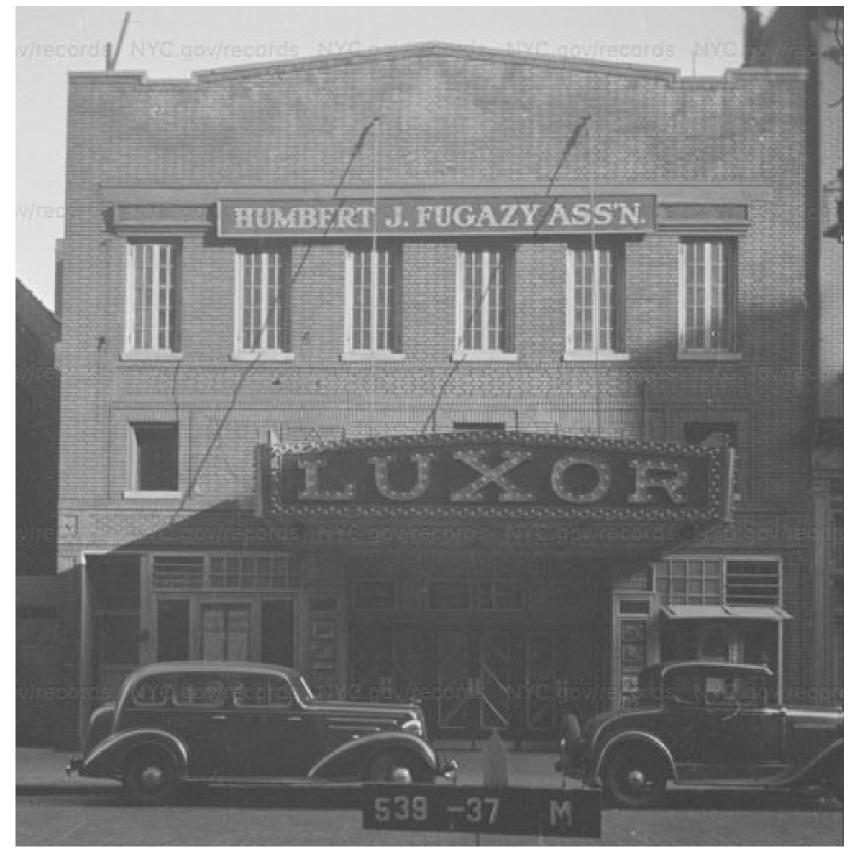
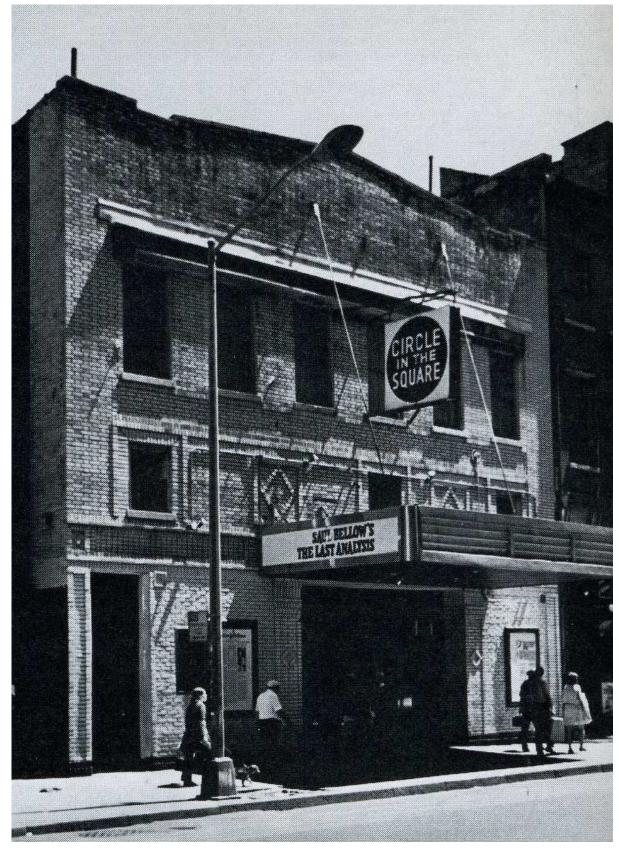
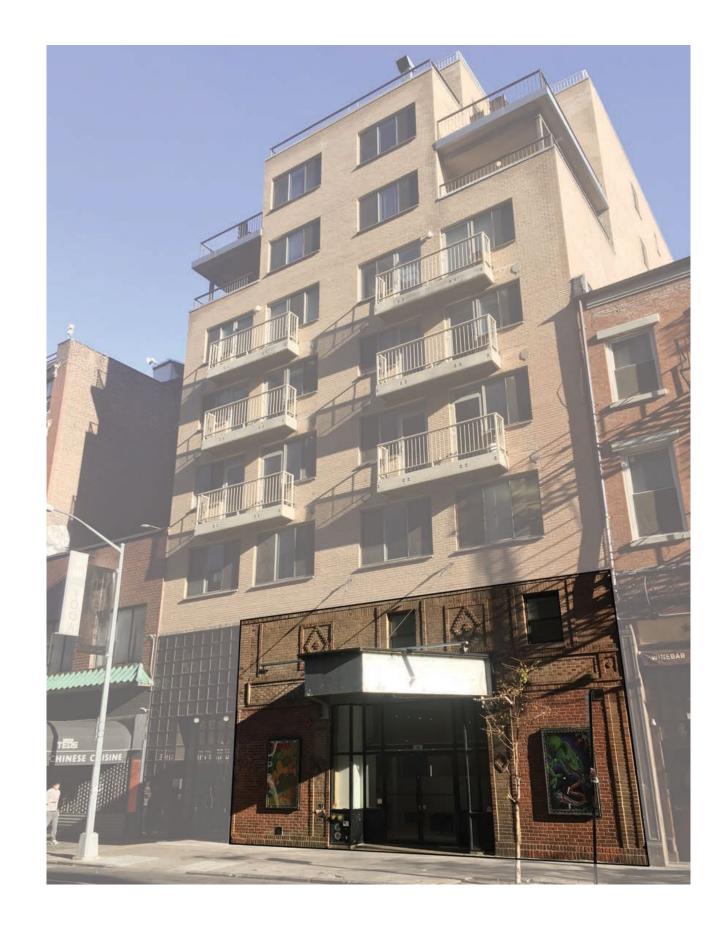
159 BLEEKER STREET

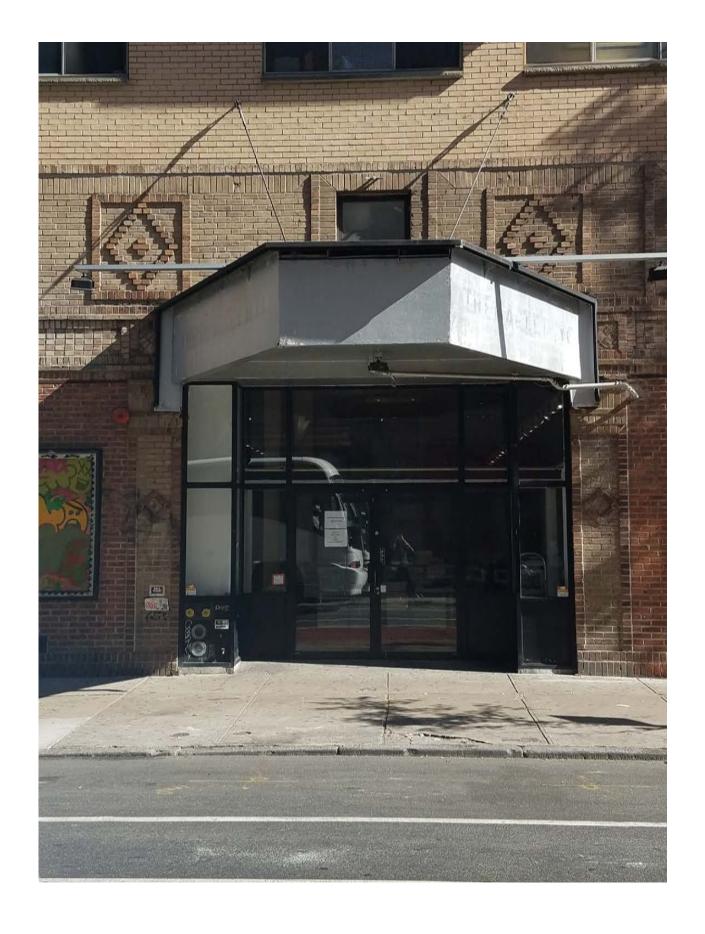
GROUND FLOOR FACADE AND MARQUEE RENOVATION DECEMBER 8TH, 2022



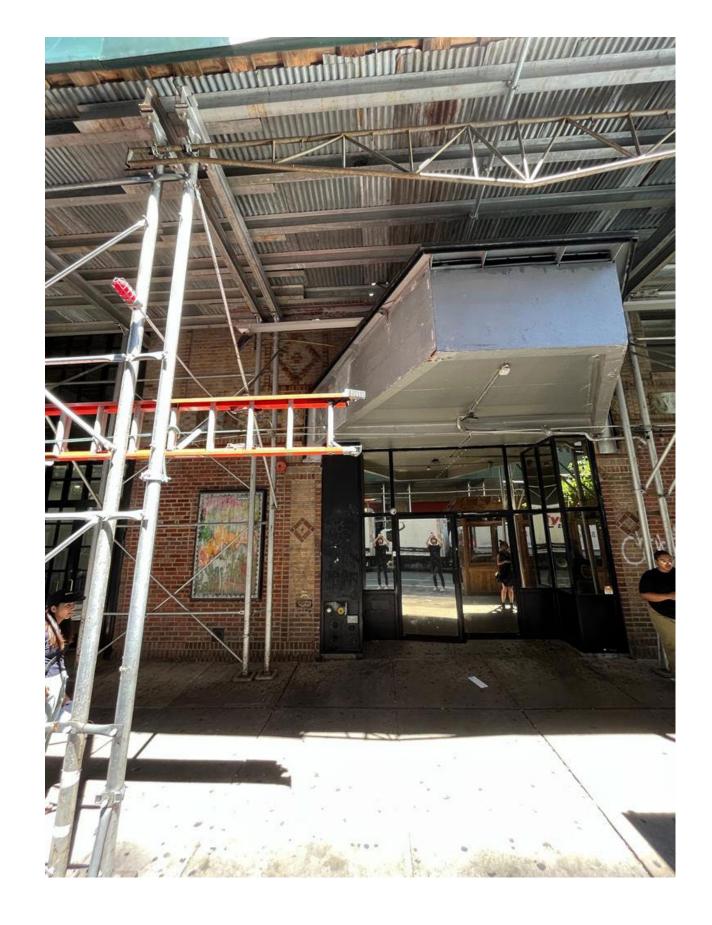


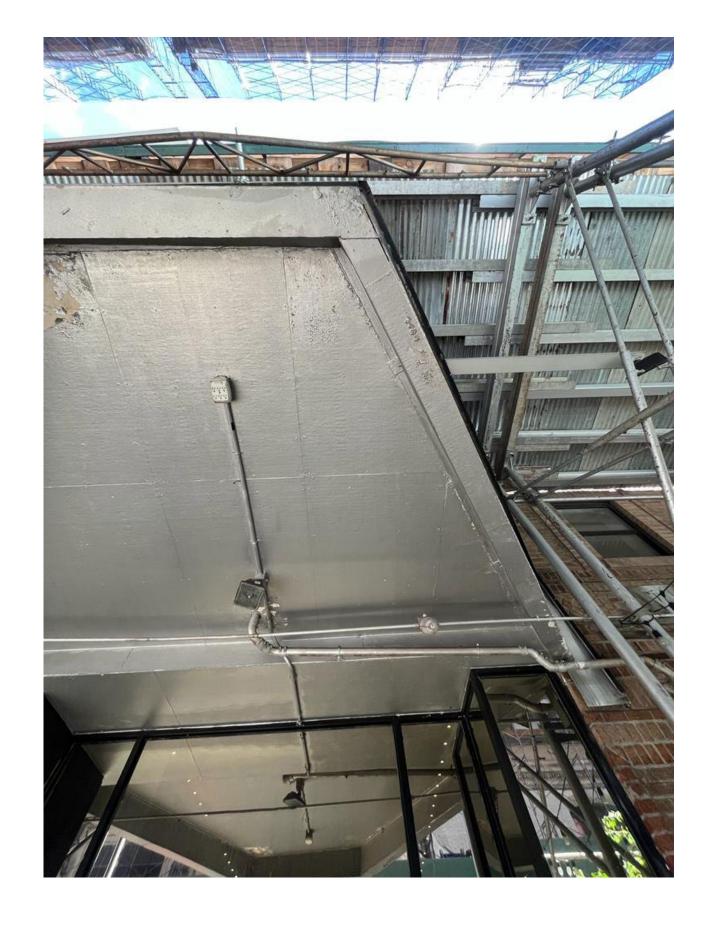
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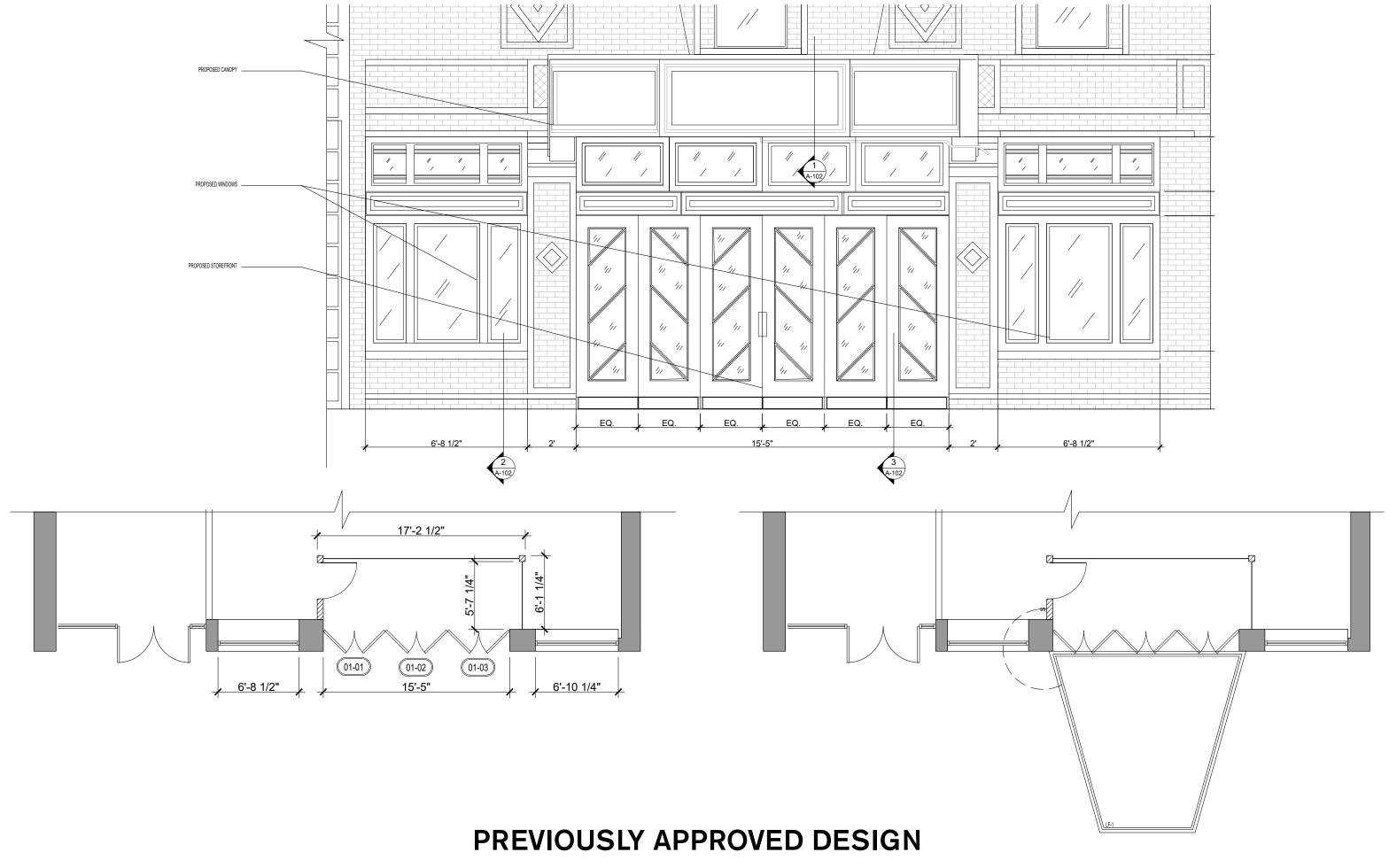


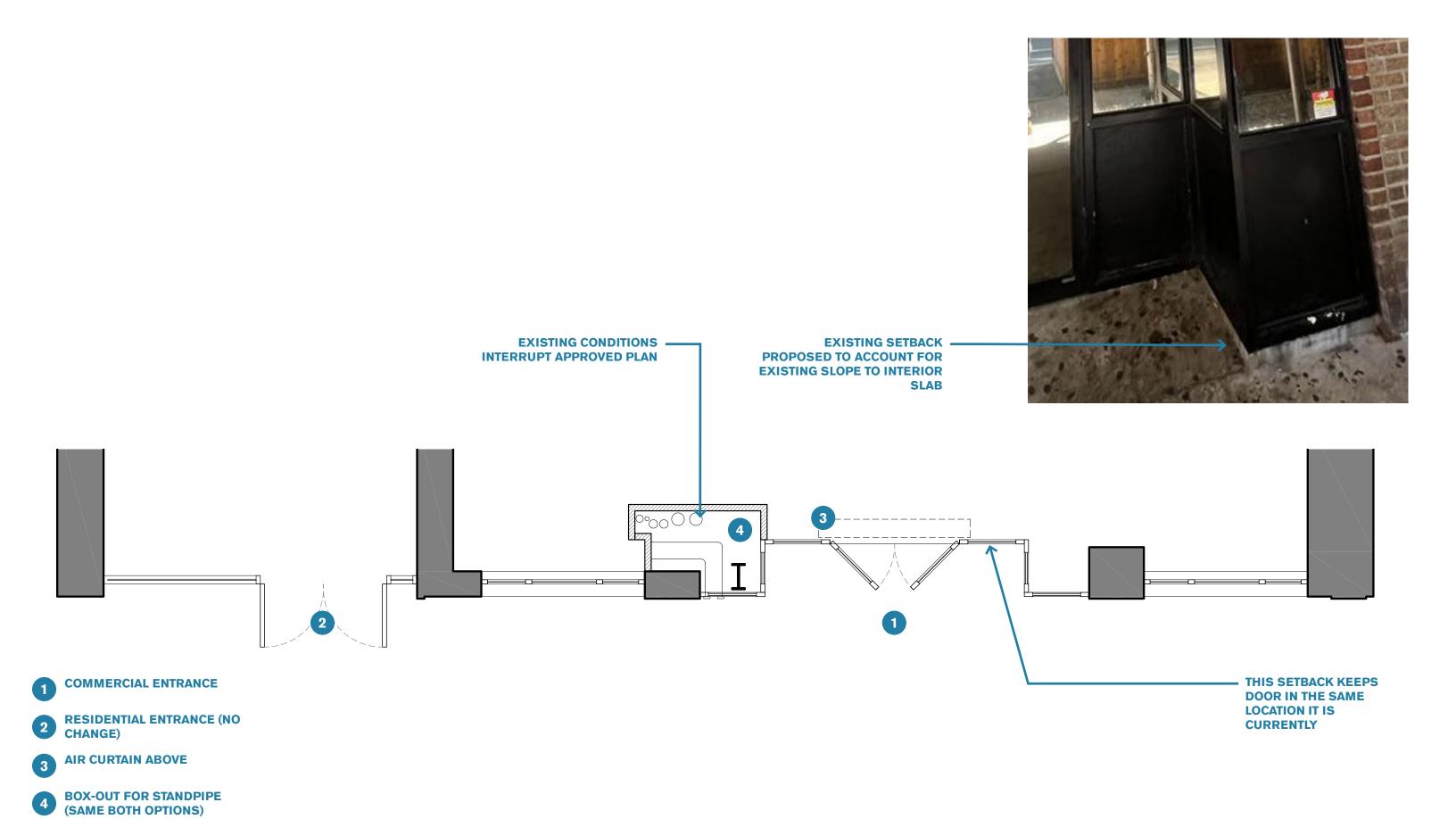


EXISTING CONDITIONS



PREVIOUSLY APPROVED DESIGN





PLAN OPTIONS



PROPOSED FACADE AND MARQUEE DESIGN

FACADE RESTORATION

159 BLEECKER STREET NEW YORK, NY 10012

100% DESIGN DEVELOPMENT SET

Sheet List Table		
Sheet Number	Sheet Title	
A000.00	COVER SHEET	
A001.00	GENERAL NOTES	
A100.00	DEMOLITION PLAN + FACADE REMOVAL	
A101.00	CONSTRUCTION PLAN + PROPOSED FACADE OPTION 1	
A102.00	EXISTING CONDITION + POSSIBLE PROBE LOCATION	
A200.00	WALL SECTION DETAILS	
A201.00	MARQUEE DETAILS	
A300.00	HARDWARE + FINISH + LIGHTING SCHEDULE	



NEW YORK CITY BUILDING DEPARTMENT NOTES

THESE NOTES ARE PART OF THE PLANS AND SPECIFICATIONS AND ARE TO BE COMPLIED WITH IN ALL RESPECTS, MORE RESTRICTIVE NOTES MENTIONED ELSEWHERE ARE TO TAKE PRECEDENCE OVER THE FOLLOWING:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE NEW YORK CITY BUILDING CODE.

2. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND FACILITIES.

3. ALL MATERIALS, ASSEMBLIES, FORMS, AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE NYC BUILDING CODE.

4. AT LEAST 24 HOUR WRITTEN NOTICE SHALL BE GIVEN TO THE COMMISSIONER BEFORE COMMENCEMENT OF WORK.

5. A COPY OF LATEST SET OF CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE ARCHITECT.

6. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

7. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND ARCHITECT'S OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

8. ALL CONSTRUCTION, DIMENSIONS AND DETAILS SHALL CONCUR WITH AND BE DETERMINED FROM THESE DRAWINGS ONLY.

9. ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICABLE, AND TO CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES (A.C.I./A.I.S.C., ETC.) WHERE APPLICABLE.

10. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND OFF-ALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.

11. CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, RULES AND REGULATIONS PERTAINING TO LABOR AND MATERIALS, ALL NOTES HEREIN MENTIONED WITH THOSE ON THE VARIOUS DRAWINGS, SHALL APPLY TO ALL DRAWINGS AND FORM PART OF THE CONTRACT.

12. EACH CONTRACTOR WILL BE HELD STRICTLY RESPONSIBLE FOR HIS WORK, AND DISCREPANCIES IN THE PLANS OR DETAILS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT.

13. POSTED OCCUPANCY AND USED, ALL BUILDINGS SHALL BE POSTED WITH A SIGN IN A FORM PRESCRIBED BY THE DEPARTMENT PERMANENTLY AFFIXED, PLACED IN A CONSPICUOUS LOCATION IN PUBLIC HALL OR CORRIDOR, STATING LIVE LOADS AND OCCUPANT LOADS IN THE BUILDING AND ALL PARTS THEREOF.

SPE	ECIAL INSPECTION	DNS
SPECIAL INSPECTIONS	CODE/SECTION	REPORTS REQ/D
ENERGY CODE COMPLIANCE INSPECTION	BC.110.3.5	TR-8
DIRECTIVE 14	BC.110.5	-



PLOT PLAN SCALE: NOT TO SCALE GENERAL REMOVAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING MECHANICAL, ELECTRICAL, AND PLUMBING

SYSTEMS IN WORKING ORDER THROUGHOUT THE DURATION OF

1. THE CONTRACTOR SHALL PERFORM ALL OPERATIONS OF REMOVAL INDICATED ON THE DRAWINGS AND

AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY, NEATLY AND IN A

SYSTEMATIC MANNER. 2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE

CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DAMAGE AND SHALL MAKE ADDITIONAL REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.

3. THE CONTRACTOR SHALL FILE ANY NECESSARY CERTIFICATES OF INSURANCE WITH THE LOCAL DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS

AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK

HEREIN DESCRIBED 4. ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PROTECTED

DURING CONSTRUCTION.

GENERAL CONSTRUCTION NOTES

1. EACH FLOOR IN WHICH CONSTRUCTION IS UNDERTAKEN MUST REMAIN IN SAFE CONDITIONS WITH

REGARD TO FIRE SAFETY FOR PERSONNEL WORKING ON THE FLOOR. ALL FIRE STAIRS, ALARMS,

SPEAKERS, ETC., MUST REMAIN ACCESSIBLE AND OPERABLE AT ALL TIMES.

2. ALL DIMENSIONS GIVEN ARE FROM FACE OF FINISH UNLESS OTHERWISE NOTED. 3. FLOOR LOADING OF ALL EQUIPMENT, FURNITURE, TENANT

CONSTRUCTION, ETC. SHALL NOT EXCEED THE ALLOWABLE STRUCTURAL CAPACITY OF THE FLOOR (150 PSF

4. CONTRACTORS CARTS, EQUIPMENT BOXES, ETC. SHALL BE EQUIPPED WITH RUBBER WHEELS.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE CONSTRUCTION AREA UNTIL COMPLETION OF THE PROJECT.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING MECHANICAL, ELECTRICAL, AND PLUMBING

SYSTEMS IN WORKING ORDER THROUGHOUT THE DURATION OF

7. NO ELECTRICAL JACKHAMMERS OR SIMILAR IMPACT, PERCUSSION DEVICES TO BE USED.

8. GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR DEVIEW & ADDDOVAL OF THE FOLLOWING.

PROPER	RTY DATA
BUILDING NO:	159
STREET:	BLEECKER STREET
BOROUGH:	MANHATTAN
BLOCK:	526
LOT:	59
LANDMAR	K STATUS
LANDMARK STATUS	L - LANDMARK
ZONING	NOTES
ZONING MAP	12c
ZONING DISTRICT	R7-2
COMMERCIAL OVERLAY	C1-5
SPECIAL DISTRICT	MID
BUILDING DEPA	RTMENT NOTES
YEAR BUILT	1900
OCCUPANCY CLASSIFICATION	J2 (1968 CODE)
CONSTRUCTION CLASS	1-C (1968 CODE)
BUILDING HEIGHT	98'
BUILDING STORIES	7 STORIES
ALTERATION TYPE II FILING	
NO CHANGE IN USE, OCCUPANO	CY, OR EGRESS
THIS BUILDING IS NOT IN A FLO	•

159 BLEECKER **FACADE**

PROJECT NAME AND ADDRESS: NORTH SIX OFFICES 159 BLEECKER GROUND FLOOR

NEW YORK, NY

WOLFGANG & HITE

HITE STUDIO ARCHITECTURE PC 123 BOWERY, 4TH FLOOR NEW YORK, NY 10002 CONTACT GRETA HANSEN TEL 917 262 0976 EMAIL GRETA@WOLFGANGANDHITE.COM

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BY HITE STUDIO ARCHITECTURE P.C. IS PROHIBITED

PURPOSES ONLY AND ARE TO BE VERIFIED IN FIELD BY CONTRACTOR OR CLIENT. HITE STUDIO ARCHITECTURE PC ASSUMES NO RESPONSIBILITY FOR DIMENSION ACCURACY WITH RESPECT TO ACTUAL FIELD OR

ISSUED/REVISED

No. Date Description 01 08/26/2022 PROGRESS SET 02 10/11/2022 100% DD SET 03 12/08/2022 REVIEW SET

DOB APPROVAL:

JOB# **22007**

12/08/2022 DATE: SCALE: AS NOTED DRAWN BY: CHECKED BY:

COVER SHEET

A000.00



TITLE:

- GENERAL NOTES
- 1.1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE QUALITY, COMPLETENESS, AND TIMELY DELIVERY OF PROJECT DESCRIBED IN THE CONSTRUCTION DOCUMENTS. 2.12. WHERE A PARTITION—TYPE TAG REFERS TO AN EXISTING WALL, CONTRACTOR TO UNLESS OTEHERWISE NOTED, CONTRACTOR SHALL FURNISHED, INSTALL, AND CONNECT ITEMS.
- 1.2. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, LOCAL AND MUNICIPAL BUILDING CODES, AS WELL AS ANY AND ALL REGULATORY AGENCIES, INCLUDING, BUT NOT LIMITED TO, OSHA, ETC.
- 1.3. CONTRACTOR SHALL NOTIFY WOLFGANG & HITE OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS TO OBTAIN CLARIFICATION BEFORE SUBMITTING A PROPOSAL OR COMMENCING ANY WORK.
- 1.4. DRAWINGS ARE NOT TO BE SCALED UNLESS PERMITTED BY WOLFGANG & HITE. DIMENSIONS SHALL GOVERN.
- 1.5. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS, DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION, AND AS ANTICIPATED OR INFERRED PRIOR TO PRICING OR BIDDING. CONTRACTOR SHALL NOTIFY OWNER AND WOLFGANG & HITE OF ANY DISCREPANCIES OR OMISSIONS, WHICH WOULD IMPEDE EXECUTION OF THE WORK PER THE DESIGN DOCUMENTS, PRIOR TO THE START OF ANY WORK.
- 1.6. SUBMISSION OF A PROPOSAL SHALL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE AND LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIAL, WHICH COULD HAVE BEEN FORESEEN, WILL NOT BE RECOGNIZED.
- 1.7. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK WITH OTHER CONTRACTOR(S) INCLUDING OWNER'S CONTRACTOR(S) AND SPECIAL INSPECTORS AND, IF APPLICABLE, LANDLORD'S CONTRACTOR(S)
- 1.8. CONTRACTOR MUST FAMILIARIZE THEMSELVES AND COMPLY WITH BUILDING MANAGEMENT'S RULES GOVERNING WORK ON PREMISES.
- 1.9. CONTRACTOR SHALL PROTECT ALL PUBLIC AREAS SUCH AS ELEVATOR LOBBIES, CORRIDORS, TOILETS AND SERVICE HALLS TO THE SATISFACTION OF THE BUILDING MANAGEMENT. EQUIPMENT OF OTHERS AND ADJACENT PROPERTIES SHALL ALSO BE PROTECTED AND BE RESTORED IF DAMAGED IN THE COURSE OF CONSTRUCTION, TO THE SATISFACTION OF BUILDING MANAGEMENT.
- 1.10. CONTRACTOR SHALL MAINTAIN CLEARANCE AND ACCESSIBILITY OF ALL FIRE EXITS AT ALL TIMES. EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS SHALL BE CONSPICUOUSLY POSTED. CONTRACTOR MUST PROVIDE FIRE EXTINGUISHERS, IN SUFFICIENT QUANTITY, ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- 1.11. CONTRACTOR IS RESPONSIBLE FOR COST AND COORDINATION OF DELIVERY INCLUDING CHECKING SIZE AND LOADING CAPACITY OF ELEVATORS, WINDOWS, DOORWAYS, CORRIDORS.
- 1.12. THE CONTRACTOR SHALL BEAR COST FOR ALL TRANSPORTATION AND STORAGE FOR ALL ITS MATERIAL OR EQUIPMENT TO THE POINT OF USE, AND SHALL BE RESPONSIBLE FOR ALL UNLOADING, CHECKING AND STORING OF SAME.
- 1.13. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SECURITY, CLEANLINESS AND SAFETY OF JOB SITE AND STAGING AREAS.
- 1.14. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS, CRATING AND SELVAGES AS GENERATED BY THE CONSTRUCTION, DEMOLITION AND/OR THE DELIVERY AND INSTALLATION OF ANY PRODUCTS, MATERIALS OR EQUIPMENT BY CONTRACTOR, SUBCONTRACTORS, OR OWNER'S OWN CONTRACTORS.
- 1.15. CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR FLOORS, WALLS ETC., AND ANY EXISTING ITEMS TO REMAIN UNTIL TURNED OVER THE TENANT. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE, INCLUDING DAMAGE MADE BY SUBCONTRACTORS, INCURRED TO WORK OR EXISTING ITEMS.
- 1.16. CONTRACTOR SHALL BEAR COST CAUSED BY DEFECTIVE WORK, OR AS A RESULT OF INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING WHETHER CAUSED BY CONTRACTOR OR SUBCONTRACTOR.
- 1.17. PRIOR TO BEGINNING ANY WORK, CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE SHOWING ALL WORK. THIS SCHEDULE SHALL INDICATE ORDERING LEAD TIME, LENGTH OF TIME FOR EACH PHASE, SPECIAL INSPECTION DATES AND PROJECTED COMPLETION DATE.
- 1.18. GENERAL CONTRACTOR SHALL FURNISH FIELD PROGRESS REPORTS TO WOLFGANG & HITE FOR ALL PHASES OF CONSTRUCTION.
- 1.19. THE OWNER/TENANT, WITHOUT INVALIDATING THE CONTRACT, MAY ORDER EXTRA WORK OR MAY MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM WORK, THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT EXCEPT THAT ANY CLAIM FOR EXTENSIONS OF TIME CAUSED THEREBY SHALL BE ADJUSTED 1. AT THE TIME OF ORDERING SUCH CHANGE.
- 1.20. THE GENERAL CONTRACTOR SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK. NO WORK IS TO PROCEED UNTIL AN AUTHORIZATION TO PROCEED, SIGNED BY THE OWNER'S REP. IS RETURNED TO CONTRACTOR.
- 1.21. CONTRACTOR SHALL SHALL PERFORM ALL THE CONTROLLED INSPECTIONS REQUIRED 1.2. CONTRACTOR SHALL REVIEW AND STAMP SUBCONTRACTORS' SHOP DRAWINGS PRIOR BY THE DEPARTMENT OF BUILDINGS AND PROVIDE ALL THE REQUIRED DOCUMENTS AND CERTIFICATES OF INSPECTION PERTAINING THERETO.
- 1.22. FILING FOR PERMITS AND RELATED FEES SHALL BE THE RESPONSIBILITY OF THE OWNER. CONTRACTOR SHALL POST PERMIT PER REQUIREMENTS OF JURISDICTION.
- 2.1. THE CONTRACTOR SHALL PROVIDE ALL CUTTING, FITTING AND PATCHING WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY AND FIT TO RECEIVE WORK OF OTHER CONTRACTORS, AS INDICATED OR REASONABLY IMPLIED
- BY THE DRAWINGS AND NOTES. 2.2. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY ARE INDICATED ON THE DRAWINGS. CONTRACTOR SHALL PROVIDE ALL NECESSARY FASTENERS, SUPPORTS, SHIMMING, FLASH PATCHING, ETC. FOR THE PROPER
- INSTALLATION OF SUCH ITEMS. 2.3. ALL GYPSUM BOARD PARTITIONS SHALL BE ERECTED AS SHOWN ON DRAWINGS AND THE SPECIFICATIONS. ALL GYPSUM BOARD PARTITION JOINTS SHALL BE STAGGERED SO THAT PANEL EDGES FALL ON THE ALTERNATE STUDS. ALL JOINTS SHALL BE
- TAPED, SPACKLED AND SANDED SMOOTH TO RECEIVE FINISH TREATMENTS. 2.4. CONTRACTOR SHALL PROVIDE ALL SUPPORT BLOCKING FOR FIXED ARCHITECTURAL AND FF&E ITEMS WHETHER EXPLICITLY CALLED OUT ON DRAWINGS OR NOT.
- 2.5. CORNER BEADS SHALL BE USED AT ALL EXPOSED GYPSUM BOARD CORNERS AND ENDS.
- 2.6. ALL WALLS ABUTTING MULLIONS SHALL CONFORM TO BUILDING REQUIREMENTS. 2.7. ALL PARTITIONS ARE DIMENSIONED FINISH TO FINISH UNLESS OTHERWISE NOTED.
- 2.8. CONTRACTOR SHALL PROVIDE ALL TEMPORARY ELECTRICAL CONNECTIONS, LIGHTING AND DISTRIBUTION AS REQUIRED FOR THE EXECUTION OF THE WORK AND REQUIRED
- 2.9. CONTRACTOR SHALL THOROUGHLY VACUUM CLEAN ALL CARPETED AREAS, CLEAN ALL FLOORING, MILLWORK, LIGHT FIXTURES, GLASS, ETC. AND UNCOVER AND VACUUM OUT ALL CONVECTOR UNITS, REMOVE ADHESIVE AND SURFACE STAINS AFTER THE WORK IS COMPLETED AND MAINTAIN CLEAN CONDITIONS THROUGH THE TENANT'S MOVE-IN.
- 2.10.ALL EXPOSED EDGES AND SURFACES SHALL BE FINISHED SMOOTH AND FREE FROM ALL MARKS, BLEMISHES OR DEFACEMENTS CAUSED BY WORKMANSHIP, MANUFACTURE OR TRANSPORTATION.
- 2.11.2.12 CONTRACTOR SHALL PROVIDE CONCEALED EXPANSION JOINTS AS REQUIRED

- AND PER MFR'S SPECS. JOINT LOCATIONS TO BE APPROVED BY WOLFGANG & HITE.
- CONFIRM WALL TYPE OR UPGRADE EXISTING WALL TO MATCH FIRE RATING INDICATED BY WALL TAG.
- 2.13. ALL EXISTING & NEW STRUCTURAL STEEL COLUMNS AND BEAMS TO RECEIVE APPROPRIATE RATED SPRAYED ON FIREPROOFING W/ RATED GWB. ENCLOSURES, UNLESS OTHERWISE NOTED. ALL EXISTING FIREPROOFING DAMAGED OR OTHERWISE COMPROMISED DUE TO DEMOLITION OR CONSTRUCTION TO RECEIVE NEW FIREPROOFING OF EQUAL OR GREATER VALUE TO THAT WHICH WAS DAMAGED OR DESTROYED.
- 2.14.PROVIDE SOFT CONTROL JOINTS EVERY 20' IN ANY DIRECTION AT ALL TILE SURFACES (WALL, FLOOR, CEILING). CONTROL JOINT COLOR TO MATCH ADJACENT GROUT.
- 2.15. CONTRACTOR SHALL PROVIDE QUALIFIED SUPERINTENDENT(S) ON THE PREMISES AT ALL TIMES WHEN THE WORK IS IN PROGRESS.
- 2.16.FOR ORNAMENTAL METAL, CONTRACTOR TO GRIND AND POLISH SMOOTH ALL WELDED AND ESPOSED SURFACES AND EDGES.
- 3.1. ALL OUTLETS ON COLUMNS SHALL BE CENTERED ON THE FACE OF SHOWN, UNLESS OTHERWISE INDICATED.
- 3.2. ALL ELECTRIC, TELEPHONE/COMMUNICATION OUTLETS ARE SHOWN FOR LOCATION ONLY. REFER TO THE ENGINEERING DRAWINGS FOR CIRCUITING AND OTHER REQUIREMENTS. LOCATIONS OF ALL TELEPHONE, ELECTRICAL AND SPECIAL OUTLETS NOT SHOWN ARE TO BE APPROVED BY THE WOLFGANG & HITE PRIOR TO INSTALLATION.
- 3.3. SIGNMAKER TO PROVIDE INSTALLATION AND CONNECTION OF ELECTRICAL COMPONENTS PROVIDED BY OTHERS.
- 3.4. WHERE MORE THAN ONE SWITCH OCCURS IN THE SAME LOCATION, THEY SHALL BE INSTALLED IN A GANG-TYPE BOX UNDER ONE COVER PLATE.
- 3.5. WHERE OUTLETS, JUNCTION BOXES, ETC. ARE LOCATED BEHIND CABINETS, THE SIGNMAKER SHALL PROVIDE ACCESS TO THESE BOXES IF DESIGN APPEARANCE, STRUCTURE OR FUNCTION OF CABINET IS NOT IMPAIRED. WHEREVER A QUESTIONABLE CONDITION ARISES, THE WOLFGANG & HITE AND INTERIOR DESIGNER SHALL BE NOTIFIED.
- 3.6. MOUNTING HEIGHTS (UNLESS OTHERWISE NOTED): CONVENIENCE OUTLETS: 18" AFF; WALL SWITCHES: 48" AFF; OUTLETS AT COUNTERS: 8" ABOVE COUNTER HEIGHT (MAX. 48" A.F.F.)
- 3.7. ALL ELECTRICAL AND TELEPHONE WIRING CONDUIT SHALL BE CONCEALED IN PARTITIONS, CEILINGS AND/OR RAISED FLOORS.
- 3.8. SIGNMAKER TO PROVIDE FIRE ALARM SIGNAL SYSTEM INCLUDING CONNECTIONS, EQUIPMENT, SYSTEM REPROGRAMMING (BY VENDOR)
- 3.9. THE SIGNMAKER AND HIS SUBSIGNMAKERS SHALL CHECK ALL CEILING HEIGHTS AND CEILING PLENUM CONDITIONS FOR CLEARANCE OF DUCT WORK, LIGHTING AND OTHER OBSTRUCTION TO ASSURE THE FINISHED CEILING HEIGHT SHOWN ON ARCHITECTURAL DRAWINGS. ANY DISCREPANCY WILL BE BROUGHT TO THE ATTENTION
- OF THE WOLFGANG & HITE AND INTERIOR DESIGNER IMMEDIATELY. 3.10. ALL RECESSED FIXTURES SHALL BE INSTALLED AS SPECIFIED BY THE
- MANUFACTURER. 3.11. THE SIGNMAKER SHALL COORDINATE ELECTRICAL WORK OR LIGHTING INSTALLATION WITH FACADE, AS REQUIRED.
- 3.12.SIGNMAKER SHALL FURNISH AND INSTALL ALL NEW ARCHITECTURAL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED. LAMP TYPES SHALL BE AS RECOMMENDED BY THE MANUFACTURER, AND AS SPECIFIED ON DRAWINGS.
- 3.13.SIGNMAKER SHALL INSTALL AND LAMP ALL OWNER-SUPPLIED DECORATIVE FIXTURES. 3.14.SIGNMAKER SHALL SUBMIT CUT SHEETS OR MOCK-UPS OF DECORATIVE SWITCH PLATE AND OUTLET COVERS. OUTLET COVERS AND SWITCHPLATES TO MATCH
- ADJACENT WALL COLOR UNLESS OTHERWISE INDICATED 3.15. SIGNMAKER TO PROVIDE ADEQUATE VENTILATION AND ACCESS TO FIXTURES AND APPLIANCES.
- 3.16.SIGNMAKER TO COORDINATE INSTALLATION OF OWNER'S SECURITY, TELEPHONE, DATA AND CABLE TV LINES.

SHOP DRAWINGS/SUBMITTALS

- 1.1. CONTRACTOR SHALL SUBMIT (3) FABRICATION SHOP DRAWINGS OR SAMPLES OR CUT SHEETS TO WOLFGANG & HITE FOR ALL FINISH, PRODUCT, AND ASSEMBLIES WITHIN THE SCOPE OF WORK. NO FINISH, PRODUCT OR ASSEMBLY IS AUTHORIZED FOR FABRICATION PRIOR TO APPROVAL BY OWNER AND WOLFGANG & HITE.
- TO SUBMISSION TO WOLFGANG & HITE AND PRIOR TO WORK BEING PERFORMED. 1.3. BY SUBMITTING SHOP DRAWINGS AND PRODUCT DATA, CONTRACTOR REPRESENTS THAT HE/SHE HAS VERIFIED FIELD CONDITIONS, DIMENSIONS, AND RELATED CONSTRUCTION AND HAS COORDINATED THE SUBMISSION CONSTRUCTION WITH THE
- REQUIREMENTS OF ALL OTHER RELATED WORK IN THE CONSTRUCTION DOCUMENTS. 1.4. WOLFGANG & HITE'S APPROVALS SHALL BE FOR DESIGN APPEARANCE ONLY, CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECT QUANTITIES, DIMENSIONS, COMPLIANCE WITH CONTRACT DOCUMENTS, MEANS AND METHODS OF CONSTRUCTION AND FOR COORDINATION WITH OTHER TRADES.
- 1.5. THE TERMS "EQUAL" OR "APPROVED EQUAL" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE OF EQUAL QUALITY, FINISH AND MATERIAL. CONTRACTOR SHALL SUBMIT PROPOSED SUBSTITUTIONS TO WOLFGANG & HITE FOR APPROVAL.
- 1.6. CONTRACTOR MAY PROPOSE SUBSTITUTES TO OWNER AND WOLFGANG & HITE ON AN INDIVIDUAL BASIS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN AUTHORIZATION OF OWNER AND WOLFGANG & HITE. CONTRACTOR SHALL SUBMIT SAMPLES AND CUTS FOR WRITTEN APPROVAL BY THE ARCHITECT PRIOR TO THE PROCUREMENT OF ANY SUCH MATERIAL.

PAINTING NOTES

- 2.1. REFER TO FINISH SCHEDULE AND SPECIFICATIONS FOR DETAILED INFORMATION. 2.2. PAINT COLORS SHALL BE SPECIFIED BY THE ARCHITECT AND THE CONTRACTOR SHALL SUBMIT SAMPLES (12" X 12") FOR APPROVAL BY THE ARCHITECT AND
- INTERIOR DESIGNER. 2.3. ALL WALLS AND CEILINGS SHALL BE PROPERLY PREPARED, SPACKLED, SANDED, ETC., TO PROVIDE A PERFECTLY SMOOTH FINISH AND SURFACE TO A LEVEL 5
- FINISH. 2.4. ACCESS PANELS AND DOORS SET INTO WALLS AND COLUMNS SHALL BE PAINTED
- SAME COLOR AS THE WALLS THEY ARE PLACED ONTO, WITH A SEMI-GLOSS FINISH. 2.5. ALL DOOR FRAMES TO BE PAINTED AS PER THE FINISH SCHEDULE. 2.6. ALL HARDWARE AND DEVICE COVERS SHALL BE REMOVED PRIOR TO PAINTING AND
- SHALL BE PAINTED SAME COLOR AS THE WALLS THEY ARE PLACED ONTO, WITH A SEMI-GLOSS PAINT.
- 2.7. WHERE EQUIPMENT IS SEEN THROUGH MECH GRILLES, PAINT EQUIPMENT FLAT BLACK.

- 3.1. ALL DOORS AND FRAMES SHALL BE FABRICATED AS SPECIFIED ON THE DOOR SCHEDULE AND AS SHOWN ON THE DRAWINGS, OR CALLED FOR ON THE CONSTRUCTION DETAILS, EXCEPT AS NOTED.
- 3.2. ALL LOCK SETS SHALL BE CODED AND/OR KEYED IN ACCORDANCE WITH THE BUILDING REQUIREMENTS. CODES AND/OR KEYS ARE TO BE DELIVERED TO THE OWNER PROPERLY TESTED AND TAGGED. PROVIDE (3) MASTER KEYS AND (3) PASS KEYS FOR EACH LOCK.
- 3.3. CONTRACTOR SHALL SUBMIT DOOR AND HARDWARE SCHEDULES TO ARCHITECT FOR APPROVAL WHICH MUST BE OBTAINED PRIOR TO FABRICATION.
- 3.4. DOORS AND HARDWARE SHALL CONFORM TO THE BUILDING DEPATMENT STANDARDS AND/OR GOVERNING AGENCIES HAVING JURISDICTION FOR RATED DOORS, IF REQUIRED.
- 3.5. DOOR STRIKES OPENINGS TO BE CONTINUOUS AND FINISHED, I.E., NOT EXPOSED HM OR WOOD.

HVAC NOTES (ALSO REFER TO HVAC DWGS AND SPECS)

- 4.1. WHERE FIRE RATED WALLS INTERSECT CONVECTOR ENCLOSURES, INSTALL WITHIN ENCLOSURES A RATED FIRE STOP EQUAL TO THE RATING OF THE WALL. ELECTRICAL & LIGHTING NOTES (ALSO REFER TO EE, L, AND LS DWGS AND SPECS) 4.2. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD SUPERVISION OF ALL HVAC WORK DURING INSTALLATION AND SHALL INSPECT ALL SYSTEMS FOR PROPER OPERATION
 - AT COMPLETION OF THE JOB. 4.3. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF DUCT WORK, REGISTERS, FIXTURES & FITTINGS INCLUDING ACCESS PANELS, IF REQUIRED, TO WOLFGANG & HITE FOR APPROVAL PRIOR TO PROCEEDING WITH FABRICATION, INSTALLATION OR RELOCATION.
 - 4.4. CONTRACTOR SHALL VERIFY ALL CEILING HEIGHTS AND CEILING PLENUM CONDITIONS FOR CLEARANCE OF DUCT WORK, LIGHTING AND OTHER OBSTRUCTION TO ASSURE THE FINISHED CEILING HEIGHT SHOWN ON ARCHITECTURAL DRAWINGS. ANY DISCREPANCY WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY
 - 4.5. THE SPACE AROUND PIPES, DUCTS, ETC., PENETRATING FIRE RATED WALLS, SHALL NOT EXCEED "AND SHALL BE PACKED SOLID WITH MINERAL WOOL OR EQUAL AND BE CLOSED OFF BY CLOSE FITTING ESCUTCHEONS AT BOTH SIDES OF THIS CONSTRUCTION AS REQUIRED BY LOCAL BUILDING CODES.
 - DEMOLITION NOTES (ALSO REFER TO MEP, STRUCTURAL AND LIFE SAFETY DWGS AND SPECS)
 - 5.1. CONTRACTOR TO REMOVE ALL INDICATED PARTITONS AND MILLWORK WITHIN THE DEMISE INCLUDING GWB, FRAMING, CONDUIT, ETC. CONTRACTOR TO REMOVE ALL INDICATED AND ABANDONED PLUMBING, MECH AND ELECTRICAL EQUIPMENT.
 - 5.2. IF ASBESTOS OR LEAD-CONTAINING MATERIAL IS PRESENT, OR SUSPECTED TO BE PRESENT, THE CONTRACTOR SHALL INFORM THE OWNER'S REPRESENTATIVES IN WRITING, SO THAT PROPER REMOVAL CAN BE CARRIED OUT BY QUALIFIED PERSONNEL HIRED BY THE OWNER. THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION WORK UNTIL SUCH REMOVAL WORK HAS BEEN COMPLETED.
 - 5.3. BEFORE STARTING WORK, THE CONTRACTOR SHALL CALL TO THE ATTENTION OF THE OWNER ANY DAMAGE, CRACKS OR OTHER IMPERFECTIONS IN THE WORK ADJACENT
 - 5.4. DEMOLISHED MATERIALS, UNLESS OTHERWISE NOTED, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY OFF THE SITE ON A REGULAR BASIS.
 - 5.5. THE CONTRACTOR SHALL PATCH, FILL AND REPAIR ALL SURFACES DISTURBED, CUT, DAMAGED, IN NEED OF REPAIR, OR MADE IMPERFECT BY ALTERATIONS OR REMOVAL WORK AND AS REQUIRED TO PREPARE SURFACES FOR NEW MATERIALS AND ARRANGEMENTS.
 - 5.6. PRIOR TO THE DEMOLITION OF ITEMS HAVING UTILITY CONNECTIONS (WATER, GAS ELECTRICITY, STEAM, ETC.), THE CONTRACTOR SHALL ARRANGE WITH THE OWNER OR LANDLORD TO LOCATE SHUT-OFF VALVES, PANEL BOXES, AND OTHER CONTROL ELEMENTS, SO THAT WATER DAMAGE AND OTHER POTENTIALLY INCONVENIENT OR DANGEROUS SITUATIONS ARE AVOIDED.
 - 5.7. CONTRACTOR TO DISCONNECT AND REMOVE ALL EXISTING WIRING, JUNCTION BOXES AND EXPOSED CONDUITS NOT BEING RETAINED OR REVISED. WIRES SHOULD BE TERMINATED AT THE NEAREST RECEPTACLE TO REMAIN.

5.8. CONTRACTOR TO RETURN OWNER'S OR LANDLORD'S FIXTURES INCLUDING

CONSTRUCTION AND EMERGENCY LIGHTING.

ABBREVIA HONS

© ^	At	HW ID	Hot Water Inside Diameter
ACT./AT	Acoustic Ceiling tile	IN.	Inch
A.F.C.	Above Finished	INCL.	Include/Including
A.F.F.	Ceiling Above finished	INFO. INSUL	Information Insulate, Insulating,
۸۱۸	Floor	INT.	Insulation
AIA	American Institute of Architect	JAN.	Interior Janitor
AIEE	American Institute	KD KO	Knock Down
	of Electrical Engineers	KU	Knock Out Kilowatt
AISC	American Institute of Steel	L LAV.	Length
	Construction	LAV. LB	Lavatory Pound
AL, ALUI ALM.	M. Aluminum Alarm	LH LHR	Left Hand Left Hand Reverse
ALIVI. ALT.	Alternate	LIN	Linear
AMP.	Ampere	LT.	Light
APT. ARCH.	Apartment Architect	MANUF. MAT'L	Manufacture Material
ASHRAE		MAX.	Maximum
	of Heating, Refrigeration &	MECH. MED.	Mechanical Medium
	Air Conditioning	MEZZ	Mezzanine
ASME	Engineers American Society	MIN MISC.	Minimum Miscellaneous
7.01112	of Mechanical	MTL	Metal
ASTM	Engineers American Society	N NEC	North National Electrical
ASTIVI	for Testing	NEC	Code
AWG	Materials American Wire	NEMA	National Electrical
	Gauge		Manufacturer's Assoc.
BD.	Board	N.I.C.	Not in Contact
BL. BLK.	Building Lane Block	NO NSF	Number Net Square Feet
BM.	Beam	N.T.S.	Not To Scale
B.O. BOT.	By Others Bottom	OA	Overall
BTU.	British Thermal	OAD OC	Overall Dimension On Center
CAB.	Unit Cabinet	OD O T D	Outside Diameter
CEIL.,	CLG Ceiling	O.T.B. PA	Open to Below Public Address
CER. CFM	Ceramic Cubic Feet Per	PCF	Pounds Per Cubic
CFIVI	Minute	PERM.	Foot Permanent
C.H.	Ceiling Height	PERP.	Perpendicular
CL., L CLKG	Centerline Caulking	PL.,PL. L	Phase _AM Plastic
CLO.	Closet		Laminate
CLR. COL.	Clear Column	PLMB. PLS	Plumbing Plaster
CONC.	Concrete	PLYWD	Plywood
CONST. CONT.	Construction Continuous	PNL	Panel
CORR.	Corridor	POL POS	Polished Positive, Point of
COV'G	Covering		Sale
CPT. CSK.	Carpet Countersink	PSF	Pounds per Square Foot
CTR	Center	PSI	Pounds per
CU FT CU IN	Cubic Feet Cubic Inch	PTN	Square Inch Partition
CU YD	Cubic Yard	PT	Paint
D DB	Depth Decibel	PTG PR	Painting Pair
DBL	Double	QUAL.	Quality
DEPT. DET.	Department Detail	R RCVD.	Radius Received
DTL	Detail	RECP	Receptacle
D.F. DIA.	Drinking Fountain Diameter	REF RH	Refrigerator
DIAG.	Diagonal	RHR	Right Hand Right Hand
DIM., DIN DIV.	MEN Dimension Division	D O	Reverse
DIV. DN	Down	R.O. RQ'D	Rough Opening Required
DR(S)		RM(S)	Room(s)
DRWG.,D' EC	WG Drawing Exposed Concrete	S/S	Stainless Steel
EL.	Elevation	S.C. SECT.	Solid Core Section
ELEV. ELEC.	Elevator Electrical	SEP	Separate Similar
ENAM	Enamel	SIM. SPEC.(S)	
ENGR. EQ.	Engineer Equal	SPKR	Speaker
EQUIP.	Equipment	SPKLR SQ	Sprinkler Square
EWC	Electric Water Cooler	SR	Senior
EXH	Exhaust	STD. STL.	Standard Steel
EX./EXIS EXP	ST. Existing	STRUC.	Structure
EXT.	Exposed Extension	SUSP SUP.	Suspended Superintendent
EXTR	Extruded	TC	Terra Cotta
F.D. FH	Fire Damper Full Height	TEL.	Telephone
FIN.	Finish	TH. THK TYP.	Thick/Thickness Typical
FL., FLR FT.	. Floor Foot	U.L	Underwriters's
FIG.	Figure	U.O.N	Laboratories Unless Otherwise
FPRF. FIX	Fireproof Fixture		Noted
F.P.S.C.	Fireproof Self	VCT	Vinyl Composite Tile
FT. LB.	Closing Foot Pound	VERT.	Vertical
FTG.	Footing	V.I.F. VS.	Verify in Field Versus
GA. GAL.	Gauge Gallon	VOL.	Volume
GALV.	Galvanized	W.	Width
GB GC	Gypsum Board General Contractor	W/ WC	With Water Closet
GL	Glass Contractor	WCV	Wallcovering
GYP HDWRF	Gypsum HW Hardware	WD W/O	Wood Without
HDWRE, H.M.	Hollow Metal	WP	Waterproof
HOR.	Horizontal	WT XSECT	Weight Cross Section
HR H.R.	Hour Handrail	YD	Yard

H.R. Handrail

LEGEND

SYMBOL

DESCRIPTION

SYMBOL	DESCRIPTION
2	
#####	DETAIL SYMBOL
	DETAIL NO. SHEET NO.
	SHEET IVO.
2	ELEVATION SYMBOL
A 2.0	ELEVATION NO. SHEET NO.
	ELEVATION SYMBOL
3 1	ELEVATION NO. SHEET NO.
2 A2.3	3.122
	SECTION SYMBOL
A1.1	SECTION NO.
	SHEET NO.
SYMBOL	DESCRIPTION
9'-0" A.F.F.	ELEVATION ABOVE
₩ A.F.F.	FINISHED FLOOR
(1)	COLUMN GRID NO.
	COLOWIN CIND INC.
ROOM NAME	ROOM NAME/NUMBER
#	SYMBOL
7//////	NEW PARTITION— STUD WALL
4	PARTITION TYPE
	NEW PARTITION— CONCRETE BLOCK WALL
	EXISTING PARTITION
	FLOOR TRANSITION
12-	SYMBOL TRANSITION DETAIL
12-	NUMBER
	AREA NOT IN CONTRACT
C₱-1	FINISH SYMBOL (FLOOR & CEILING)
	FINISH SYMBOL
(WD-01)	(WALL & BASE)
HD-03	FURNITURE TAG / BATHROOM ACCESSORY TAG
<u></u>	REVISION SYMBOL
101	DOOR NUMBER SYMBOL
◆ WP	WORK POINT
H	EXIT SIGN
77)77,	RAISED/LOWERED EDGE
(FE) ■	FIRE EXTINGUISHER
	FIRE EXTINGUISHER AND

DRAWING LEGEND

---- TO BE REMOVED/REPLACED (DEMO PLAN)

SURFACE TO BE DEMO'ED

EXISTING

NEW INTERIOR STUD WALL

159 BLEECKER **FACADE**

PROJECT NAME AND ADDRESS: NORTH SIX OFFICES 159 BLEECKER GROUND FLOOR NEW YORK, NY

WOLFGANG & HITE

HITE STUDIO ARCHITECTURE PC 123 BOWERY, 4TH FLOOR NEW YORK, NY 10002 CONTACT GRETA HANSEN TEL 917 262 0976 EMAIL GRETA@WOLFGANGANDHITE.COM

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DOB APPROVAL

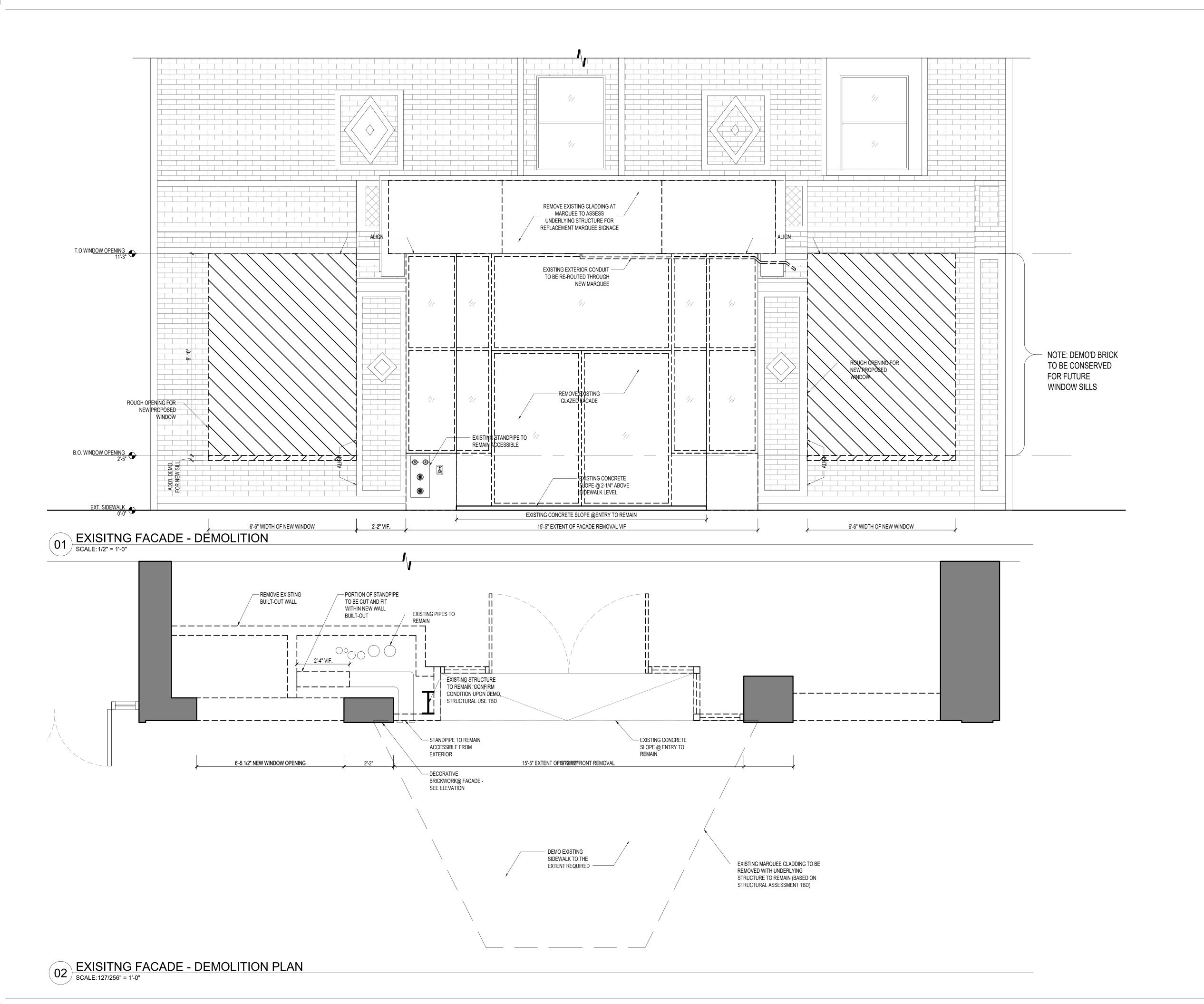
JOB# 22007

12/08/2022 DATE: AS NOTED SCALE: DRAWN BY: CHECKED BY:

GENERAL NOTES

DRAWING No.

TITLE:



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12/08/2022

DEMOLITION PLAN

+ FACADE

A100.00

DATE: SCALE: AS NOTED DRAWN BY:

DRAWING LEGEND

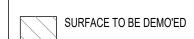
EXISTING

NOTE: PROVIDE BID

FOR CLEANING EXISTING

MASONRY AS NEEDED

NEW INTERIOR STUD WALL ---- TO BE REMOVED/REPLACED (DEMO PLAN)

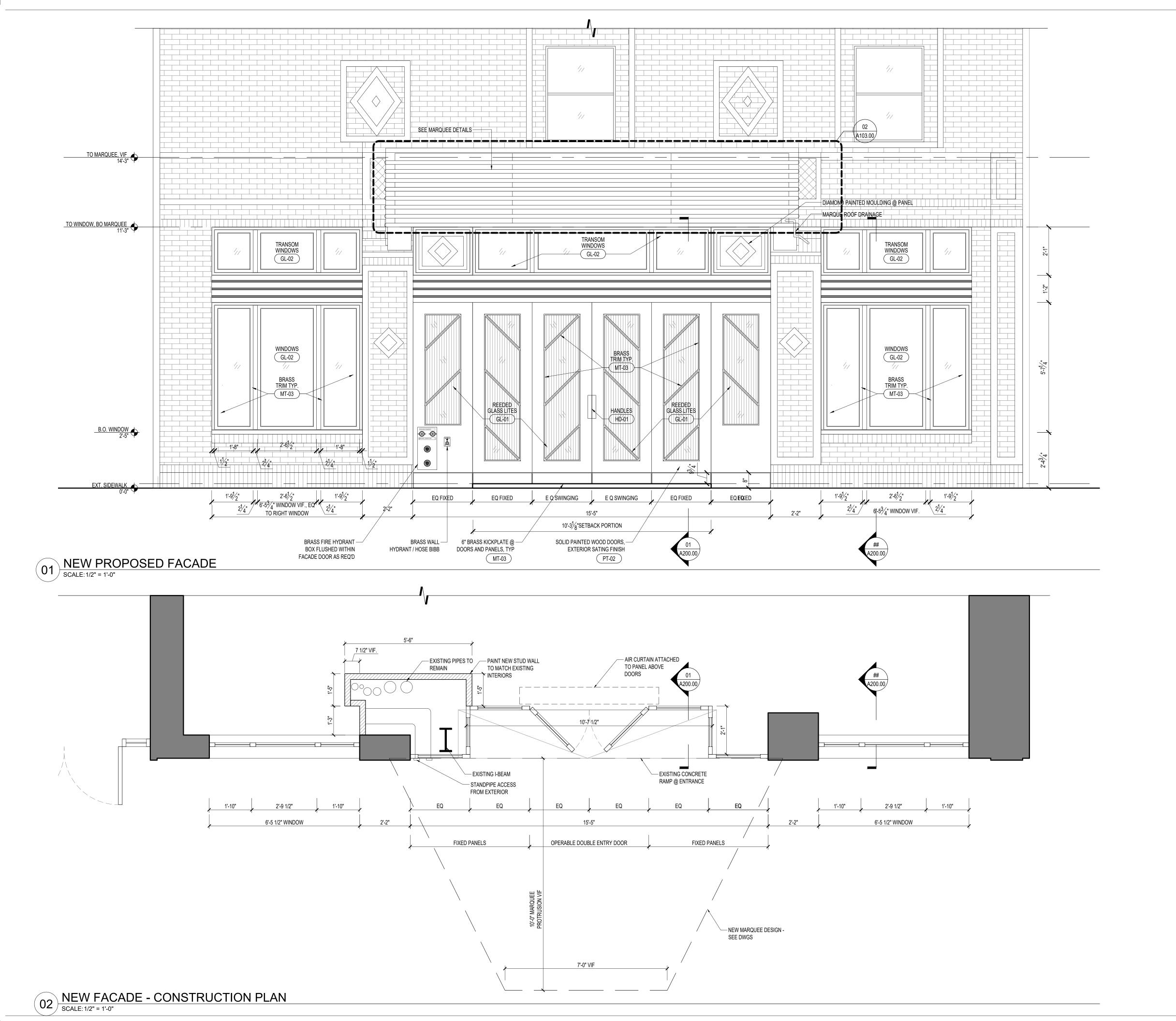




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159 BLEECKER FACADE

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DOB APPROVAL:

JOB# **22007**

DATE: 12/08/2022

SCALE: AS NOTED

DRAWN BY:

CHECKED BY:

CONSTRUCTION
PLAN + PROPOSED
FACADE OPTION 1

A101.00

DRAWING No.

DRAWING LEGEND

---- TO BE REMOVED/REPLACED (DEMO PLAN)

SURFACE TO BE DEMO'ED

EXISTING

NEW INTERIOR STUD WALL



EXISITNG MARQUEE CONDITION

EXISTING DRAINAGE PIPE @ CENTER OF MARQUEE UNDERSIDE TO BE REMOVED

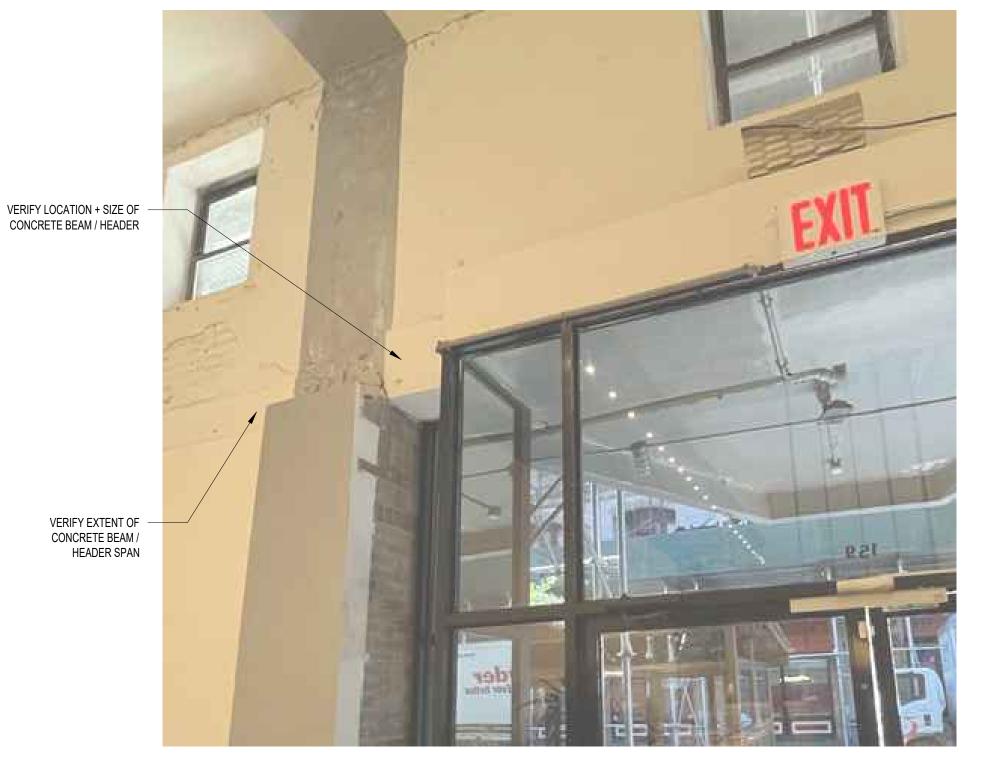
EXISTING SEWAGE LINE CONNECTION TO REMAIN

VERIFY EXTENT OF METAL BRACING —

AND STRUCTURE OF MARQUEE



POSSIBLE PROBE LOCATION @ MARQUEE



POSSIBLE PROBE LOCATION @ INTERIOR

SCALE: N/A

159 BLEECKER FACADE

PROJECT NAME AND ADDRESS: NORTH SIX OFFICES 159 BLEECKER GROUND FLOOR NEW YORK, NY

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DRAWING LEGEND

TO BE REMOVED/REPLACED (DEMO PLAN)

SURFACE TO BE DEMO'ED

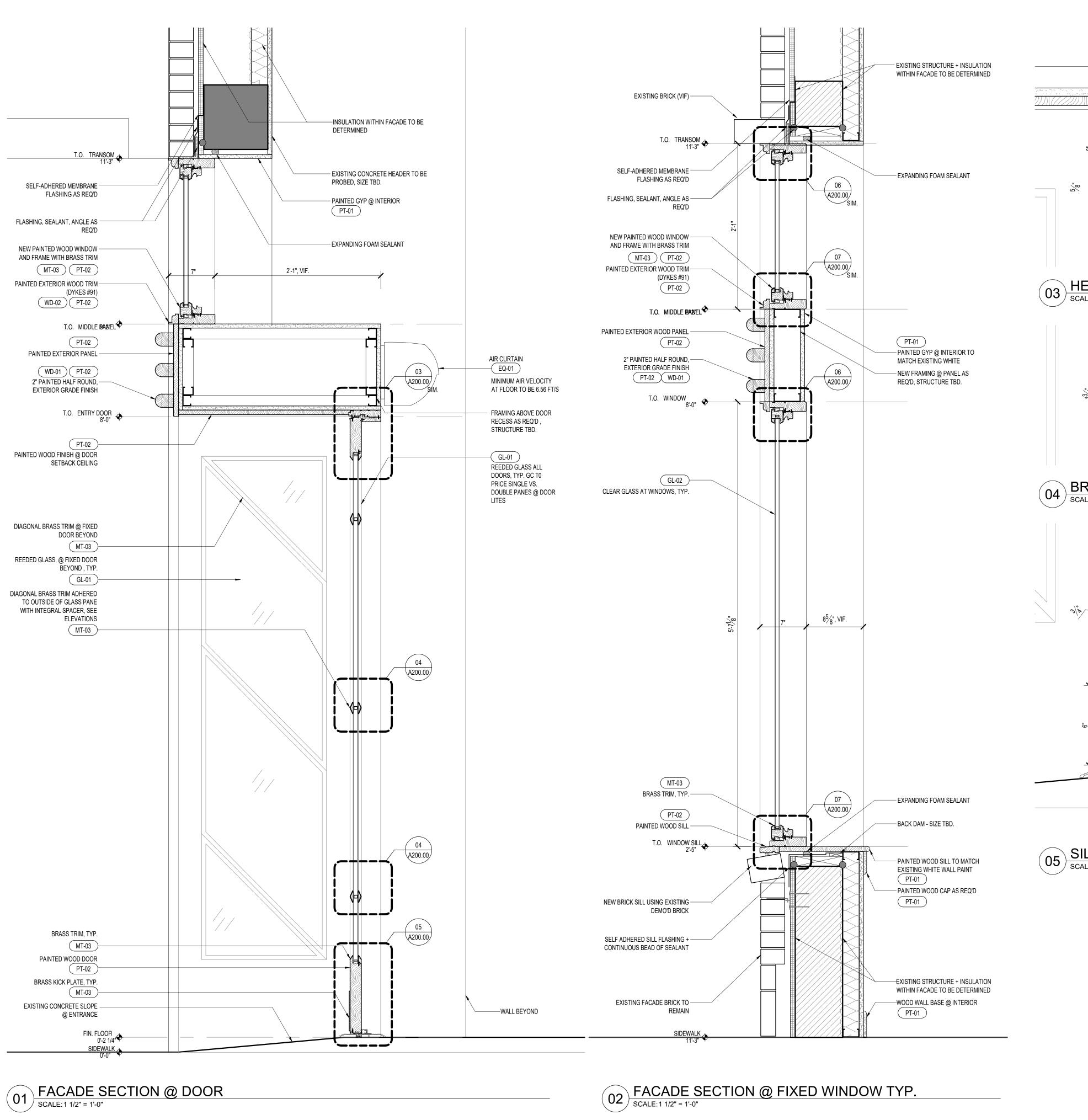
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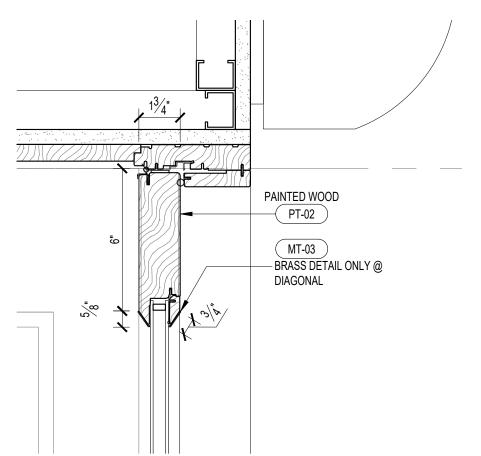
NEW INTERIOR STUD WALL

EXISTING
CONDITION +
POSSIBLE PROBE
APO200

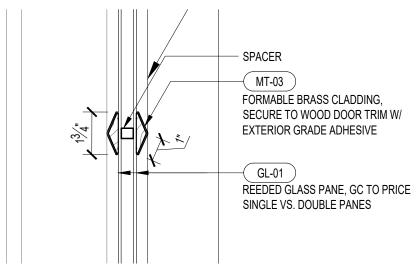
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1102.

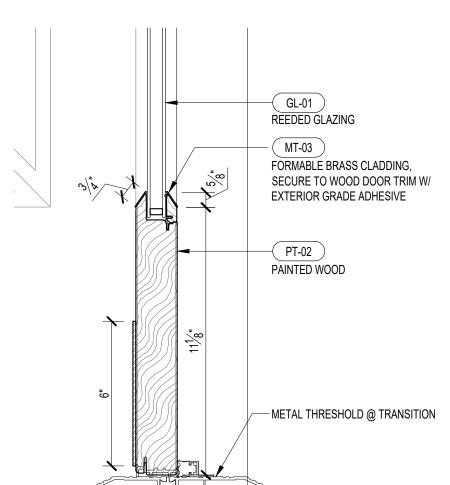




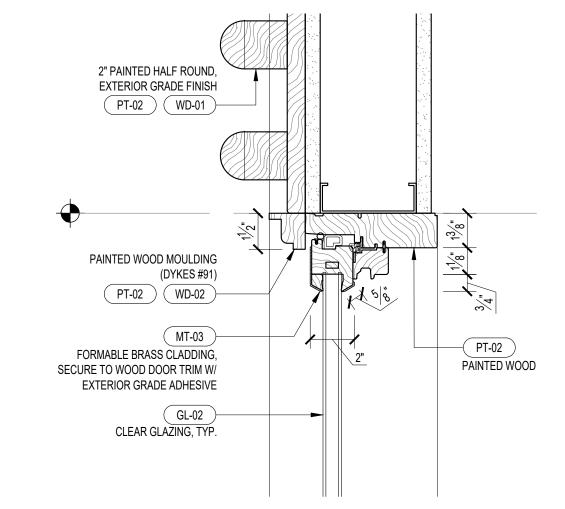
HEADER DETAIL @ DOOR SCALE:3" = 1'-0"



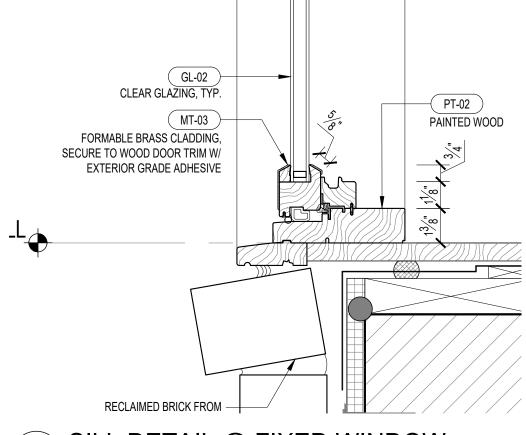
BRASS DETAIL @ DOOR SCALE:3" = 1'-0"



O5 SILL DETAIL @ DOOR SCALE:3" = 1'-0"



06) HEADER DETAIL @ FIXED WINDOW SCALE:3" = 1'-0"



SILL DETAIL @ FIXED WINDOW

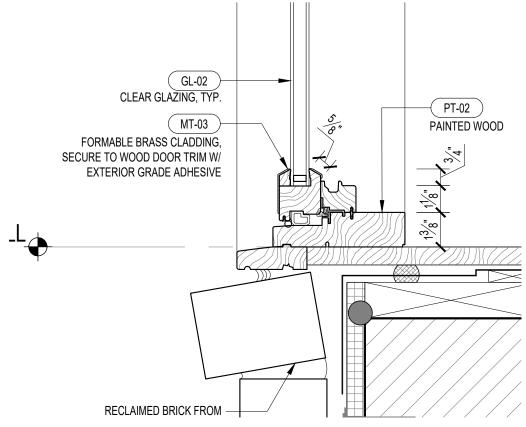
DRAWING LEGEND

---- TO BE REMOVED/REPLACED (DEMO PLAN)

SURFACE TO BE DEMO'ED

EXISTING

NEW INTERIOR STUD WALL



JOB# **22007**

159 BLEECKER

PROJECT NAME AND ADDRESS:

NORTH SIX OFFICES 159 BLEECKER GROUND FLOOR

HITE STUDIO ARCHITECTURE PC

EMAIL GRETA@WOLFGANGANDHITE.COM

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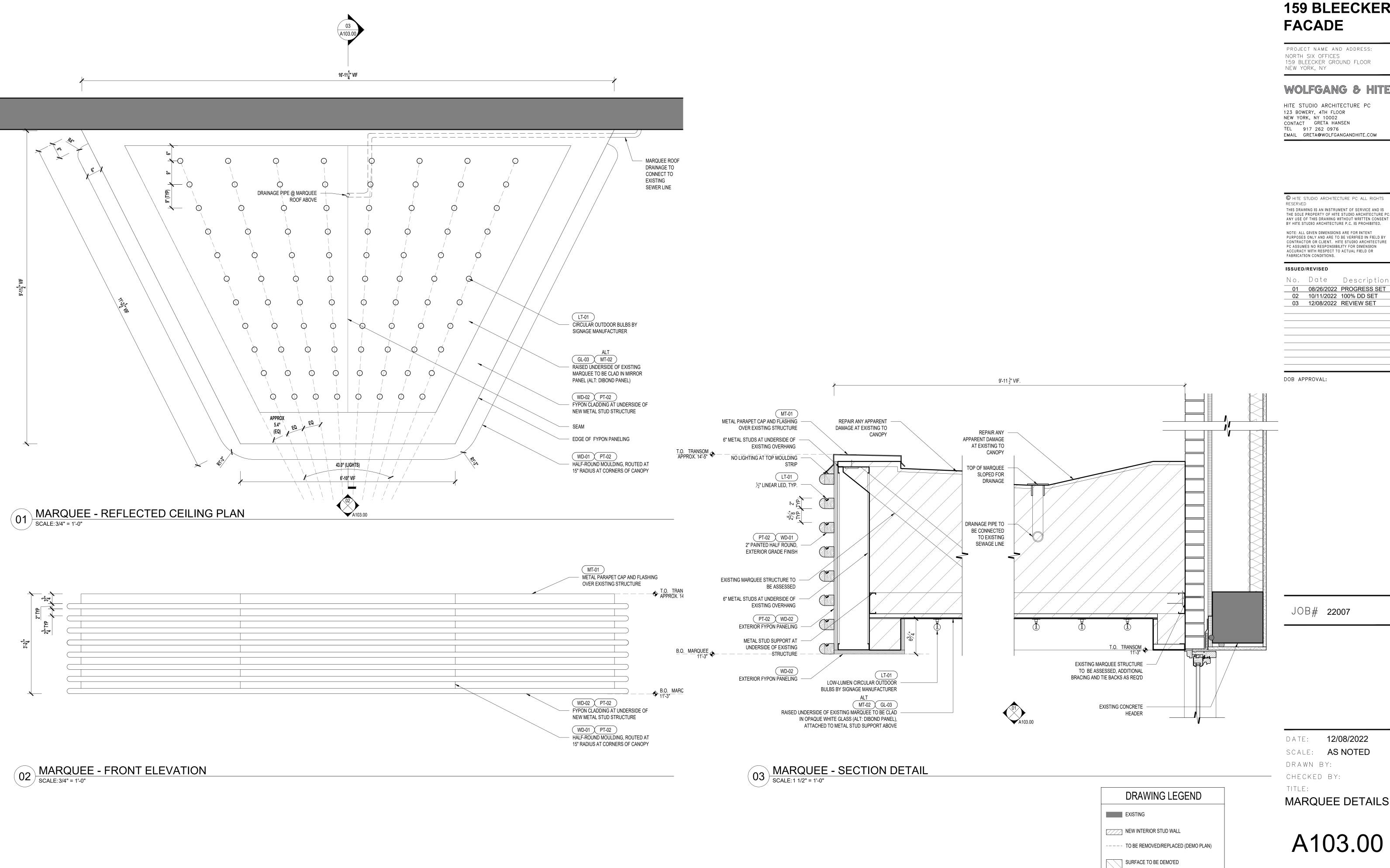
FACADE

NEW YORK, NY

12/08/2022 DATE: SCALE: AS NOTED DRAWN BY: CHECKED BY: TITLE: WALL SECTION

DETAILS

A200.00



159 BLEECKER FACADE

PROJECT NAME AND ADDRESS: NORTH SIX OFFICES 159 BLEECKER GROUND FLOOR

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MARQUEE DETAILS

A103.00

				FIXTURES AND FIN	ISHES		
Tag	Item	Location/Use	Material	Finish/Color	Manufacturer	Product Name or Number	IMAGES
EQ-01	AIR CURTAIN	INTERIOR SIDE OF MAIN ENTRY DOORS	AIR CURTAIN	BRUSHED ALUMINUM	Enershield	"MCS-72-AL Microshield 72"" Aluminum Air Barrier - 120V, Item #: 517MCS72AL MFR #: MCS-72-AL COMPLETE"	
GL-01	REEDED GLASS	GLASS AT SWINGING AND FIXED DOOR LITES	TEXTURED GLASS	REEDED	MCGRORY OR EQUAL	REEDED GLASS	
GL-02	CLEAR GLASS	GLASS AT UPPER TRANSOMS AND WINDOWS	CLEAR GLASS	AS REQ'D	GC TO SOURCE	GC TO SOURCE	
GL-03	OPAQUE WHITE GLASS	UNDERSIDE OF MARQUEE	BACK PAINTED GLASS	WHITE	GC TO SOURCE	GC TO SOURCE	
HD-01	EXTERIOR DOOR HANDLE WITH LOCK SYSTEM	DOUBLE SWING ENTRY DOORS	ENTRY DOOR HANDLES	ANTIQUE SATIN	BALDWIN - OR CUSTOM BY DOOR MANUFACTURER TO MATCH EXTERIOR BRASS FINISHES	TREMONT HANDLESET	GIICK SHIP
HD-02	OFFSET PIVOT HINGES WITH FLOOR CLOSER	DOUBLE SWING ENTRY DOORS	ENTRY DOOR PIVOT	SATIN BRASS 606	RIXSON - OR BY DOOR MANUFACTURER	Model 27 Offset Door Closer	
LT-01	CIRCULAR OUTDOOR BULBS BY SIGNAGE MANUFACTURER	MARQUEE	SIZE? EXTERIOR GRADE LED CIRCULAR/ SPHERICAL BULBS		BY SIGNAGE MANUFACTURER		
LT-02	LED STRIPS	MARQUEE FRONT	SILICONE TUBE WATERPROOF COB OUTDOOR LED STRIPS	3000K WARM WHITE	BY SIGNAGE MANUFACTURER	12V/24V IP67 Silicone Tube Waterproof COB Outdoor LED Strips	+12V +12V +12V +12V
PT-01	WHITE PAINT	INTERIOR					
PT-02	EXTERIOR PAINTED WOOD	DOORS, FRAMES, AND WINDOW FRAMES		EXTERIOR EGGSHELL	FARROW AND BALL	OFF-BLACK 57	
MT-01	CHARCOAL METAL PANEL	MARQUEE SIDES	POWDER COATED METAL PANEL	RAL 7021 BLACK-GRAY	GC TO SOURCE	RAL 7021 BLACK-GRAY	RAL 7021 Black Grey
MT-02	DIBOND PANEL	UNDERSIDE OF MARQUEE	DIBOND PANEL	GLOSSY OFF-WHITE	GC TO SOURCE		
MT-03	BRASS TRIM	DECORATIVE TRIM AND KICK PLATES, FACADE AND WINDOWS	BRASS WITH COATED FINISH FOR OUTDOOR APPLICATION	BRUSHED BRASS	GC TO SOURCE		
WD-01	MOULDINGS	DECORATIVE MOULDING AT PANELS ABOVE DOORS AND WINDOWS	FLEX & POPLAR	SEE PT-02	DYKES LUMBER	2" HALF ROUND 371 HALF ROUND	
WD-02	MOULDINGS	EXTERIOR PANELING AND MOULDING AT MARQUEE	FLEX & POPLAR	SEE PT-02 (OFF-BLACK 57)	FYPON	EXTERIOR MOULDING	

O1 FINISH SCHEDULE
SCALE: 3/8" = 1'-0"

EXTERIOR LIGHTING SCHEDULE @ MARQUEE				
TAG	ITEM	LOCATION / USE	MANUFACTURERE	NOTES
LT-01	EXTERIOR GRADE CIRCULAR OUTDOOR BULBS BY SIGNAGE MANUFACTURER	UNDERSIDE OF MARQUEE	BY SIGNAGE MANUFACTURER	LIGHTS TO BE ON TIMER, CONNECTED
LT-02	½" HORIZONTAL NEON TUBING	MARQUEE FRONT	BY SIGNAGE MANUFACTURER	TO EXISTING SWITCH TO EXTERIOR LIGHT

02 LIGHTING SCHEDULE SCALE: 3/8" = 1'-0"

	HARDWARE SCHEDULE				
TAG	ITEM	MANUFACTURER	PRODUCT NAME	FINISH	
HD-01	EXTERIOR + INTERIOR HANDLE	BALDWIN OR BY DOOR	TREMONT HANDLESET	ANTIQUE SATIN	
HD-01	LOCK SET	MANUFACTURER	TREMONT HANDLESET	ANTIQUE SATIN	
HD-02	OFFSET PIVOT HINGE	RIXON OR BY DOOR	MODEL 27 OFFSET DOOR CLOSER	SATIN BRASS	
HD-02	DOOR CLOSER	MANUFACTURER	MODEL 27 OFFSET DOOR CLOSER	SATIN DRASS	

02	HARDWARE SCHEDULE SCALE: 3/8" = 1'-0"
$\langle u s \rangle$	SCALE:3/8" = 1'-0"

DRAWING LEGEND
EXISTING
NEW INTERIOR STUD WALL
 TO BE REMOVED/REPLACED (DEMO PLAN)
SURFACE TO BE DEMO'ED

159 BLEECKER FACADE

PROJECT NAME AND ADDRESS: NORTH SIX OFFICES 159 BLEECKER GROUND FLOOR NEW YORK, NY

WOLFGANG & HITE

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DOB APPROVAL:

JOB# **22007**

DATE: 12/08/2022
SCALE: AS NOTED
DRAWN BY:
CHECKED BY:
TITLE:

HARDWARE + FINISH + LIGHTING SCHEDULE

A300.00