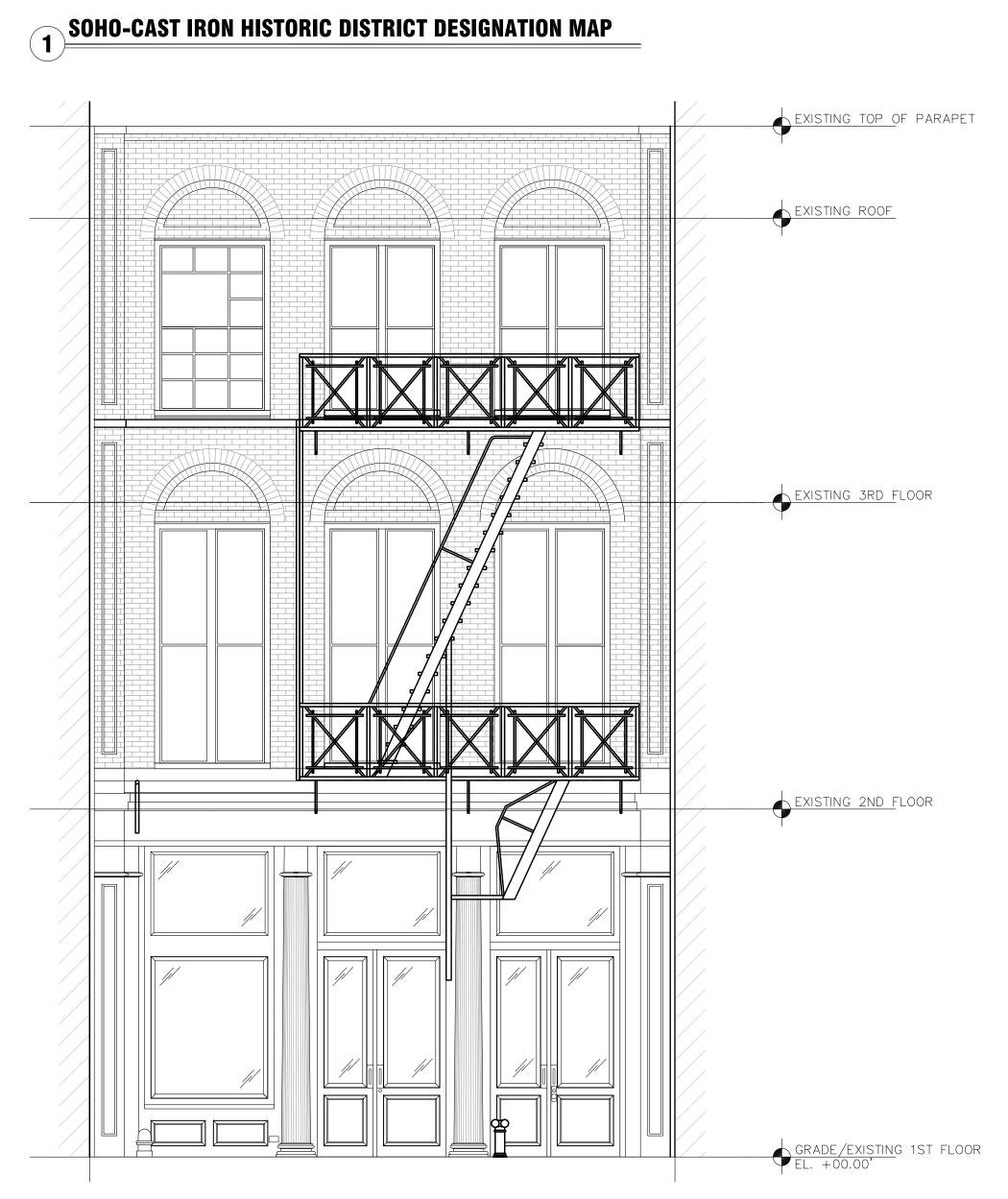
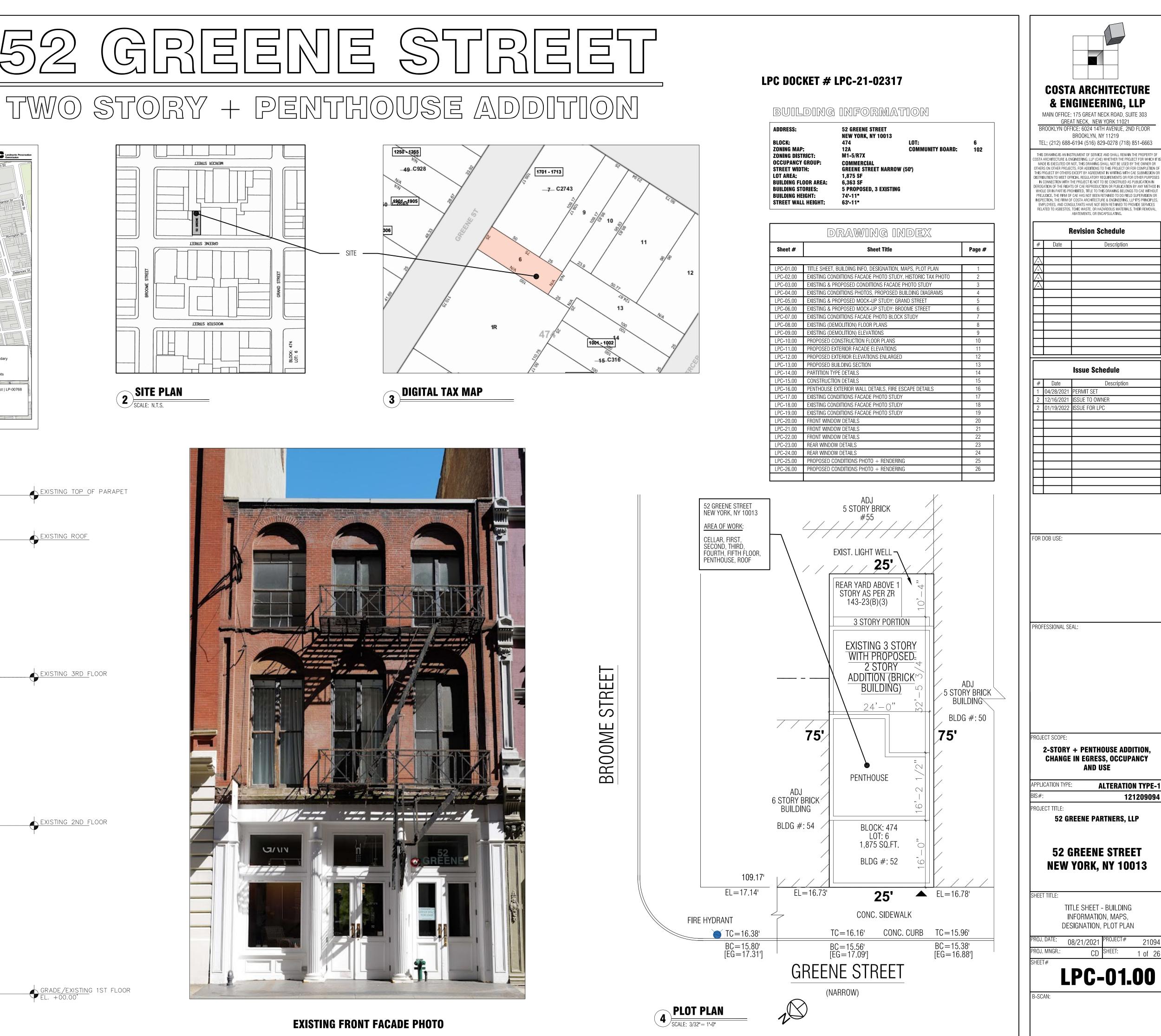


PROPERTY LOCATION

phic Source: Map PLUTO, Edition 18v1, Author: New York City Landmarks Preservation Commission, LCR Date: 3.20.20



EXISTING FRONT FACADE ELEVATION



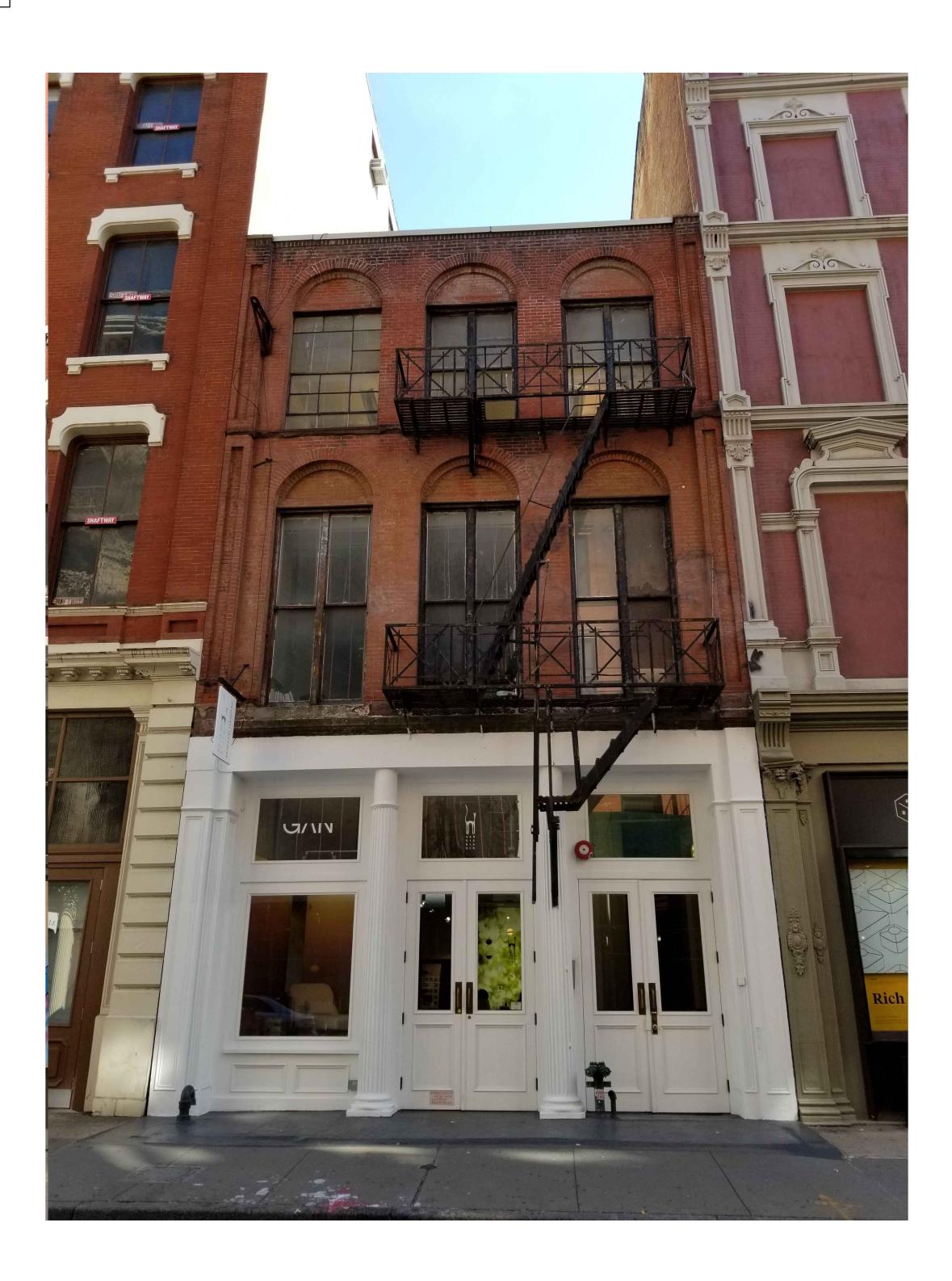






1 FACADE TAX PHOTO - CIRCA 1940 (ORIGINAL - 5 STORIES) SCALE: N.T.S.

50 GREENE STREET NEW YORK, NY 10013



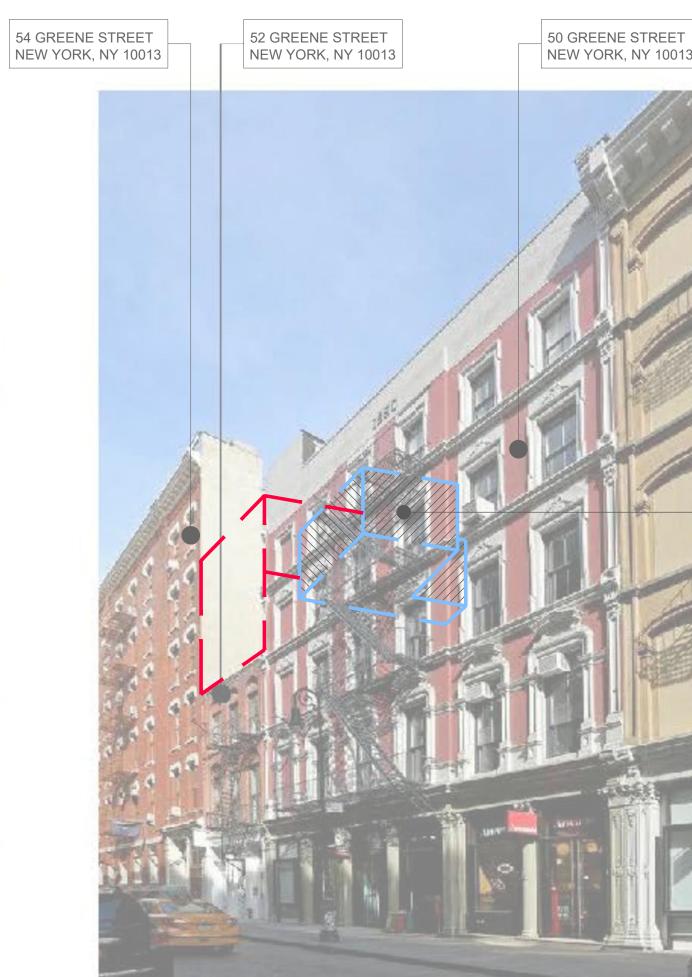


	COSTA ARCHITECTURE
	& ENGINEERING, LLP MAIN OFFICE: 175 GREAT NECK ROAD, SUITE 303 GREAT NECK, NEW YORK 11021
	ROOKLYN OFFICE: 6024 14TH AVENUE, 2ND FLOOR BROOKLYN, NY 11219 EL: (212) 688-6194 (516) 829-0278 (718) 851-6663
COSTA MA OTHEF	S DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY C ARCHITECTURE & ENGINEERING, LLP (CAE) WHETHER THE PROJECT FOR WHICH DE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OWNER OF AS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH CAE SUBMISSION
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#	Revision Schedule Date Description
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	Issue Schedule
#	Date Description 04/28/2021 PERMIT SET
2 2	12/16/2021 ISSUE TO OWNER 01/19/2022 ISSUE FOR LPC
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PROJI APPLI BIS#	ECT SCOPE: 2-STORY + PENTHOUSE ADDITION, CHANGE IN EGRESS, OCCUPANCY AND USE ICATION TYPE: ALTERATION TYPE: 12120909 ECT TITLE: 52 GREENE PARTNERS, LLP 52 GREENE PARTNERS, LLP 52 GREENE PARTNERS, LLP TTITLE: EXISTING CONDITIONS FACADE PHOTO STUDY, HISTORIC TAX
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2 PROPOSED FACADE WITH ADJACENT PROPERTIES FOR SITE CONTE





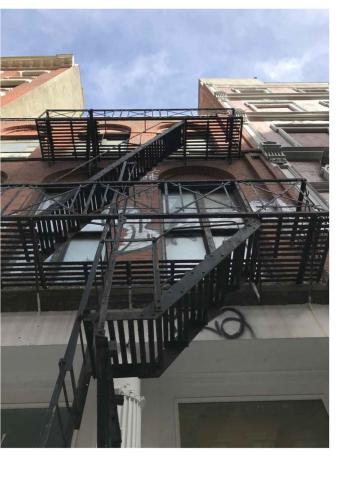
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EENE STREET			
YORK, NY 10013			
			COSTA ARCHITECTURE
			& ENGINEERING, LLP
			MAIN OFFICE: 175 GREAT NECK ROAD, SUITE 303 GREAT NECK, NEW YORK 11021
			BROOKLYN OFFICE: 6024 14TH AVENUE, 2ND FLOOR BROOKLYN, NY 11219 TEL: (212) 688-6194 (516) 829-0278 (718) 851-6663
			THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF COSTA ARCHITECTURE & ENGINEERING, LLP (CAE) WHETHER THE PROJECT FOR WHICH IT IS
			MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH CAE SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES
			IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF CAE REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO CAE WITHOUT PREJUDICE. THE FIRM OF CAE HAS NOT BEEN RETAINED TO DO FIELD SUPERVISION OR
			INSPECTION. THE FIRM OF COSTA ARCHITECTURE & ENGINEERING, LLP ITS PRINCIPLES, EMPLOYEES, AND CONSULTANTS HAVE NOT BEEN RETAINED TO PROVIDE SERVICES RELATED TO ASBESTOS, TOXIC WASTE, OR HAZARDOUS MATERIALS, THEIR REMOVAL, ABATEMENTS, OR ENCAPSULATING.
PENT	HOUSE MOCK-UP		Revision Schedule
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	THE STREET		
			Issue Schedule
			# Date Description
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A COL	PENTHOUSE MOCK-UP IS NOT VISIBLE FROM		APPLICATION TYPE: ALTERATION TYPE-1
	THE STREET		BIS#: 121209094
			PROJECT TITLE: 52 GREENE PARTNERS, LLP
			52 GREENE STREET
			NEW YORK, NY 10013
			SHEET TITLE:
E.			EXISTING & PROPOSED CONDITION FACADE,
			PHOTO STUDY
-			PROJ. DATE: 08/21/2021 PROJECT# 21094 PROJ. MNGR.: CD SHEET: 3 of 26
-			SHEET#
			LPC-03.00
			B-SCAN:



EXTERIOR - SOUTH DIRECTION SCALE: N.T.S.



2 EXTERIOR - NORTH DIRECTION SCALE: N.T.S.



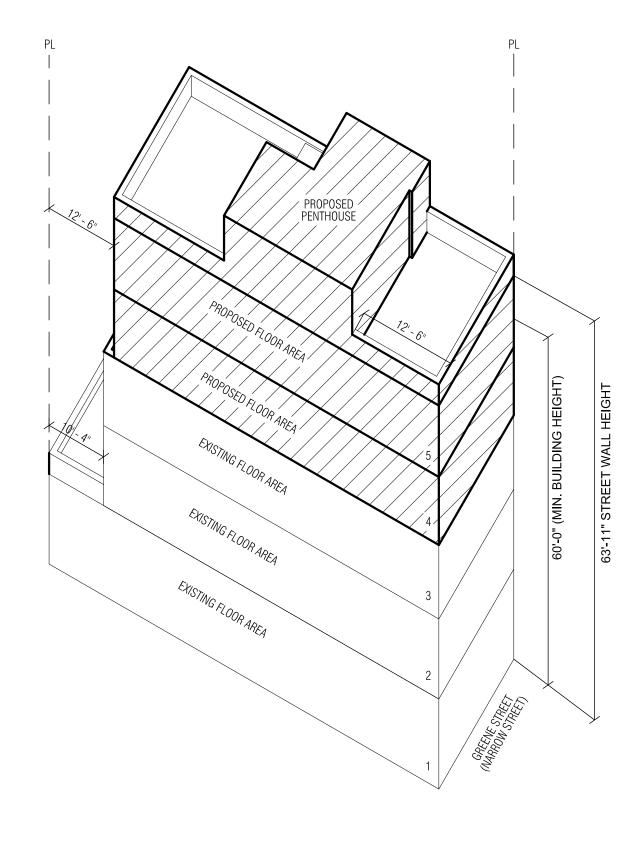
3 SCALE: N.T.S.



6 EXISTING FLUTED ROUND ENTRY COLUMNS _____



7 EXISTING PLASTER ENCLOSURE









4 EXISTING STOREFRONT



5 EXISTING BUILDING ENVELOPE COMPONENTS



8 BUILDING HEIGHT ADJACENCIES SCALE: N.T.S.



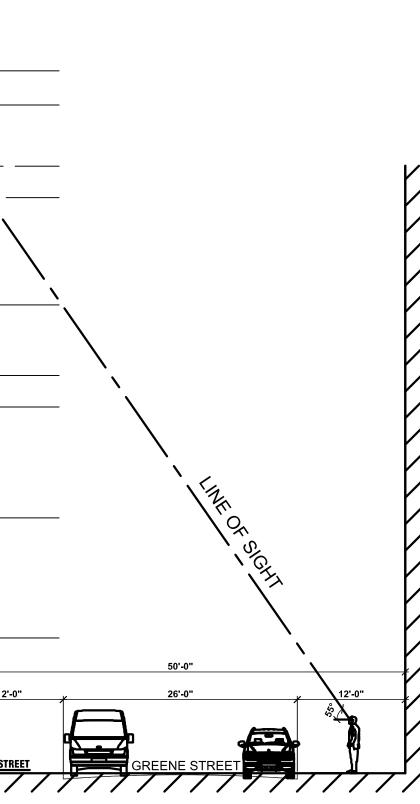
9 ROOF AT STAIR SKYLIGHT AND HATCH ACCESS SCALE: N.T.S.

TOP OF ROOF PARAPET RAILING							\leq
TOP OF ROOF PARAPET RAILING EL. +94.82'	_	1					<u> </u>
TOP OF PENTHOUSE ROOF SLAB	-	-	· · 4	<u>`</u>		─────────────────────────────────────	<u> </u>
		z	 			EXISTING 5 STORY BRICK BUILDING	
TOP OF PARAPET			PROPERTY LINE			PENTHOUSE 50 GREENE STREET	\bigwedge
		DOF ADDITION				PROPOSED SLOPED ROOF TERRACE	
PROPOSED PENTHOUSE EL. +80.73'		& R0			Ł		
						NEW FLOOR AREA (ADDITION)	
EXISTING 5 STORY BRICK BUILDING		PENTHOUSE 11'-11"		REAR YARD 12'-6"			
50 GREENE STREET			<u>*</u>	AS PER ZR 143-23(B)(3)		<u> </u>	
PROPOSED 5TH FLOOR EL. +68.81'	_	STORY,				/ / / / / / / / / / / / / / / / / / /	48-
		ଲା					
		NEW ()				NEW ELOOR AREA (ADDITION)	
TOP OF EXISTING PARAPET EL. +60.98'					Т	←	- 搔 -
PROPOSED 4TH FLOOR EL. +57.48'		3.6"			<u> </u>		48-
+ LL. +37.40	±75'-0" BUILDING HÈIGHT						
	BUILD	12'-4"				EXISTING FLOOR AREA	
	50"	12.				EXISTING FLOOR AREA	
EXISTING 3RD ELOOR	±7		.			3	
EXISTING 3RD FLOOR EL. +45.15'	_	+					
		STORY	<u>+</u>	10'-4"	*		
		(3) ST(13.4"				EXISTING FLOOR AREA	
EXISTING 2ND FLOOR EL. +31.81'		EXISTING (3)				2	
₩ EL. +31.81'							
		15'-0"					
						EXISTING FLOOR AREA	
1ST FLOOR EXIST.= 16.81'						1	
GRADE (BASE PLANE) = 16.45' EL. +16.78' (SOUTH CORNER)	_	+				······································	<u>GREENE ST</u>

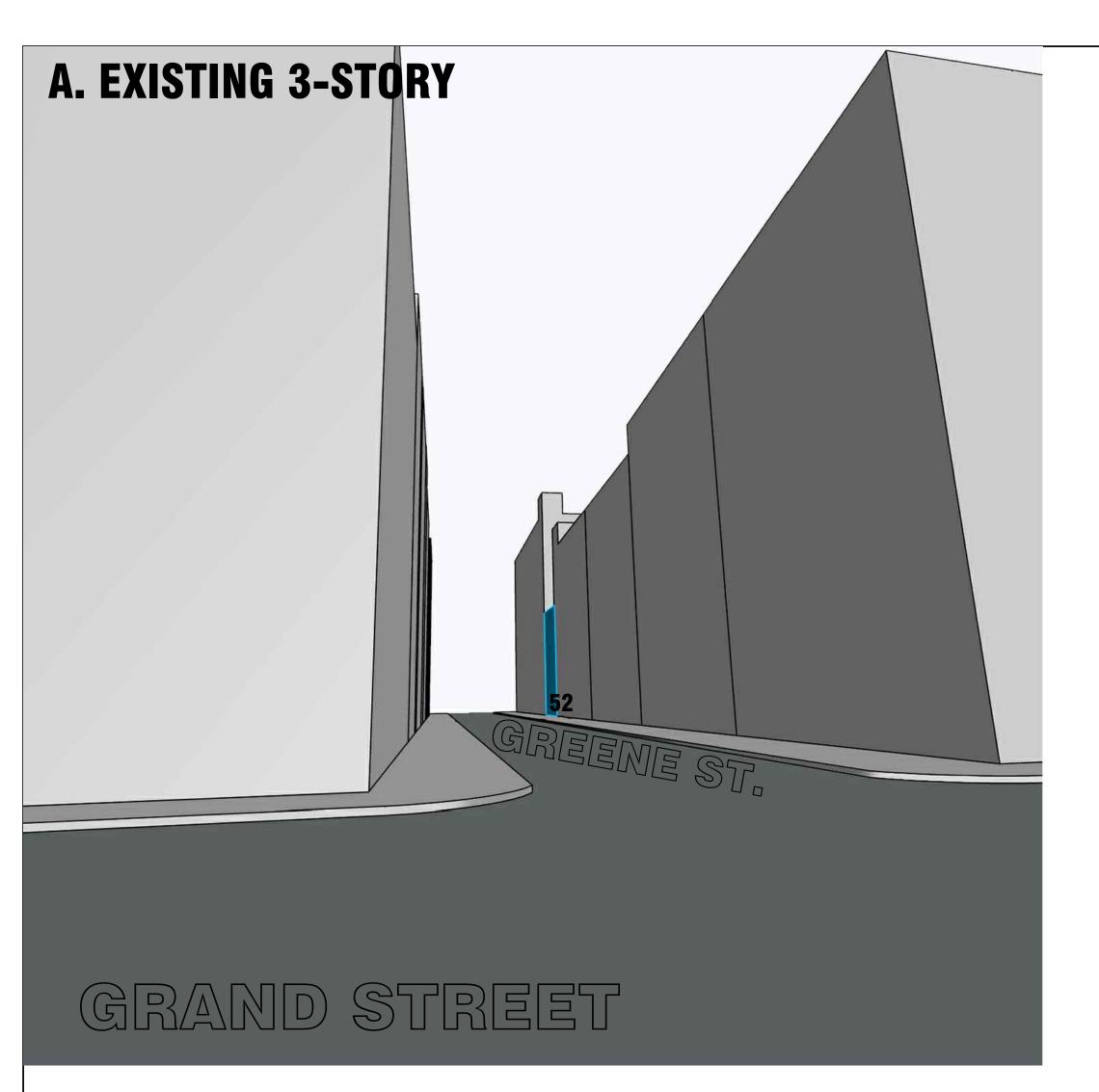
12 LINE-OF-HEIGHT BUILDING SECTION STUDY SCALE: 3/32" = 1'-0"



EXISTING ROOF HATCH ACCESS SCALE: N.T.S.

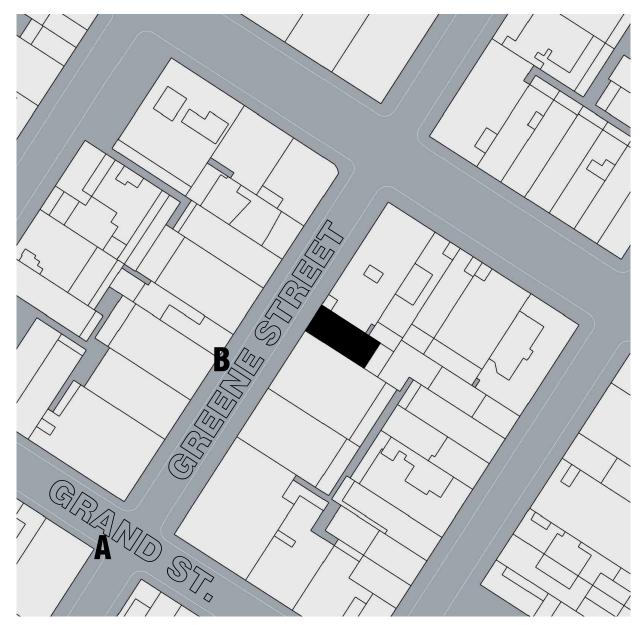


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	& EN	A ARCHITECTURE GINEERING, LLP
	GRE/	: 175 GREAT NECK ROAD, SUITE 303 AT NECK, NEW YORK 11021 FICE: 6024 14TH AVENUE, 2ND FLOOR
	. ,	BROOKLYN, NY 11219 -6194 (516) 829-0278 (718) 851-6663 strument of service and shall remain the property o
COSTA A MAD OTHERS THIS PF DISTRIE IN C DEROGA WHOL PREJU INSPE EMF	ARCHITECTURE & EI E IS EXECUTED OR S ON OTHER PROJE ROJECT BY OTHERS UTION TO MEET OF CONNECTION WITH TION OF THE RIGH E OR IN PART IS PF JDICE. THE FIRM OI CTION. THE FIRM OI CUONES, AND CON	VIGINEERING, LLP (CAE) WHETHER THE PROJECT FOR WHICH I NOT. THIS DRAWING SHALL NOT BE USED BY THE OWNER OR CTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION EXCEPT BY AGREEMENT IN WRITING WITH CAE SUBMISSION FICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOS THE PROJECT IS NOT TO BE CONSTRUED AS PUBLICATION IN TS OF CAE REPRODUCTION OR PUBLICATION BY ANY METHOD OHIBITED. TITLE TO THIS DRAWING BELONGS TO CAE WITHOL C CAE HAS NOT BEEN RETAINED TO DO FIELD SUPERVISION OF F COSTA ARCHITECTURE & ENGINEERING, LLP ITS PRINCIPLE: SULTANTS HAVE NOT BEEN RETAINED TO PROVDE SERVICES TOXIC WASTE, OR HAZARDOUS MATERIALS.
	l	Revision Schedule
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		Issue Schedule
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	2-STORY	+ PENTHOUSE ADDITION, IN EGRESS, OCCUPANCY AND USE
APPLI	2-STORY	IN EGRESS, OCCUPANCY AND USE ALTERATION TYPE-
APPLIC BIS#:	2-STORY Change	IN EGRESS, OCCUPANCY AND USE
APPLIC BIS#:	2-STORY CHANGE CATION TYPE CT TITLE:	IN EGRESS, OCCUPANCY AND USE ALTERATION TYPE-
APPLIC BIS#:	2-STORY CHANGE CATION TYPE CT TITLE:	IN EGRESS, OCCUPANCY AND USE Alteration type- 12120909
APPLIC BIS#:	CATION TYPE CATION TYPE CT TITLE: 52 GI	IN EGRESS, OCCUPANCY AND USE ALTERATION TYPE- 12120909 REENE PARTNERS, LLP
APPLIC BIS#:	CATION TYPE CATION TYPE CT TITLE: 52 GI	IN EGRESS, OCCUPANCY AND USE ALTERATION TYPE- 12120909 REENE PARTNERS, LLP
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APPLIC BIS#: PROJE	2-STORY CHANGE CATION TYPE CT TITLE: 52 GI 52 C NEW	IN EGRESS, OCCUPANCY AND USE ALTERATION TYPE- 12120909 REENE PARTNERS, LLP REENE STREET YORK, NY 10013
APPLIC BIS#: PROJE	2-STORY CHANGE CATION TYPE CT TITLE: 52 GI 52 C NEW	IN EGRESS, OCCUPANCY AND USE ALTERATION TYPE- 12120909 REENE PARTNERS, LLP GREENE STREET YORK, NY 10013
APPLIC BIS#: PROJE	2-STORY CHANGE CATION TYPE CT TITLE: 52 GI 52 C NEW	IN EGRESS, OCCUPANCY AND USE ALTERATION TYPE- 12120909 REENE PARTNERS, LLP GREENE STREET YORK, NY 10013
APPLIC BIS#: PROJE SHEET PROJ.	2-STORY CHANGE CATION TYPE CT TITLE: 52 GI 52 C NEW	IN EGRESS, OCCUPANCY AND USE ALTERATION TYPE- 12120909 REENE PARTNERS, LLP REENE STREET YORK, NY 10013 RISTING CONDITIONS PHOTOS PROPOSED UILDING DIAGRAMS
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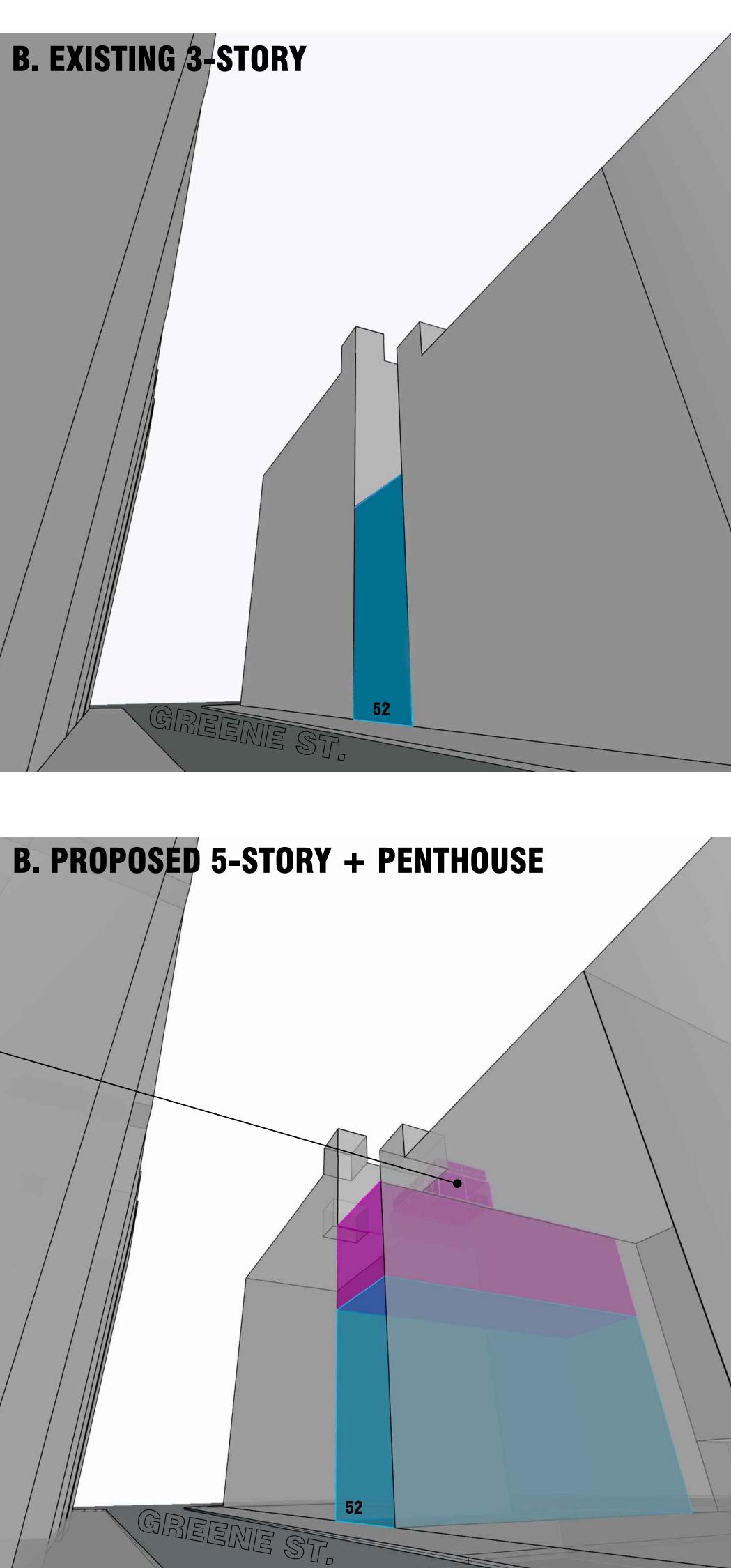
VISIBILITY STUDY MAP



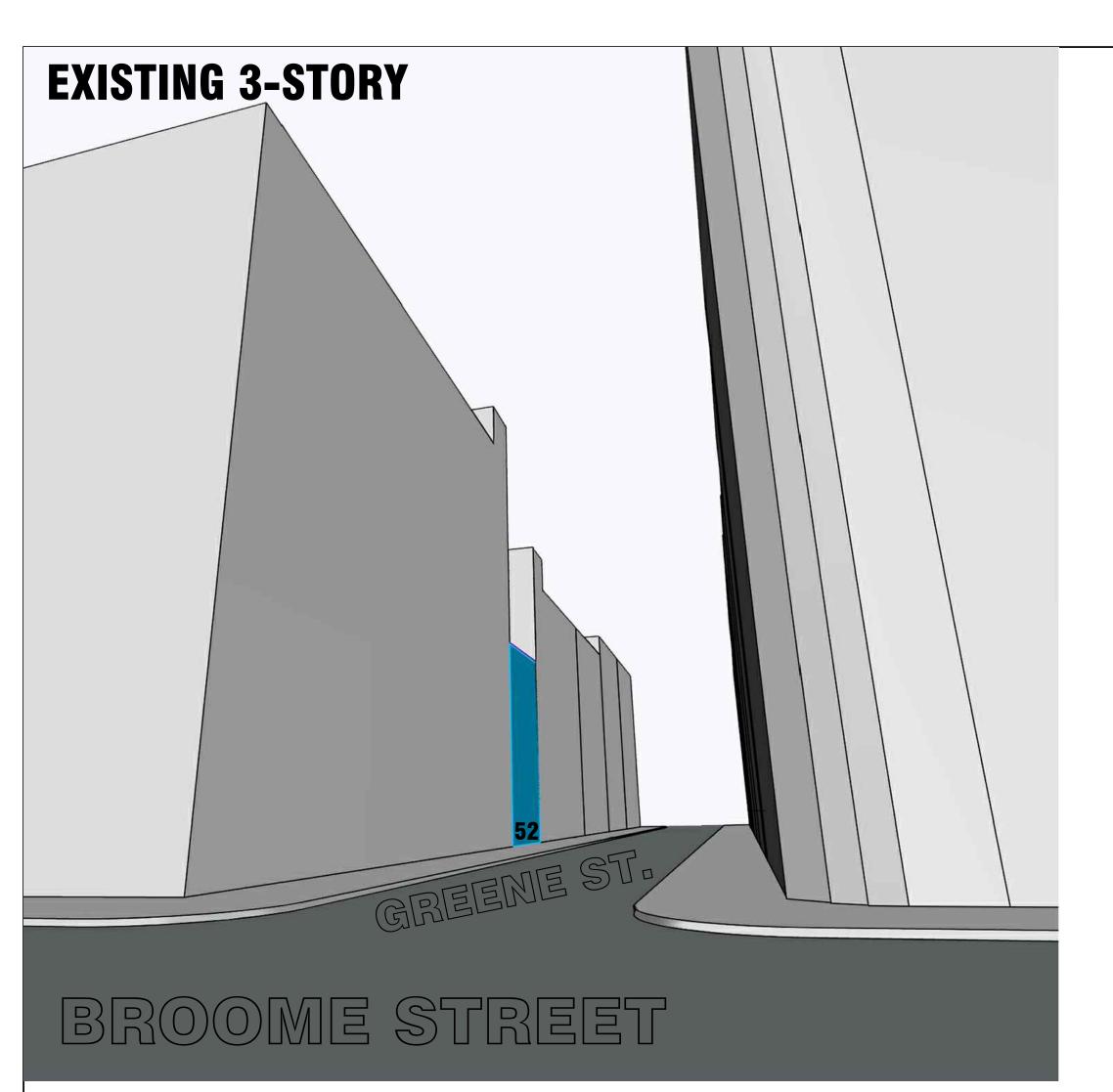
B. EXISTING 3-STORY

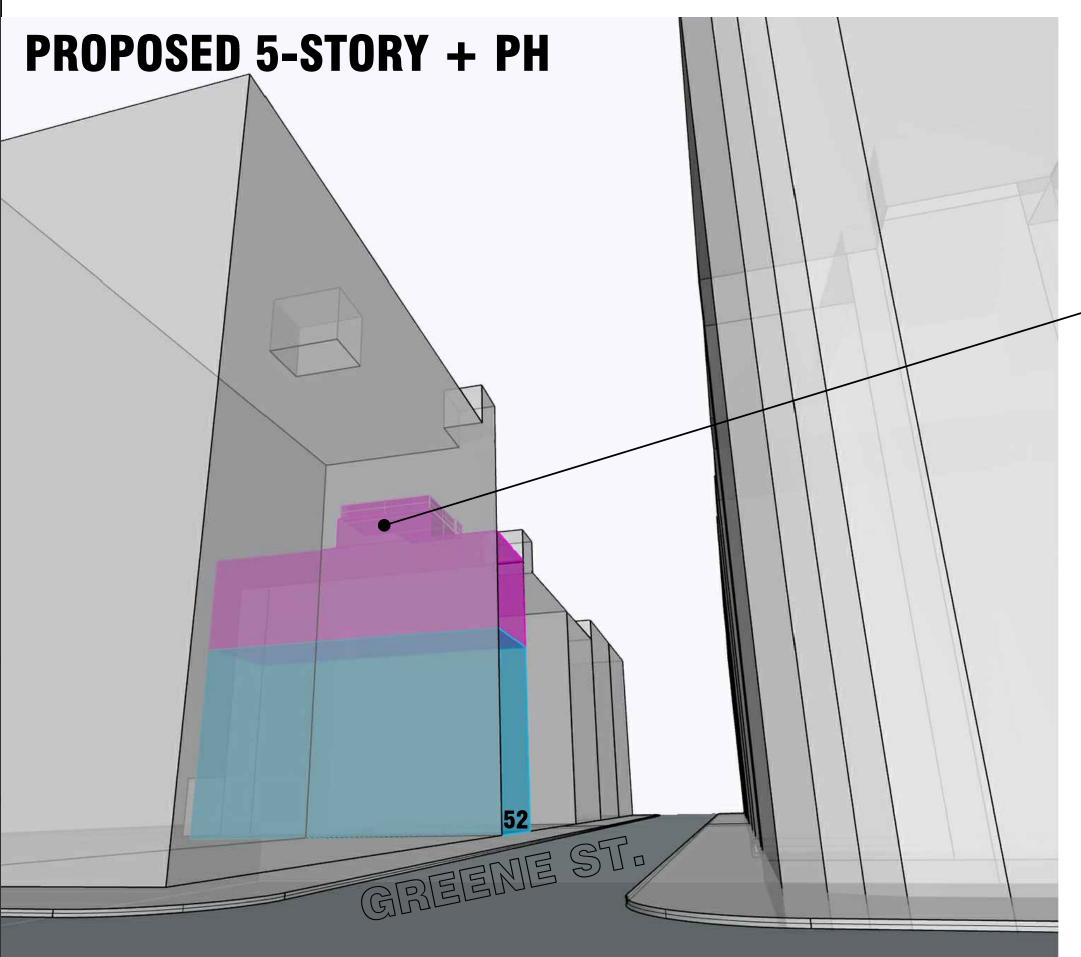
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PENTHOUSE MOCK-UP IS NOT VISIBLE FROM THE STREET



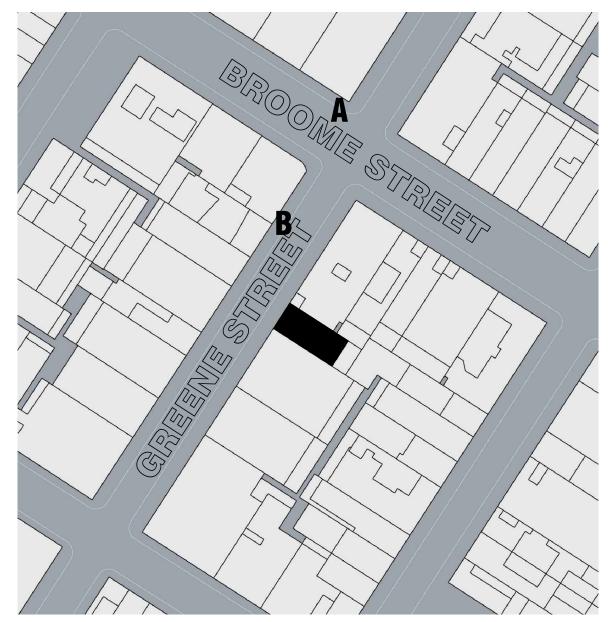
COSTA ARCHITECTURE & ENGINEERING, LLP
MAIN OFFICE: 175 GREAT NECK ROAD, SUITE 303 GREAT NECK, NEW YORK 11021
BROOKLYN OFFICE: 6024 14TH AVENUE, 2ND FLOOR BROOKLYN, NY 11219 TEL: (212) 688-6194 (516) 829-0278 (718) 851-6663
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF COSTA ARCHITECTURE & ENGINEERING, LLP (CAE) WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF
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Revision Schedule # Date Description
Issue Schedule
Date Description 1 04/28/2021 PERMIT SET
2 12/16/2021 ISSUE TO OWNER 2 01/19/2022 ISSUE FOR LPC
FOR DOB USE:
PROFESSIONAL SEAL:
PROJECT SCOPE:
2-STORY + PENTHOUSE ADDITION, Change in Egress, occupancy And use
APPLICATION TYPE: ALTERATION TYPE-1 BIS#: 121209094
PROJECT TITLE: 52 GREENE PARTNERS, LLP
52 GREENE STREET NEW YORK, NY 10013
SHEET TITLE:
EXISTING CONDITIONS PHOTO STUDY 1
PROJ. DATE: 08/21/2021 PROJECT# 21094
PROJ. MNGR.: CD SHEET: 5 of 26 SHEET#
LPC-05.00
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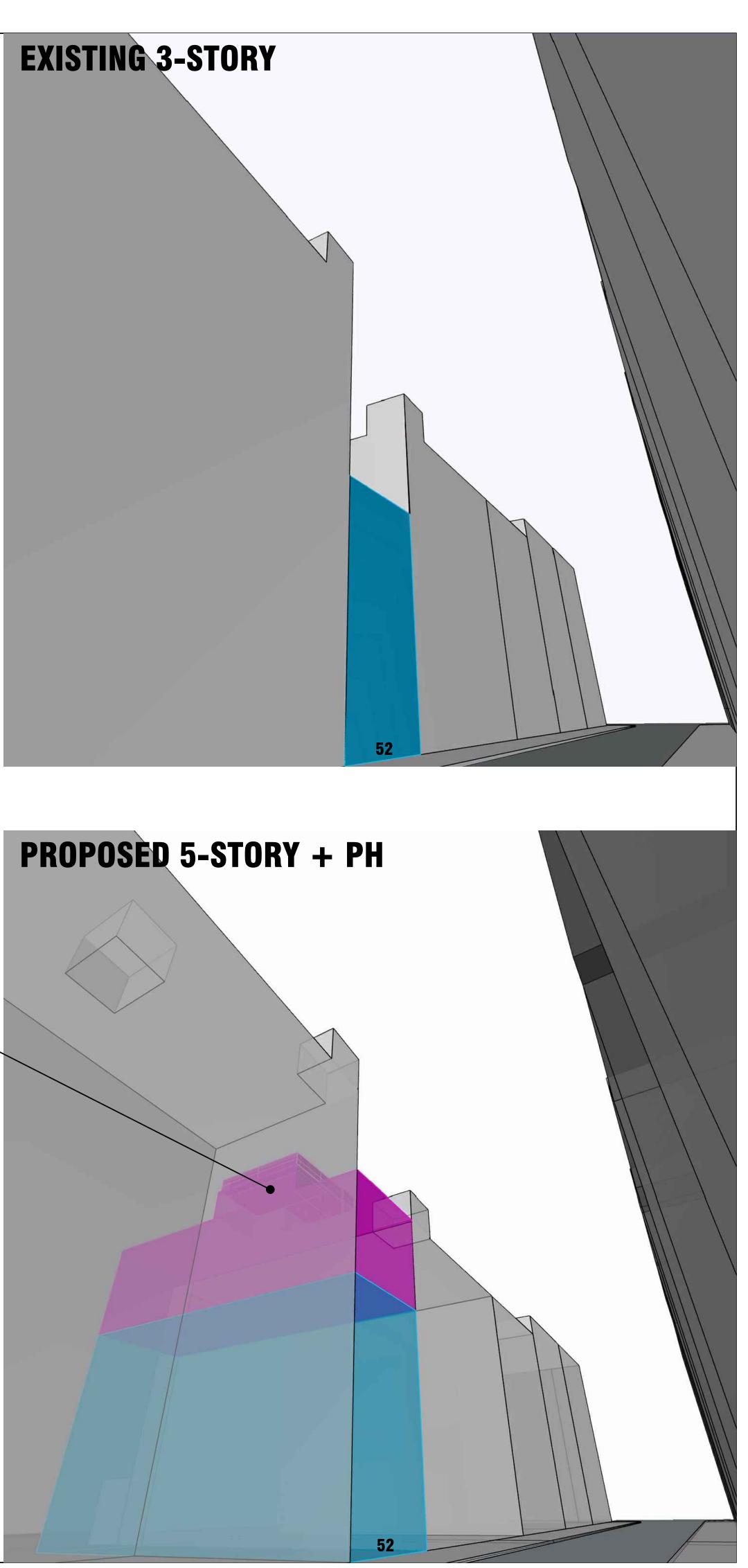


BROOME STREET

VISIBILITY STUDY MAP



PENTHOUSE MOCK-UP IS NOT -**VISIBLE FROM THE STREET**



	MAIN OFFICE: 175 GREAT N	INEERING, LLP 5 GREAT NECK ROAD, SUITE 303 IECK, NEW YORK 11021
	BR	: 6024 14TH AVENUE, 2ND FLOOR OOKLYN, NY 11219 94 (516) 829-0278 (718) 851-6663
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PROJE APPLI BIS#:	2-STORY + CHANGE IN CATION TYPE: CATION TYPE: 52 GREE 52 GREE	EGRESS, OCCUPANCY AND USE Alteration type 12120909
PROJE APPLI BIS#: PROJE	2-STORY + CHANGE IN CATION TYPE: CATION TYPE: 52 GREE 52 GREE 52 GREE 52 GREE	EGRESS, OCCUPANCY AND USE <u>ALTERATION TYPE</u> 12120909 ENE PARTNERS, LLP EENE STREET
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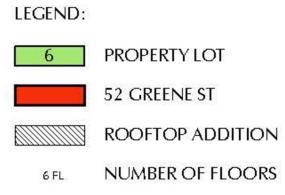
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52 GREENE STREET NEW YORK, NY 10013 BLOCK: 474 LOT: 6 LOT AREA: 1,875 SF

12

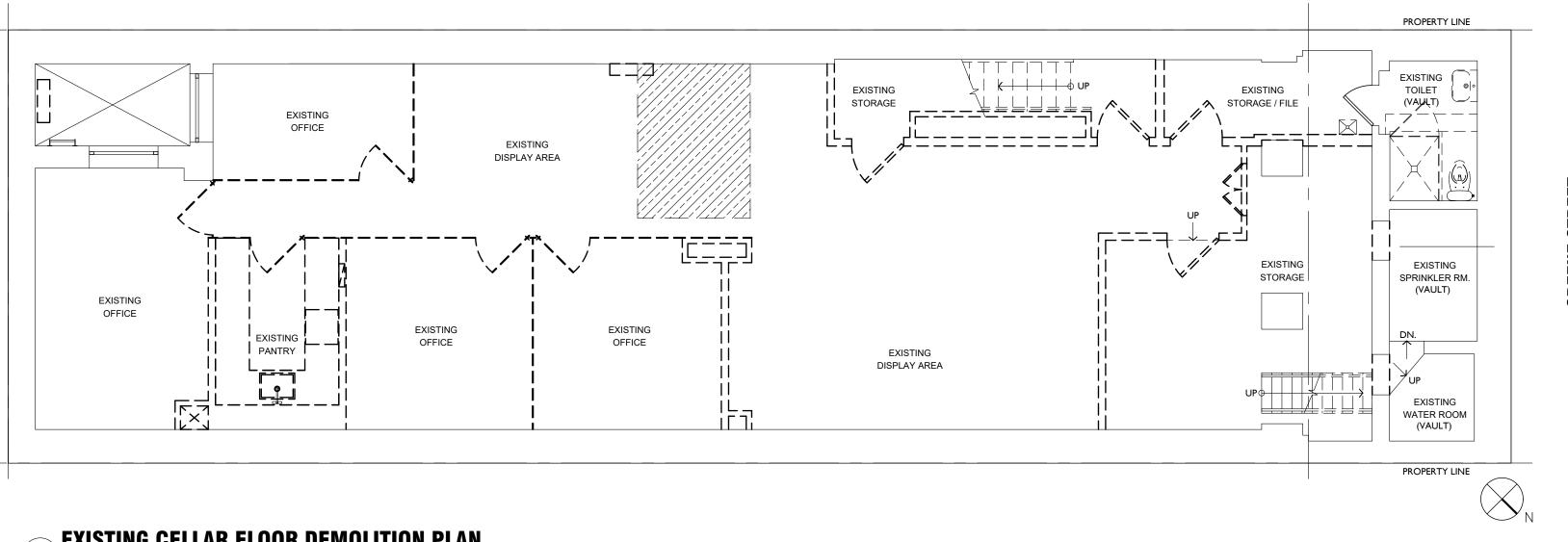


BLOCK #474 SITE ELEVATION - EXISTING SCALE: N.T.S.



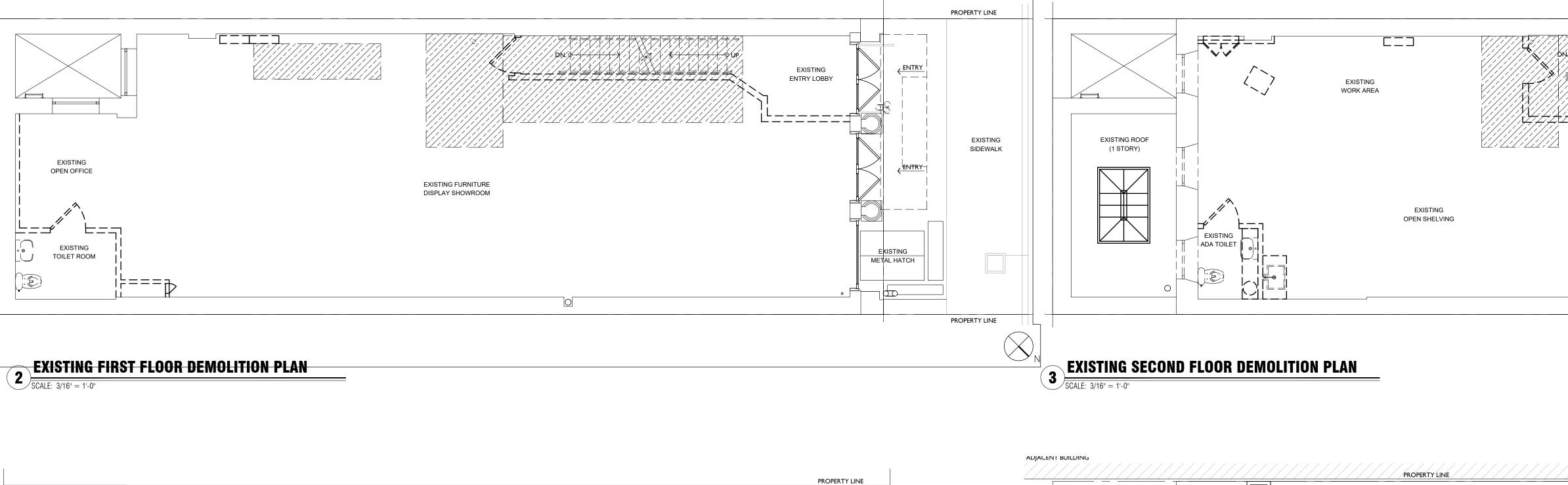
BLOCK #474 SITE ELEVATION - PROPOSED SCALE: N.T.S.

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	COSTA	ARCHITECTURE
	& ENG	SINEERING, LLP 75 GREAT NECK ROAD, SUITE 303 NECK, NEW YORK 11021
	ROOKLYN OFFIC B	E: 6024 14TH AVENUE, 2ND FLOOR ROOKLYN, NY 11219 194 (516) 829-0278 (718) 851-6663
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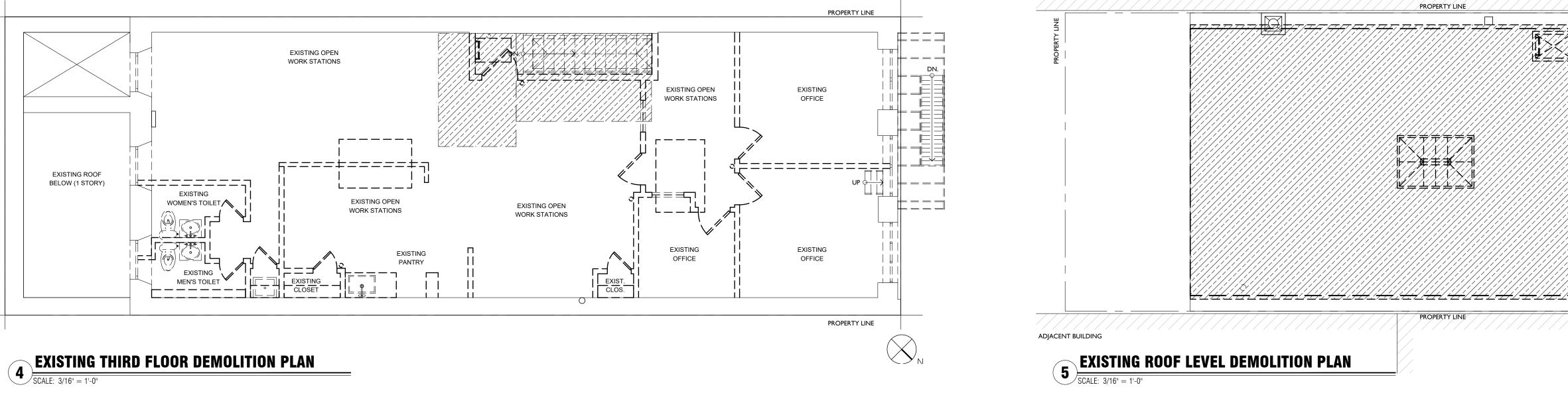


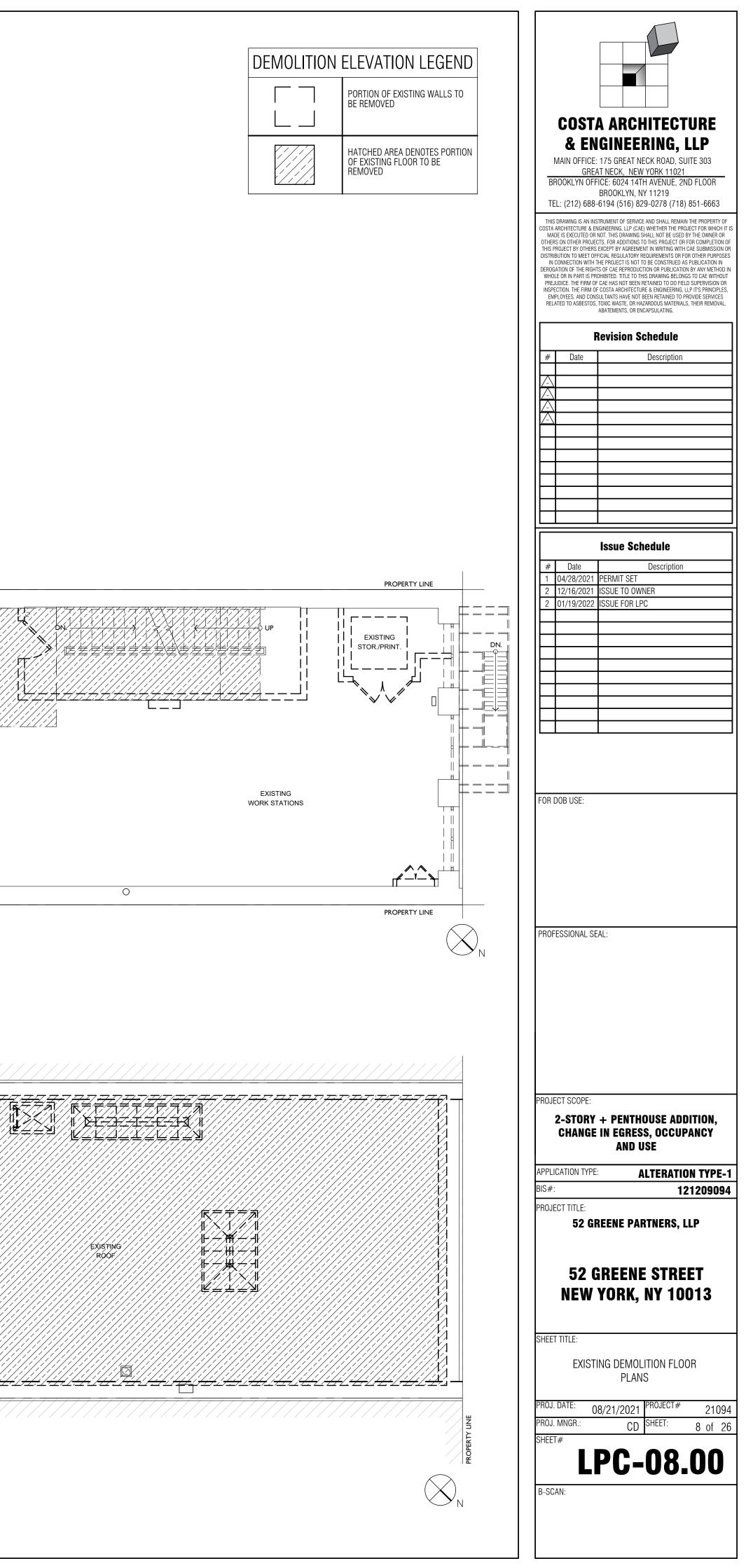
EXISTING CELLAR FLOOR DEMOLITION PLAN













EAST FACADE DEMOLITION ELEVATION SCALE: 1/4" = 1'-0"

2 SCALE: 1/4" = 1'-0"

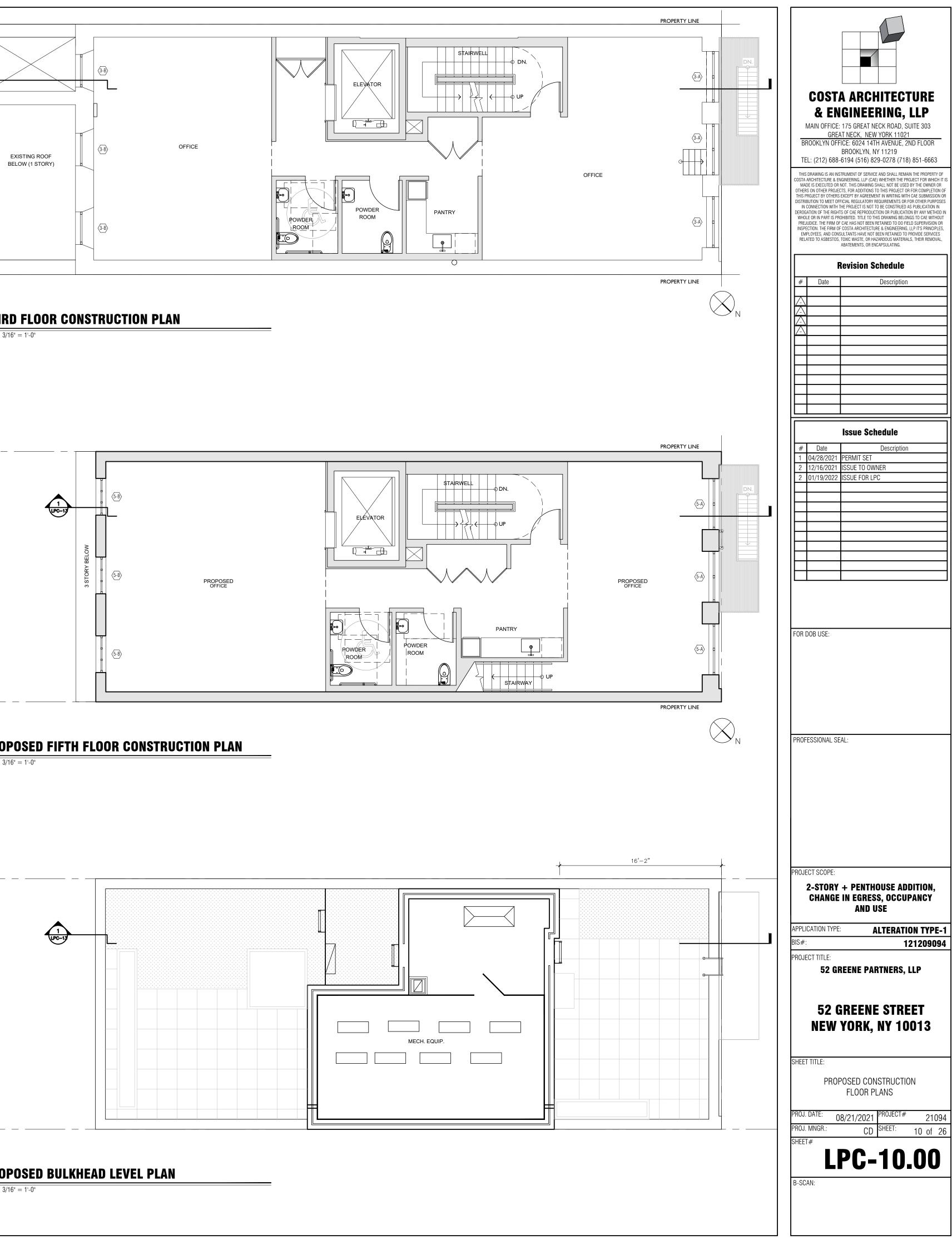
& ENGINEERING, LLP MAIN OFFICE: 175 GREAT NECK ROAD, SUITE 30 <u>GREAT NECK, NEW YORK 11021</u> BROOKLYN OFFICE: 6024 14TH AVENUE, 2ND FLO BROOKLYN, NY 11219 TEL: (212) 688-6194 (516) 829-0278 (718) 851-6 THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROJECT SON COSTA ARCHTECTURE & INGENERING, LP (Cab WHETHER THE PROJECT SON MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OV OTHERS ON OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT OR FOR COM THIS PROJECT BY OTHERS EXCEPT BY ARGENEMENT IN WITHING LAS PUBLIC. DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTITUED AS PUBLIC. DEROGATION OF THE RIGHTS OF CAE REPRODUCTION OR PUBLICATION BY ANY WHOLE OR IN PART IS PROHIBITE. TITLE TO THIS DRAWING BELONGS TO CAE PREJUDICE. THE FIRM OF COSTA ARCHTECTURE & ENGINEERING, LP IT'S PP SECOND. THE FIRM OF COSTA ARCHTECTURE & ENGINEERING, LP IT'S PP SECOND. THE FIRM OF COSTA ARCHTECTURE & ENGINEERING, LP IT'S PP SECOND. THE FIRM OF COSTA ARCHTECTURE & ENGINEERING, LP IT'S PP SECOND. THE FIRM OF COSTA ARCHTECTURE & ENGINEERING, LP IT'S PP SECOND. Image: Date Description	0R 6663 PPERTY 0 WHICH I WNER OR PLETION MISSION PURPOS TITON IN METHOD SWITHOU /ISION OF RINCIPLES ERVICES
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52 GREENE STREET NEW YORK, NY 10013	3
DEMOLITION ELEVATIONS	
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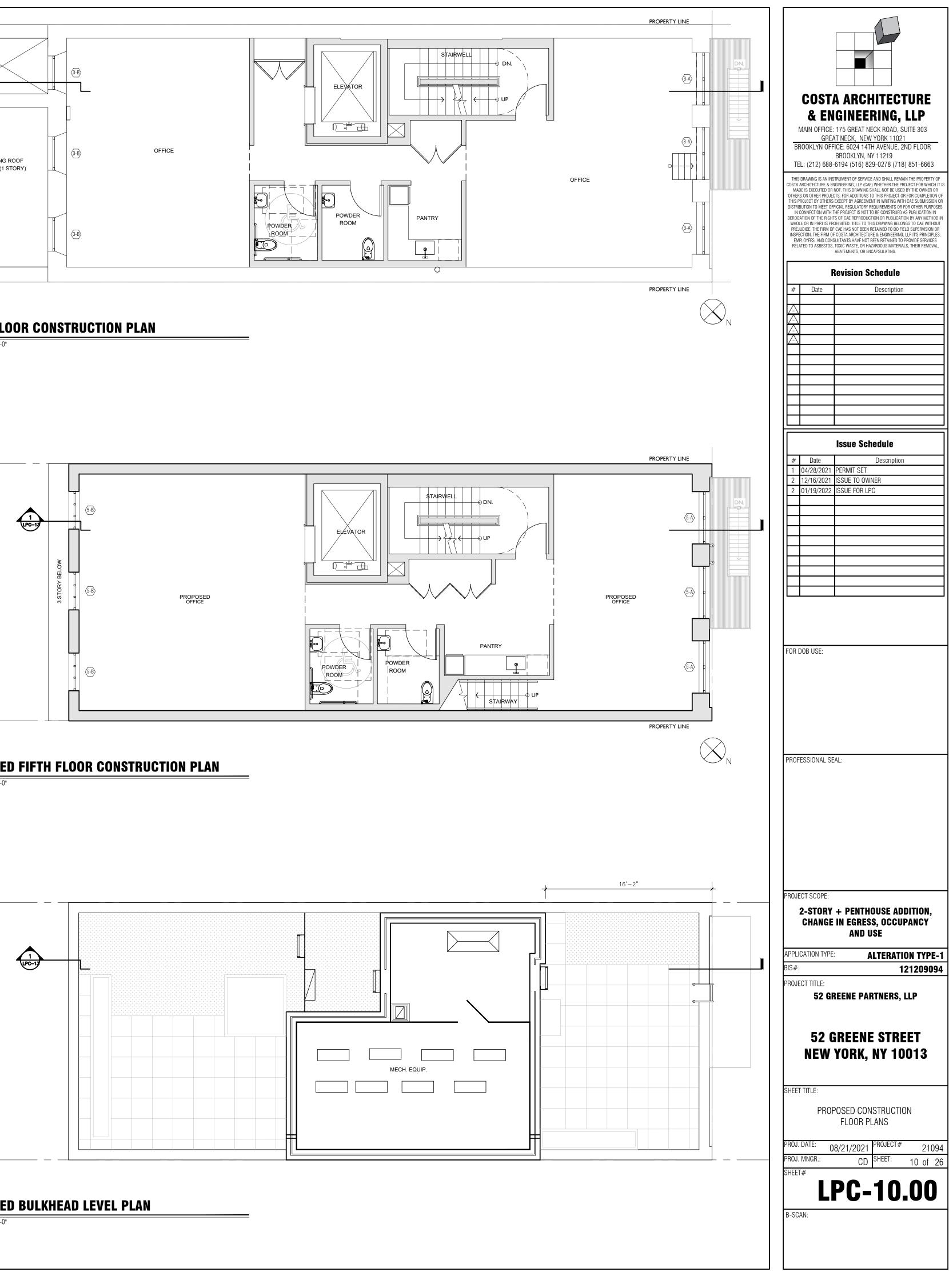
DEMOLITION ELEVATION LEGEND					
	EXTERIOR PORTION OR AREA OF EXISTING FACADE TO BE REMOVED				
	HATCHED AREA DENOTES A SPECIFIC EXISTING CONDITION PER KEY NOTE TAG				
KEY NOTE TAGS					
$\langle 1 \rangle$	PATCH AND REPAIR EXISTING ROOF COPING				
2	PATCH AND REPAIR EXISTING MASONRY, AS REQUIRED (TYP.)				
3	EXISTING COPING AT ROOF PARAPET TO BE REMOVED				
4	EXISTING CORNICE AT ROOF PARAPET TO BE REMOVED				
5	EXISTING PARTIAL ROOF PARAPET TO BE REMOVED				
6	EXISTING WINDOW AND FRAME TO BE REMOVED				
(7)	EXISTING FIRE ESCAPE STAIRS TO BE REMOVED				
8>	EXISTING FIRE ESCAPE LADDER TO BE REMOVED				
(9)	EXISTING SIAMESE CONNECTION TO BE RELOCATED				
(10)	EXISTING SIGNAGE TO BE REMOVED				
(11)	ALL WINDOW OPENINGS AND SILLS TO MATCH ORIGINAL CONSTRUCTION				
(12)	EXISTING SKYLIGHT TO REMAIN - PAINT TO MATCH METAL CLADDING				
(13)	COPING FINISH AND COLOR TO MATCH METAL CLADDING				
(14)	EXISTING PORTION OF PARAPET TO BE REMOVED AND REPLACED				
(15)	EXISTING MECH. EQUIP. TO BE REMOVED				

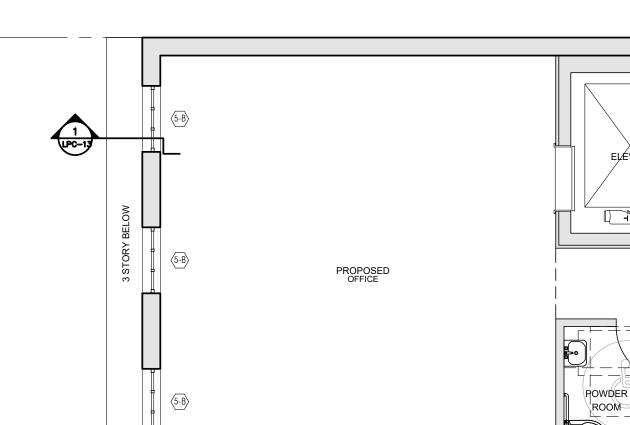










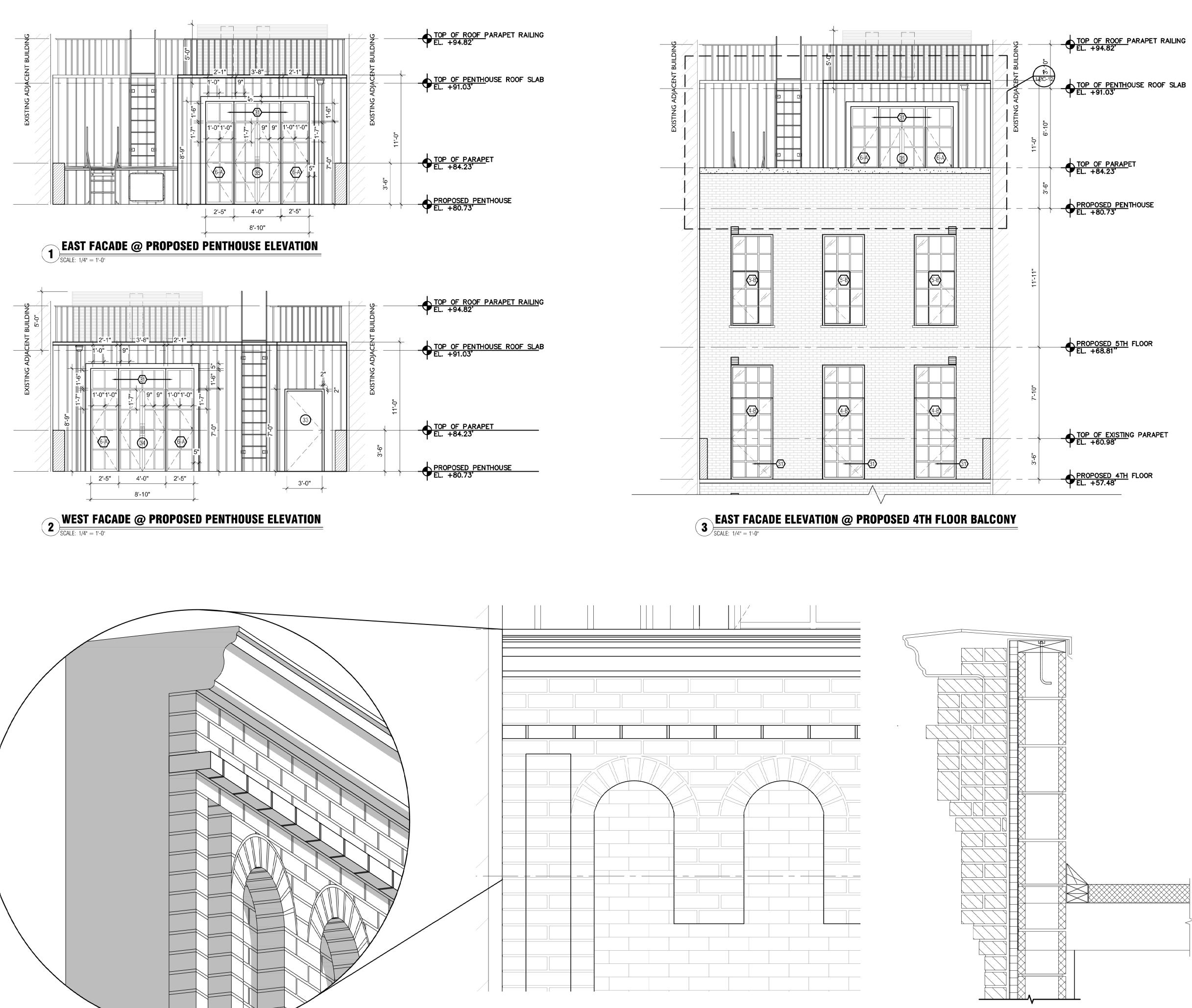




WEST FACADE PROPOSED ELEVATION SCALE: 1/4" = 1'-0"



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	COSTA	
	& EN(GINEERING, LLP 75 GREAT NECK ROAD, SUITE 303
BI	GREAT ROOKLYN OFFIC B	NECK, NEW YORK 11021 CE: 6024 14TH AVENUE, 2ND FLOOR ROOKLYN, NY 11219
THIS	DRAWING IS AN INSTR ARCHITECTURE & ENG	194 (516) 829-0278 (718) 851-6663 UMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF NEERING, LLP (CAE) WHETHER THE PROJECT FOR WHICH IT
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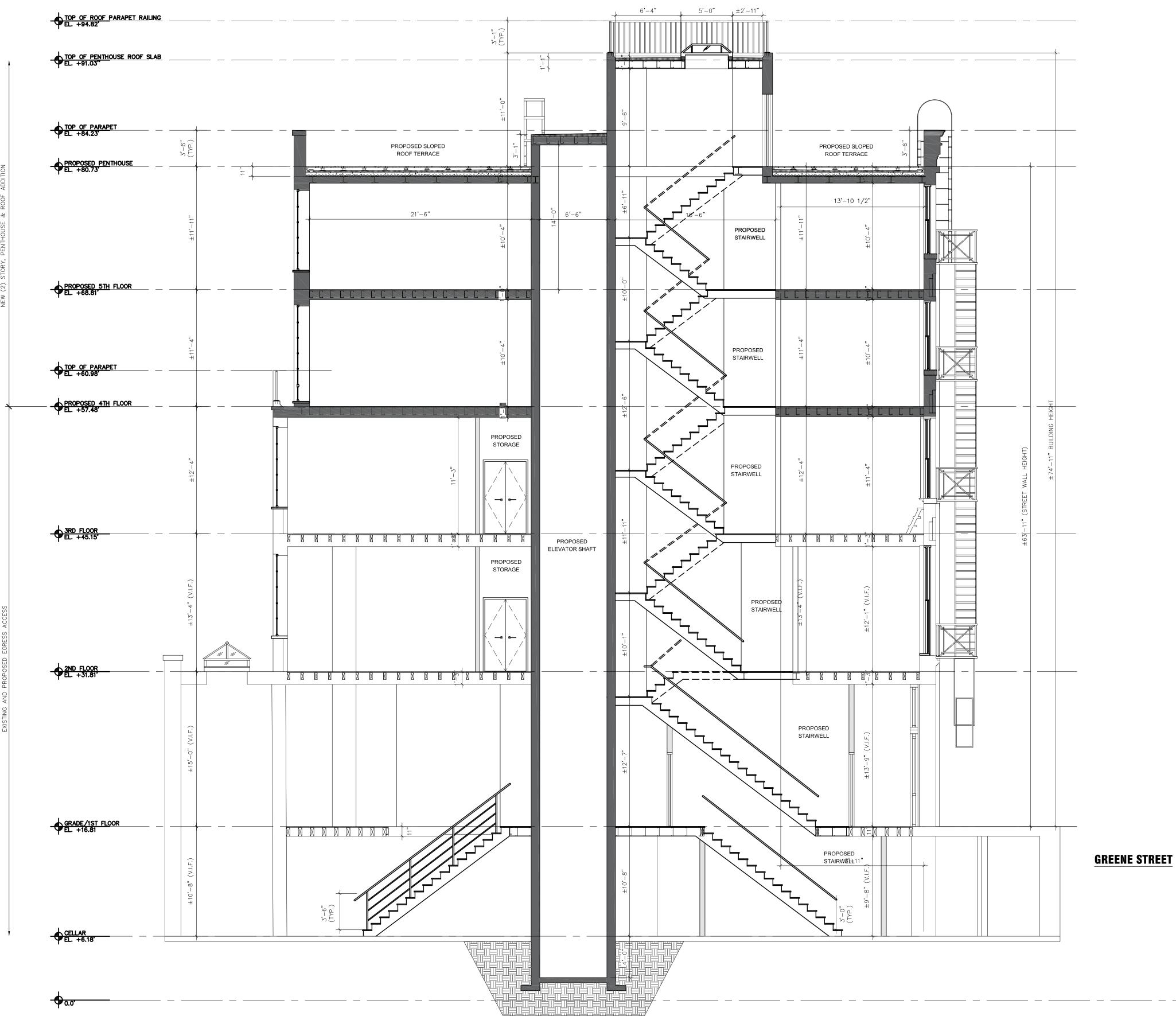
WEST FACADE @ 5TH FLOOR CORNICE SCALE: 1 1/2" = 1'-0"

5 SECTION AT CONCRETE PARAPET (FRONT) SCALE: 1 1/2" = 1'-0"

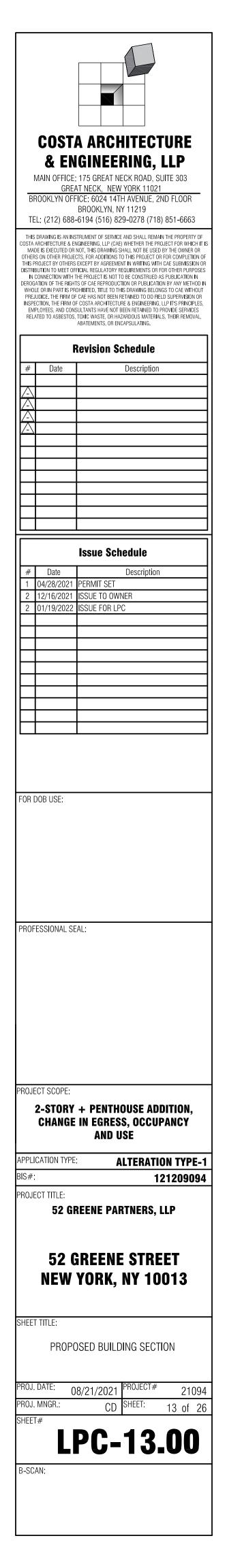
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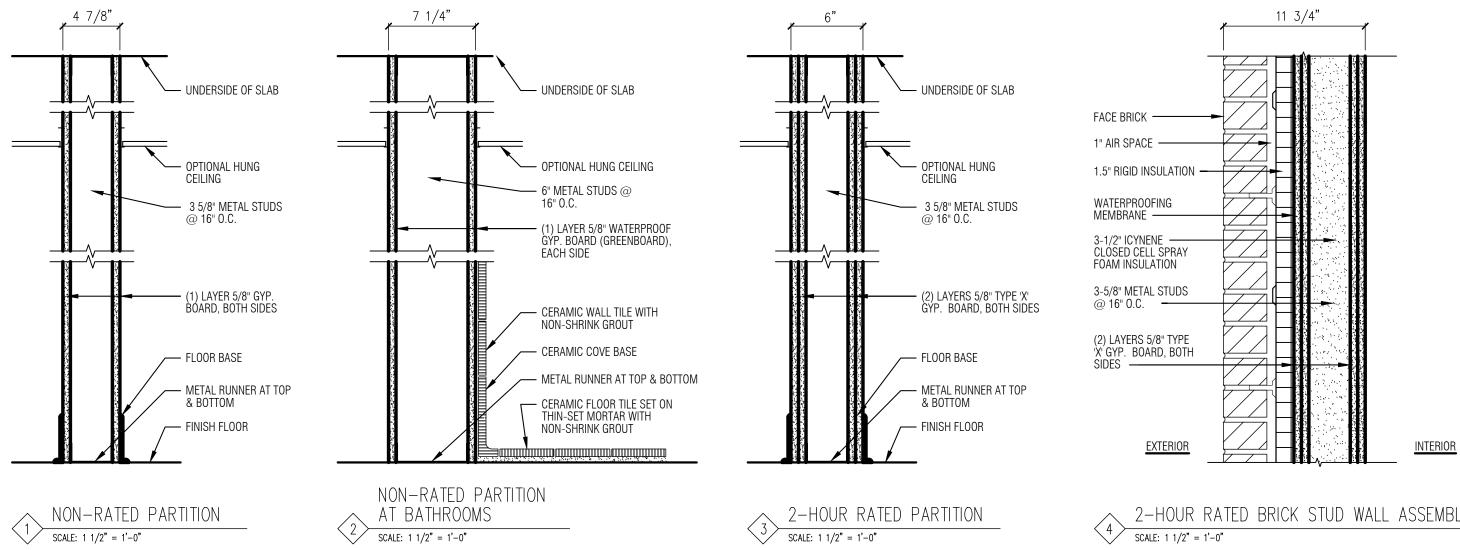
CONSTRUCTIO	N ELEVATION LEGEND
	HATCHED BRICK MASONRY AREA DENOTES THE NEW STORY ADDITIONS
KFY I	NOTE TAGS
	NEW ROOF ACCESS LADDER - PAINT TO MATCH METAL CLADDING. SEE #7/A-500 FOR TYPICAL ELEVATIONS
$\langle 2 \rangle$	NEW 42" HIGH PIPE RAILING
<u> </u>	NEW TERRACE DOORS
<u> </u>	NEW GLASS TRANSOM
(5)	NEW VERTICAL ALUMINUM CLADDING - FINISH TO BE MATTE BLACK
$\langle 6 \rangle$	NEW FIRE ESCAPE
(7)	NEW FIRE ESCAPE LADDER
<u>(8)</u>	EXISTING GOOSENECK VENT PIPE TO REMAIN
<u>(9)</u>	SIAMESE CONNECTION AT NEW
(10)	EXISTING CAST IRON COLUMN TO REMAIN
(11)	TO REMAIN
(12)	NEW BRICK CONSOLE
(13)	NEW BRICK CORNICE
(14)	NEW METAL GUARDRAIL AT 42" HEIGHT ABOVE FLOOR
(15)	COPING FINISH AND COLOR TO MATCH METAL CLADDING
(16)	18" DEEP FRAME/AWNING - FINISH TO MATCH METAL
(17)	CLADDING NEW BRICK TO MATCH
(18)	ADJACENT BUILDINGS EXISTING WINDOW SILL TO REMAIN (TYPICAL)
<u>(</u> 19)	NEW METAL/GLASS WINDOW - FINISH AND COLOR TO MATCH
20	METAL CLADDING PATCH AND REPAIR EXISTING STUCCO FINISH (COLOR: TBD)
<u>(21)</u>	EXISTING SKYLIGHT TO REMAIN - PAINT TO MATCH METAL
<u>(</u> 22)	CLADDING ALL WINDOW OPENINGS AND SILLS TO MATCH ORIGINAL
23	CONSTRUCTION THREE LAYERS OF NEW BRICK RUNNING BOND ABOVE BRICK ARCHES (TYP.)
24	PROPOSED BRICK ARCH AND SECONDARY BRICK ARCH (TYP.)
25	NEW WINDOW AND FRAME - SEE WINDOW SCHEDULE, A-600
26	PATCH AND REPAIR EXISTING MASONRY
(27)	NEW MECHANICAL EQUIPMENT (SEE MECH. DWGS.)
(28)	NEW SCUPPER & LEADER DOWN TO ROOF BELOW
2 9	ALL STAIRWAYS SHALL BE PLACED AT AN ANGLE OF NOT MORE THAN 60 DEGREES WITH FLAT OPEN STEPS NOT LESS THAN SIX (TYP.)
30	EXIST'G FIRE ESCAPE TO BE REPAIRED OR REPLACED FOR BROKEN PARTS AND MISSING TREADS AND BE PAINTED WITH TWO COATS OF RUST INHIBITIVE PAINT. FIRE ESCAPE TO CONFORM WITH 27-380 OF NYC BUILDING CODE.
(31)	NEW TRANSOM WINDOW (TYP.)
32	NEW EQUIP. SCREENING FENCE AS PER ZR-4342(E)
(33)	NEW ELEVATOR SMOKE VENT. (REF. MECH. DWGS.)
	•]

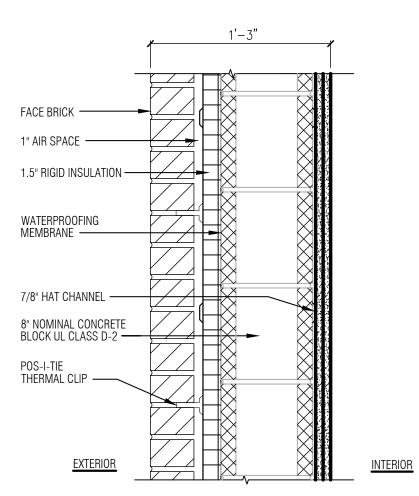
		A ARCHITECTURE
	MAIN OFFICE:	GINEERING, LLP 175 GREAT NECK ROAD, SUITE 303 AT NECK, NEW YORK 11021
	ROOKLYN OFF	ICE: 6024 14TH AVENUE, 2ND FLOOR BROOKLYN, NY 11219
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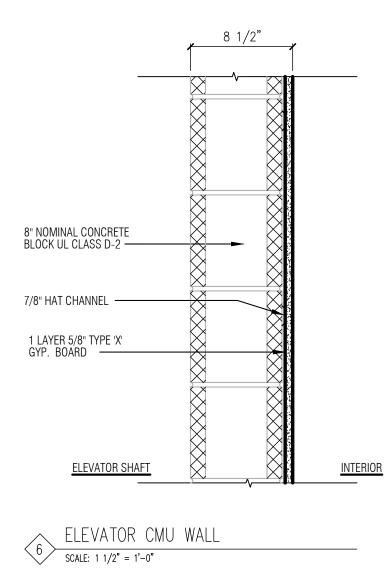
CONSTRUCT	ON SECTION NOTES
KEY N	NOTE TAGS
	NEW ROOF ACCESS LADDER
2>	NEW STONE COPING
3	NEW EXTERIOR BRICK WALL TO MATCH EXISTING
4	NEW PRE-FINISHED ALUMINUM WINDOWS
5	NEW DOUBLE DOORS
6	EXISTING EXTERIOR BRICK WALL TO REMAIN
7	EXISTING WINDOWS TO REMAIN
8	EXISTING STONE COPING TO REMAIN
(9)	EXISTING SIDEWALK
(10)	EXISTING STOREFRONT ENTRY WOOD DOORS TO REMAIN
(11)	EXISTING STORAGE TO REMAIN
(12)	EXISTING FLOOR ASSEMBLY TO REMAIN
(13)	NEW FIRE ESCAPE METAL STAIRS EXTENDED AND REPLACED AT EXISTING LOCATION. NEW ACCESS OPENING AT ROOF PARAPET
(14)	NEW ROOF - CONTRACTOR TO INSTALL NEW ROOF DECKING, ROOFING MEMBRANE, CONCRETE PAVERS & FLASHING, AS REQUIRED
(15)	NEW FLOOR
(16)	NEW HVAC CONDENSER ON PROPOSED DUNNAGE
(17)	NEW 1 1/2", 36" HIGH, ROUND METAL PIPE STAIRCASE RAIL
(18)	NEW FIRE ESCAPE LADDER
(19)	EXISTING COLUMN TO REMAIN
20>	FIRE-RATED DOOR WITH FIREGLASS OPENING AT PENTHOUSE STAIRWELL
(21)	NEW SKYLIGHT
22>	EXISTING SKYLIGHT TO REMAIN
23	NEW FRAMED FLOORING
24>	NEW FURRED WALL AT STAIRS
(25)	NEW RAILING
(26)	PROPOSED PARAPET
27>	NEW MECHANICAL EQUIPMENT (SEE MECH. DWGS.)





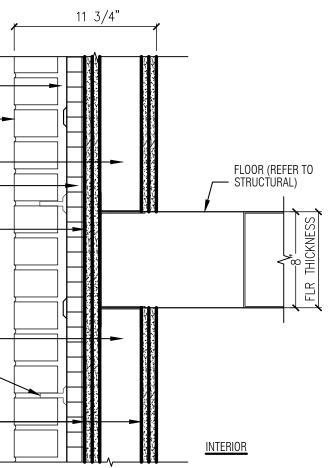




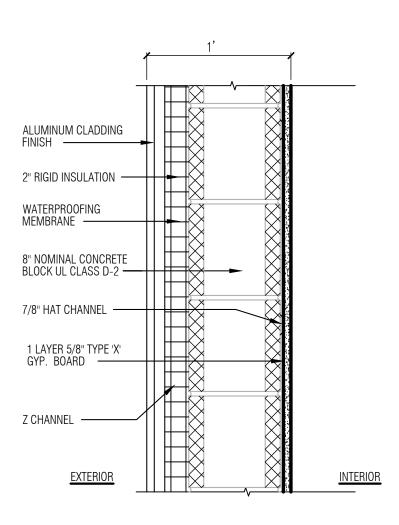


	1
1" AIR SPACE	
FACE BRICK	- -
3-5/8" METAL STUDS @ 16" 0.C.	<u>}</u>
1.5" RIGID INSULATION -	
WATERPROOFING MEMBRANE	
3-5/8" METAL STUDS @ 16" 0.C. POS-I-TIE THERMAL CLIP	
(2) LAYERS 5/8" FIRE-RESISTANT GYP. BOARD	}
EXTERIOR	

4 2-HOUR RATED BRICK STUD WALL ASSEMBLY SCALE: 1 1/2" = 1'-0"

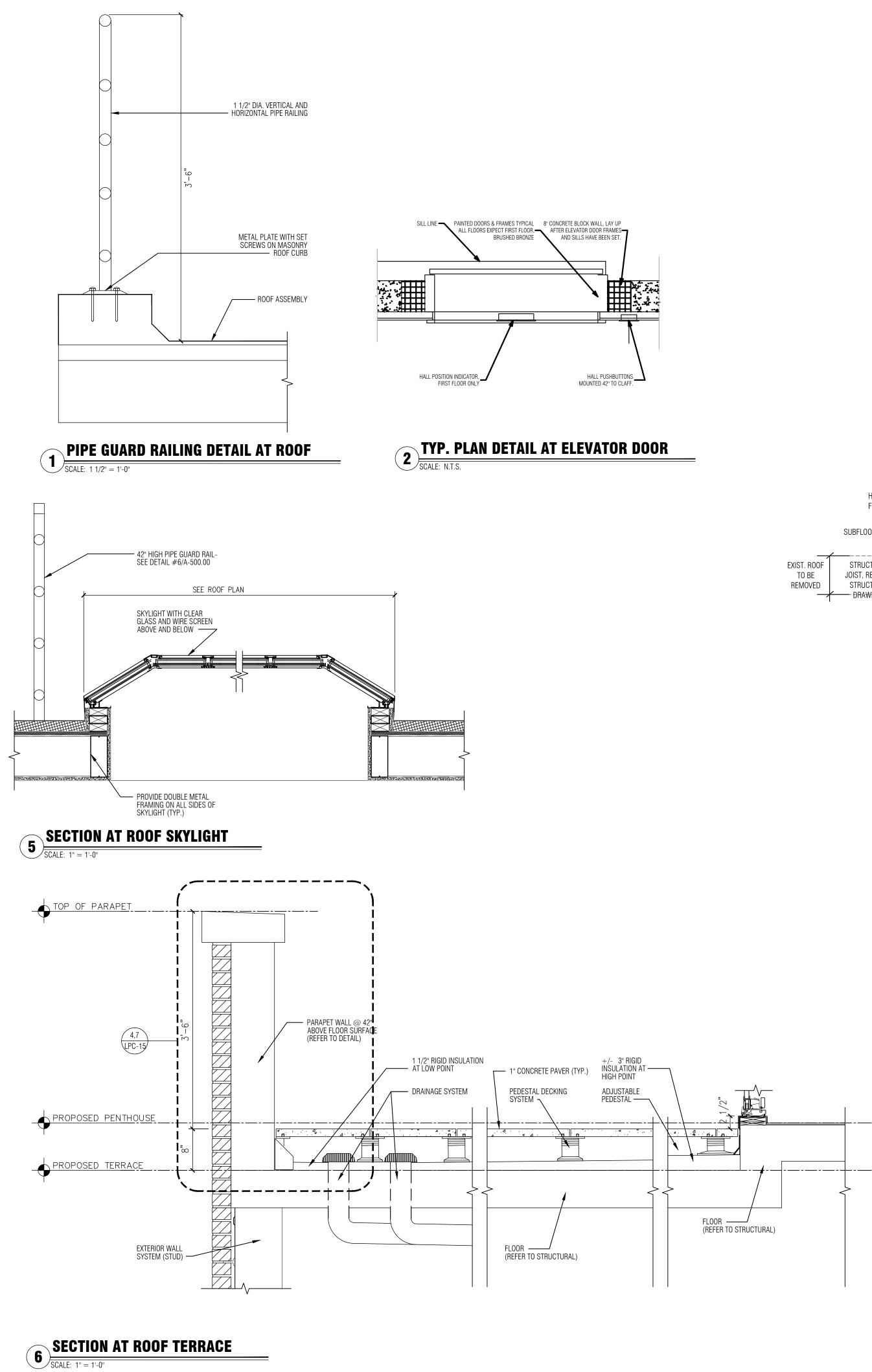


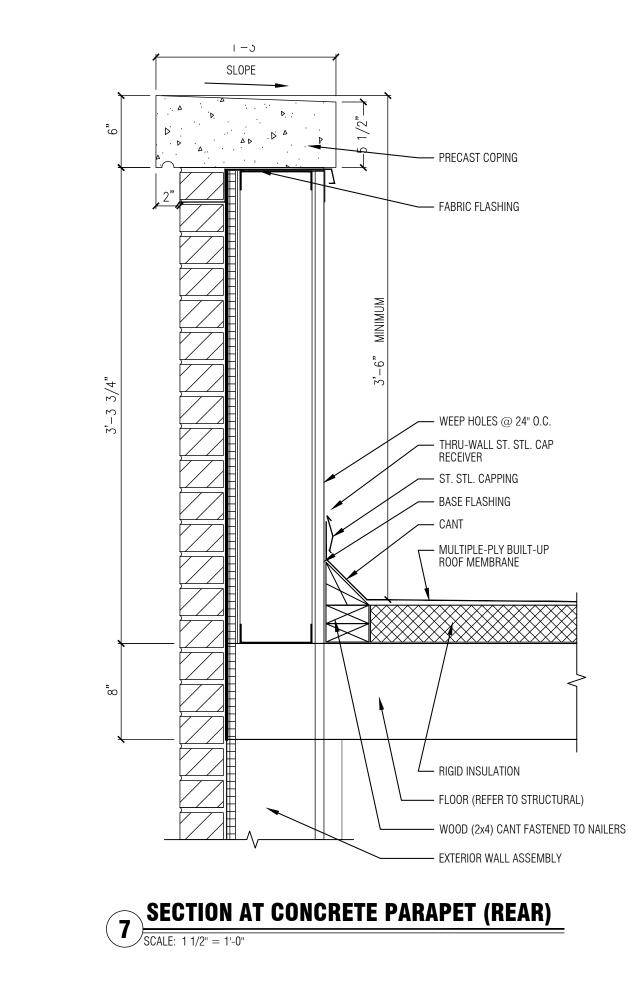
7 2-HOUR RATED BRICK WALL ASSEMBLY W/ FLOOR EDGE

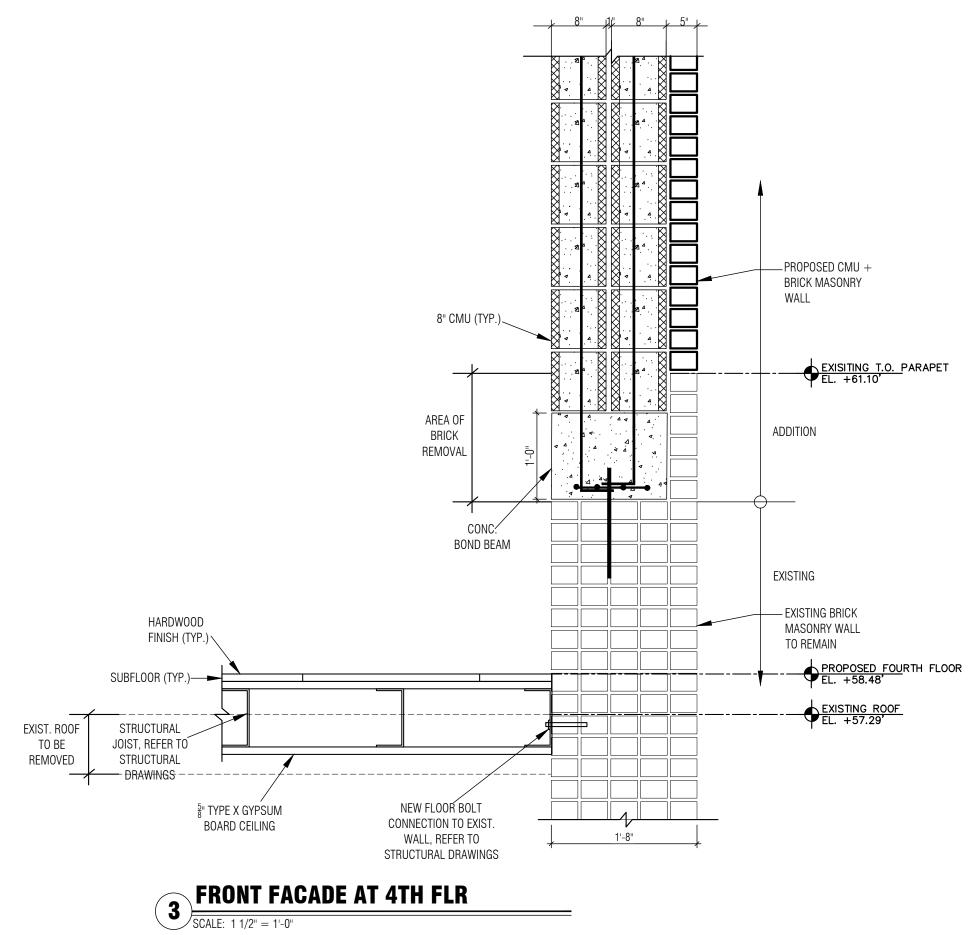


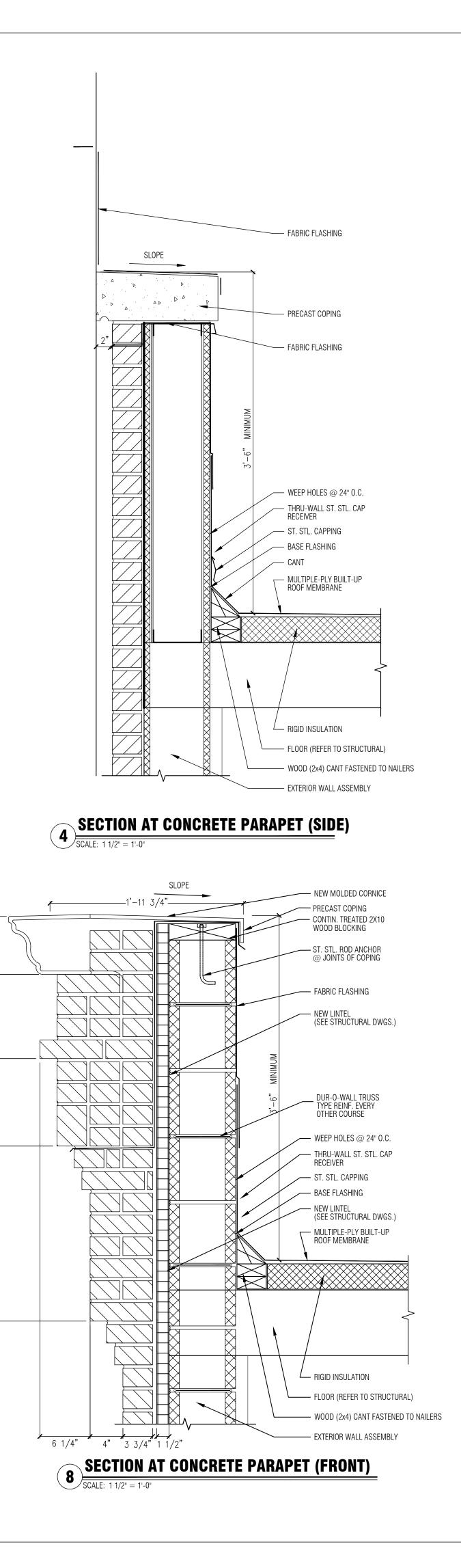


COSTA ARCHITECTURE & ENGINEERING, LLP
MAIN OFFICE: 175 GREAT NECK ROAD, SUITE 303 GREAT NECK, NEW YORK 11021 BROOKLYN OFFICE: 6024 14TH AVENUE, 2ND FLOOR BROOKLYN, NY 11219 TEL: (212) 688-6194 (516) 829-0278 (718) 851-6663
THEL: (2 T2) 000-0134 (310) 023-0270 (110) 031-0000 THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF COSTA ARCHITECTURE & ENGINEERING, LLP (CAE) WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH CAE SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF CAE REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO CAE WITHOUT PREJUDICE. THE FIRM OF CAE HAS NOT BEEN RETAINED TO DO FIELD SUPERVISION OR INSPECTION. THE FIRM OF CAE HAS NOT BEEN RETAINED TO PROVIDE SERVICES RELATED TO ASBESTOS, TOXIC WASTE, OR HAZARDOUS MATERIALS, THEIR REMOVAL, ABATEMENTS, OR ENCAPSULATING.
Revision Schedule # Date Description
Issue Schedule
Date Description 1 04/28/2021 PERMIT SET 2 12/16/2021 ISSUE TO OWNER 2 01/19/2022 ISSUE FOR LPC
FOR DOB USE:
PROFESSIONAL SEAL:
PROJECT SCOPE:
2-STORY + PENTHOUSE ADDITION, CHANGE IN EGRESS, OCCUPANCY AND USE
APPLICATION TYPE: ALTERATION TYPE-1 BIS#: 121209094
PROJECT TITLE: 52 GREENE PARTNERS, LLP
52 GREENE STREET NEW YORK, NY 10013
SHEET TITLE: PARTITION TYPES &
EXTERIOR DETAILS
08/21/2021 21094 PROJ. MNGR.: CD SHEET: 14 of 26 SHEET# C C C
LPC-14.00
B-SCAN:



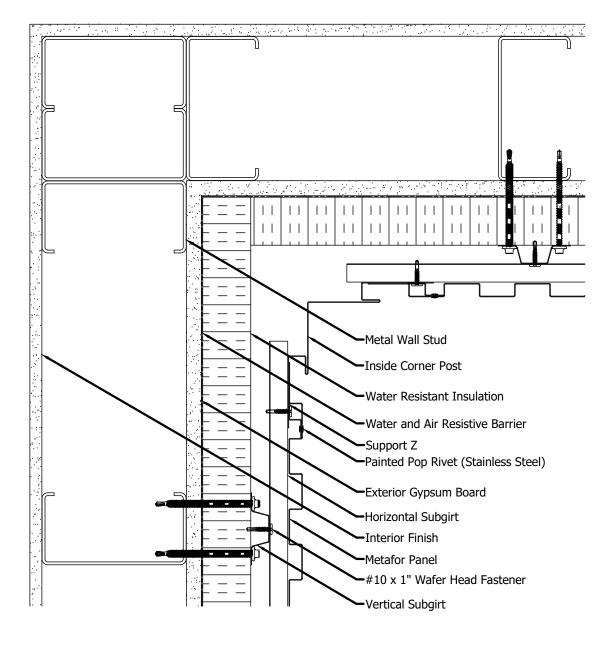




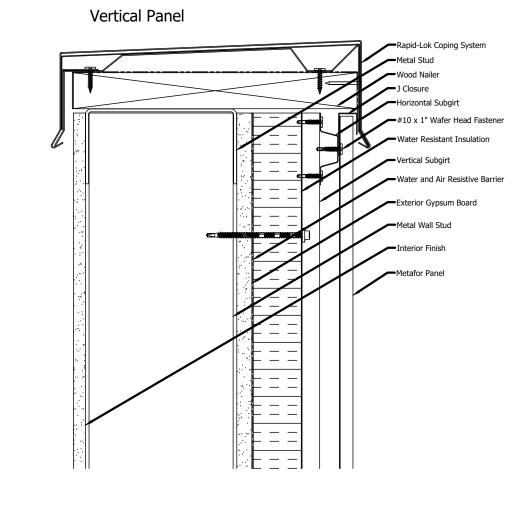


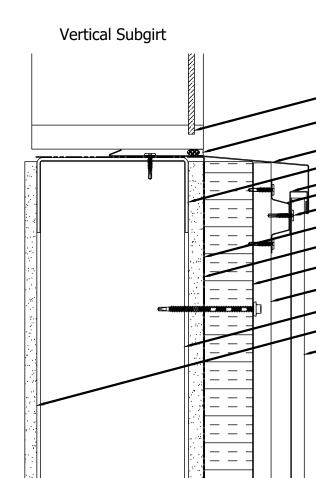
		A ARCHITECTURE
		IGINEERING, LLP : 175 GREAT NECK ROAD, SUITE 303
B	GRE ROOKLYN OF	AT NECK, NEW YORK 11021 FICE: 6024 14TH AVENUE, 2ND FLOOR BROOKLYN, NY 11219
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		TAL: + PENTHOUSE ADDITION, IN EGRESS, OCCUPANCY AND USE
PROJ	ECT SCOPE: 2-STORY	+ PENTHOUSE ADDITION, IN EGRESS, OCCUPANCY AND USE
PROJ APPL BIS#	ECT SCOPE: 2-STORY CHANGE	+ PENTHOUSE ADDITION, IN EGRESS, OCCUPANCY AND USE ALTERATION TYPE-
PROJ APPL BIS#	ECT SCOPE: 2-STORY CHANGE ICATION TYPE : ECT TITLE:	+ PENTHOUSE ADDITION, IN EGRESS, OCCUPANCY AND USE ALTERATION TYPE-
PROJ APPL BIS#	ECT SCOPE: 2-STORY CHANGE ICATION TYPE ECT TITLE: 52 G	+ PENTHOUSE ADDITION, IN EGRESS, OCCUPANCY AND USE ALTERATION TYPE- 121209094
PROJ BIS# PROJ	ECT SCOPE: 2-STORY CHANGE ICATION TYPE ECT TITLE: 52 G	+ PENTHOUSE ADDITION, IN EGRESS, OCCUPANCY AND USE ALTERATION TYPE- 121209094 REENE PARTNERS, LLP GREENE STREET
PROJ BIS# PROJ	ECT SCOPE: 2-STORY CHANGE ICATION TYPE ECT TITLE: 52 GI 52 (NEW	+ PENTHOUSE ADDITION, IN EGRESS, OCCUPANCY AND USE ALTERATION TYPE- 121209094 REENE PARTNERS, LLP GREENE STREET YORK, NY 10013 PARTITION TYPES &
PROJ BIS# PROJ SHEE	ECT SCOPE: 2-STORY CHANGE ICATION TYPE : ECT TITLE: 52 G 52 (NEW T TITLE:	+ PENTHOUSE ADDITION, in Egress, occupancy AND USE ALTERATION TYPE- 121209094 REENE PARTNERS, LLP GREENE STREET YORK, NY 10013 PARTITION TYPES & EXTERIOR DETAILS
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Vertical Panel

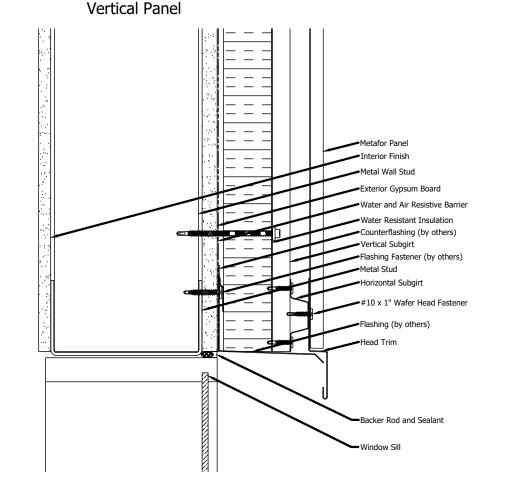




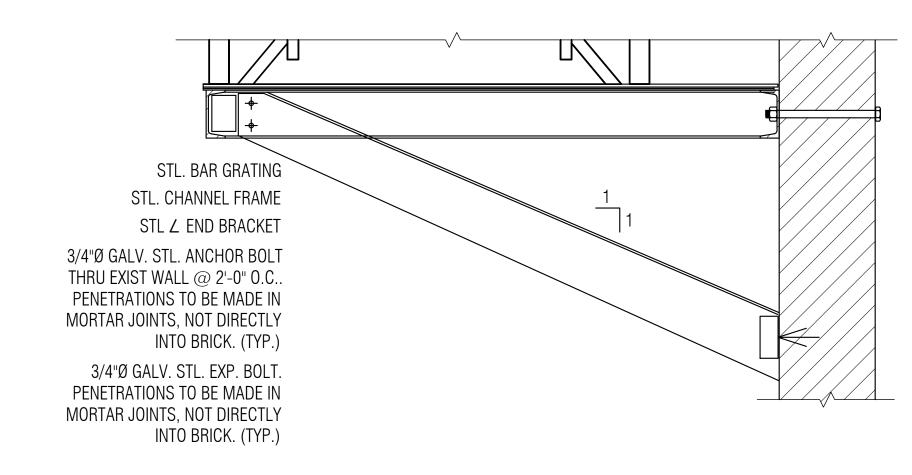




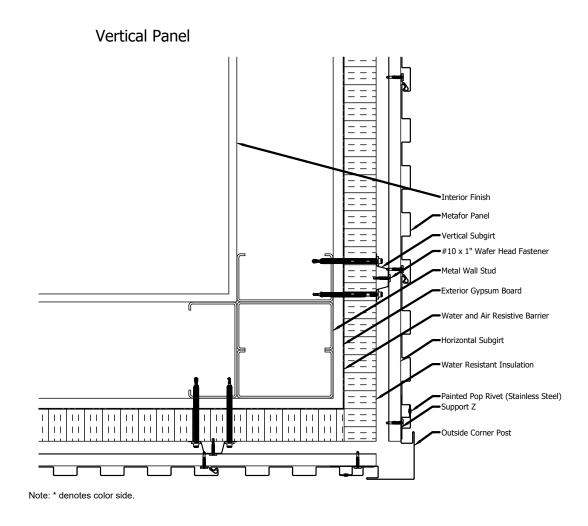




5 DETAIL @ TOP OF WINDOW/DOOR FRAME OPENING SCALE: 3" = 1'-0"



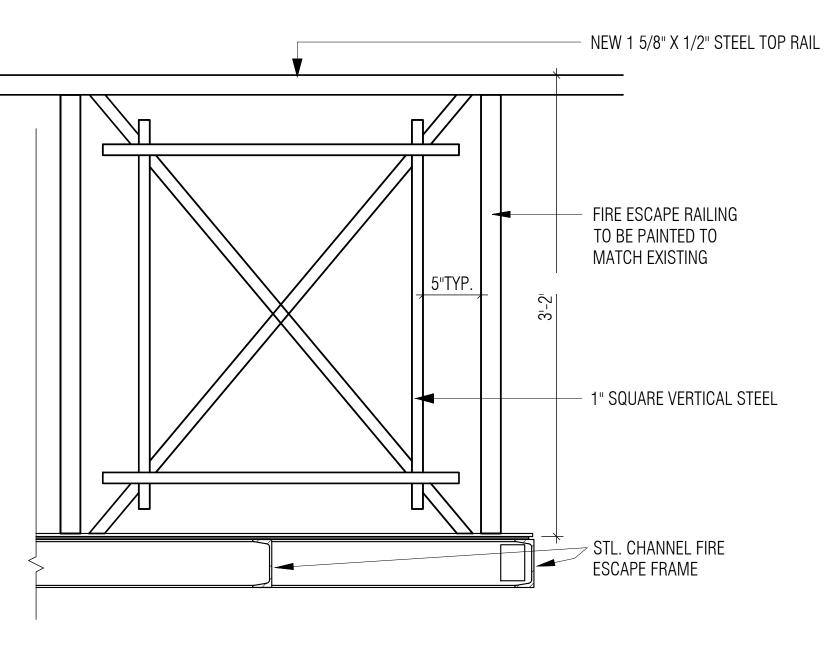




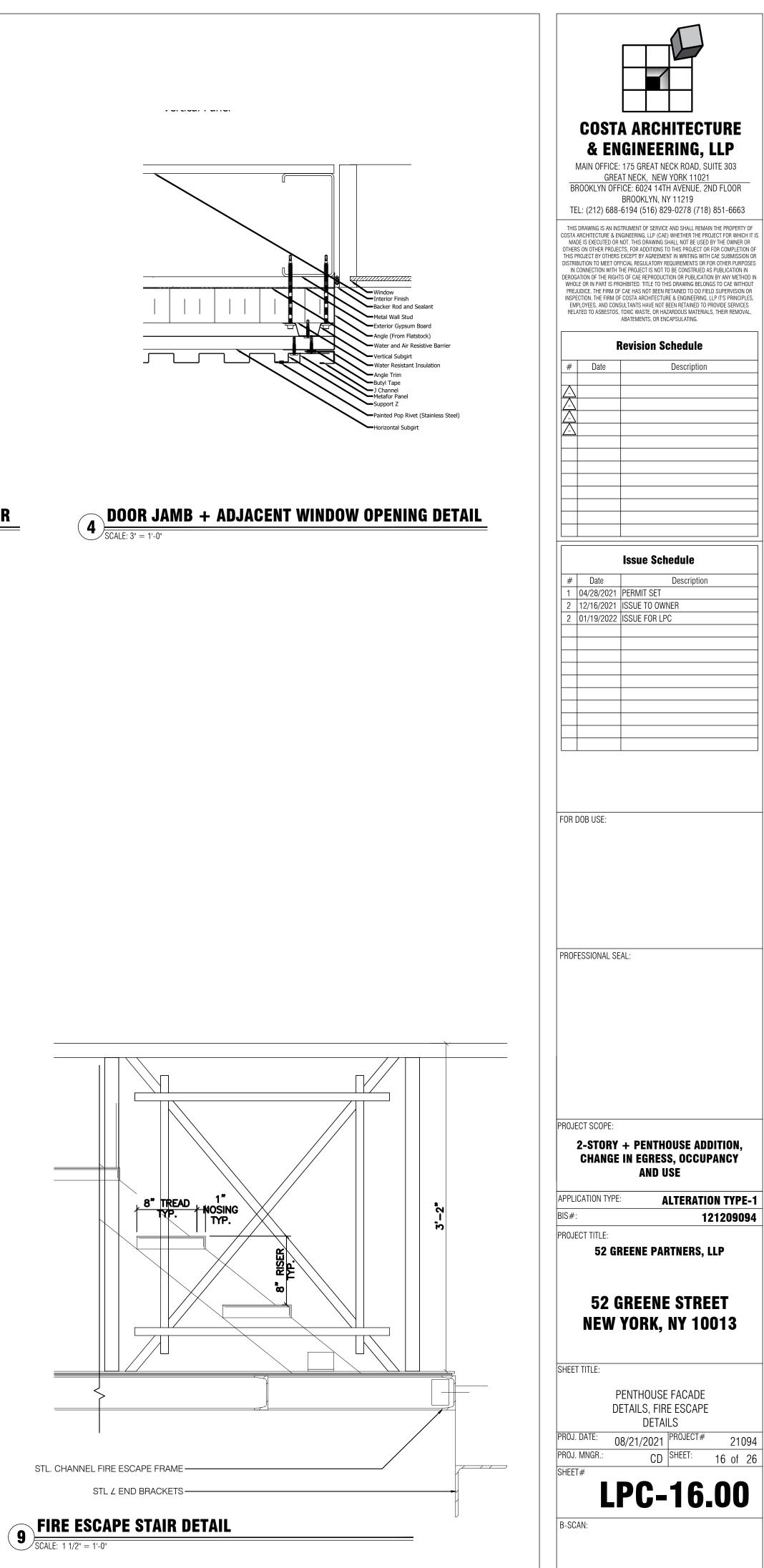
EXALLE: 3" = 1'-0"

REAR PENTHOUSE FACADE TRANSITION DETAIL - OUTSIDE CORNER 3 SCALE: 3" = 1'-0"

- Window Sill Trim Backer Rod and Sealar dow Sill Trir

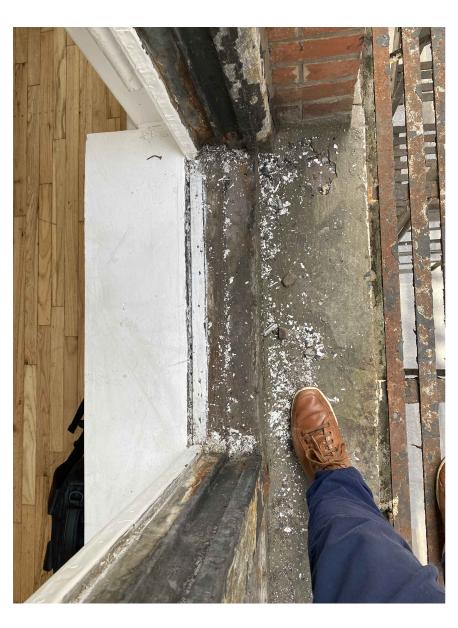












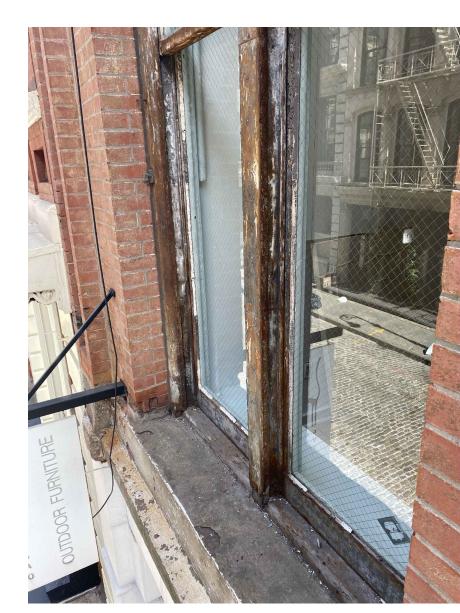












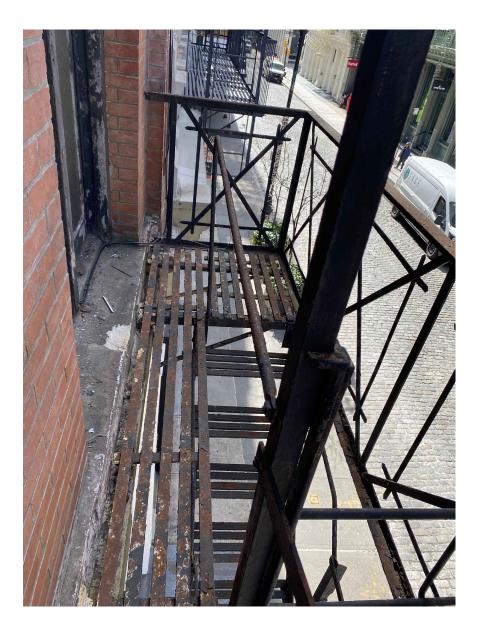






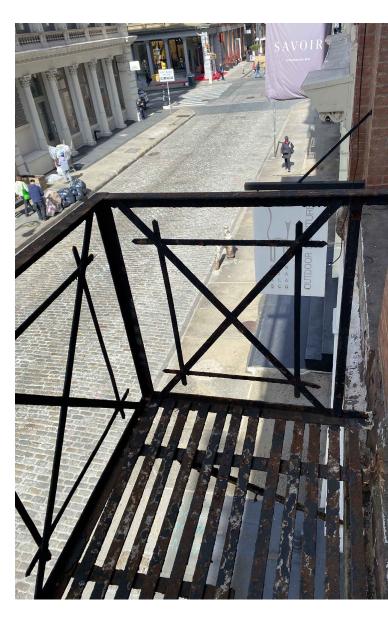




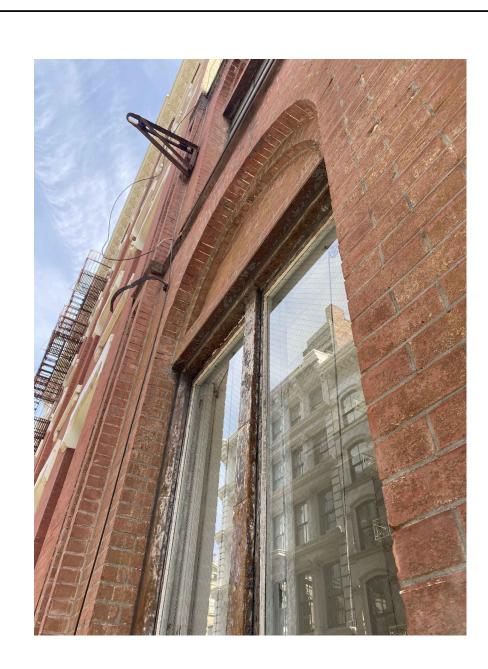


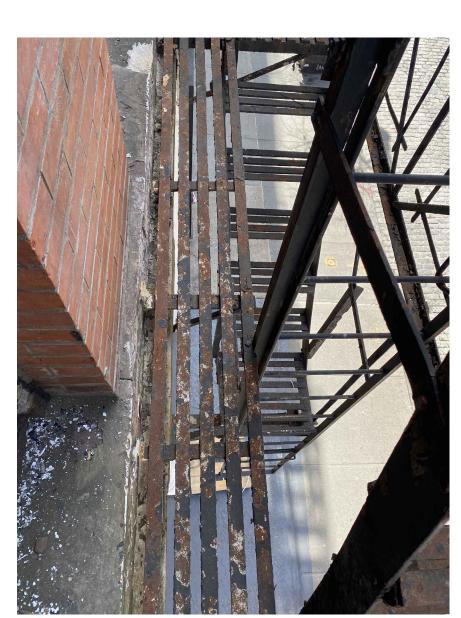


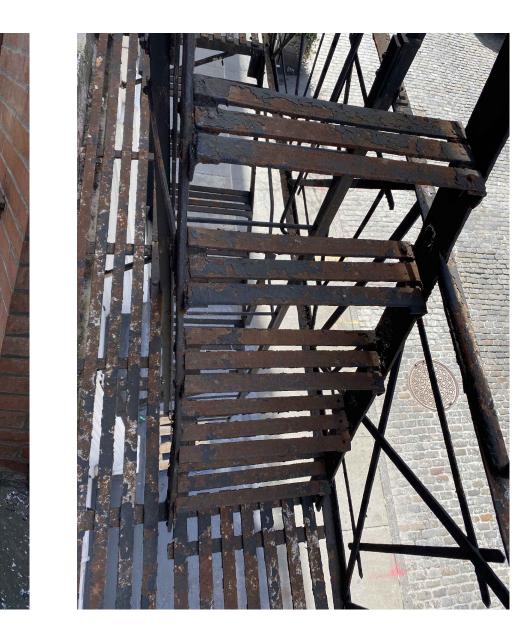




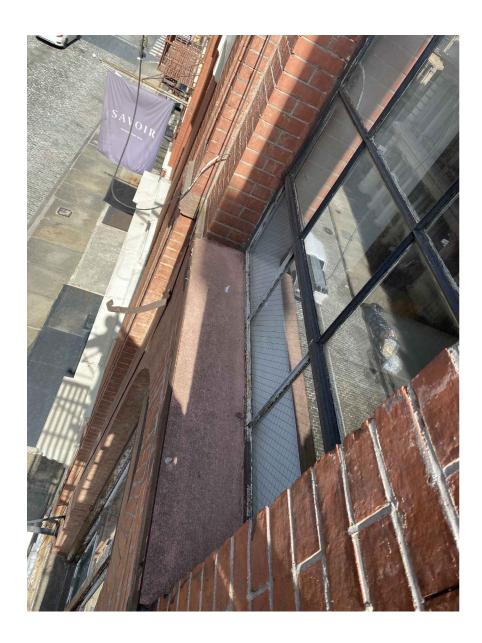


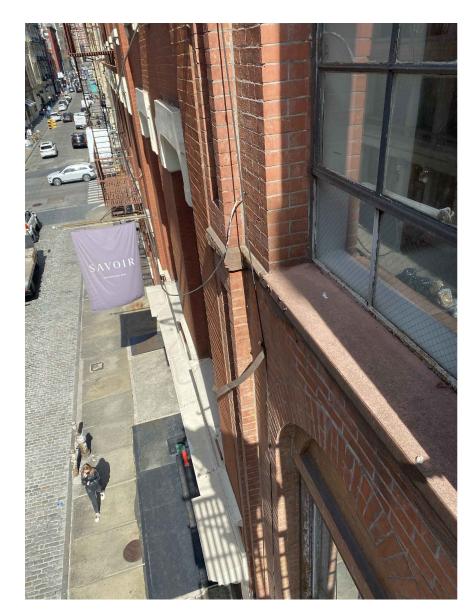






		A ARCHITECTURE
	MAIN OFFICE	IGINEERING, LLP E: 175 GREAT NECK ROAD, SUITE 303 EAT NECK, NEW YORK 11021
	ROOKLYN OF	FICE: 6024 14TH AVENUE, 2ND FLOOR BROOKLYN, NY 11219 8-6194 (516) 829-0278 (718) 851-6663
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		Revision Schedule
#	Date	Description
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1 2	04/28/2021 12/16/2021	ISSUE TO OWNER
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PROF	ESSIONAL S	EAL:
	ECT SCOPE: 2-STORY	EAL: Y + PENTHOUSE ADDITION, E IN EGRESS, OCCUPANCY AND USE
PROJI	ECT SCOPE: 2-STORY CHANGE	Y + PENTHOUSE ADDITION, E IN EGRESS, OCCUPANCY AND USE
PROJI APPL BIS#	ECT SCOPE: 2-STORY CHANGE ICATION TYPE : ECT TITLE:	Y + PENTHOUSE ADDITION, E IN EGRESS, OCCUPANCY AND USE ■ ALTERATION TYPE-
PROJI APPL BIS#	ECT SCOPE: 2-STORY CHANGE ICATION TYPE ECT TITLE: 52 G	Y + PENTHOUSE ADDITION, E IN EGRESS, OCCUPANCY AND USE E ALTERATION TYPE- 121209094
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PROJI BIS# PROJI SHEE	ECT SCOPE: 2-STORY CHANGE ICATION TYPE ECT TITLE: 52 G 52 (NEW T TITLE: E . DATE: . MNGR.: T#	2 + PENTHOUSE ADDITION, E IN EGRESS, OCCUPANCY AND USE E ALTERATION TYPE-1 121209094 REENE PARTNERS, LLP GREENE STREET YORK, NY 10013 XISTING CONDITIONS PHOTO STUDY 6 08/21/2021 PROJECT# 21094

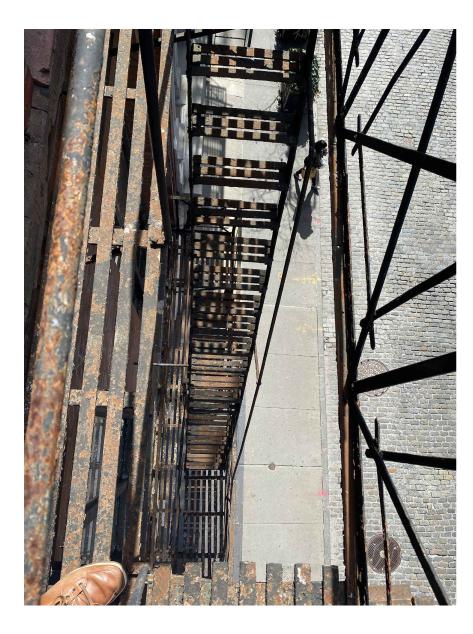








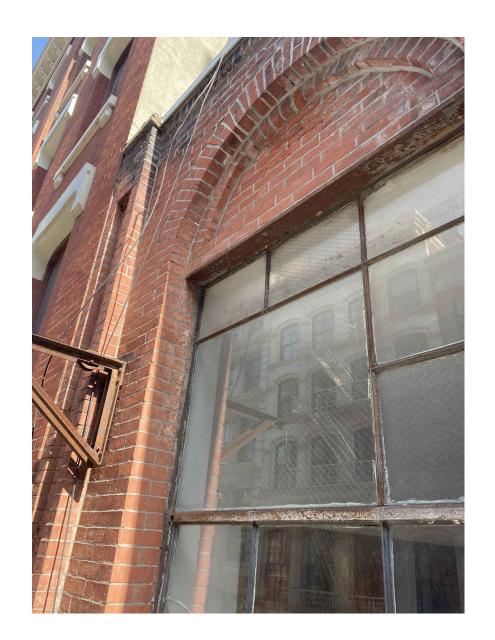






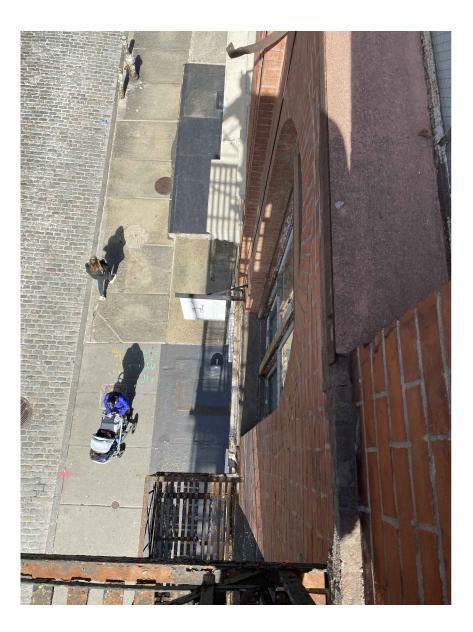
EXISTING PHOTOS OF FRONT FACADE AT THIRD FLOOR LEVEL SCALE: N.T.S.







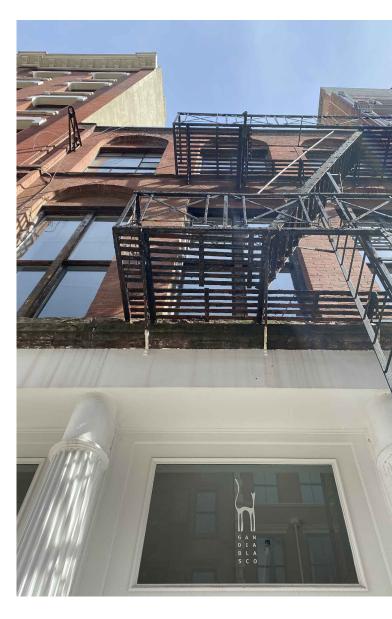


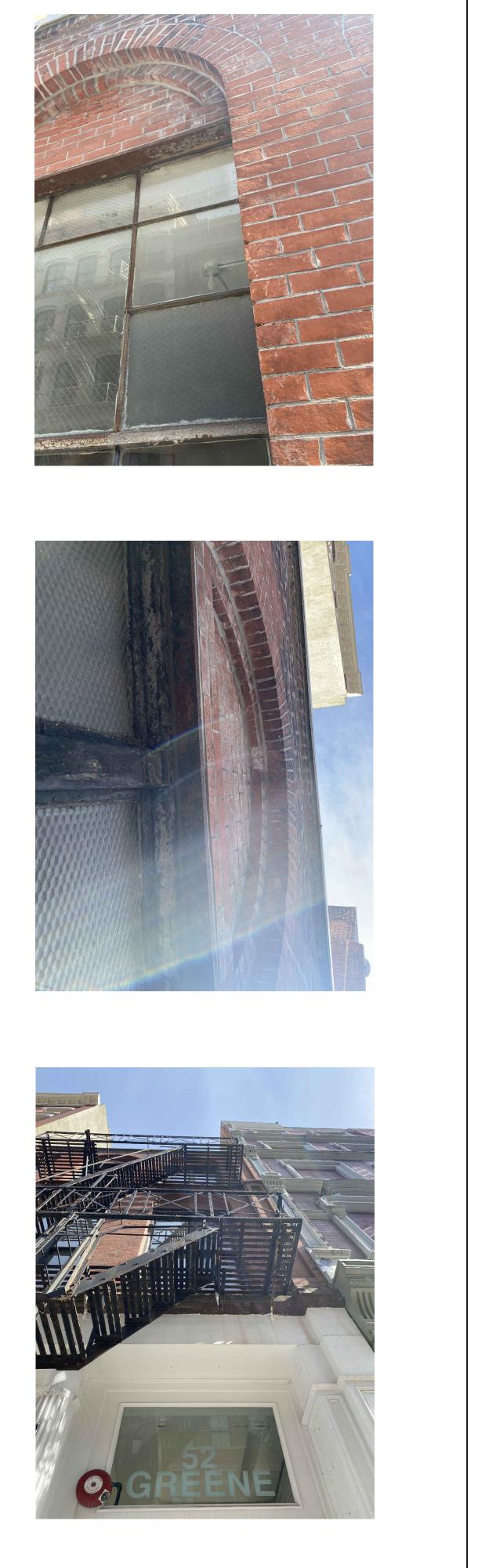






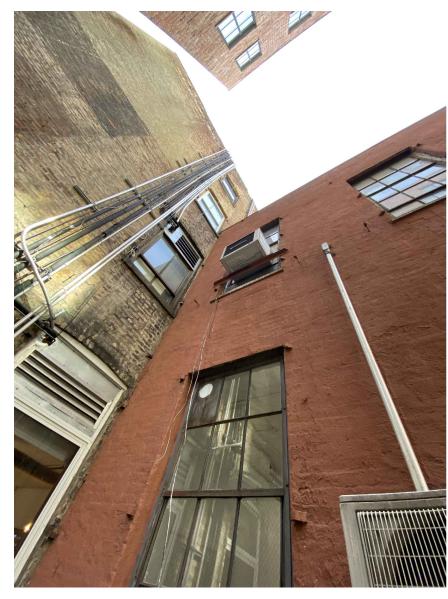




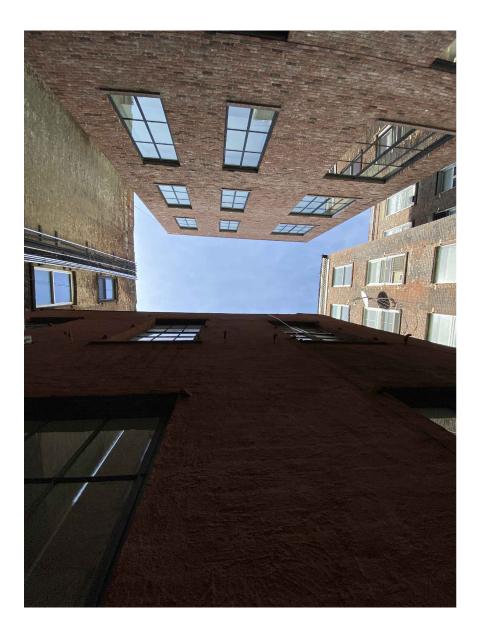


	COST	A ARCHITECTURE
		GINEERING, LLP 175 GREAT NECK ROAD, SUITE 303
	GREA	AT NECK, NEW YORK 11021 ICE: 6024 14TH AVENUE, 2ND FLOOR BROOKLYN, NY 11219
THIS	DRAWING IS AN INS	-6194 (516) 829-0278 (718) 851-6663 STRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF GRINEERING, LLP (CAE) WHETHER THE PROJECT FOR WHICH IT IS
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1 2	04/28/2021 12/16/2021	PERMIT SET ISSUE TO OWNER
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FOR	DOB USE:	
PROF	ESSIONAL SE	AL:
PROJE	ECT SCOPE:	
		+ PENTHOUSE ADDITION, IN EGRESS, OCCUPANCY
APPLI	CATION TYPE	AND USE ALTERATION TYPE-1
BIS#: Proje	ECT TITLE:	121209094
		REENE PARTNERS, LLP
	52 6	REENE STREET
		YORK, NY 10013
SHEET	t title: Ελ	KISTING CONDITIONS PHOTO STUDY 6
		8/21/2021 PROJECT# 21094
PROJ. Sheet		CD ^{SHEET:} 18 of 26
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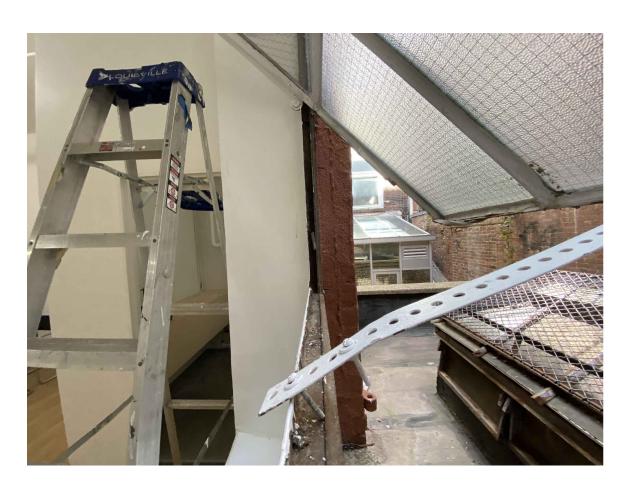




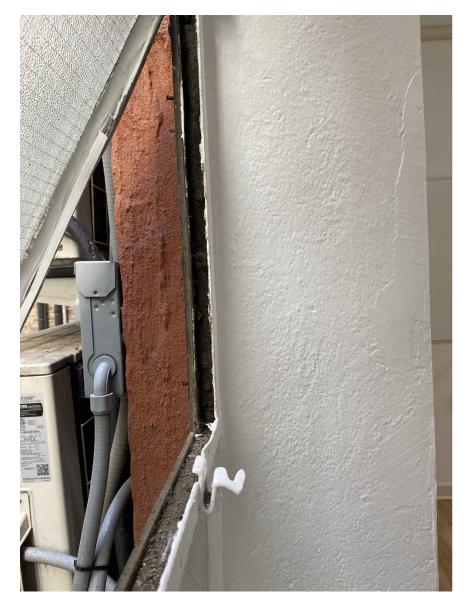










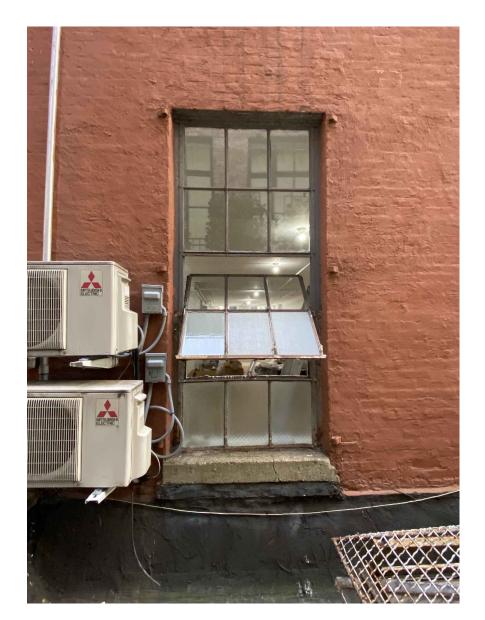






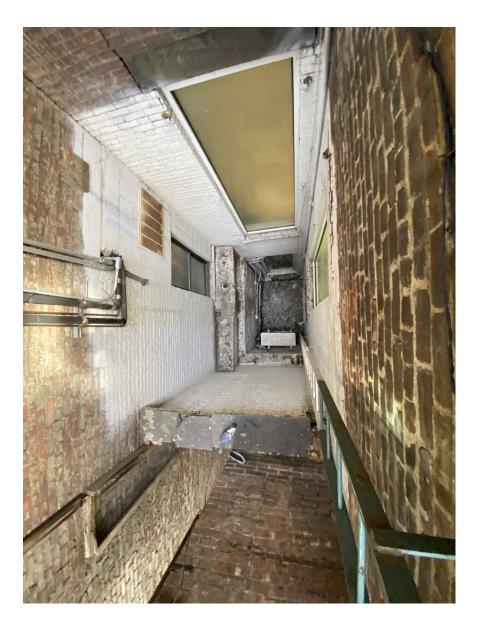


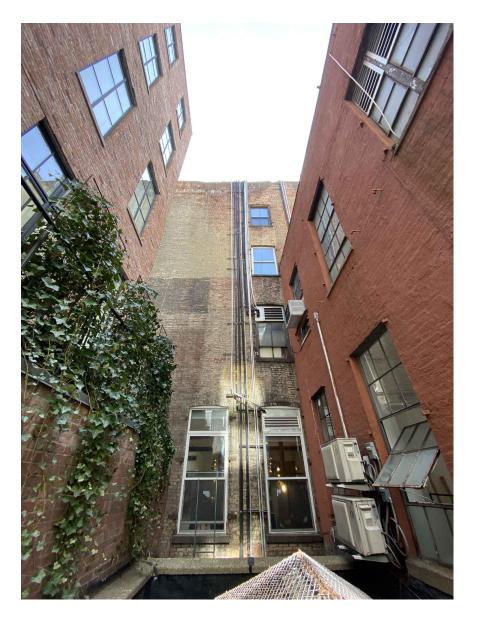


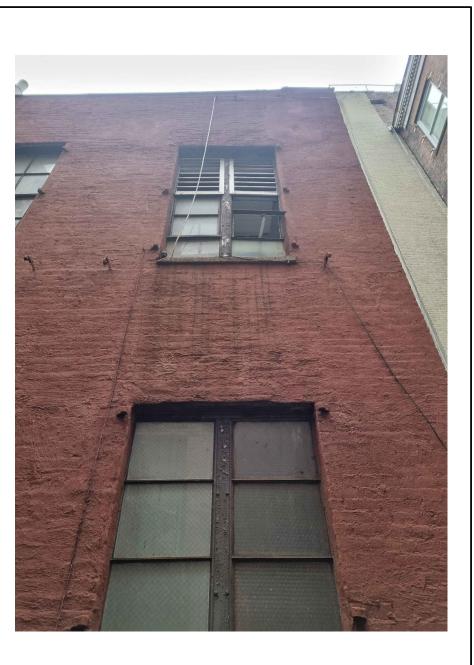




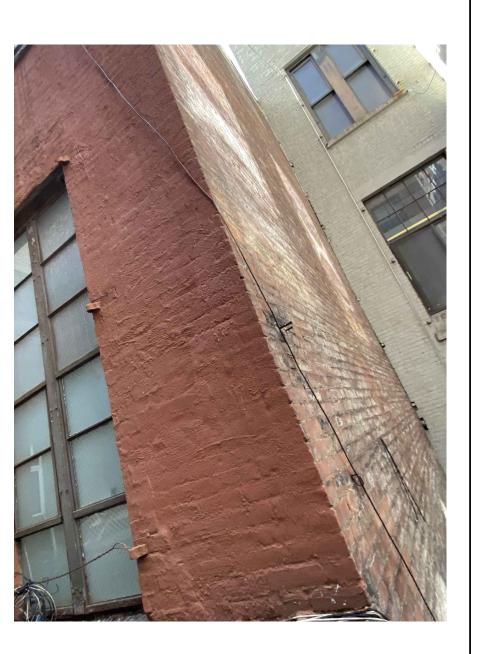


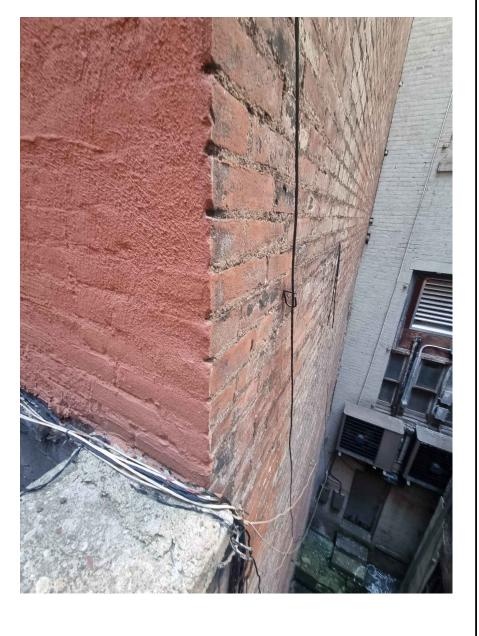




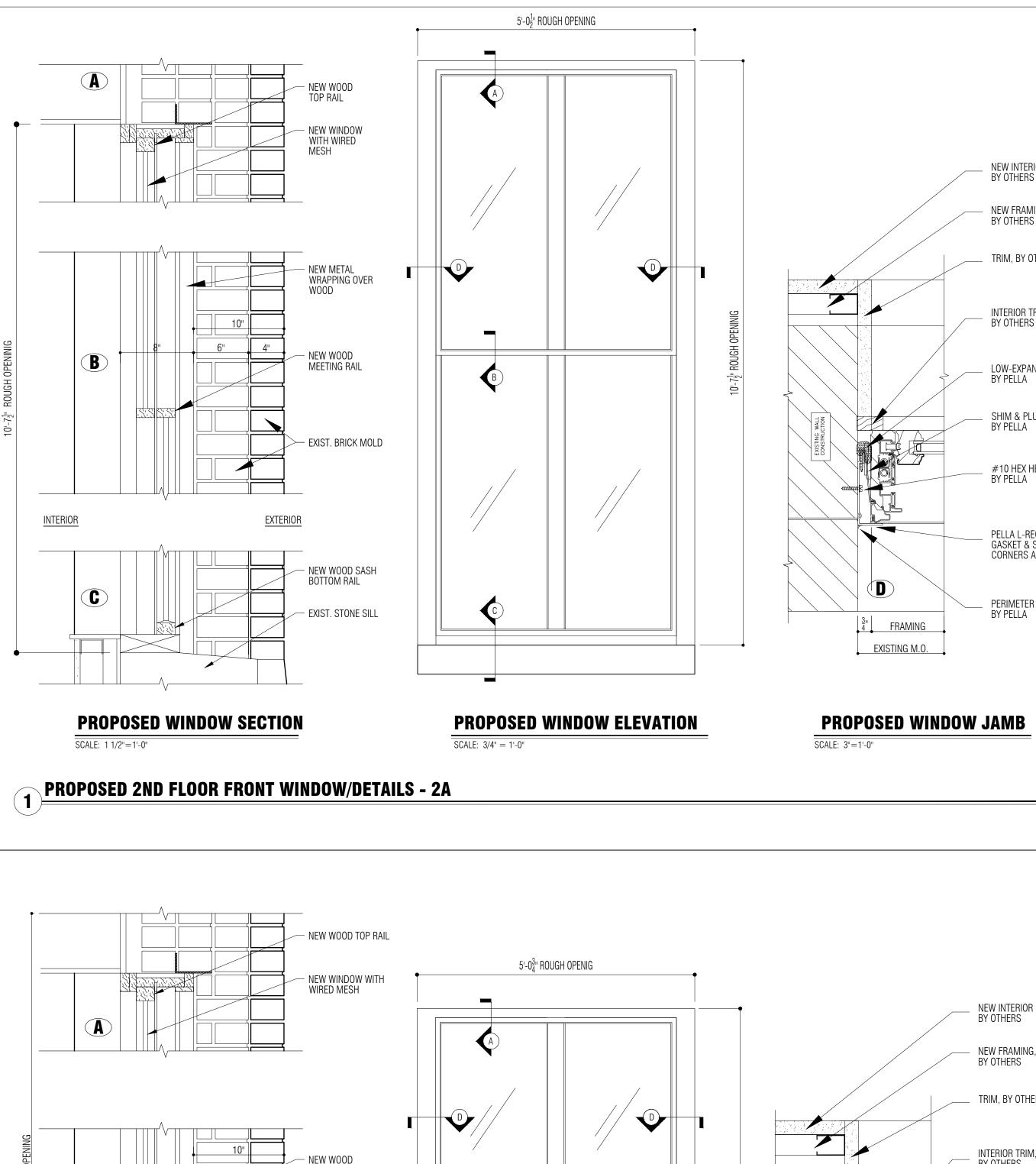


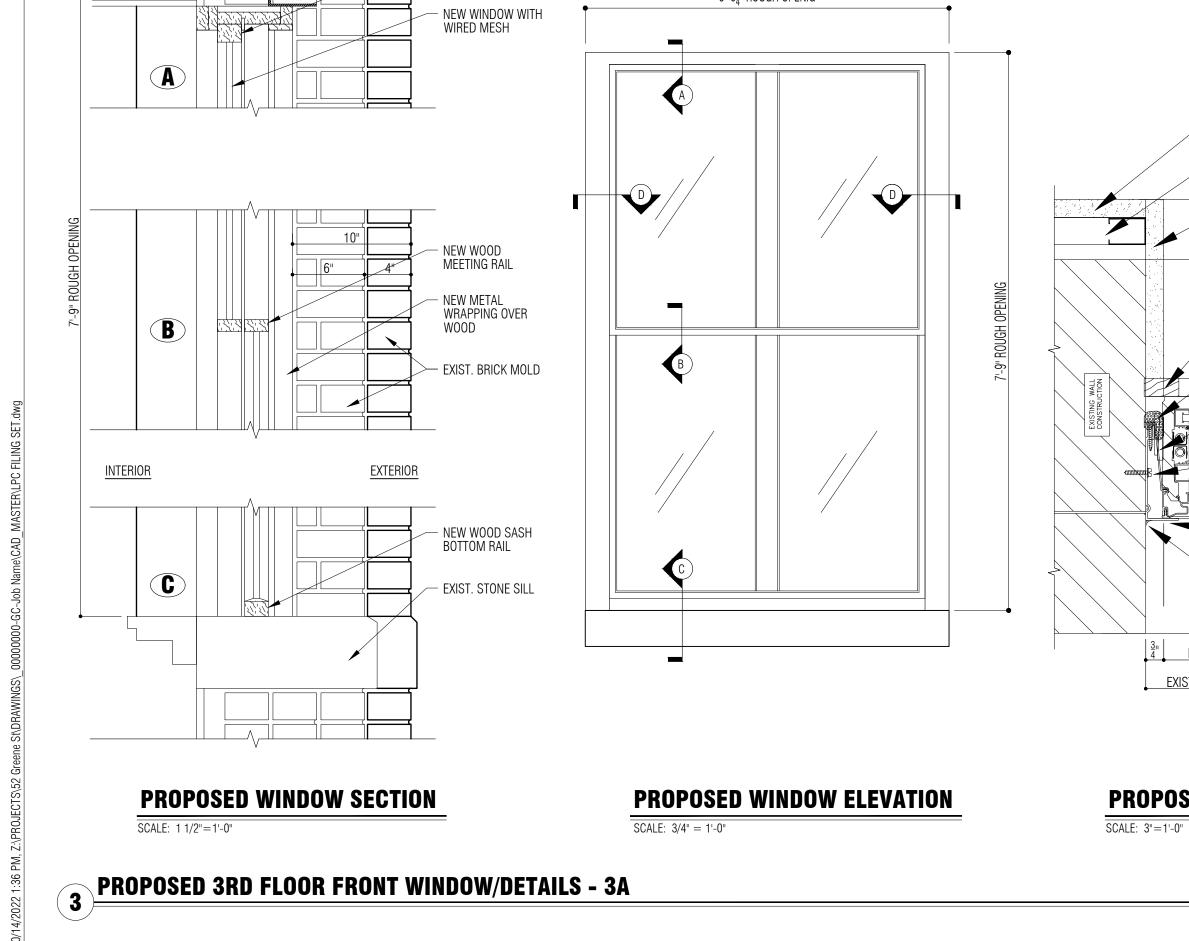






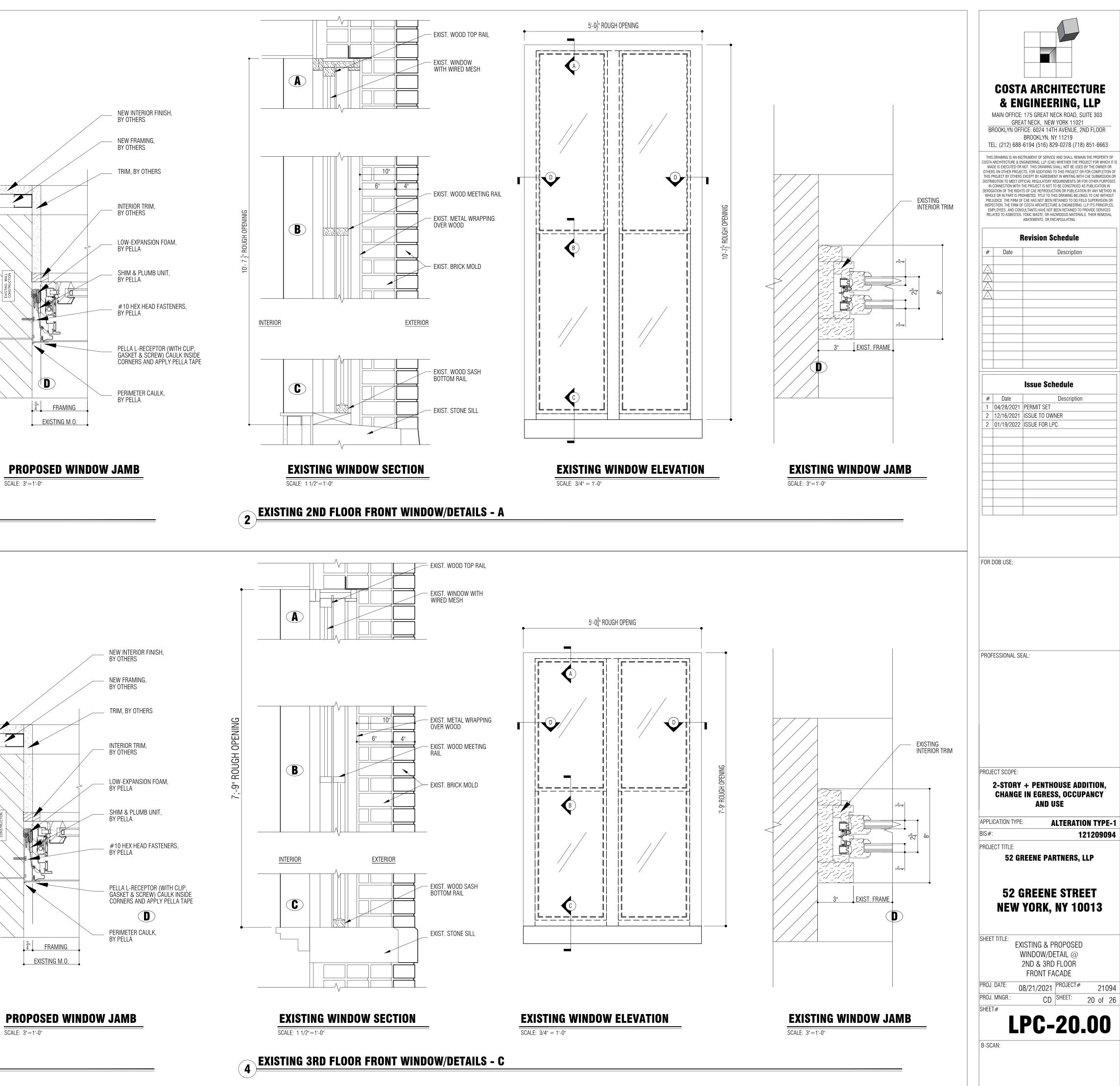
COSTA ARCHITECTURE
& ENGINEERING, LLP MAIN OFFICE: 175 GREAT NECK ROAD, SUITE 303 <u>GREAT NECK, NEW YORK 11021</u> BROOKLYN OFFICE: 6024 14TH AVENUE, 2ND FLOOR BROOKLYN, NY 11219
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APPLICATION TYPE: ALTERATION TYPE-1 BIS#: 121209094 PROJECT TITLE: 121209094
52 GREENE PARTNERS, LLP
52 GREENE STREET NEW YORK, NY 10013
SHEET TITLE: EXISTING CONDITIONS PHOTO STUDY 6
PROJ. DATE: 08/21/2021 PROJECT# 21094 PROJ. MNGR.: CD SHEET: 10 of 26
CD SHEET: 19 of 26 SHEET# LPC-19.00
B-SCAN:

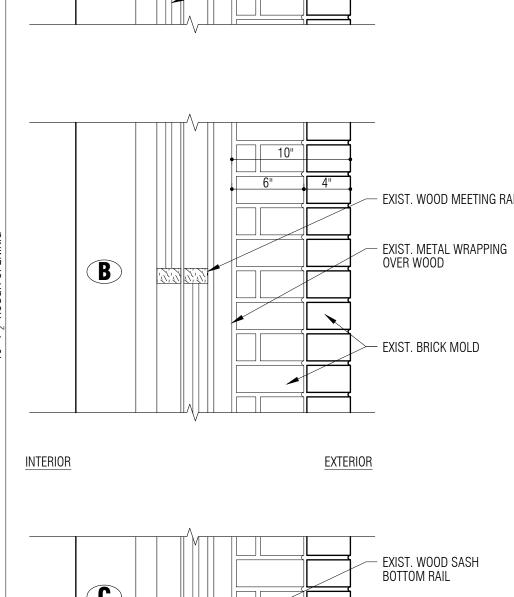


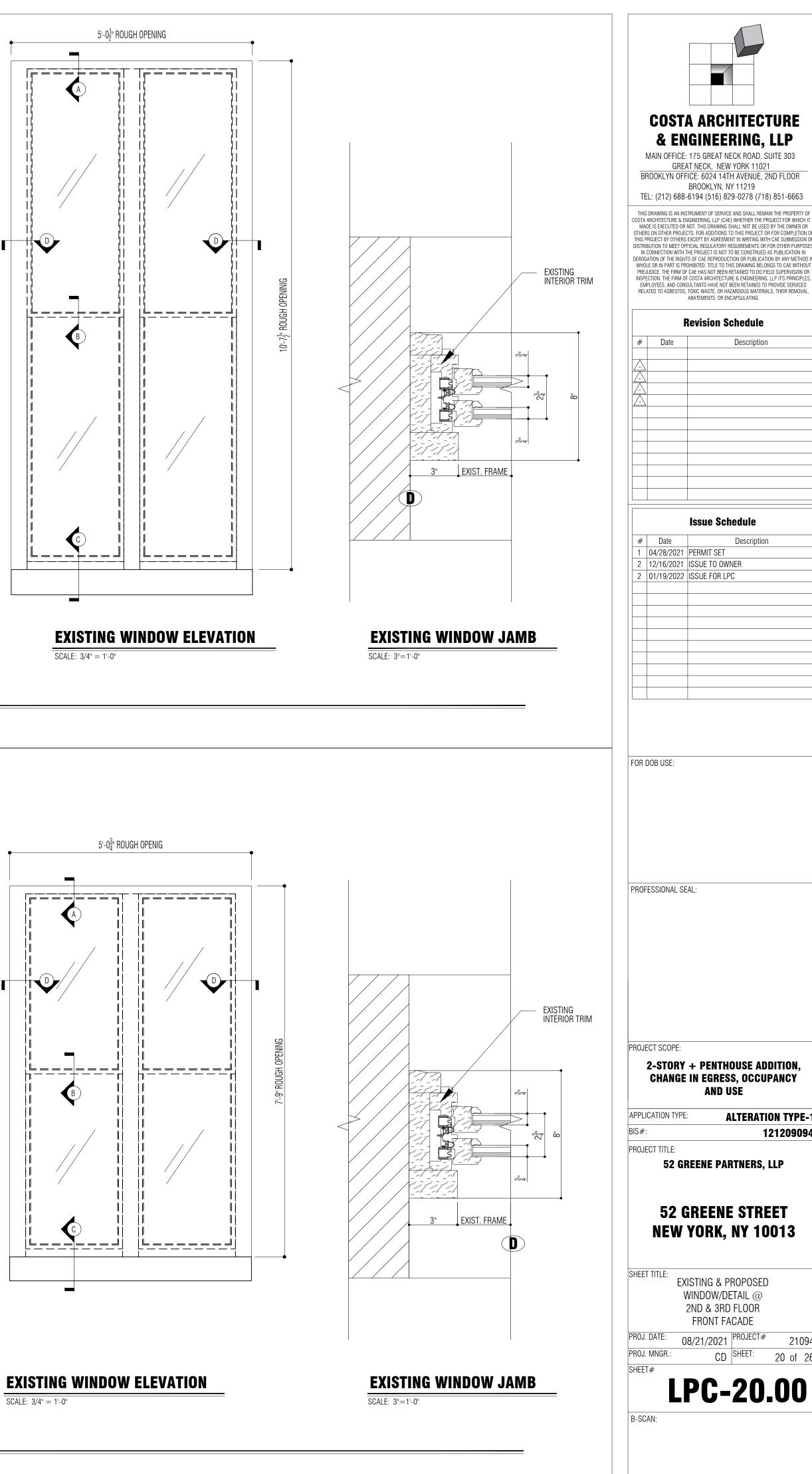


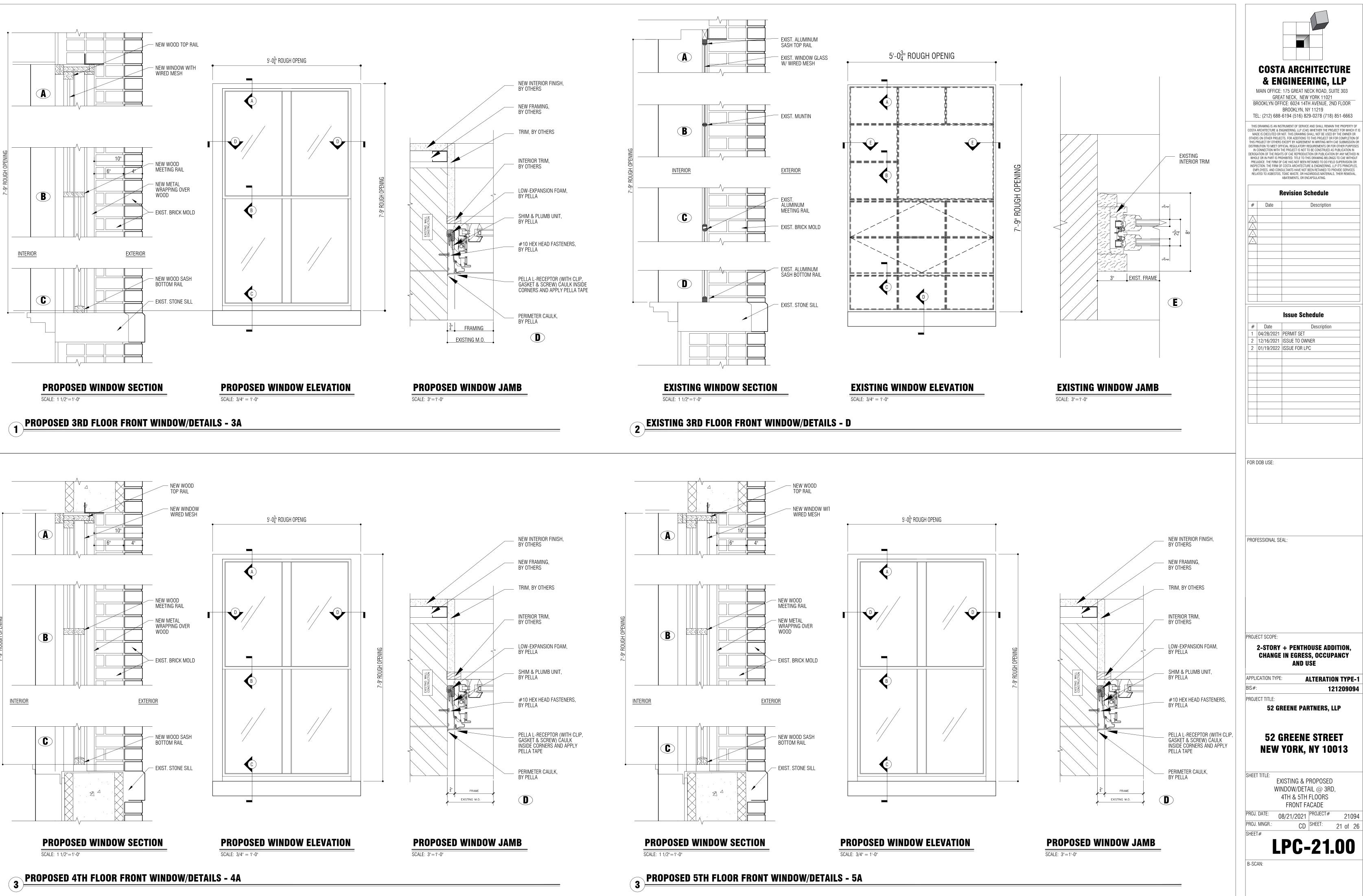


EXISTING WINDOW SECTION



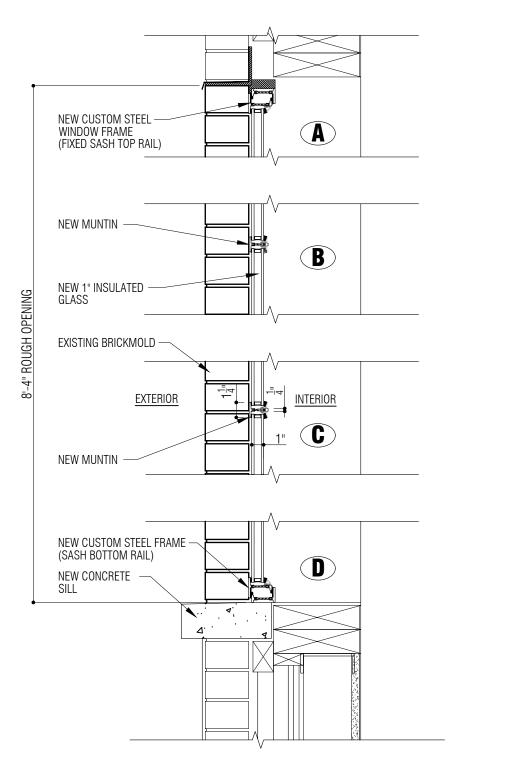


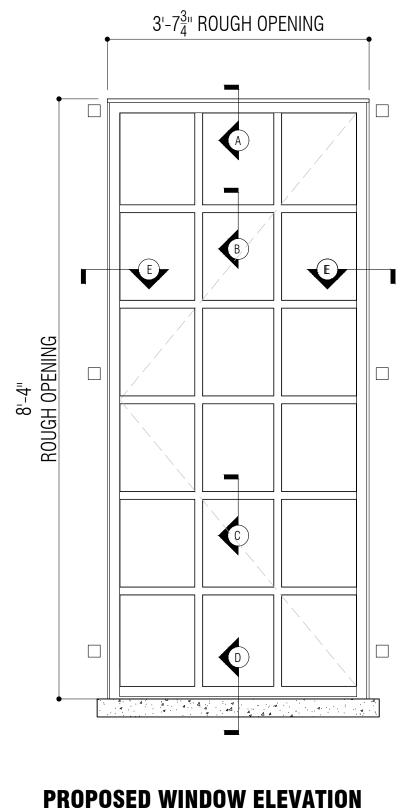




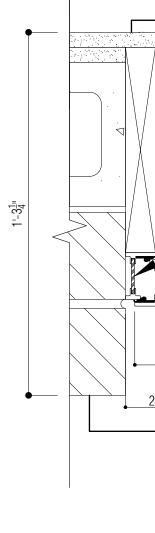








SCALE: 3/4" = 1'-0"



SCALE: 3"=1'-0"



PROPOSED WINDOW SECTION

NEW CUSTOM STEEL WINDOW FRAME -(FIXED SASH TOP RAIL)

NEW MUNTIN -

NEW 1" INSULATED GLASS -

EXISTING BRICKMOLD -

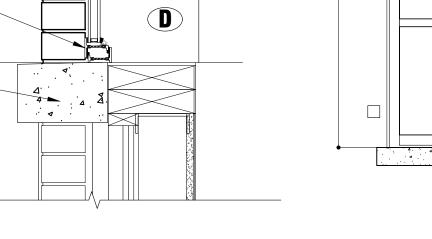
NEW MUNTIN

NEW CUSTOM STEEL FRAME (SASH BOTTOM RAIL)

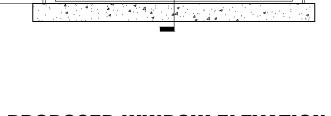
EXIST CONCRETE SILL

SCALE: 1 1/2"=1'-0"

EXTERIOR



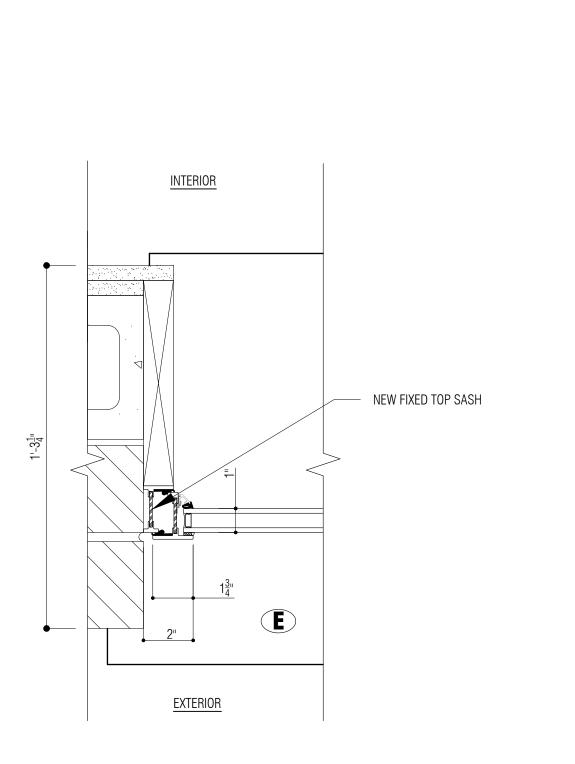
INTERIOR



3'-7 $\frac{3}{4}$ " ROUGH OPENING

B

E



PROPOSED WINDOW ELEVATION SCALE: 3/4" = 1'-0"

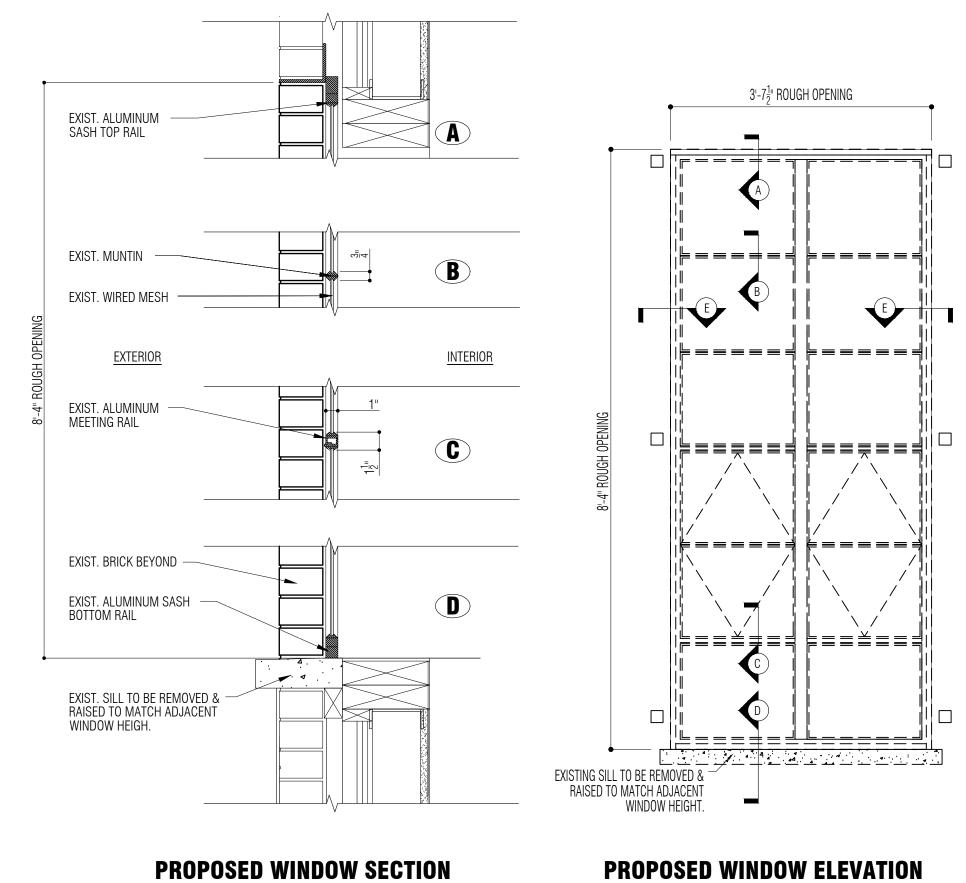
SCALE: 3"=1'-0"

EXISTING 2ND FLOOR REAR WINDOW/DETAILS - G

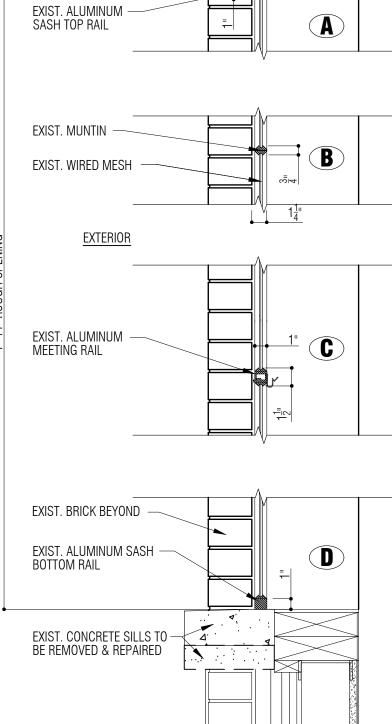
SCALE: 1 1/2"=1'-0"

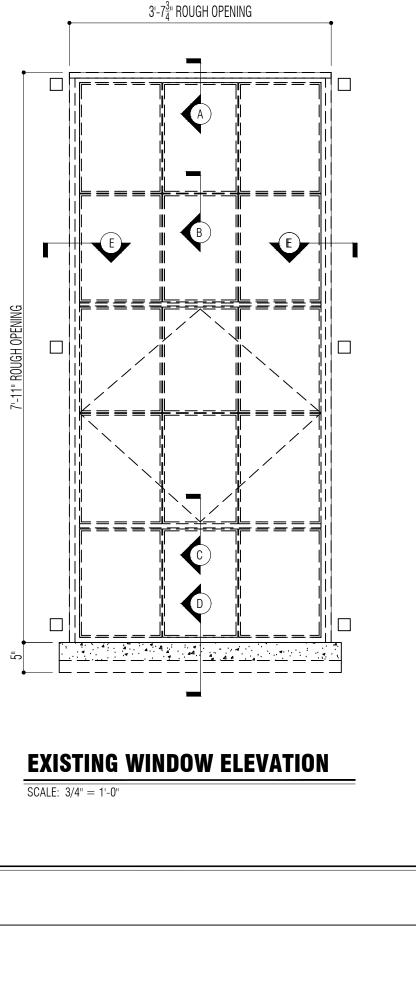


INTERIOR NEW FIXED TOP SASH 1<u>3</u>" E EXTERIOR



PROPOSED WINDOW JAMB

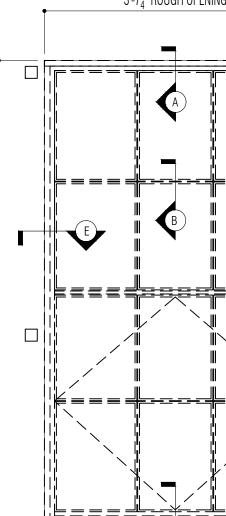


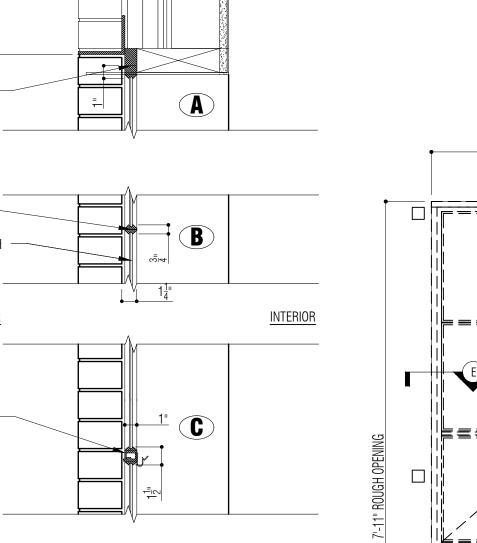


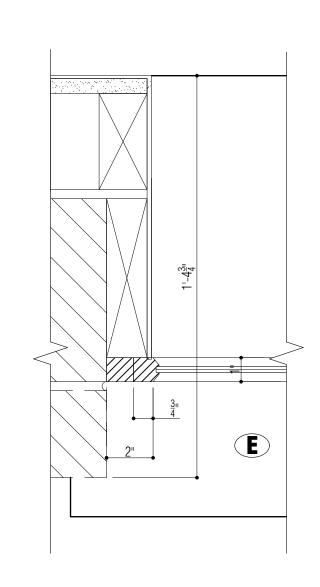
EXISTING WINDOW SECTION SCALE: 1 1/2"=1'-0"

EXISTING 2ND FLOOR REAR WINDOW/DETAILS - B

SCALE: 3/4" = 1'-0"

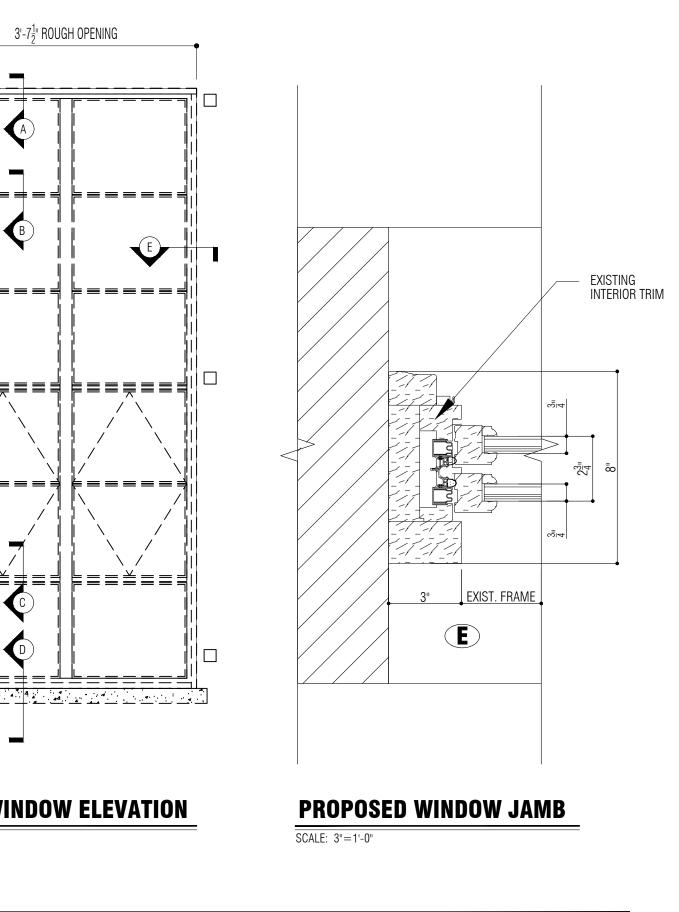




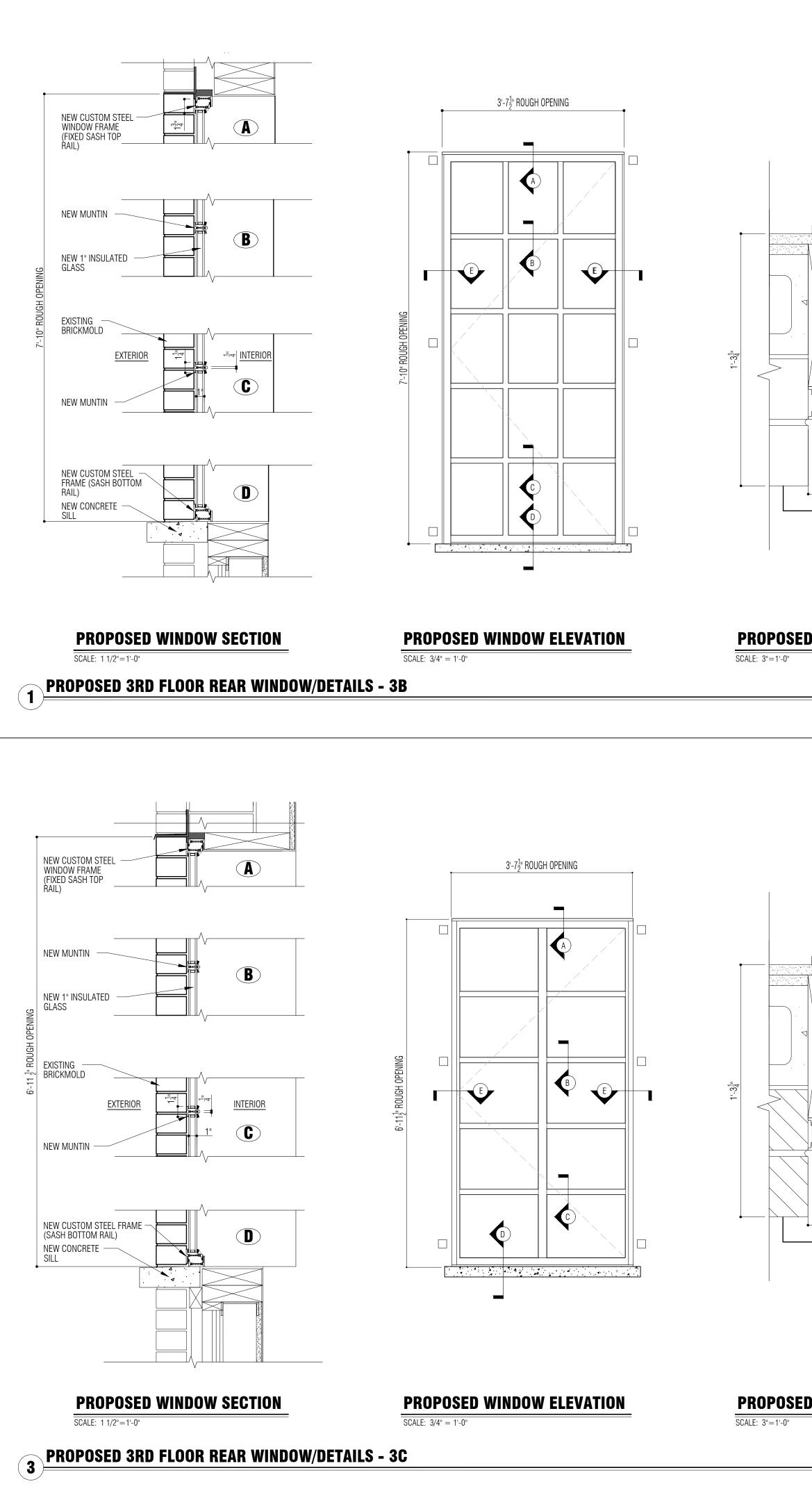


EXISTING WINDOW JAMB SCALE: 3"=1'-0"

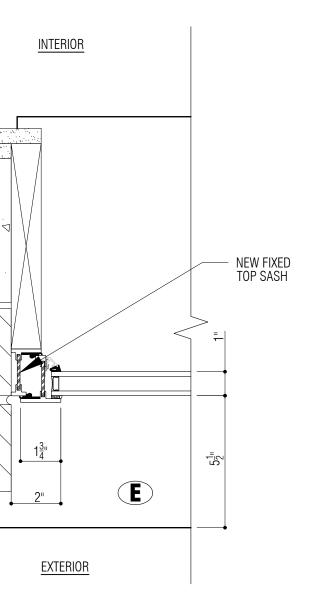




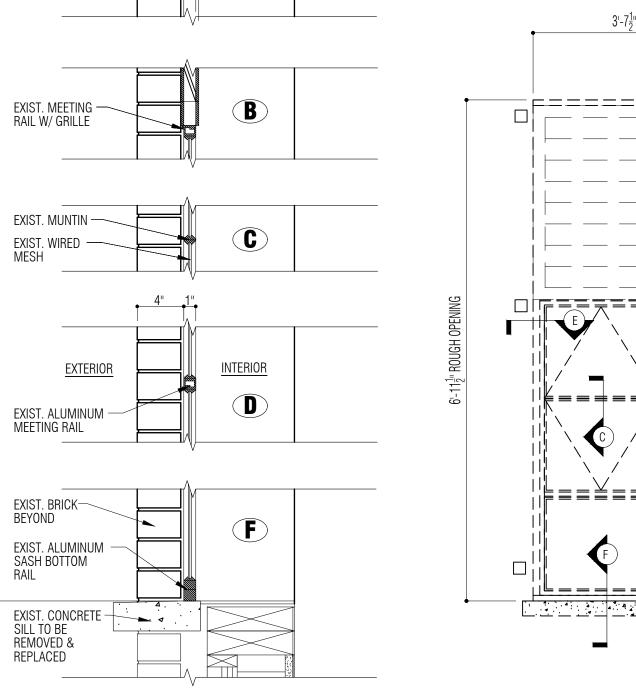
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		GINEERING, LLP
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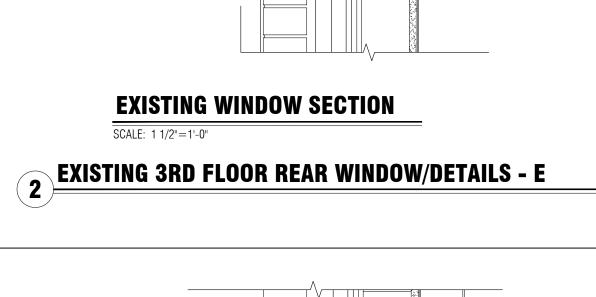


PROPOSED WINDOW JAMB









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exist. Aluminum --Top Rail W/ Grille

exist. Meeting -Rail W/ Grille

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EXTERIOR

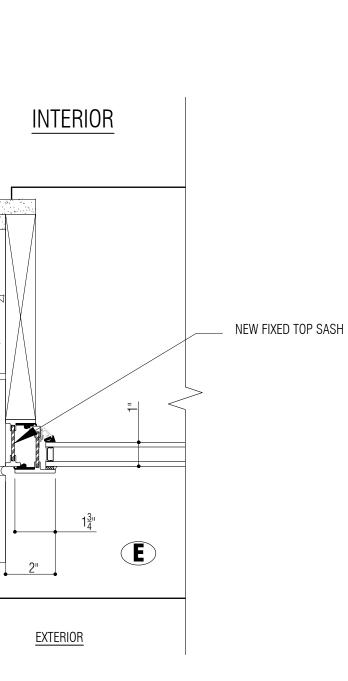
exist. Aluminum — Meeting Rail

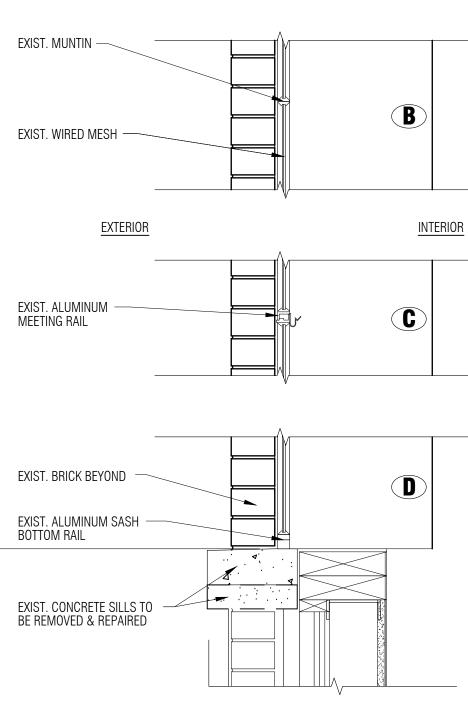
EXIST. BRICK-BEYOND

EXIST. ALUMINUM SASH BOTTOM RAIL

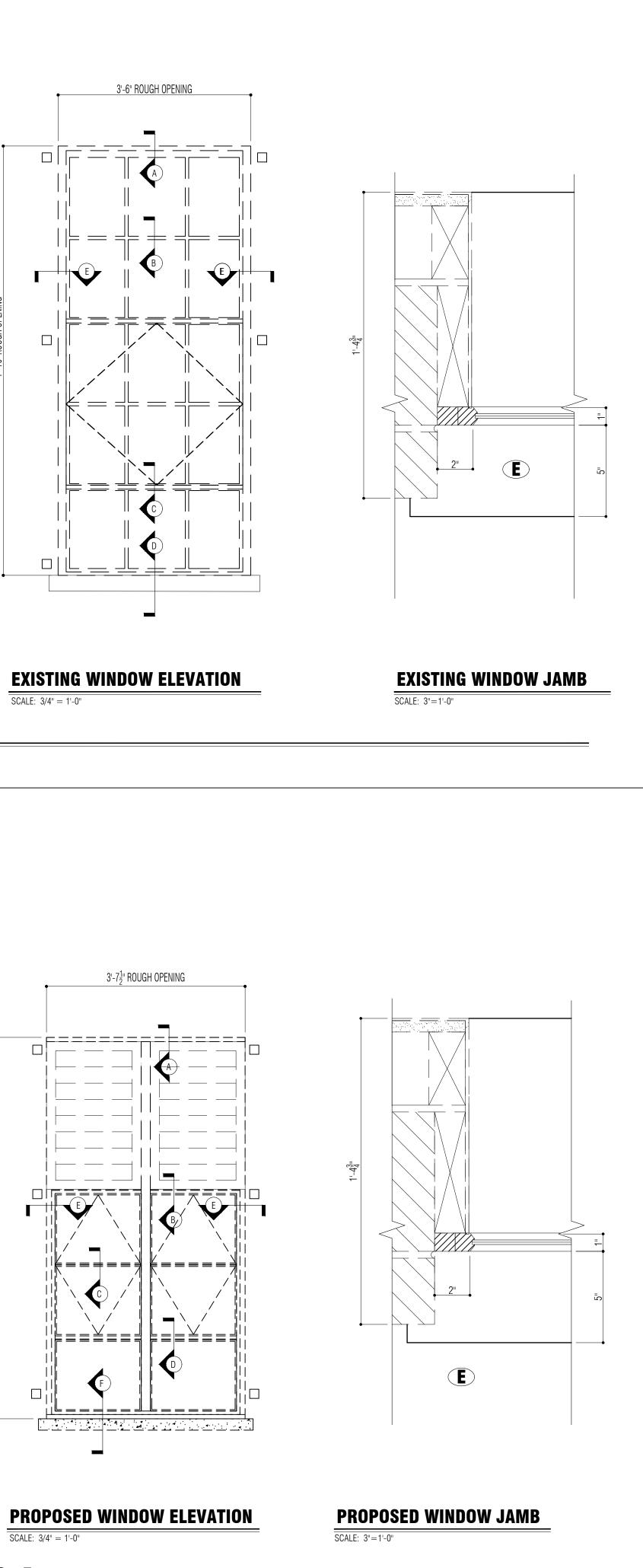
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PROPOSED WINDOW JAMB

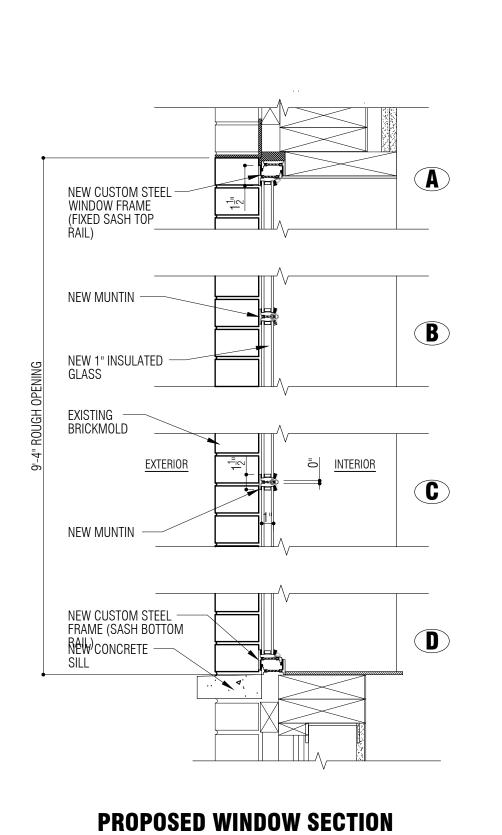


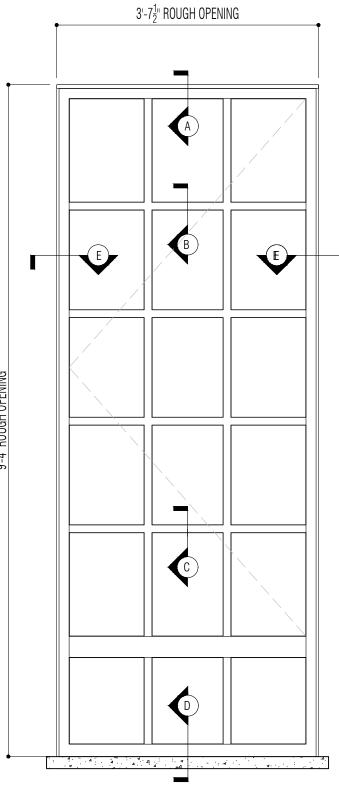


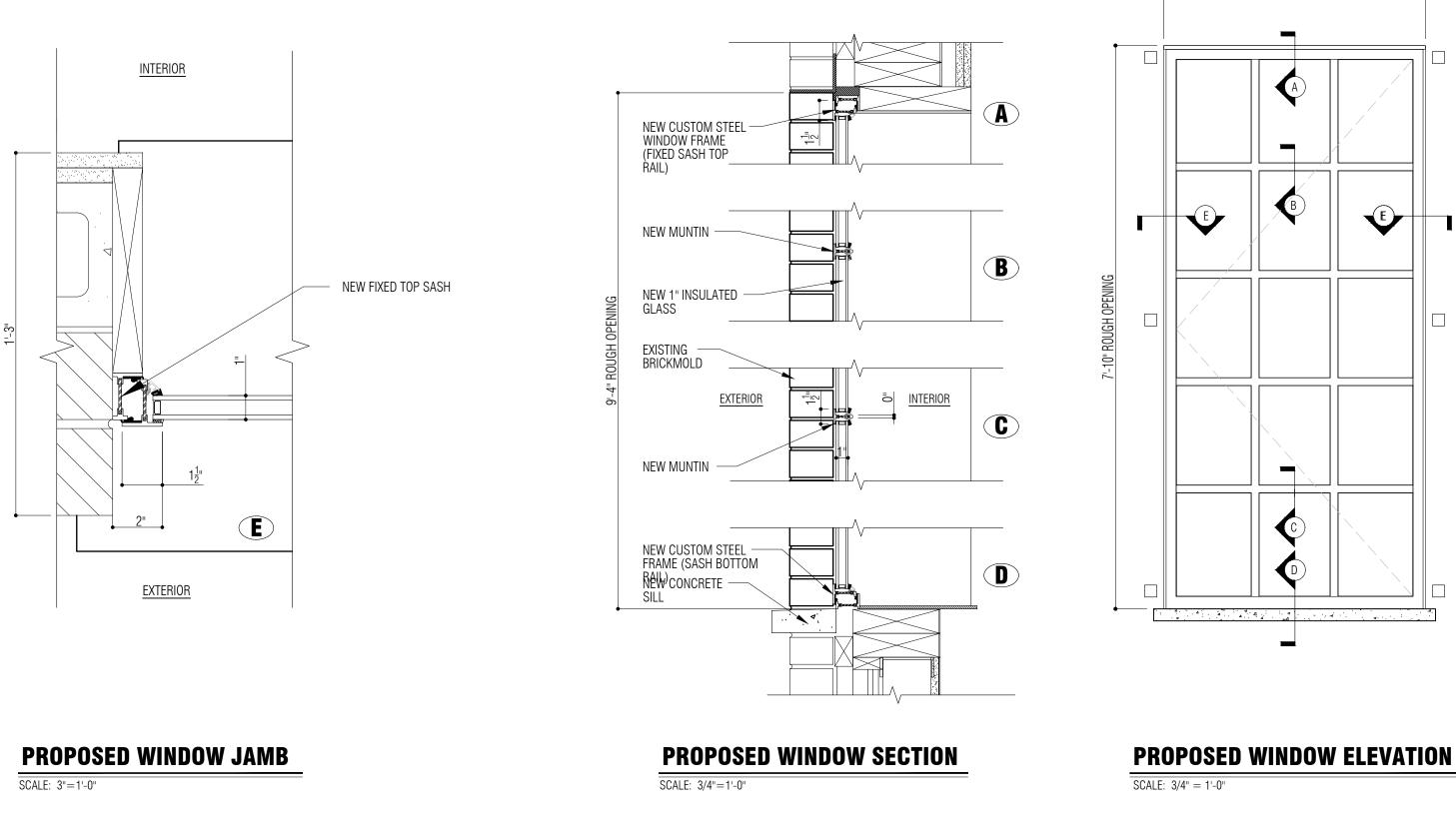
EXIST. ALUMINUM SASH -TOP RAIL



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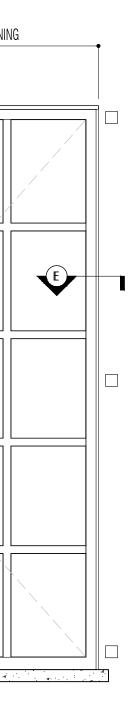
PROPOSED WINDOW ELEVATION SCALE: 3/4" = 1'-0"

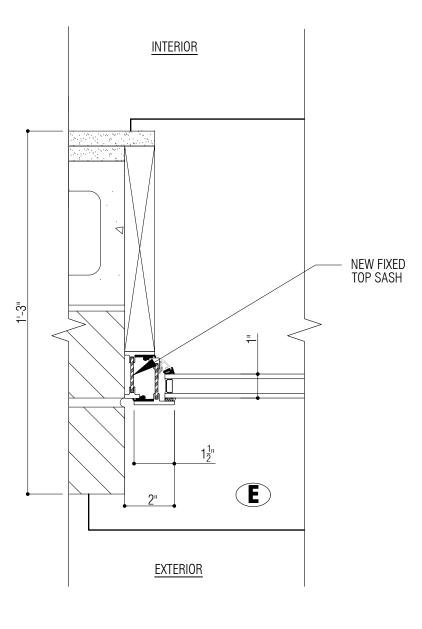
SCALE: 3/4"=1'-0"

1 PROPOSED 4TH FLOOR REAR WINDOW/DETAILS - 4B

3'-7 $\frac{1}{2}$ " ROUGH OPENING

1 PROPOSED 5TH FLOOR REAR WINDOW/DETAILS - 5B





PROPOSED WINDOW JAMB

SCALE: 3"=1'-0"

	COST	A ARCHITECTURE				
	& EN	IGINEERING, LLP : 175 GREAT NECK ROAD, SUITE 303				
	GRE	AT NECK, NEW YORK 11021 FICE: 6024 14TH AVENUE, 2ND FLOOR BROOKLYN, NY 11219				
THIS	DRAWING IS AN INS	-6194 (516) 829-0278 (718) 851-6663 STRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF				
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	52 GREENE STREET NEW YORK, NY 10013					
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	MAIN OFFICE: GREA	: 175 GREAT NECK ROAD, SUITE 303 AT NECK, NEW YORK 11021 FICE: 6024 14TH AVENUE, 2ND FLOOR
TI	EL: (212) 688-	BROOKLYN, NY 11219 -6194 (516) 829-0278 (718) 851-6663
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	52 GI	REENE PARTNERS, LLP
		GREENE STREET York, ny 10013
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BROOKLYN, NY 112 TEL: (212) 688-6194 (516) 829-027	19 8 (718) 851-6663			
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SH COSTA ARCHITECTURE & ENGINEERING, LLP (CAE) WHETH MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NO OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS P THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WE DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREM IN CONNECTION WITH THE PROJECT IS NOT TO BE COI DEROGATION OF THE RIGHTS OF CAE REPRODUCTION OR I WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAW PREJUDICE. THE FIRM OF CAE HAS NOT BEEN RETAINED INSPECTION. THE FIRM OF CAE HAS NOT BEEN RETAINED INSPECTION. THE FIRM OF COSTA ARCHITECTURE & ENG EMPLOYEES, AND CONSULTANTS HAVE NOT BEEN RET RELATED TO ASBESTOS, TOXIC WASTE, OR HAZARDOUS ABATEMENTS, OR ENCAPSULA	ER THE PROJECT FOR WHICH IT IS T BE USED BY THE OWNER OR ROJECT OR FOR COMPLETION OF TING WITH CAE SUBMISSION OR ENTS OR FOR OTHER PURPOSES ISTRUED AS PUBLICATION IN 'UBLICATION BY ANY METHOD IN NG BELONGS TO CAE WITHOUT TO DO FIELD SUPERVISION OR INEERING, LLP ITS PRINCIPLES, AINED TO PROVIDE SERVICES MATERIALS, THEIR REMOVAL,			
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