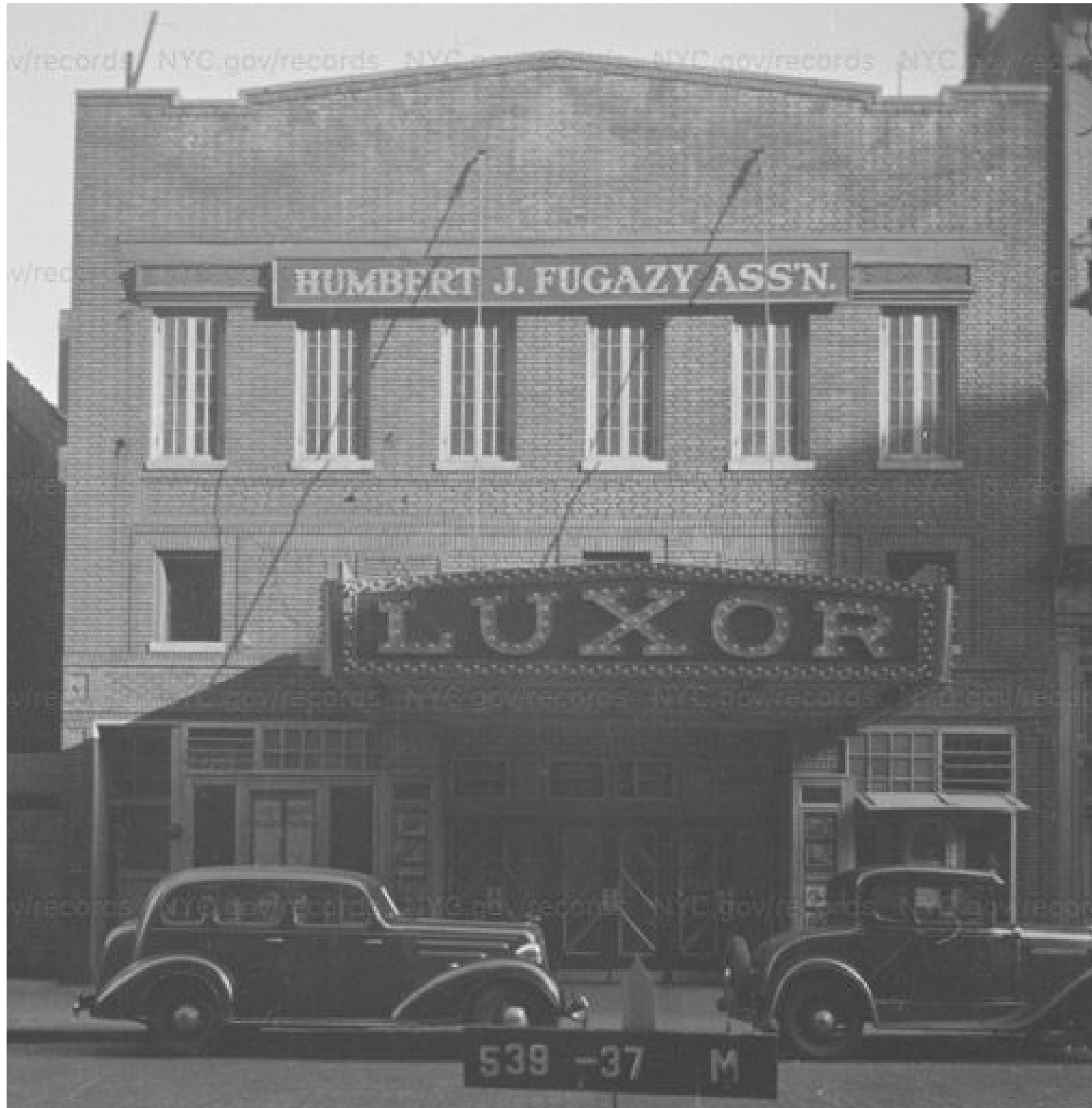
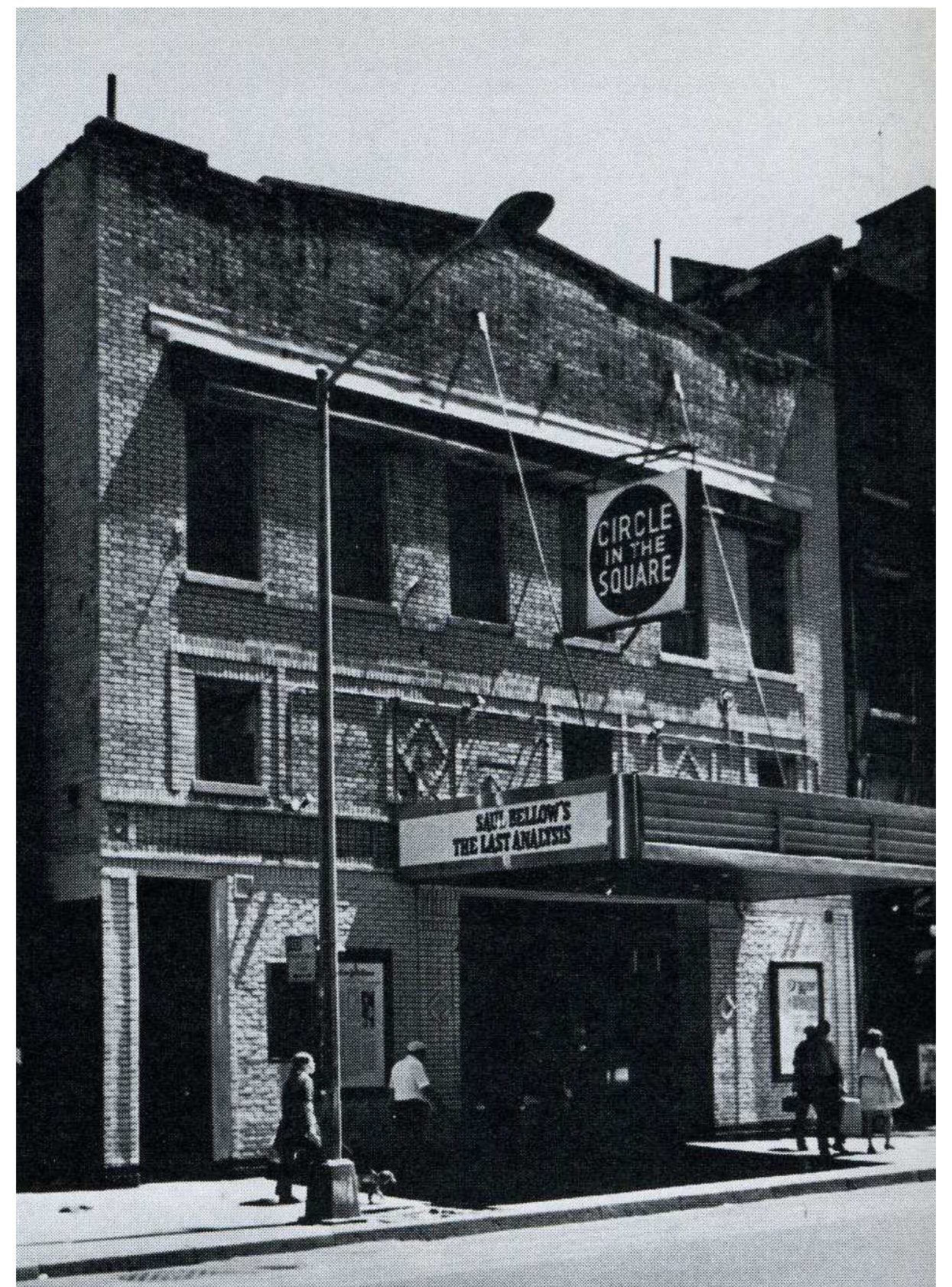


159 BLEEKER STREET

GROUND FLOOR FACADE AND MARQUEE RENOVATION
DECEMBER 8TH, 2022



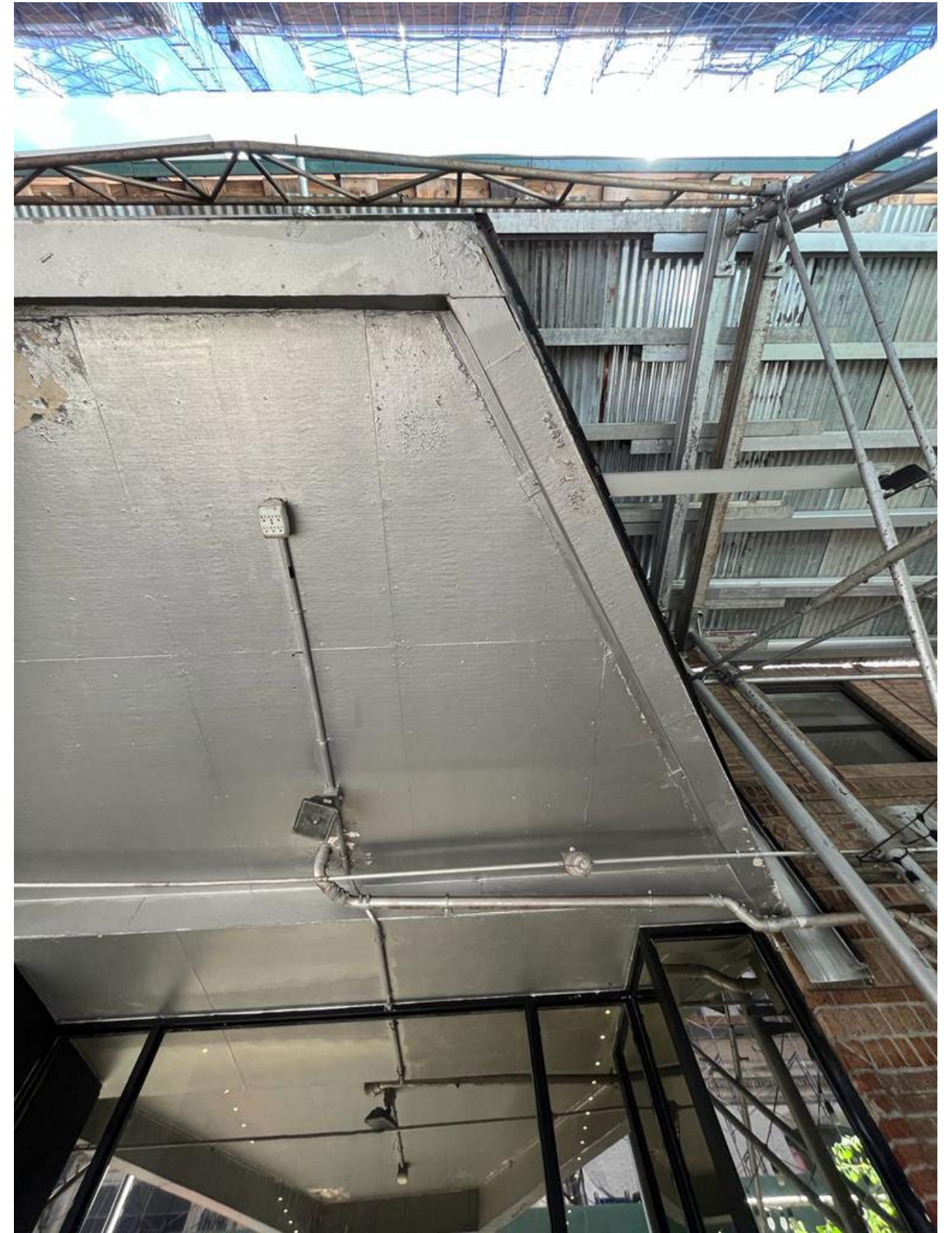
1940



1976



2017



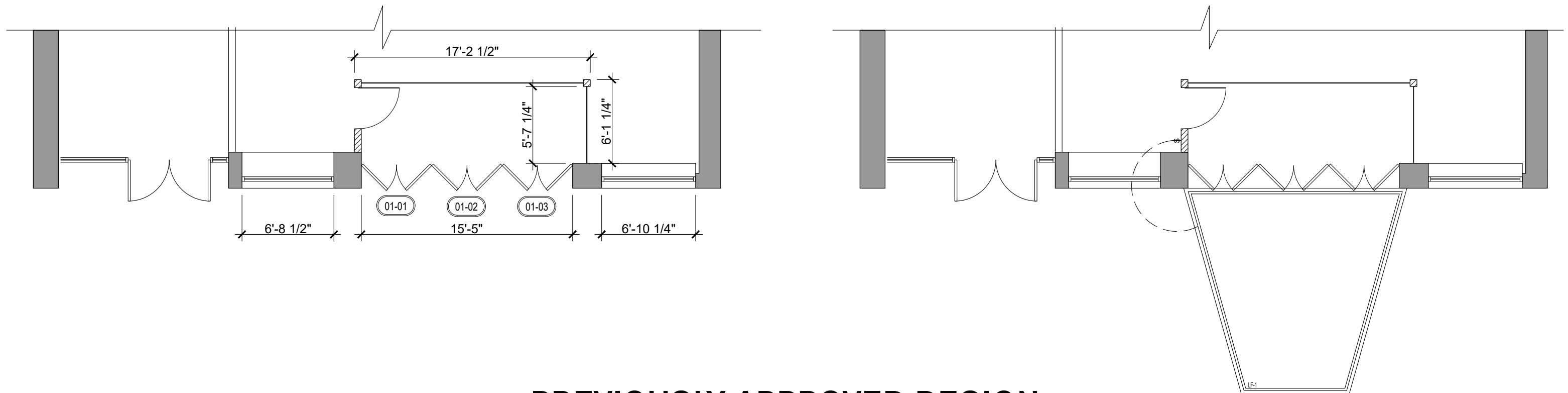
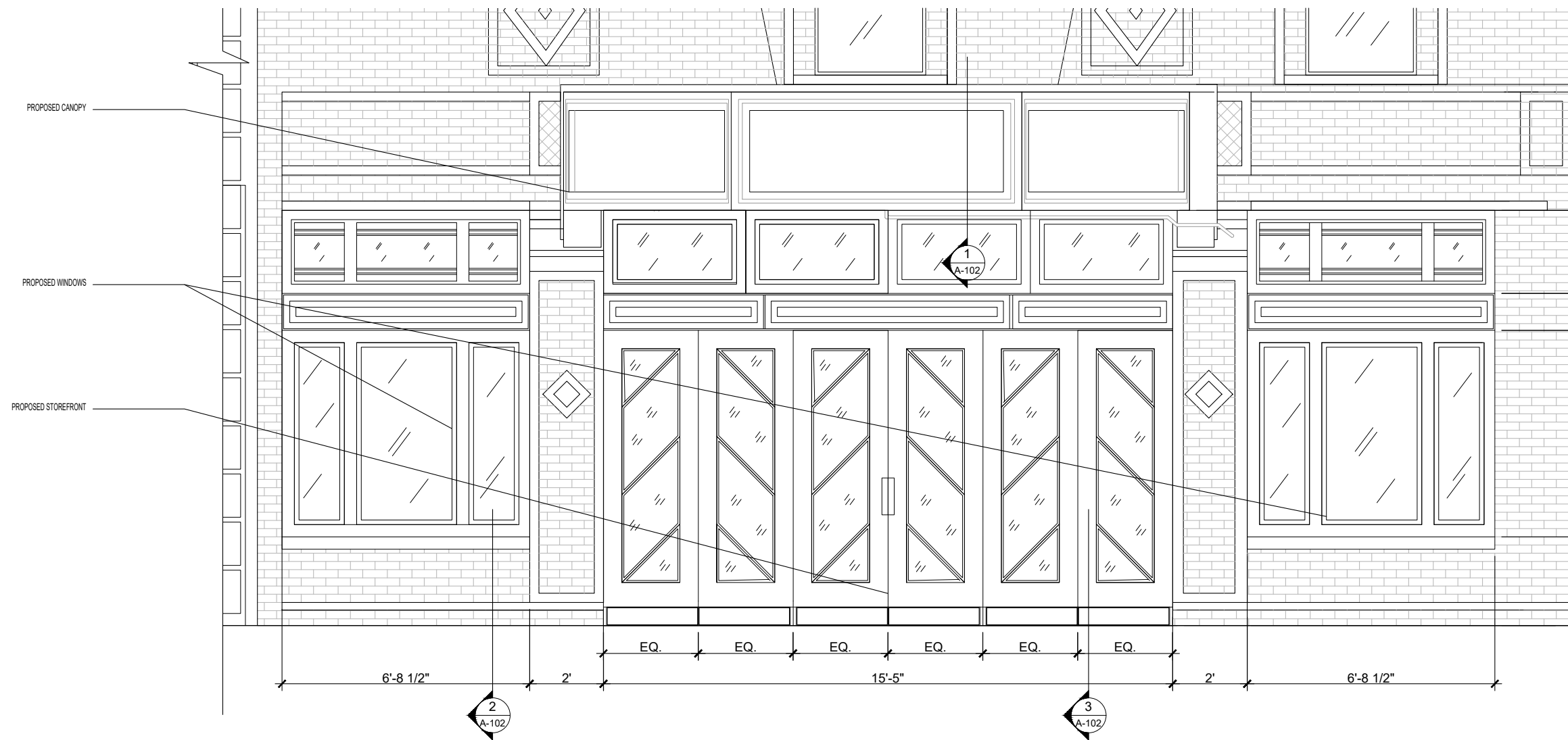
EXISTING CONDITIONS

159 BLEEKER STREET // FACADE OPTIONS



PREVIOUSLY APPROVED DESIGN

159 BLEEKER STREET // FACADE OPTIONS

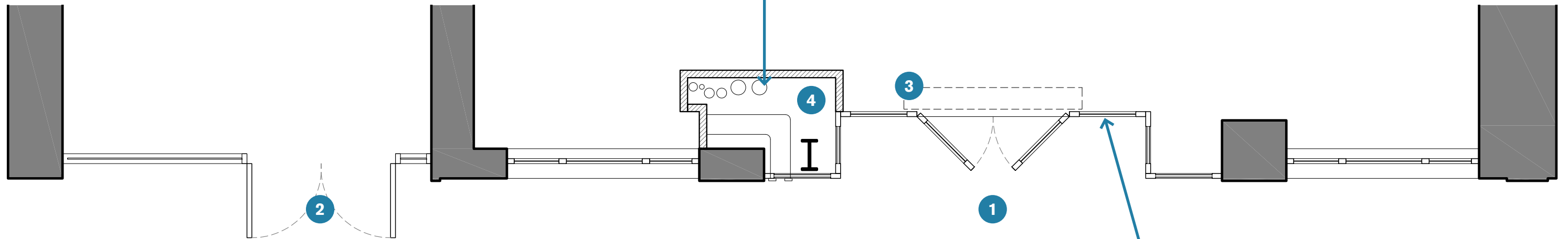


PREVIOUSLY APPROVED DESIGN



EXISTING CONDITIONS
INTERRUPT APPROVED PLAN

EXISTING SETBACK
PROPOSED TO ACCOUNT FOR
EXISTING SLOPE TO INTERIOR
SLAB



1 COMMERCIAL ENTRANCE

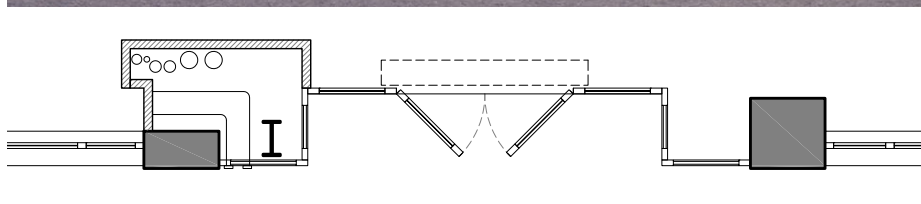
2 RESIDENTIAL ENTRANCE (NO CHANGE)

3 AIR CURTAIN ABOVE

4 BOX-OUT FOR STANDPIPE (SAME BOTH OPTIONS)

THIS SETBACK KEEPS DOOR IN THE SAME LOCATION IT IS CURRENTLY

PLAN OPTIONS



PROPOSED FACADE AND MARQUEE DESIGN

FACADE RESTORATION

159 BLEECKER STREET

NEW YORK, NY 10012

100% DESIGN DEVELOPMENT SET

Sheet List Table	
Sheet Number	Sheet Title
A000.00	COVER SHEET
A001.00	GENERAL NOTES
A100.00	DEMOLITION PLAN + FACADE REMOVAL
A101.00	CONSTRUCTION PLAN + PROPOSED FACADE OPTION 1
A102.00	EXISTING CONDITION + POSSIBLE PROBE LOCATION
A200.00	WALL SECTION DETAILS
A201.00	MARQUEE DETAILS
A300.00	HARDWARE + FINISH + LIGHTING SCHEDULE



01 PROPOSED FACADE
SCALE: NOT TO SCALE

NEW YORK CITY BUILDING DEPARTMENT NOTES

THESE NOTES ARE PART OF THE PLANS AND SPECIFICATIONS AND ARE TO BE COMPLIED WITH IN ALL RESPECTS, MORE RESTRICTIVE NOTES MENTIONED ELSEWHERE ARE TO TAKE PRECEDENCE OVER THE FOLLOWING:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE NEW YORK CITY BUILDING CODE.
2. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND FACILITIES.
3. ALL MATERIALS, ASSEMBLIES, FORMS, AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE NYC BUILDING CODE.
4. AT LEAST 24 HOUR WRITTEN NOTICE SHALL BE GIVEN TO THE COMMISSIONER BEFORE COMMENCEMENT OF WORK.
5. A COPY OF LATEST SET OF CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE ARCHITECT.
6. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
7. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND ARCHITECT'S OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.
8. ALL CONSTRUCTION, DIMENSIONS AND DETAILS SHALL CONCUR WITH AND BE DETERMINED FROM THESE DRAWINGS ONLY.
9. ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICABLE, AND TO CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES (A.C.I./A.I.S.C., ETC.) WHERE APPLICABLE.
10. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND OFF-ALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.
11. CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, RULES AND REGULATIONS PERTAINING TO LABOR AND MATERIALS, ALL NOTES HEREIN MENTIONED WITH THOSE ON THE VARIOUS DRAWINGS, SHALL APPLY TO ALL DRAWINGS AND FORM PART OF THE CONTRACT.
12. EACH CONTRACTOR WILL BE HELD STRICTLY RESPONSIBLE FOR HIS WORK, AND DISCREPANCIES IN THE PLANS OR DETAILS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT.
13. POSTED OCCUPANCY AND USED, ALL BUILDINGS SHALL BE POSTED WITH A SIGN IN A FORM PRESCRIBED BY THE DEPARTMENT PERMANENTLY AFFIXED, PLACED IN A CONSPICUOUS LOCATION IN PUBLIC HALL OR CORRIDOR, STATING LIVE LOADS AND OCCUPANT LOADS IN THE BUILDING AND ALL PARTS THEREOF.

SPECIAL INSPECTIONS		
SPECIAL INSPECTIONS	CODE/SECTION	REPORTS REQ/D
ENERGY CODE COMPLIANCE INSPECTION	BC.110.3.5	TR-8
DIRECTIVE 14	BC.110.5	-



02 PLOT PLAN
SCALE: NOT TO SCALE

GENERAL REMOVAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS IN WORKING ORDER THROUGHOUT THE DURATION OF CONSTRUCTION.
1. THE CONTRACTOR SHALL PERFORM ALL OPERATIONS OF REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY, NEATLY AND IN A SYSTEMATIC MANNER.
2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DAMAGE AND SHALL MAKE ADDITIONAL REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.
3. THE CONTRACTOR SHALL FILE ANY NECESSARY CERTIFICATES OF INSURANCE WITH THE LOCAL DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.
4. ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.

GENERAL CONSTRUCTION NOTES

1. EACH FLOOR IN WHICH CONSTRUCTION IS UNDERTAKEN MUST REMAIN IN SAFE CONDITIONS WITH REGARD TO FIRE SAFETY FOR PERSONNEL WORKING ON THE FLOOR. ALL FIRE STAIRS, ALARMS, SPEAKERS, ETC., MUST REMAIN ACCESSIBLE AND OPERABLE AT ALL TIMES.
2. ALL DIMENSIONS GIVEN ARE FROM FACE OF FINISH UNLESS OTHERWISE NOTED.
3. FLOOR LOADING OF ALL EQUIPMENT, FURNITURE, TENANT CONSTRUCTION, ETC. SHALL NOT EXCEED THE ALLOWABLE STRUCTURAL CAPACITY OF THE FLOOR (150 PSF LIVE LOAD).
4. CONTRACTORS CARTS, EQUIPMENT BOXES, ETC. SHALL BE EQUIPPED WITH RUBBER WHEELS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE CONSTRUCTION AREA UNTIL COMPLETION OF THE PROJECT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS IN WORKING ORDER THROUGHOUT THE DURATION OF CONSTRUCTION.
7. NO ELECTRICAL JACKHAMMERS OR SIMILAR IMPACT, PERCUSSION DEVICES TO BE USED.
8. GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW & APPROVAL OF THE FOLLOWING:

PROPERTY DATA	
BUILDING NO:	159
STREET:	BLEECKER STREET
BOROUGH:	MANHATTAN
BLOCK:	526
LOT:	59
LANDMARK STATUS	
LANDMARK STATUS	L - LANDMARK
ZONING NOTES	
ZONING MAP	12c
ZONING DISTRICT	R7-2
COMMERCIAL OVERLAY	C1-5
SPECIAL DISTRICT	MID
BUILDING DEPARTMENT NOTES	
YEAR BUILT	1900
OCCUPANCY CLASSIFICATION	J2 (1968 CODE)
CONSTRUCTION CLASS	1-C (1968 CODE)
BUILDING HEIGHT	98'
BUILDING STORIES	7 STORIES
ALTERATION TYPE II FILING	
NO CHANGE IN USE, OCCUPANCY, OR EGRESS	
THIS BUILDING IS NOT IN A FLOOD HAZARD ZONE	

159 BLEECKER FACADE

PROJECT NAME AND ADDRESS:
NORTH SIX OFFICES
159 BLEECKER, GROUND FLOOR
NEW YORK, NY

WOLFGANG & HITE

HITE STUDIO ARCHITECTURE PC
123 BOWERY, 4TH FLOOR
NEW YORK, NY 10002
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ISSUED/REVISED

No.	Date	Description
01	08/26/2022	PROGRESS SET
02	10/11/2022	100% DD SET
03	12/08/2022	REVIEW SET

DOB APPROVAL:

JOB# 22007

DATE: 12/08/2022

SCALE: AS NOTED

DRAWN BY:

CHECKED BY:

TITLE:

COVER SHEET

A000.00

DRAWING No.

159 BLEECKER FACADE

PROJECT NAME AND ADDRESS:
NORTH SIX OFFICES
159 BLEECKER GROUND FLOOR
NEW YORK, NY

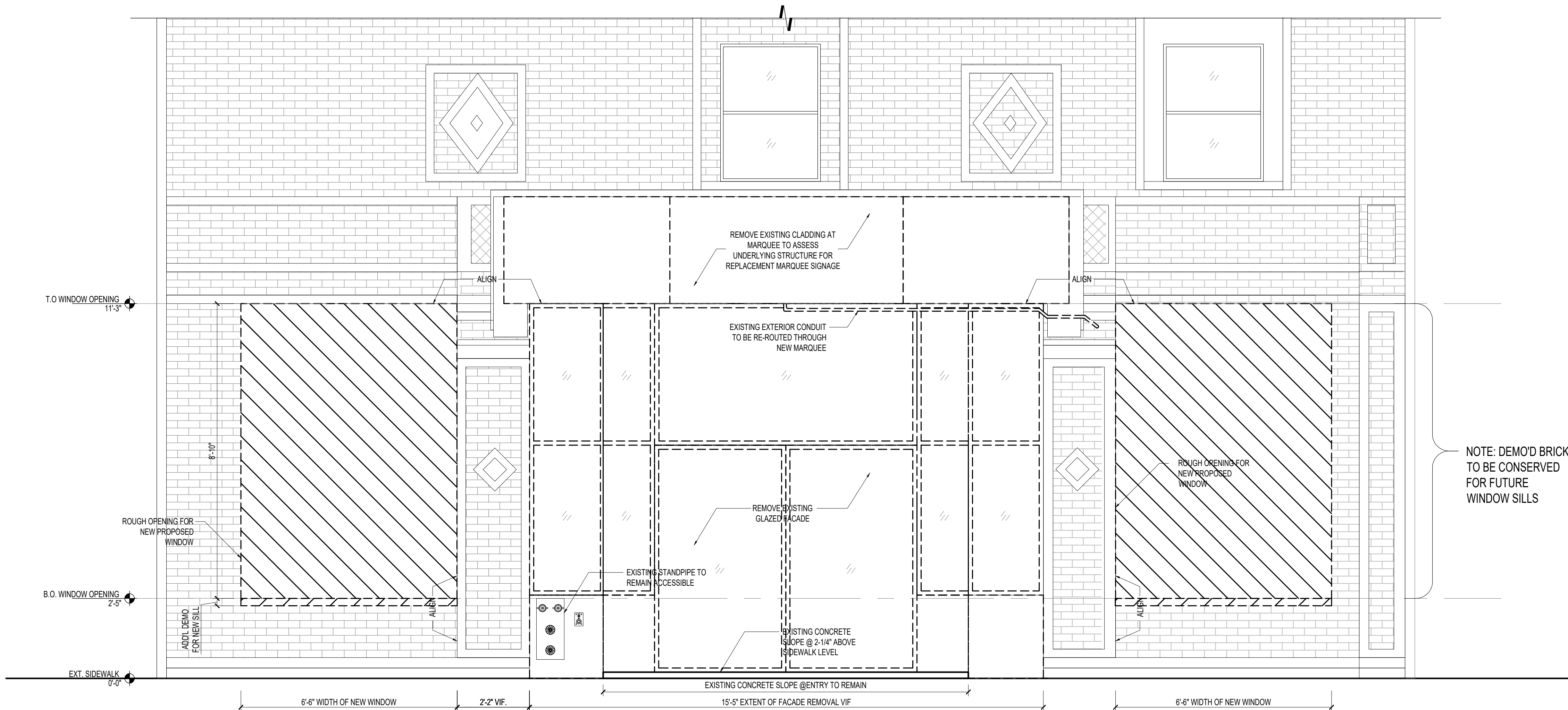
WOLFGANG & HITE

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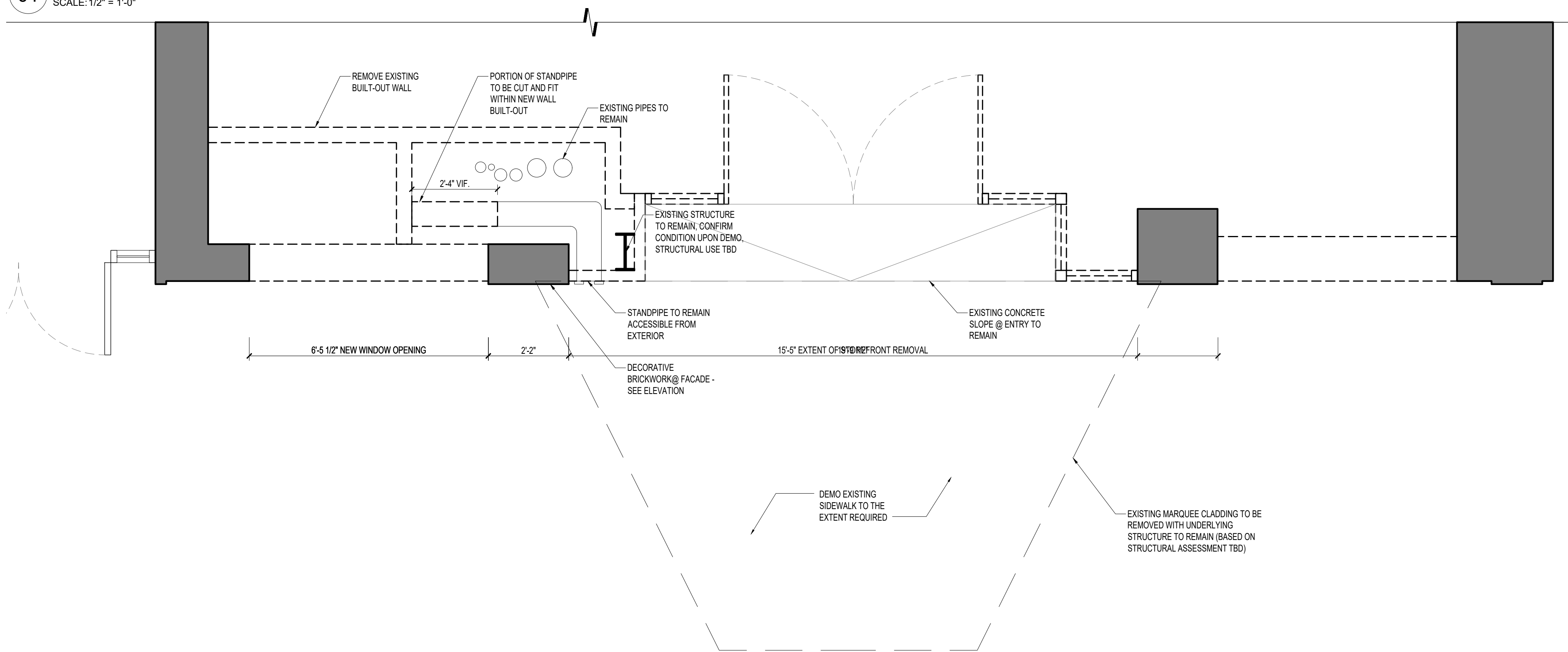
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03	12/08/2022	REVIEW SET

DOB APPROVAL:



01 EXISTING FACADE - DEMOLITION
SCALE: 1/2" = 1'-0"



02 EXISTING FACADE - DEMOLITION PLAN
SCALE: 1/27/256" = 1'-0"

NOTE: PROVIDE BID FOR CLEANING EXISTING MASONRY AS NEEDED

DRAWING LEGEND	
	EXISTING
	NEW INTERIOR STUD WALL
	TO BE REMOVED/REPLACED (DEMO PLAN)
	SURFACE TO BE DEMO'ED

DATE: 12/08/2022
SCALE: AS NOTED
DRAWN BY:
CHECKED BY:

TITLE:
**DEMOLITION PLAN
+ FACADE
REMOVAL
A100.00**

DRAWING No.

159 BLEECKER FACADE

PROJECT NAME AND ADDRESS:
NORTH SIX OFFICES
159 BLEECKER GROUND FLOOR
NEW YORK, NY

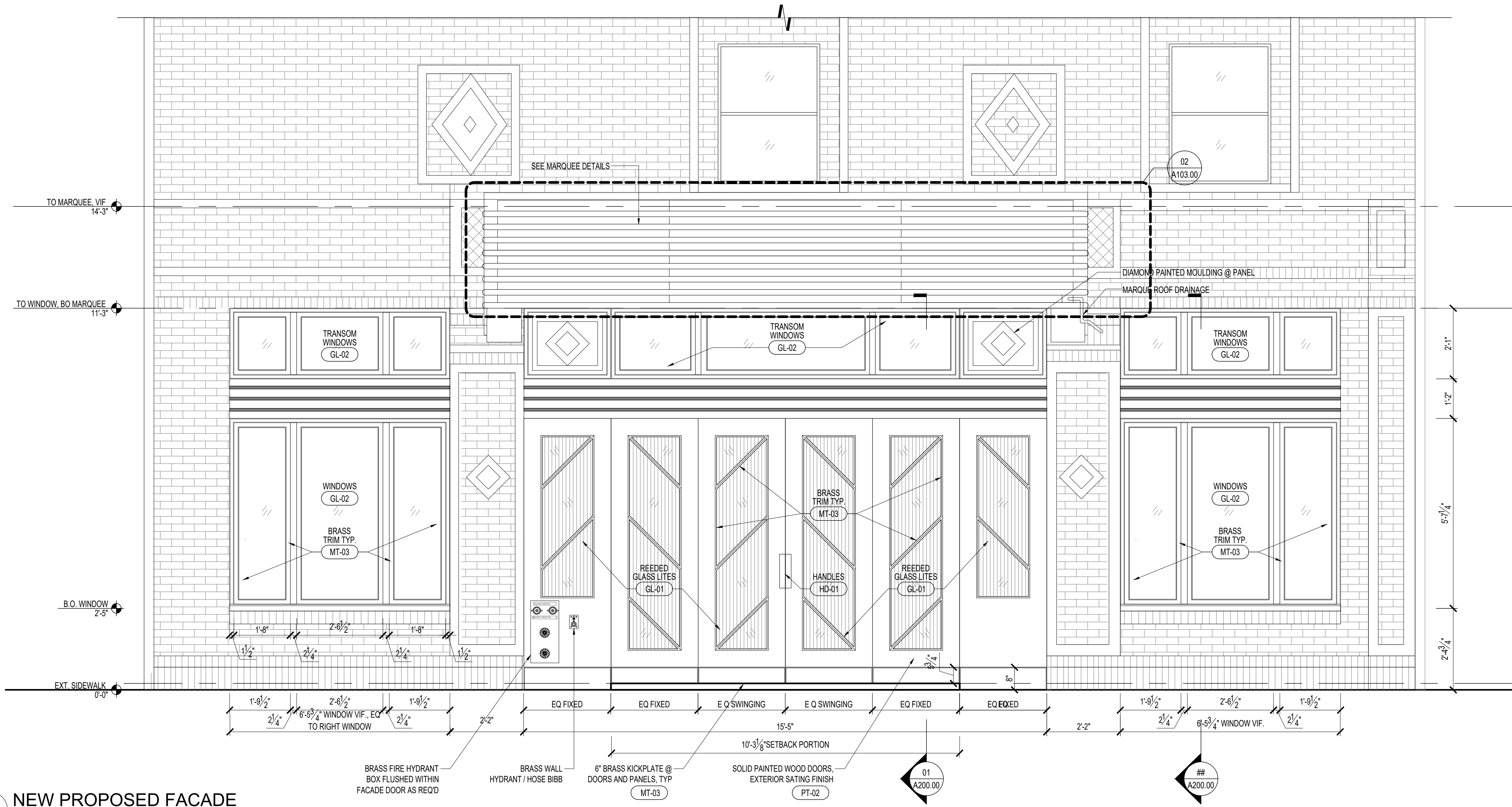
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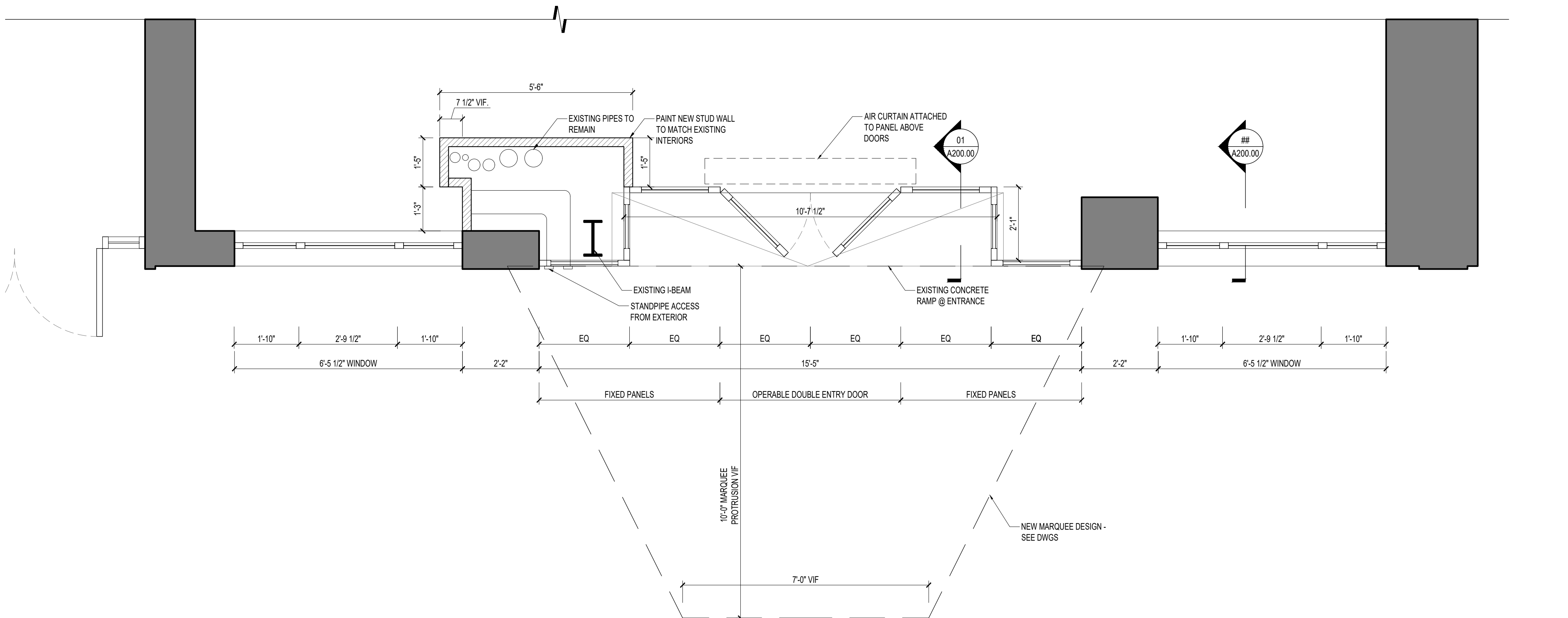
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No.	Date	Description
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02	10/11/2022	100% DD SET
03	12/08/2022	REVIEW SET

DOB APPROVAL:



01 NEW PROPOSED FACADE
SCALE: 1/2" = 1'-0"



02 NEW FACADE - CONSTRUCTION PLAN
SCALE: 1/2" = 1'-0"

DRAWING LEGEND	
	EXISTING
	NEW INTERIOR STUD WALL
	TO BE REMOVED/REPLACED (DEMO PLAN)
	SURFACE TO BE DEMO'ED

JOB# 22007

DATE: 12/08/2022
SCALE: AS NOTED
DRAWN BY:
CHECKED BY:

TITLE:
CONSTRUCTION PLAN + PROPOSED FACADE OPTION 1

A101.00

DRAWING No.

159 BLEECKER FACADE

PROJECT NAME AND ADDRESS:
NORTH SIX OFFICES
159 BLEECKER GROUND FLOOR
NEW YORK, NY

WOLFGANG & HITE

HITE STUDIO ARCHITECTURE PC
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DOB APPROVAL:



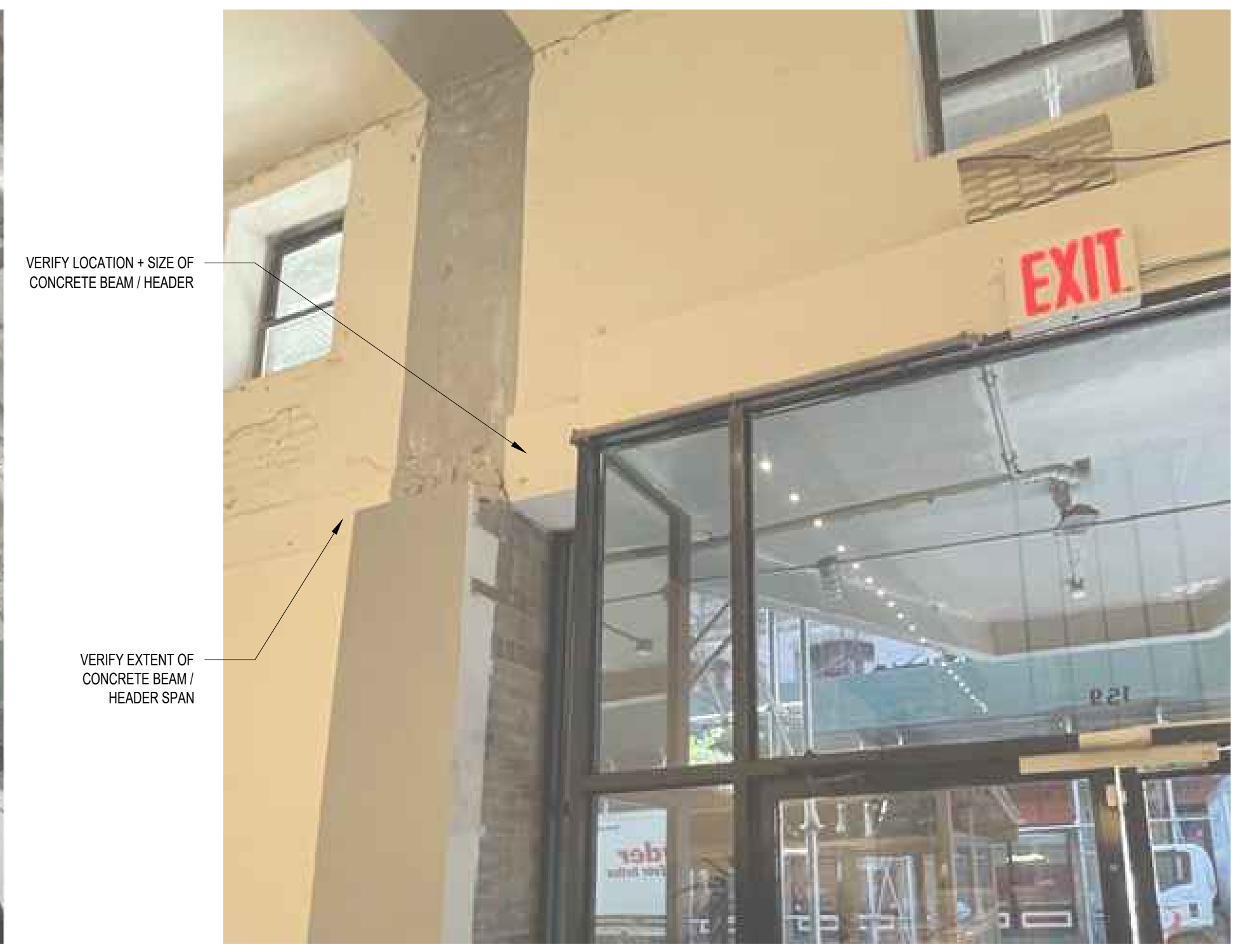
01 EXISTING MARQUEE CONDITION
SCALE: N/A



EXISTING SEWAGE LINE CONNECTION TO REMAIN



02 POSSIBLE PROBE LOCATION @ MARQUEE
SCALE: N/A



03 POSSIBLE PROBE LOCATION @ INTERIOR
SCALE: N/A

DRAWING LEGEND

- EXISTING
- NEW INTERIOR STUD WALL
- TO BE REMOVED/REPLACED (DEMO PLAN)
- SURFACE TO BE DEMO'ED

JOB# 22007

DATE: 12/08/2022
SCALE: AS NOTED
DRAWN BY:
CHECKED BY:
TITLE:

EXISTING
CONDITION +
POSSIBLE PROBE
LOCATION
A102.00

DRAWING No.

159 BLEECKER FACADE

PROJECT NAME AND ADDRESS:
NORTH SIX OFFICES
159 BLEECKER, GROUND FLOOR
NEW YORK, NY

WOLFGANG & HITE

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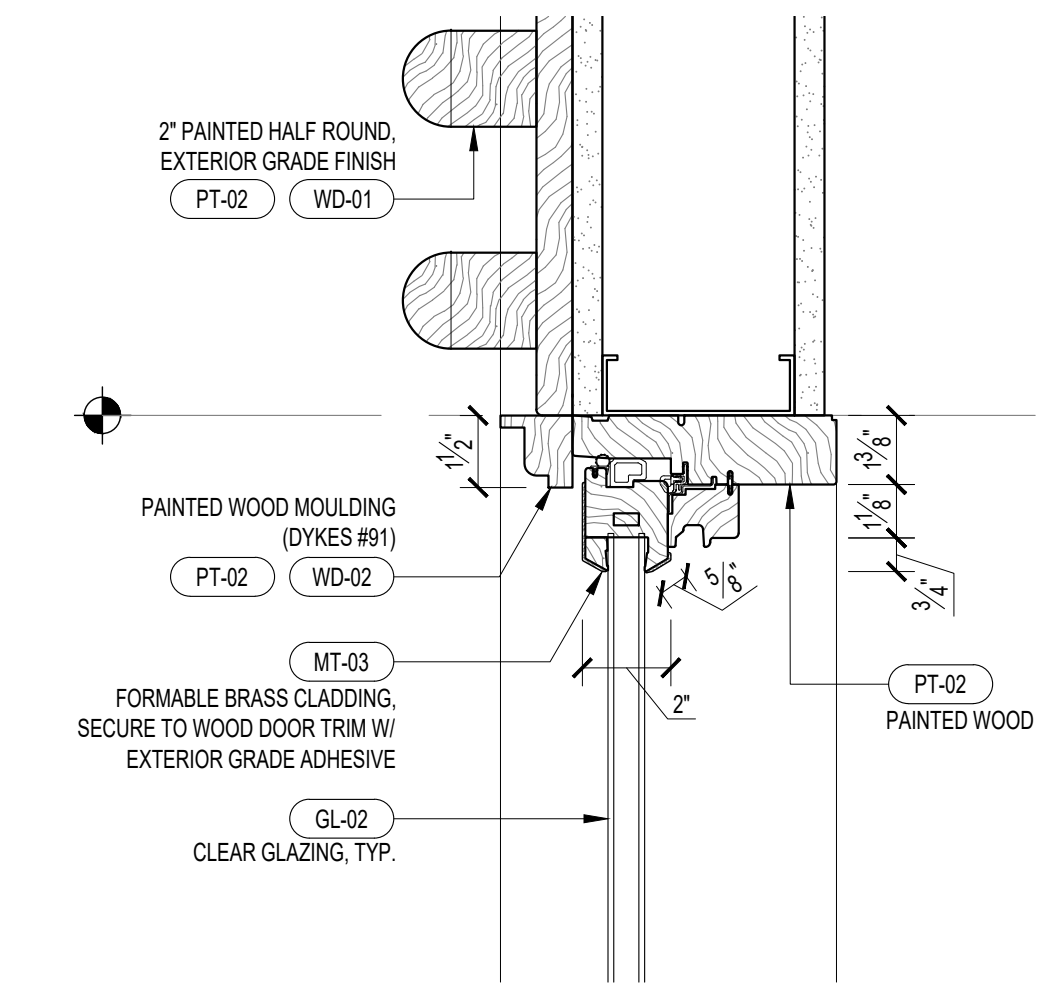
JOB# 22007

DATE: 12/08/2022
SCALE: AS NOTED
DRAWN BY:
CHECKED BY:
TITLE:

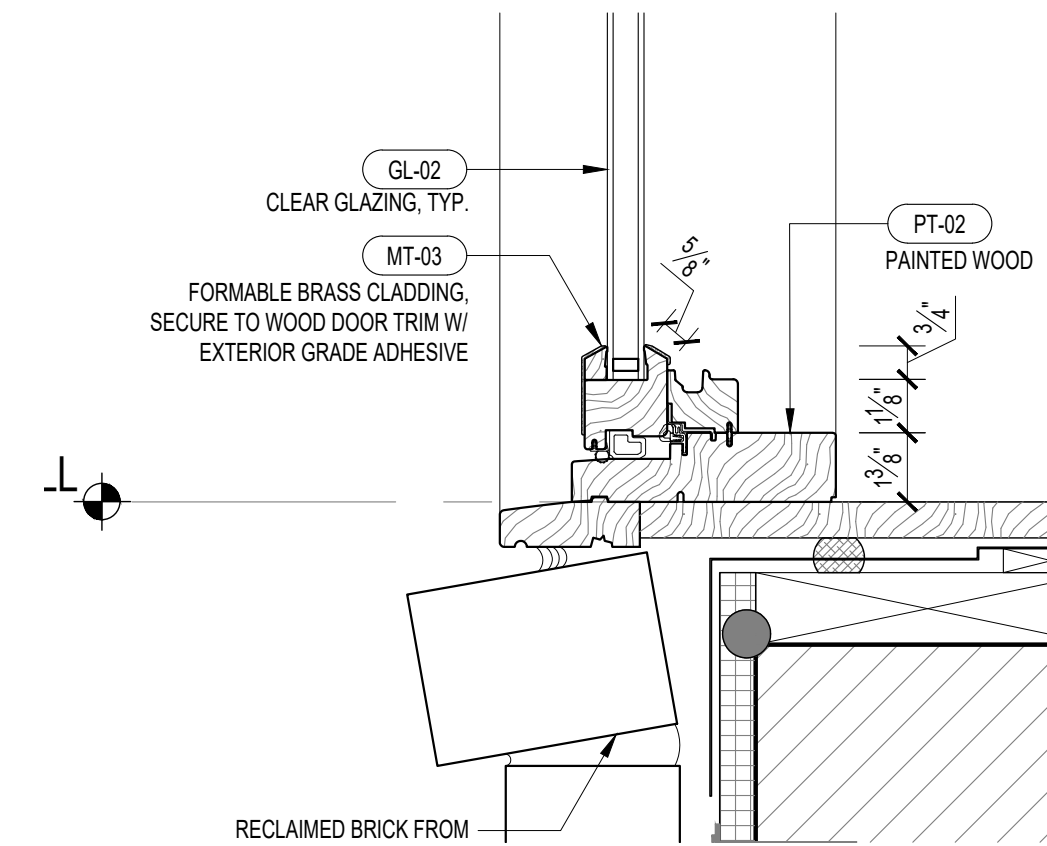
WALL SECTION DETAILS

A200.00

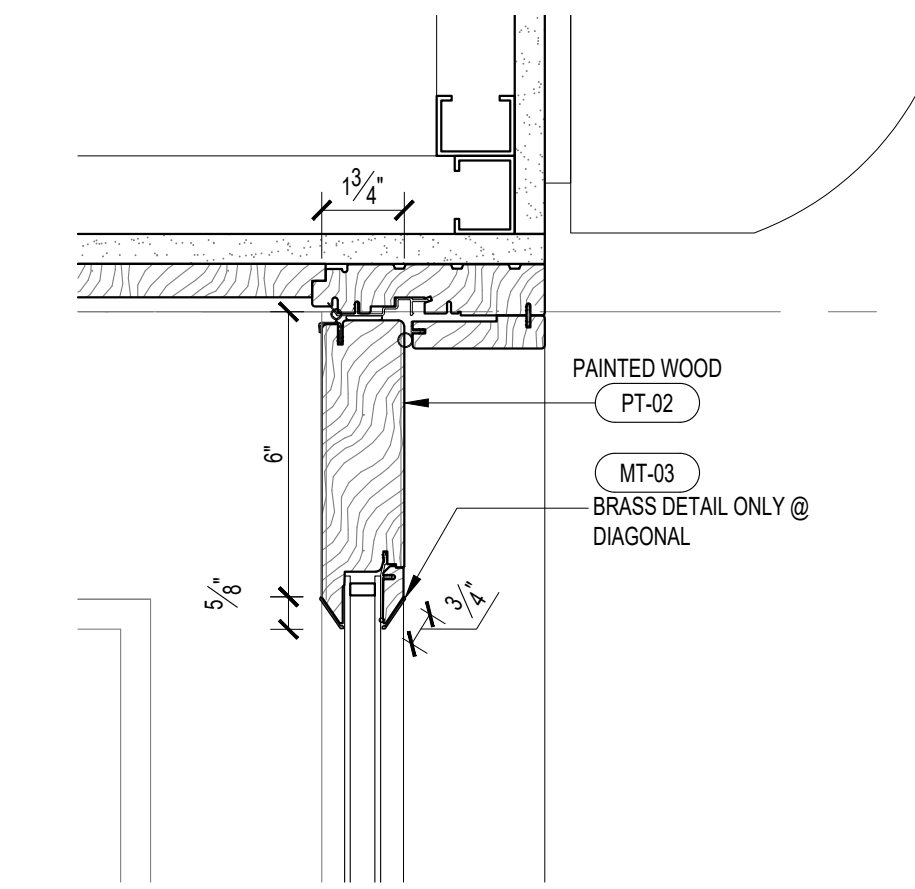
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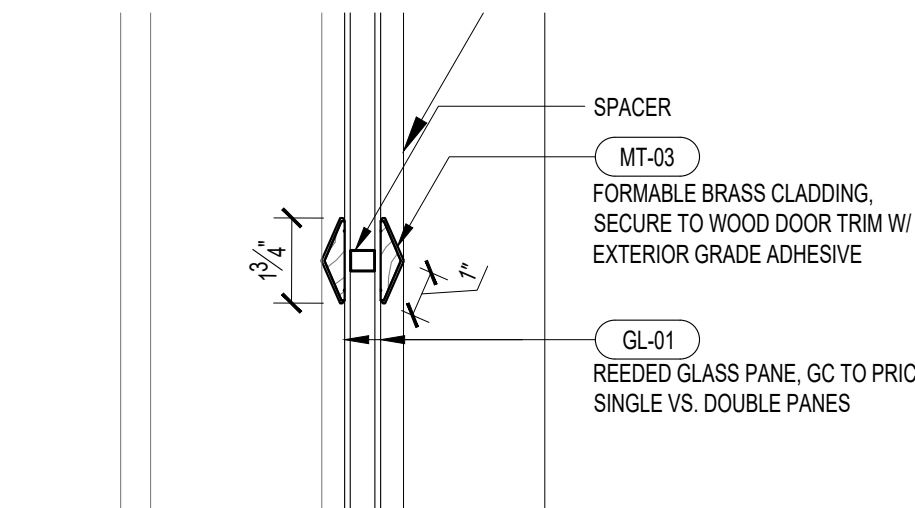
06 HEADER DETAIL @ FIXED WINDOW
SCALE: 3" = 1'-0"



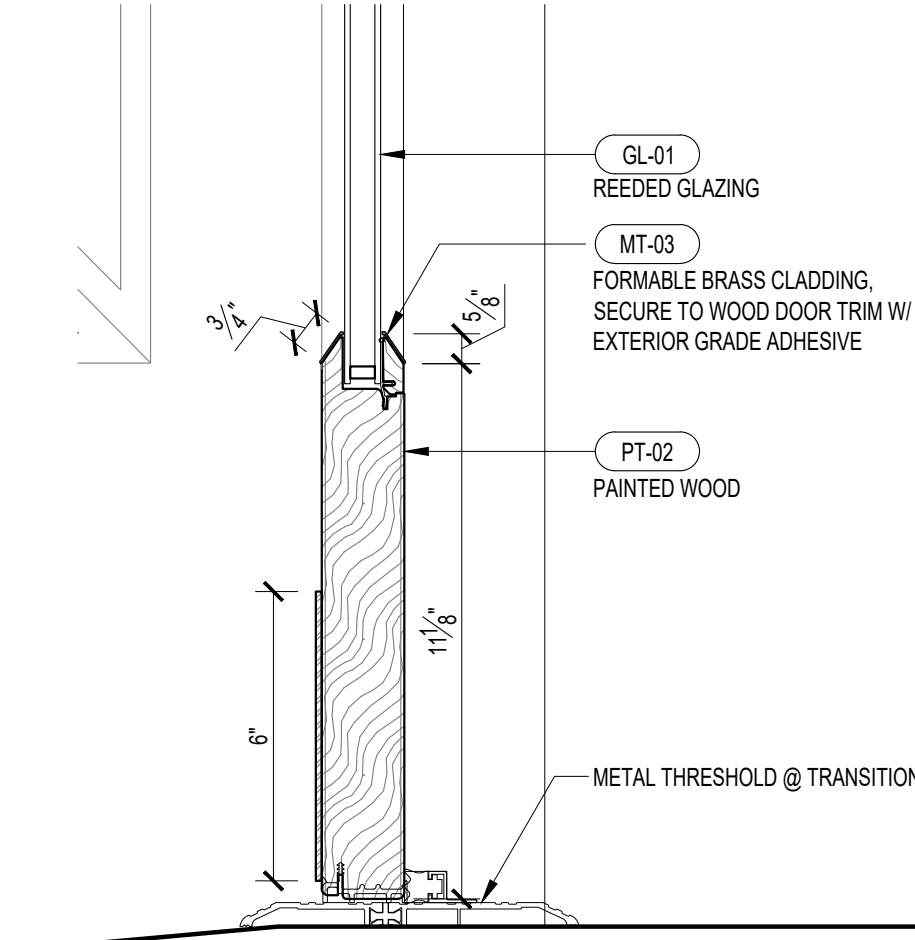
07 SILL DETAIL @ FIXED WINDOW
SCALE: 3" = 1'-0"



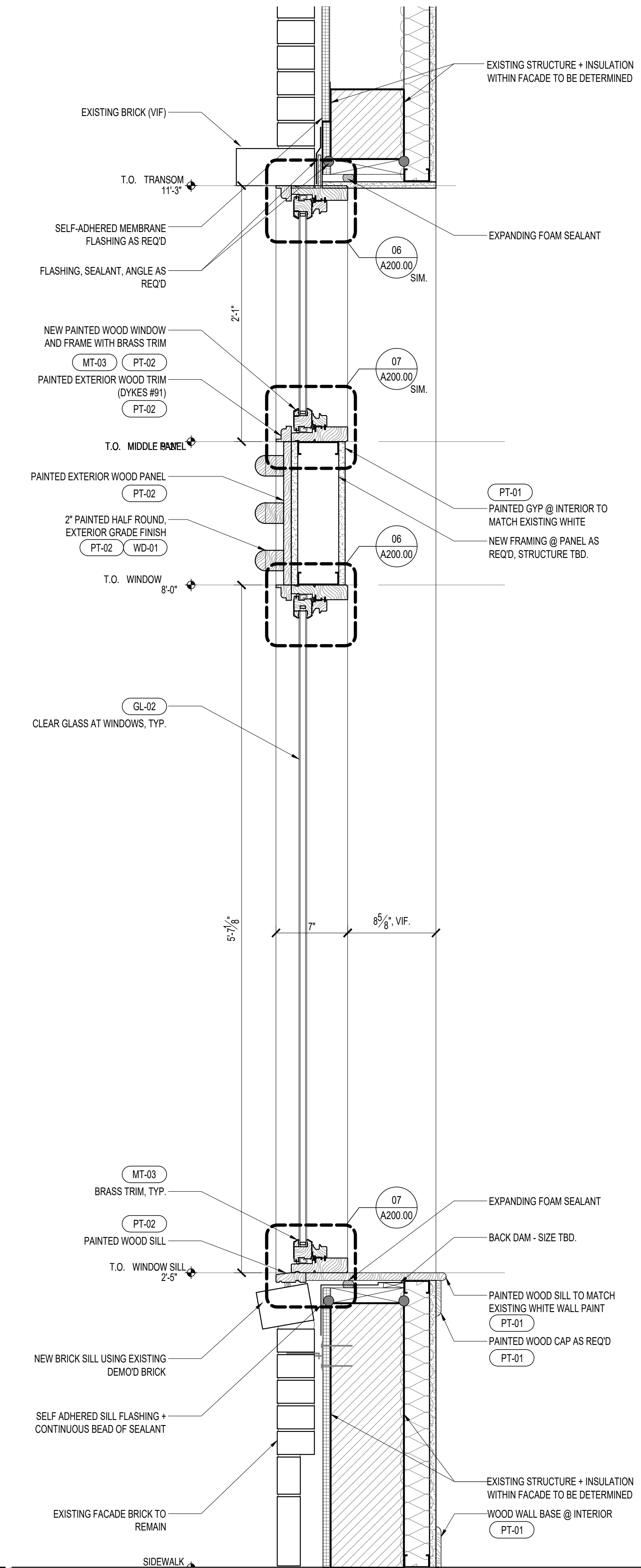
03 HEADER DETAIL @ DOOR
SCALE: 3" = 1'-0"



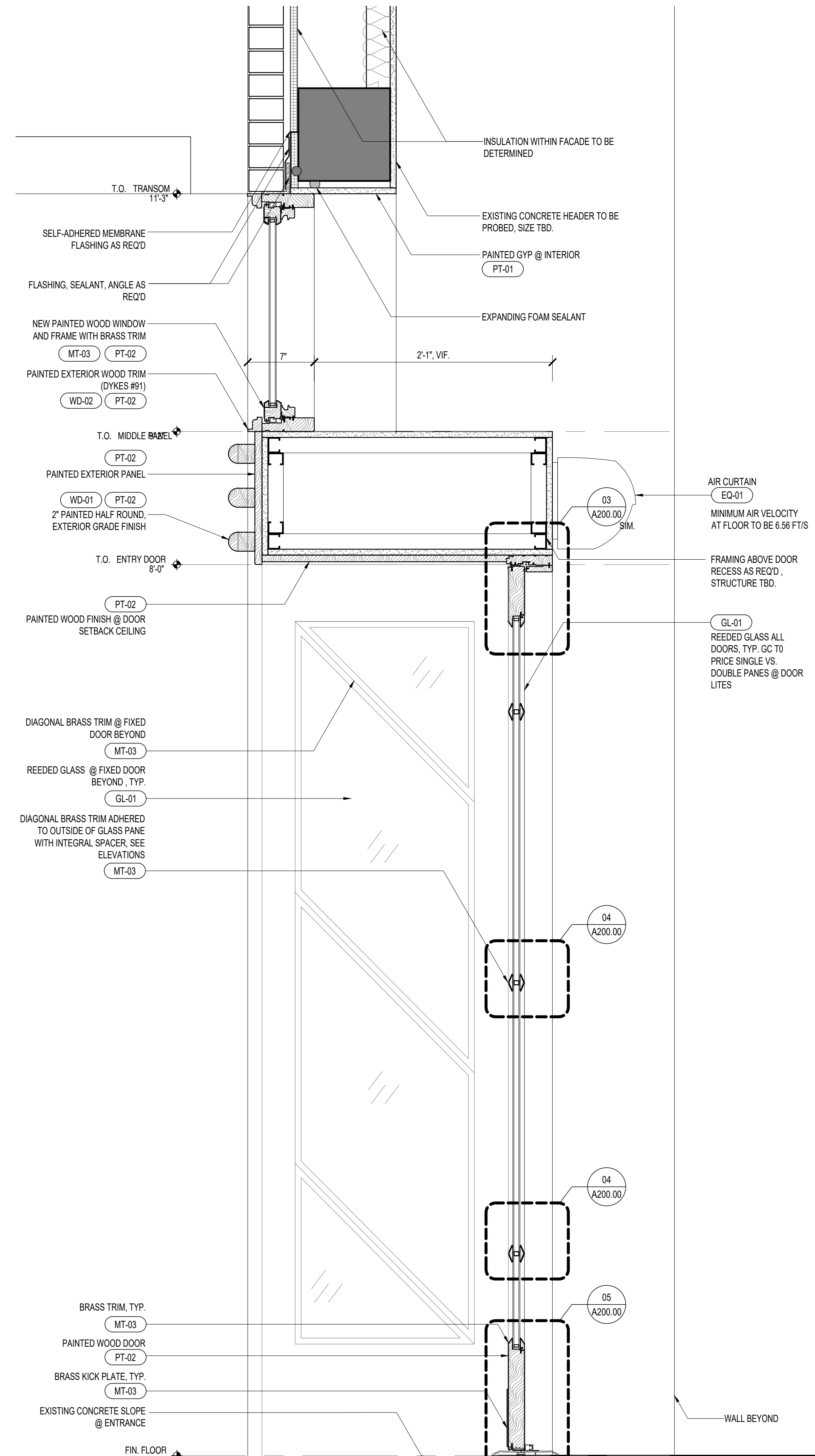
04 BRASS DETAIL @ DOOR
SCALE: 3" = 1'-0"



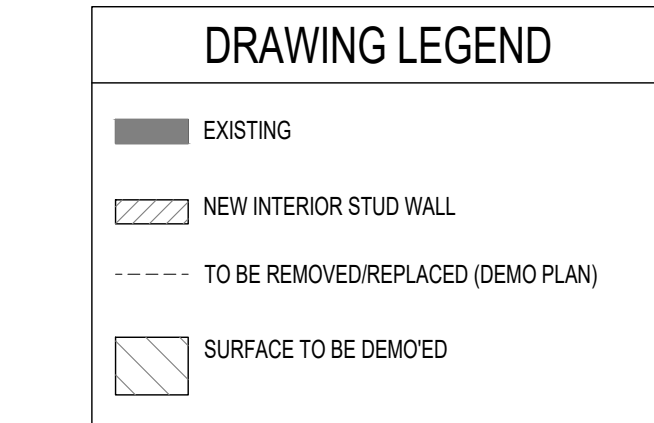
05 SILL DETAIL @ DOOR
SCALE: 3" = 1'-0"



02 FACADE SECTION @ FIXED WINDOW TYP.
SCALE: 1 1/2" = 1'-0"



01 FACADE SECTION @ DOOR
SCALE: 1 1/2" = 1'-0"



159 BLEECKER FACADE

PROJECT NAME AND ADDRESS:
NORTH SIX OFFICES
159 BLEECKER GROUND FLOOR
NEW YORK, NY

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No.	Date	Description
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03	12/08/2022	REVIEW SET

DOB APPROVAL:

JOB# 22007

DATE: 12/08/2022

SCALE: AS NOTED

DRAWN BY:

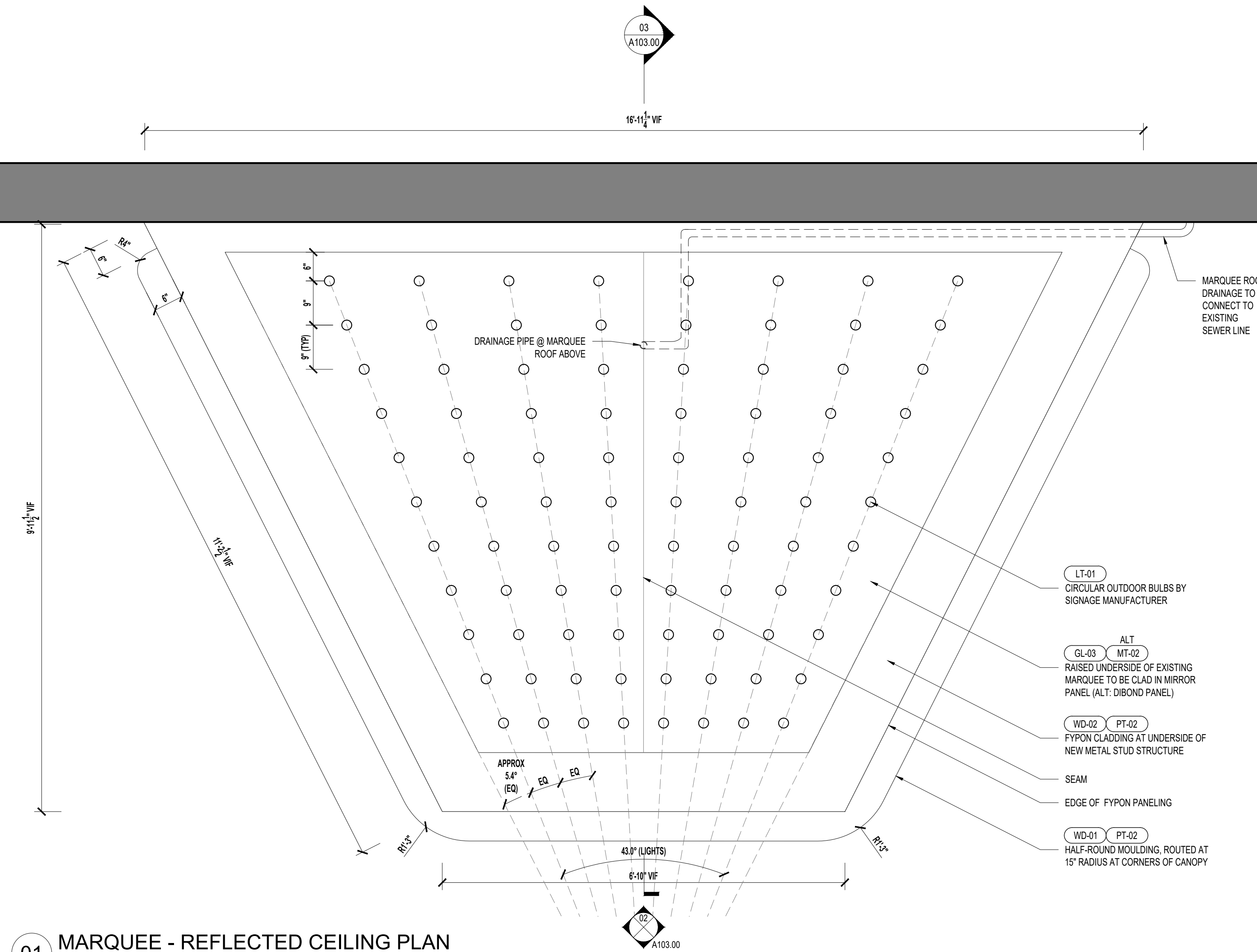
CHECKED BY:

TITLE:

MARQUEE DETAILS

A103.00

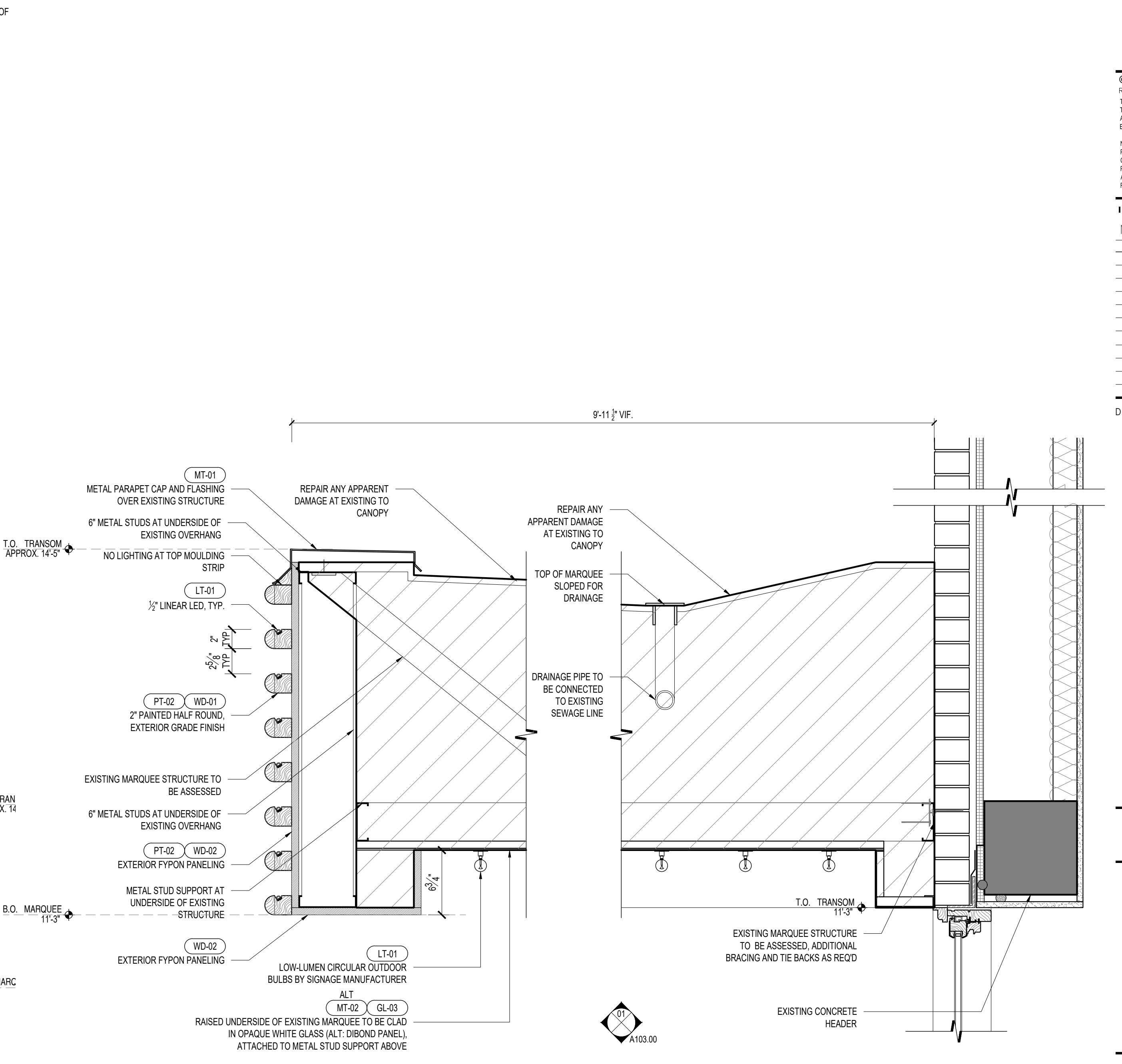
DRAWING No.



01 MARQUEE - REFLECTED CEILING PLAN
SCALE: 3/4" = 1'-0"



02 MARQUEE - FRONT ELEVATION
SCALE: 3/4" = 1'-0"



03 MARQUEE - SECTION DETAIL
SCALE: 1 1/2" = 1'-0"

DRAWING LEGEND	
	EXISTING
	NEW INTERIOR STUD WALL
	TO BE REMOVED/REPLACED (DEMO PLAN)
	SURFACE TO BE DEMO'ED

159 BLEECKER FACADE

PROJECT NAME AND ADDRESS:
NORTH SIX OFFICES
159 BLEECKER, GROUND FLOOR
NEW YORK, NY

WOLFGANG & HITE

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03	12/08/2022	REVIEW SET

DOB APPROVAL:

JOB# 22007

DATE: 12/08/2022
SCALE: AS NOTED
DRAWN BY:
CHECKED BY:
TITLE:

**HARDWARE +
FINISH + LIGHTING
SCHEDULE**

A300.00

DRAWING No.

FIXTURES AND FINISHES							
Tag	Item	Location/Use	Material	Finish/Color	Manufacturer	Product Name or Number	IMAGES
EQ-01	AIR CURTAIN	INTERIOR SIDE OF MAIN ENTRY DOORS	AIR CURTAIN	BRUSHED ALUMINUM	Enershield	"MCS-72-AL Microshield 72" Aluminum Air Barrier - 120V, Item #: 517MCS72AL MFR #: MCS-72-AL COMPLETE"	
GL-01	REEDED GLASS	GLASS AT SWINGING AND FIXED DOOR LITES	TEXTURED GLASS	REEDED	MCGRORY OR EQUAL	REEDED GLASS	
GL-02	CLEAR GLASS	GLASS AT UPPER TRANSOMS AND WINDOWS	CLEAR GLASS	AS REQ'D	GC TO SOURCE	GC TO SOURCE	
GL-03	OPAQUE WHITE GLASS	UNDERSIDE OF MARQUEE	BACK PAINTED GLASS	WHITE	GC TO SOURCE	GC TO SOURCE	
HD-01	EXTERIOR DOOR HANDLE WITH LOCK SYSTEM	DOUBLE SWING ENTRY DOORS	ENTRY DOOR HANDLES	ANTIQUE SATIN	BALDWIN - OR CUSTOM BY DOOR MANUFACTURER TO MATCH EXTERIOR BRASS FINISHES	TREMONT HANDLESET	
HD-02	OFFSET PIVOT HINGES WITH FLOOR CLOSER	DOUBLE SWING ENTRY DOORS	ENTRY DOOR PIVOT	SATIN BRASS 606	RIXSON - OR BY DOOR MANUFACTURER	Model 27 Offset Door Closer	
LT-01	CIRCULAR OUTDOOR BULBS BY SIGNAGE MANUFACTURER	MARQUEE	SIZE? EXTERIOR GRADE LED CIRCULAR/ SPHERICAL BULBS		BY SIGNAGE MANUFACTURER		
LT-02	LED STRIPS	MARQUEE FRONT	SILICONE TUBE WATERPROOF COB OUTDOOR LED STRIPS	3000K WARM WHITE	BY SIGNAGE MANUFACTURER	12V/24V IP67 Silicone Tube Waterproof COB Outdoor LED Strips	
PT-01	WHITE PAINT	INTERIOR					
PT-02	EXTERIOR PAINTED WOOD	DOORS, FRAMES, AND WINDOW FRAMES		EXTERIOR EGGSHELL	FARROW AND BALL	OFF-BLACK 57	
MT-01	CHARCOAL METAL PANEL	MARQUEE SIDES	POWDER COATED METAL PANEL	RAL 7021 BLACK-GRAY	GC TO SOURCE	RAL 7021 BLACK-GRAY	
MT-02	DIBOND PANEL	UNDERSIDE OF MARQUEE	DIBOND PANEL	GLOSSY OFF-WHITE	GC TO SOURCE		
MT-03	BRASS TRIM	DECORATIVE TRIM AND KICK PLATES, FACADE AND WINDOWS	BRASS WITH COATED FINISH FOR OUTDOOR APPLICATION	BRUSHED BRASS	GC TO SOURCE		
WD-01	MOULDINGS	DECORATIVE MOULDING AT PANELS ABOVE DOORS AND WINDOWS	FLEX & POPLAR	SEE PT-02	DYKES LUMBER	2" HALF ROUND 371 HALF ROUND	
WD-02	MOULDINGS	EXTERIOR PANELING AND MOULDING AT MARQUEE	FLEX & POPLAR	SEE PT-02 (OFF-BLACK 57)	FYPON	EXTERIOR MOULDING	

01 FINISH SCHEDULE

SCALE: 3/8" = 1'-0"

EXTERIOR LIGHTING SCHEDULE @ MARQUEE

TAG	ITEM	LOCATION / USE	MANUFACTURERE	NOTES
LT-01	EXTERIOR GRADE CIRCULAR OUTDOOR BULBS BY SIGNAGE MANUFACTURER	UNDERSIDE OF MARQUEE	BY SIGNAGE MANUFACTURER	LIGHTS TO BE ON TIMER, CONNECTED TO EXISTING SWITCH TO EXTERIOR LIGHT
LT-02	1/2" HORIZONTAL NEON TUBING	MARQUEE FRONT	BY SIGNAGE MANUFACTURER	

02 LIGHTING SCHEDULE




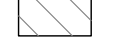
SCALE: 3/8" = 1'-0"

HARDWARE SCHEDULE

TAG	ITEM	MANUFACTURER	PRODUCT NAME	FINISH
HD-01	EXTERIOR + INTERIOR HANDLE	BALDWIN OR BY DOOR MANUFACTURER	TREMONT HANDLESET	ANTIQUE SATIN
HD-01	LOCK SET		TREMONT HANDLESET	
HD-02	OFFSET PIVOT HINGE	RIXON OR BY DOOR MANUFACTURER	MODEL 27 OFFSET DOOR CLOSER	SATIN BRASS
HD-02	DOOR CLOSER		MODEL 27 OFFSET DOOR CLOSER	

03 HARDWARE SCHEDULE

SCALE: 3/8" = 1'-0"

DRAWING LEGEND	
	EXISTING
	NEW INTERIOR STUD WALL
	TO BE REMOVED/REPLACED (DEMO PLAN)
	SURFACE TO BE DEMO'ED