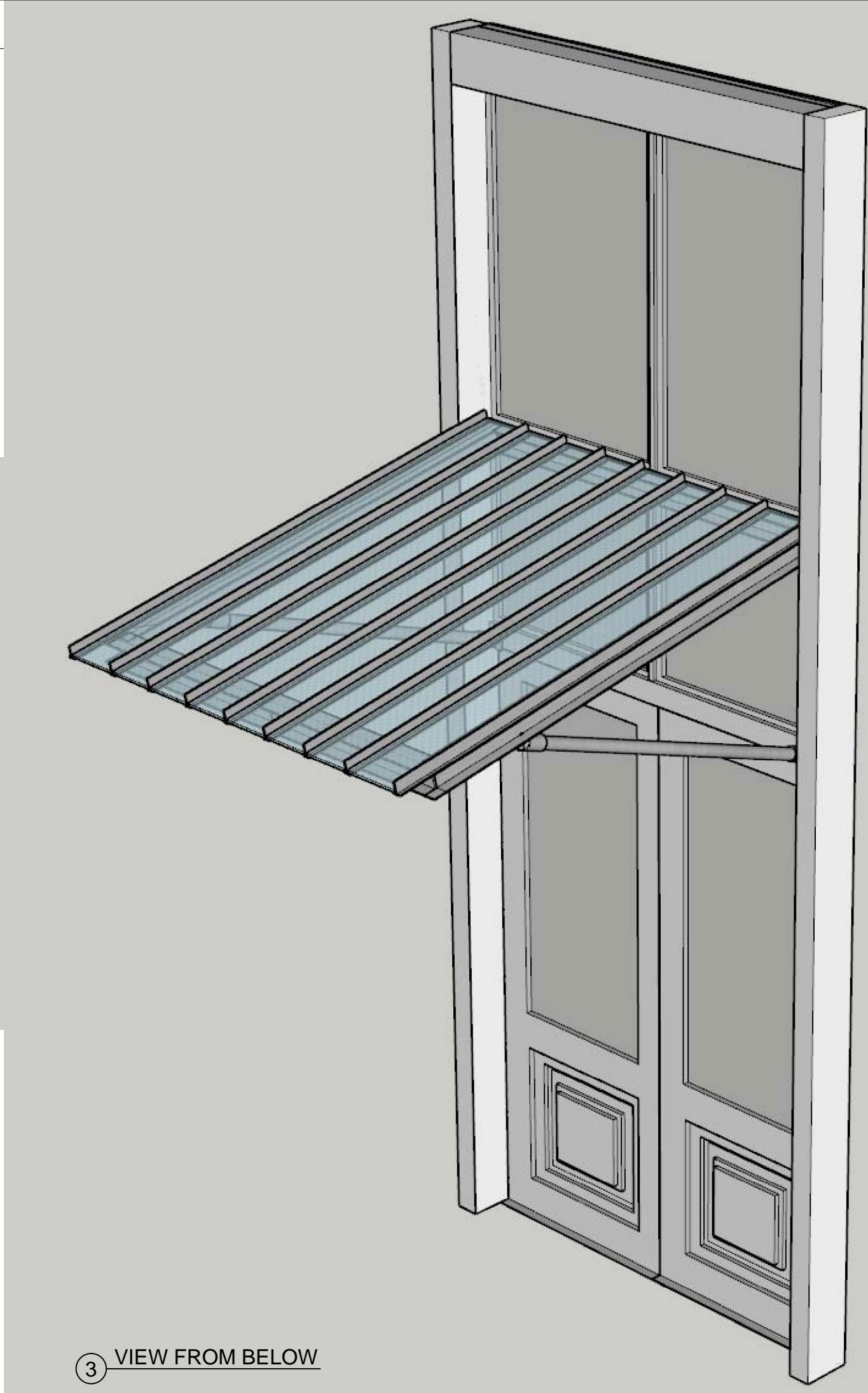
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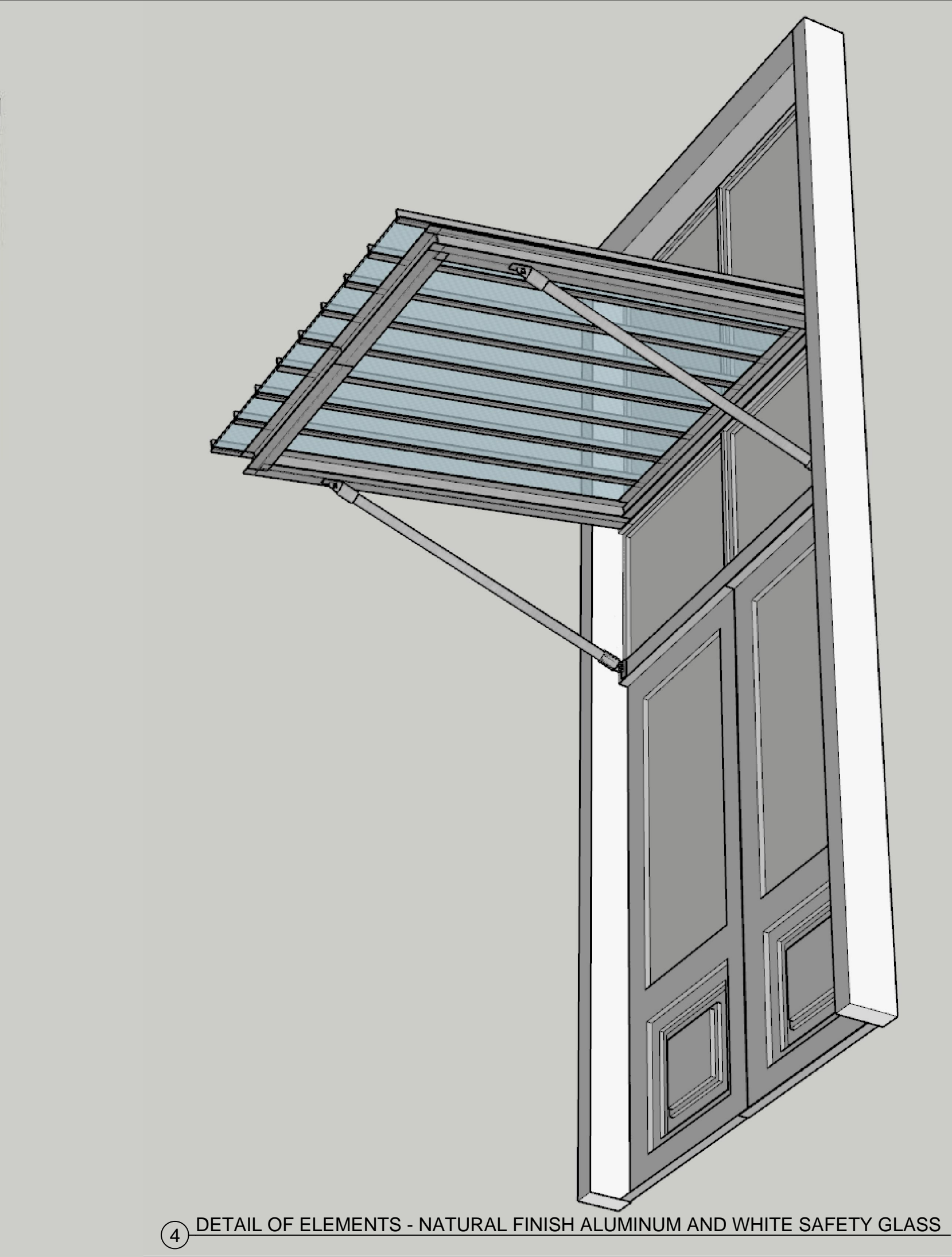
1 PROPOSED AWNING - EYE LEVEL VIEW



2 VIEW FROM ABOVE



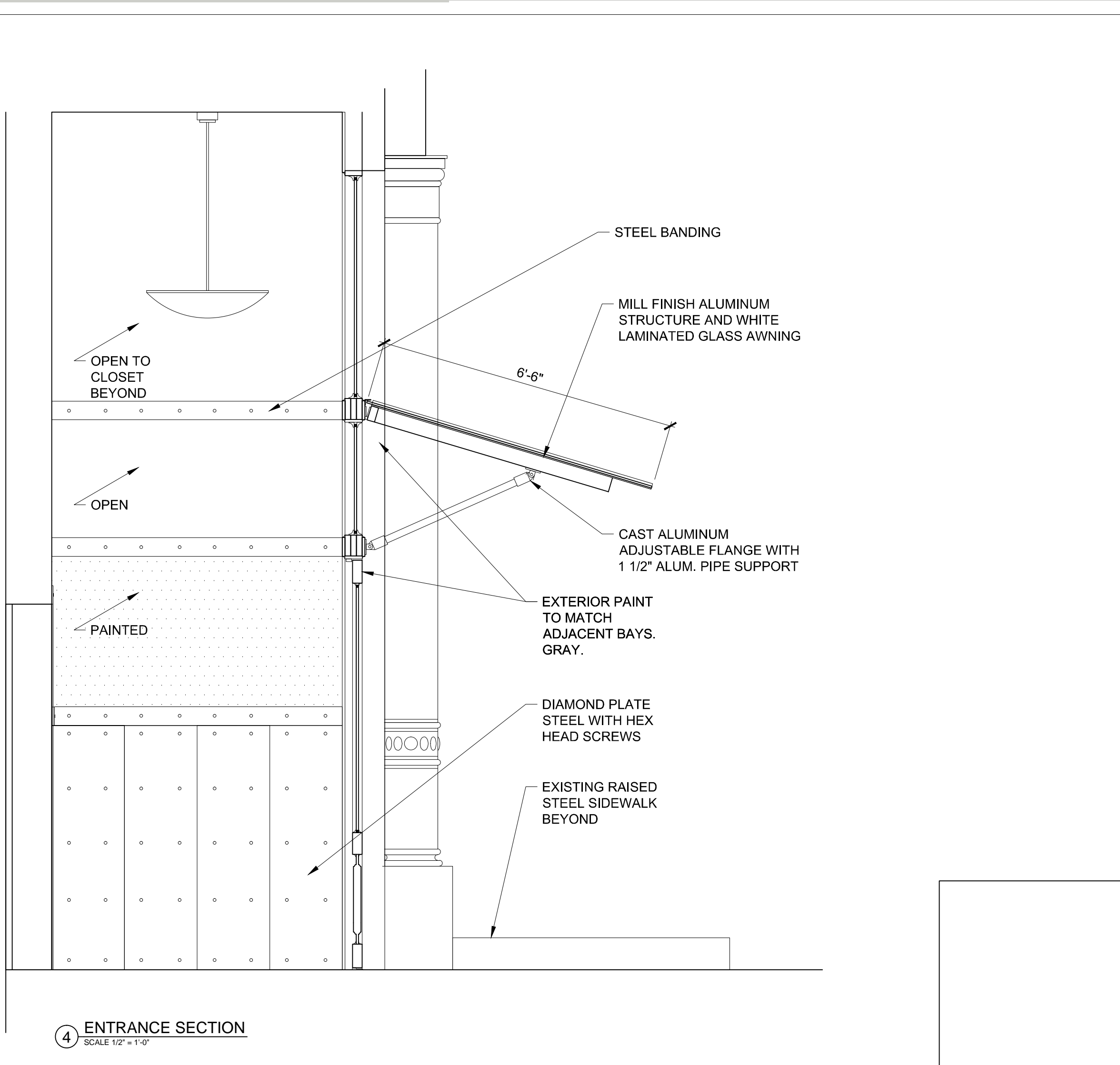
3 VIEW FROM BELOW



4 DETAIL OF ELEMENTS - NATURAL FINISH ALUMINUM AND WHITE SAFETY GLASS



2 PROPOSED ENTRANCE
SCALE 1/2" = 1'-0"



4 ENTRANCE SECTION
SCALE 1/2" = 1'-0"

