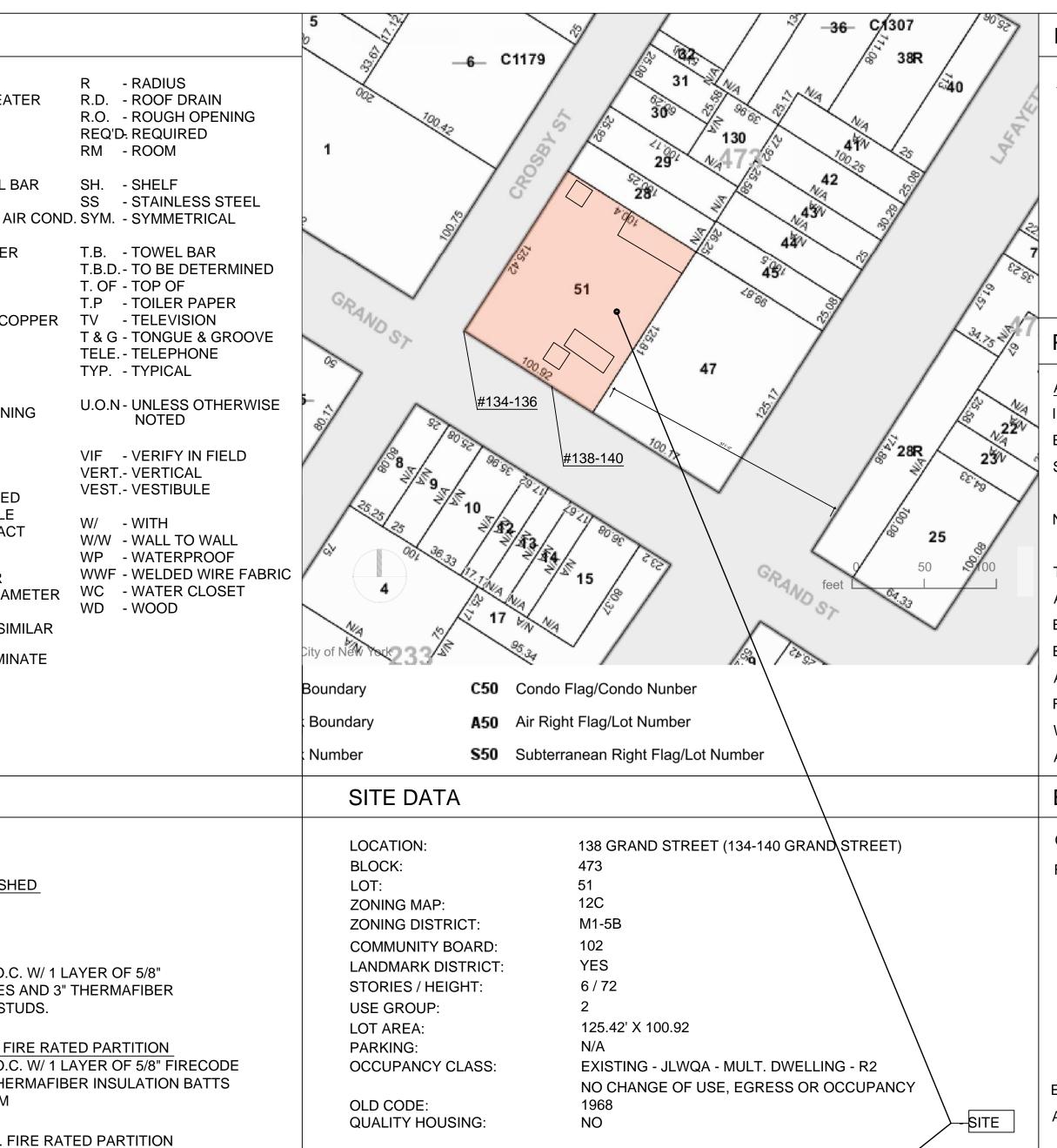
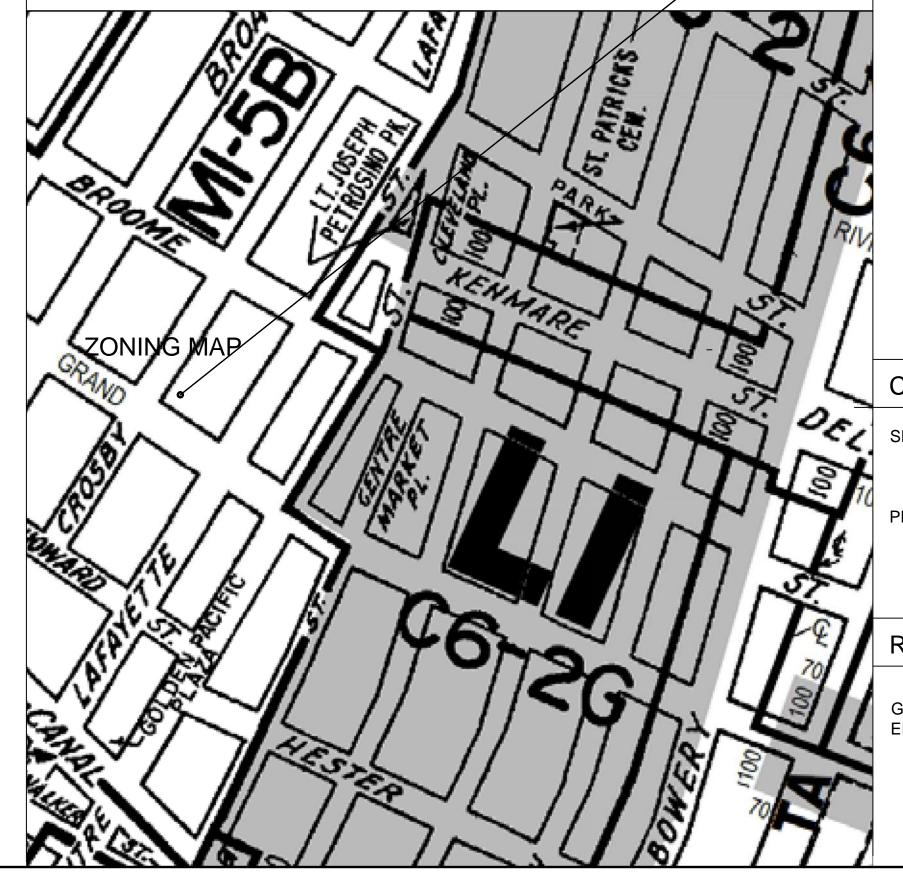
|   | ARCHITECTURAL ABBREVIATIONS  |   |  |  |
|---|--|---|--|--|
| TENANT PROTECTION NOTES   | AC - AIR CONDITIONING<br>ADJ ADJUSTABLE<br>A.F.F ABOVE FINISH FLOO<br>A.P ACCESS PANEL<br>B.F BOILER FLUE<br>B.OF - BOTTOM OF<br>BR - BEDROOM<br>BLDG BUILDING<br>BLKG BLOCKING<br>BSMT BASEMENT<br>C.B CATCH BASIN<br>C.J CONTROL JOINT<br>CAB CABINET<br>CLG CEILING<br>CMU - CONC. MAS. UNIT<br>CONC: CONCRETE<br>CTR COUNTER<br>DS - DOWNSPOUT<br>DW - DISHWASHER<br>DBL DOUBLE<br>D.L.O DAY LIGHT OPENING<br>DN - DOWN<br>DR - DOOR<br>ELEV ELEVATION<br>EQ EQUAL<br>EXIST: EXISTING<br>EXT EXTERIOR<br>F.B.O FURNISHED BY OTH  | H.W.H. HOT WATER HEATER<br>H.W.H. HOT WATER HEATER<br>HDR HEADER<br>HDR HEADER<br>HDW HARDWARE<br>H.P HIGH POINT<br>H.T HEIGHT<br>H.T.B HEATED TOWEL BAR<br>HTG HEATING<br>I.D INSIDE DIAMETER<br>KIT KITCHEN<br>KIT KITCHEN<br>L.C.C LEAD COATED COPPER<br>L.C.C LOW POINT<br>M.O MASONRY OPENING<br>MAS MASONRY<br>MAX MAXIMUM<br>MIN MINIMUM<br>MIN MINIMIM<br>MIN MINIMUM<br>MIN MINIMUM<br>MIN MINIMUM<br>MIN MINIMU |  |  |
| <ul> <li>TENANT PROTECTION PLAN NOTES</li> <li>1. EGRESS - ALL ENTRANCES, HALLS AND MEANS OF EGRESS WILL BE<br/>MAINTAINED FOR SAFE UNOBSTRUCTED PASSAGE AT ALL TIMES BY ALL<br/>PERSONS BY THE SITE SUPERINTENDENT</li> <li>2. FIRE SAFETY - SMOKE DETECTORS SHALL BE MAINTAINED DURING<br/>CONSTRUCTION, FIRE EXTINGUISHERS SHALL BE ON SITE - 1 PER 1,000SF. NO<br/>MATERIALS SHALL BE STORED SUCH THAT THEY CREATE A FIRE HAZARD.</li> <li>3. HEALTH - DUST SHALL BE MINIMIZED BY USE OF VACUUMS, WATER AND<br/>PLASTIC PARTITIONS. STICKY WALK OFF MATS SHALL BE PROVIDED AT THE<br/>SITE ENTRANCE. FRESH AIR SHALL BE PROVIDED BY WINDOWS AND EXHAUST<br/>FANS USED WHEN SMELLS ARE GENERATED. NOISE MITIGATION BLANKETS<br/>SHALL BE INSTALLED FOR HIGH DECIBEL WORK. BATHROOMS TO BE CLEANED<br/>TWICE A WEEK. NO LEAD OR ASBESTOS SHALL BE DISTURBED IF</li> </ul> | F.B.O FORNISHED BY OFF<br>F.D FLOOR DRAIN<br>F.O.F FACE OF FINISH<br>F.S FULL SIZE<br>FDN FOUNDATION<br>FIN FINISH<br>FLR FLOOR<br>FPSC - FIRE PROOF SELF OF<br>FTG FOOTING<br>GWB - GYPSUM WALL BOA   | OPG OPENING WD - WOOD<br>OPP. SIM OPPOSITE SIMILAR<br>PL. LAM PLASTIC LAMINATE<br>POL POLISHED<br>PLYWD PLYWOOD<br>CLOSING  |  |  |
| ENCOUNTERED.<br>4. COMPLIANCE WITH HOUSING STANDARDS - THE REQUIREMENTS OF THE NYC  | EX   | ISTING WALL TO REMAIN   |  |  |
| <ul> <li>HOUSING MAINTENANCE CODE AND APPLICABLE NYS MULTIPLE DWELLING<br/>LAWS SHALL BE STRICTLY OBSERVED.</li> <li>5. STRUCTURAL - MODIFICATION OF THE BUILDING STRUCTURE, IF REQURIED BY<br/>THESE DOCUMENTS, IS TO BE UNDERTAKEN IN SUCH A WAY WHICH WOULD<br/>NOT ENDANGER THE TENANTS. BRIDGING, SHORING OR TEMPORARY<br/>VACANCY WILL BE COORDINATED WITH THE SPECIFIC ACTIVITIES REQUIRED.</li> <li>6. NOISE - CONSTRUCTION WILL BE CONFINED TO HOURS STIPULATED BY<br/>LANDLORD IN TENANT'S GUIDELINES AND NYC REGULATIONS (M-F 8A-5P)<br/>WHICHEVER IS MORE RESTRICTIVE. NOISY WORK WILL NOT START BEFORE 9A.<br/>PADDING BELOW DROPPED DEBRIS REQUIRED.</li> <li>7. ESSENTIAL SERVICES - DURING CONSTRUCTION ALL SERVICES INCLUDING</li> </ul>   | UN<br>20<br>GY   | EXISTING WALL TO BE DEMOLISHED<br>UNRATED PARTITION<br>20 GA. 2X4 METAL STUDS, 16" O.C. W/ 1 LAYER OF 5/8"<br>GYPSUM BOARD ON BOTH SIDES AND 3" THERMAFIBER<br>INSULATION BATTS BETWEEN STUDS.  |  |  |
| <ul> <li>ELECTRICITY, HOT AND COLD WATER, HEAT, AND GAS WILL BE MAINTAINED<br/>FOR THE TENANTS IN THE BUILDING. REQUIRED SHUT DOWNS WILL BE<br/>NOTICED 36 HOURS IN ADVANCE AND TAKE PLACE BETWEEN 10A-4P.</li> <li>8. WORK AREA LIMITS - CONSTRUCTION WILL BE CONFINED TO THE TENANT'S<br/>DEMISED INTERIOR, WORK WILL NOT CREATE DUST, DIRT OR OTHER<br/>INCONVENIENCES TO OTHER AREAS IN THE BUILDING. PUBLIC HALLWAYS TO<br/>BE PROTECTED WITH MASONITE.</li> <li>9. GAS - LINES WILL BE SHUT OFF IN THE AREA WHERE REMODELING IS</li> </ul>  | 20<br>"X"<br>BE  | W NON LOAD BEARING 1HR. FIRE RATED PARTITION<br>GA. 2X4 METAL STUDS, 16" O.C. W/ 1 LAYER OF 5/8" FIRECODE<br>GWB BOTH SIDES AND 3" THERMAFIBER INSULATION BATTS<br>TWEEN STUDS. MEA#80-98-M<br>W NON LOAD BEARING 2 HR. FIRE RATED PARTITION  |  |  |
| <ul> <li>9. GAS - LINES WILL BE SHOT OFP IN THE AREA WHERE REMODELING IS<br/>ADJACENT, BUT REMAIN ON FOR USE BY THE BUILDING TENANTS.</li> <li>8. CONTACT - A RESPONSIBLE PERSON SHALL BE ON THE CONSTRUCTION SITE<br/>DURING NORMAL BUSINESS HOURS TO ASSURE THAT SAFETY IS MAINTAINED<br/>AND CONTACT INFO WILL BE ON THE REQUIRED SIGN POSTED ON AT THE SITE.</li> <li>9. DEBRIS - ALL DEMOLITION DEBRIS NOT DESIGNATED FOR REUSE SHALL BE<br/>REMOVED FROM THE PREMISES AND DISPOSED OF LEGALLY. SITE SHALL BE<br/>LEFT BROOM CLEAN AT THE END OF EACH WEEK.</li> </ul>   | 20<br>"X"<br>BE  | GA. 2X4 METAL STUDS 16" O.C. W/ 2 LAYER OF 5/8" FIRECODE<br>GWB BOTH SIDES AND 3" THERMAFIBER INSULATION BATTS<br>TWEEN STUDS. MEA#80-98-M<br>W NON LOAD BEARING 2 HR FIRE RATED SHAFT WALL<br>GA. 2.5" C-H STUDS (SYSTEM B), 24" O.C. W/ 2 LAYERS 5/8"   |  |  |
| UPON ISSUANCE OF A PERMIT FOR WORK CONTAINING A TPP (TENANT<br>PROTECTION PLAN) REQUIREMENT, THE NYC-DOB WILL MAKE IT PUBLICLY<br>AVAILABLE ON ITS WEBSITE PER 28-104.8.4.1 AND,  | SH   | RECODE "X" SHEETROCK GYPSUM BOARD ON FINISHED SIDE, 1'<br>EETROCK GYPSUM LINER PANELS BETWEEN STUDS ON SHAFT<br>DE. MEA# 309-03-M   |  |  |
| A COPY OF THE TPP WILL BE AVAILABLE TO ANY TENANT AND BE PROVIDED UPON<br>A REQUEST MADE TO THE BUILDING MANAGEMENT PER 28-104 8.4.2 AND,<br>UPON ISSUANCE OF A WORK PERMIT THE OWNER SHALL (i) DISTRIBUTE A NOTICE<br>REGARDING SUCH PLAN TO EACH DWELLING UNIT OR (ii) POST A NOTICE<br>REGARDING SUCH PLAN IN A CONSPICUOUS PLACE IN THE BUILDING LOBBY AS   | 20<br>SIE  | EATHED EXISTING WALL<br>GA. 2"X2" METAL STUDS, 16" O.C. W/ 1 LAYER OF 5/8" GWB ONE<br>DES AND 2" THERMAFIBER FOIL FACED INSULATION BATTS<br>TWEEN STUDS.  |  |  |
| <ul> <li>WELL AS ON EACH FLOOR WITHIN TEN FEET OF THE ELEVATOR OR MAIN STAIR<br/>PER 28-104 8.4.3 AND;</li> <li>THE NOTICE SHALL BE IN A FORM APPROVED BY THE DOB AND INCLUDE:</li> <li>1. A STATEMENT THAT OCCUPANTS OF THE BUILDING MAY OBTAIN A PAPER<br/>COPY OF SUCH PLAN FROM THE OWNER AND MAY ACCESS THE DOB<br/>WEBSITE;</li> </ul>  | MA<br>PS<br>24"<br>291   | W REINFORCED CONCRETE BLOCK WALL<br>SONRY UNITS, FIRE RESISTANCE RATING OF 3 HOURS, 1000<br>I MINIMUM WITH TYPE "S" MORTAR, MINIMUM #4 REBAR EVERY<br>' AND HORIZONTAL BRIDGING EVERY 2'-0" VERTICALLY. MEA<br>1-03-M. SEE STRUCTURAL DRAWINGS FOR BLOCK SIZE AND<br>INFORCING REQUIRED.  |  |  |
| 2.THE NAME AND CONTACT INFO FOR THE SITE SAFETY MANAGER, SITE<br>SAFETY COORDINATOR OR THE SUPERINTENDENT OF CONSTRUCTION<br>REQUIRED BY SECTION 3301.3 OR THE BUILDING OWNER OR OWNER'S<br>DESIGNEE AND  | CO   | <u>ICK INFILL</u><br>MMON BRICK EXTERIOR WYTHE AND 4"x8"x16" CMU INTERIOR<br>(THE. HORIZONTAL REINFORCEMENT EVERY 2'-0" VERTICALLY.   |  |  |
| 3. A STATEMENT THAT OCCUPANTS MAY CALL 311 TO MAKE COMPLAINTS<br>ABOUT THE WORK.  | ZXO<br>INS<br>ON<br>PL`<br>AN  | W STEEL STUD EXTERIOR WALL - 1 HOUR FIRE RATED<br>6 HEAVY GAUGE STEEL STUD WITH 3" MINERAL WOOL BATT<br>SULATION AND 3" FIBERGLASS INSULATION. INTERIOR FACE IS<br>IE LAYER 5/8" FIRECODE X GYP. BD. EXTERIOR IS 3/4" CDX<br>YWOOD, 1 1/2" FOIL FACED RIGID INSULATION, HOUSE WRAP<br>ID 5/8" FIBERGLASS SHEATHING AND CEMENTITIOUS OR<br>RYLIC STUCCO FINISH OF VARYING THICKNESS. MEA #216-08   |  |  |
|   | and the second s | W POURED REINFORCED CONCRETE WALL<br>DOPSI MINIMUM POURED CONCRETE WITH WATERPROOFING<br>MIXTURE. SEE STRUCTURAL DRAWINGS FOR REINFORCING<br>R PLACEMENT AND ADDITIONAL BEARING CAPACITIES.   |  |  |



ZONING MAP

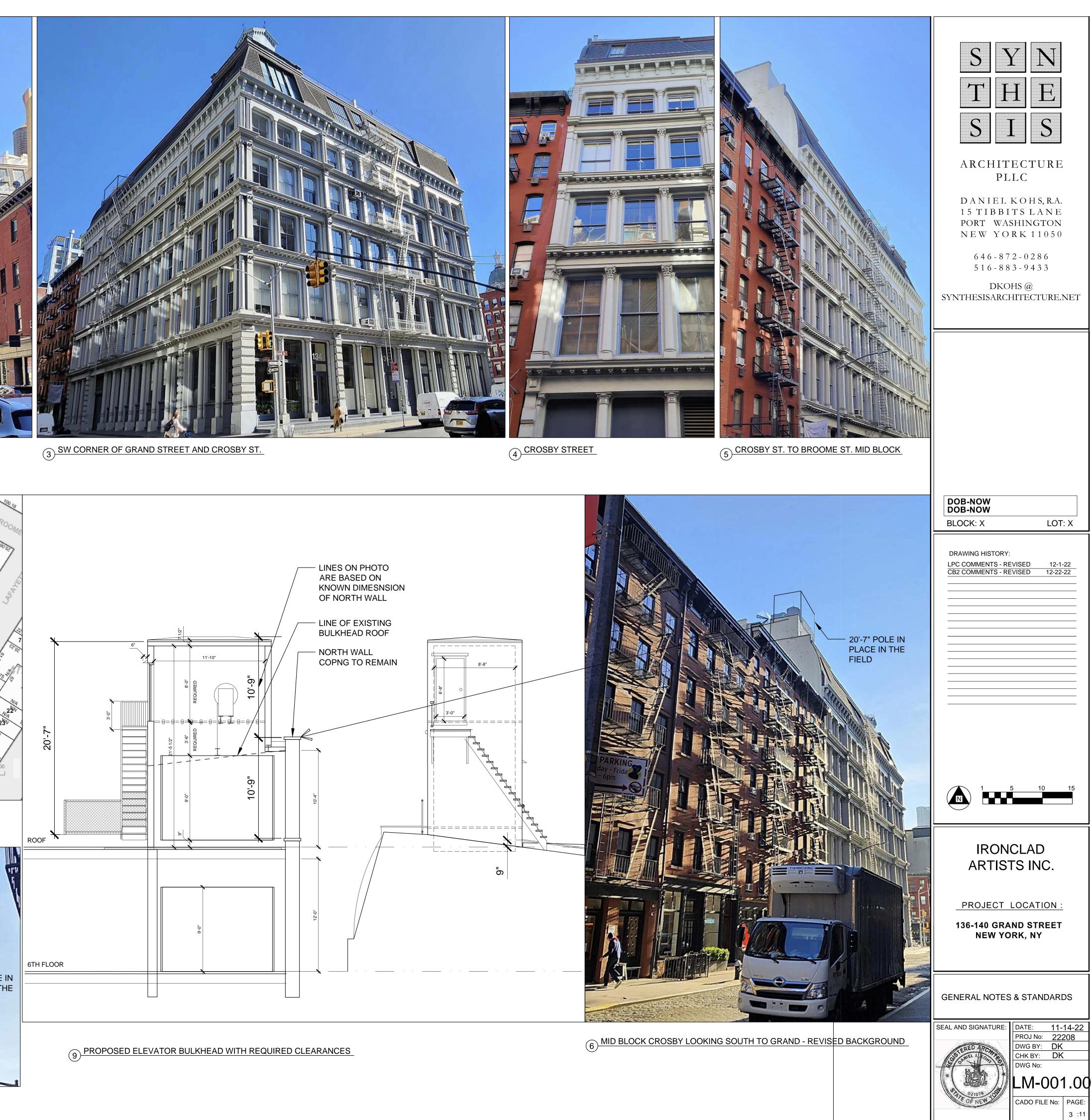


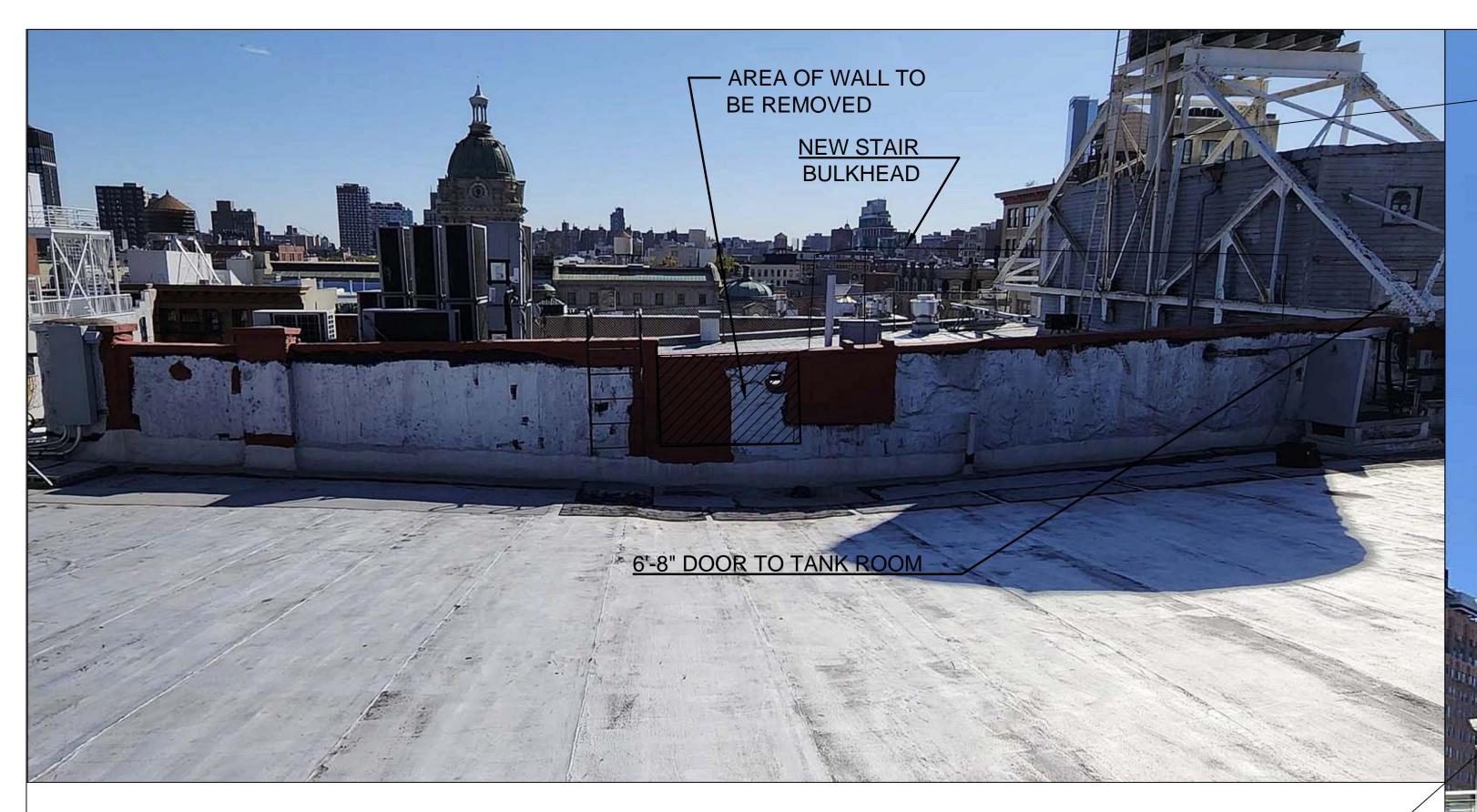
| DRAWING INDEX  |  |   |   |
|--|--|---|---|
| T-003*GENERAL NOTELM-100PHOTOS OF ELELM-101PHOTOS OF STAA-100EXISTING CONEA-101EXISTING CONE   | AL IMPACT AND FLOOD MAP<br>SS - ADA STANDARDS<br>EVATOR BULKHEAD EXISTING +<br>AIR EXTENSION TO ROOF AND<br>DITIONS AND CONSTRUCTION P<br>DITIONS AND CONSTRUCTION P<br>IEW ELEVATOR LOBBY AND EN<br>STRUCTION<br>AN C-2       | NEW BULKHEAD<br>LAN - ELEVATOR<br>LAN - STAIR TO ROOF   | SYN<br>THE<br>SISIS   |
|  |  |   | PLLC  |
| * - DRAWING NOT IN LANDMARKS SUBMISSION PROPOSED PROJECT   |  |   | D A N I E L К O H S, R.A.<br>1 5 Т I В В I Т S L A N E  |
| ALTERATION TYPE 2<br>INTERIOR RENOVATION OF ELEVATOR LOBBY. NEW ENTRANCE DOORS<br>ELEVATOR MODERNIZATION REQUIRING NEW BULKHEAD<br>STAIR ACCESS TO ROOF IN NEW BULKHEAD<br>NO CHANGE TO USE, EGRESS OR OCCUPANCY   |  | PORT WASHINGTON<br>NEW YORK 11050<br>646-872-0286<br>516-883-9433<br>DKOHS @<br>SYNTHESISARCHITECTURE.NET |   |
| THE EXISTING PASSENGER ELEVATOR DOES NOT SERVICE ALL<br>APARTMENTS WHICH IS ONE OF THE REASONS THE MANUAL SERVICE<br>ELEVATOR IS BEING UPGRADED TO AN AUTOMATIC PASSENGER<br>ELEVATOR. THIS PRESENTS THE OPPORTUNITY TO PROVIDE SAFER<br>ACCESS TO THE ROOF WHICH IS CURRENTLY ONLY BY MEANS OF A 14<br>FOOT HIGH LADDER TO A HATCH. THE ELEVATOR AND BUILDING STAIR<br>WILL BE EXTENDED TO THE ROOF FOR WORKERS, MAINTENANCE STAFF<br>AND FUTURE ACCESSIBLE RECREATION SPACE. |  |   |   |
| BUILDING CODE - 1  | 968  |   |   |
| CONSTRUCTION CLASS:<br>FIRE RESISTANCE RATINGS:<br>ENERGY CODE - SEE PAGE T<br>ACCESSIBILITY - SEE PAGE T  | RESISTANCE RATINGS: TABLE 3-4 COMBUSTIBLE CONSTRUCTION:<br>1HR STRUCTURAL COLUMNS, GIRDERS, TRUSSES<br>2HR BEARING WALLS<br>1HR FLOORS<br>2HR EXIT CORRIDORS<br>2HR SHAFT WALLS (BC 708.4)<br>1HR EXTERIOR WALLS<br>.75HR ROOF |   | DOB-NOW         BLOCK: X       LOT: X         DRAWING HISTORY:                                    |
|  |  |   |   |
|  |  |   |   |
|  |  |   | IRONCLAD<br>ARTISTS INC.  |
| CONTROLLED INSPECTIONS   |  |   |   |
| SPECIAL INSPECTIONS:<br>PROGRESS INSPECTIONS:  | FIRE STOPPING<br>FIRE RESISTANCE RATED CONSTRUCTION<br>FIRE RESISTANCE PENETRATIONS AND JOINTS<br>ENERGY CODE<br>STRUCTURAL STABILITY  |   | <u>PROJECT LOCATION :</u><br>136-140 GRAND STREET<br>NEW YORK, NY                                 |
| FINAL  |  | TITLE PAGE  |   |
| RELATED APPLICATIONS:  |  | SEAL AND SIGNATURE: DATE: 11-14-22  |   |
| GENERAL CONSTRUCTION<br>ELEVATOR   | M<br>M   |   | PROJ No: 22208<br>DWG BY: DK<br>CHK BY: DK<br>DWG No:<br>T-OO1.OO<br>CADO FILE No: PAGE:<br>1 :11 |



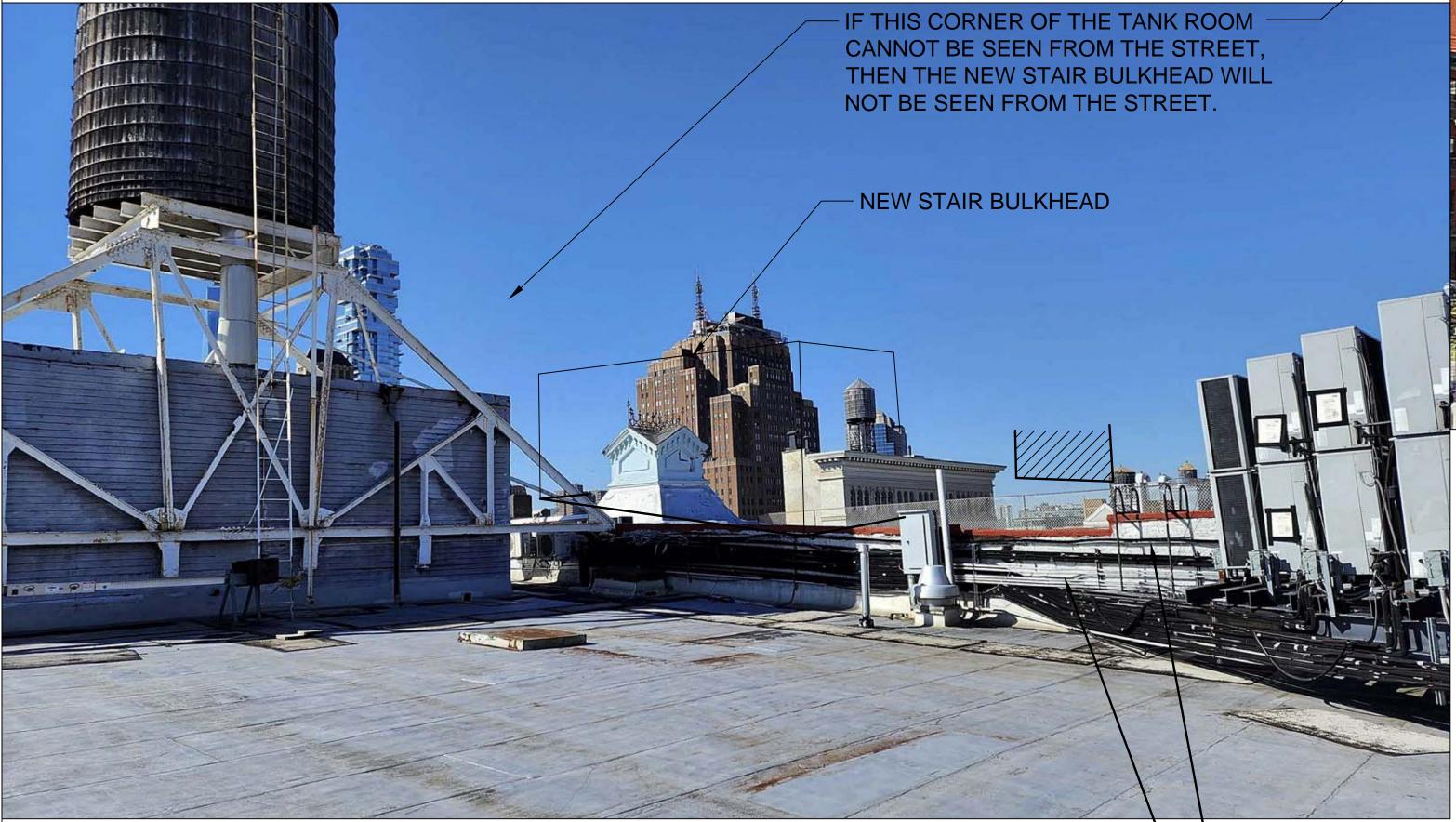








(1) EXISTING CONDITIONS - LOOKING EAST TO PARAPET WALL



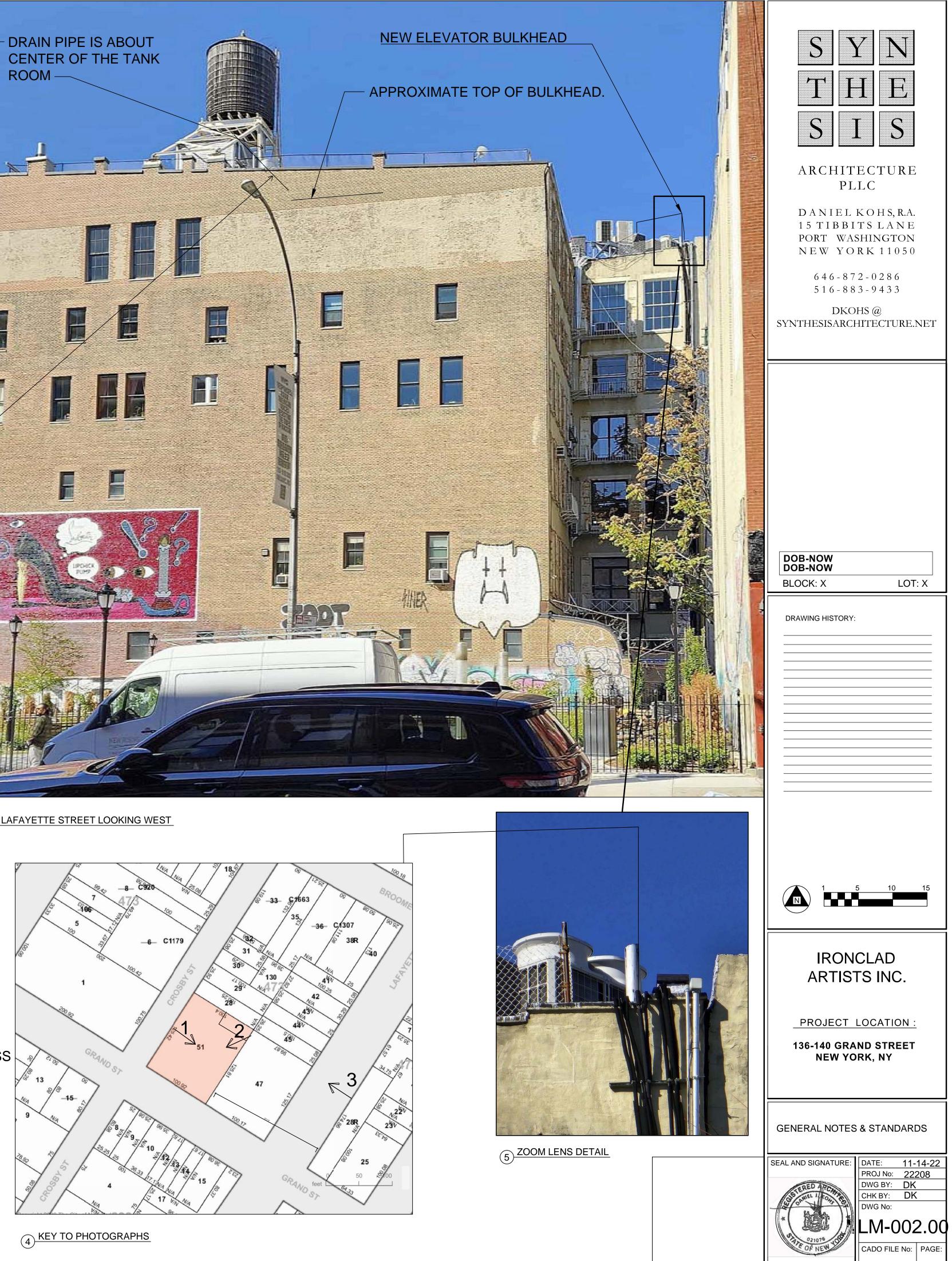
2 EXISTING CONDITIONS - LOOKING SOUTH WEST TO NEW STAIR BULKHEAD LOCATION

LANDMARK NOTES:

- THE BULKHEAD IS NOT VISIBLE FROM THE STREET IF THE NORTH WEST CORNER OF THE LARGER TANK ROOM IS NOT VISIBLE.
- THE ELECTRICAL BOX IS THE NORTHERN LIMIT OF THE NEW STAIR BULKHEAD.
- THE AREA OF PARAPET WALL TO BE REMOVE WILL CREATE A SAFE PASSAGE FROM ON ROOF TO THE OTHER WHICH IS THE LOCATION OF THE ELEVATOR BULKHEAD. CURRENT ACCESS FOR ALL ELEVATOR INSTALLERS WOULD BE OVER THE LADDER INSTALLED AMIDST THE AC DUNNAGE WHICH IS NOT ACCEPTABLE TO THE INSTALLERS.

3 EXISTING CONDITIONS - EAST ELEVATION





- LADDER IS CURRENT ACCESS TO WEST ROOF AND ELEVATOR BULKHEAD

- AREA OF WALL TO **BE REMOVED** 

