

# COSTA ARCHITECTURE & ENGINEERING, LLP

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### Revision Schedule

#	Date	Description

### Issue Schedule

#	Date	Description
1	04/28/2021	PERMIT SET
2	12/16/2021	ISSUE TO OWNER
2	01/19/2022	ISSUE FOR LPC

FOR DOB USE:

PROFESSIONAL SEAL:

PROJECT SCOPE:

**2-STORY + PENTHOUSE ADDITION,  
CHANGE IN EGRESS, OCCUPANCY  
AND USE**

APPLICATION TYPE: **ALTERATION TYPE-1**

BIS#: **121209094**

PROJECT TITLE:

**52 GREENE PARTNERS, LLP**

**52 GREENE STREET  
NEW YORK, NY 10013**

SHEET TITLE:

DEMOLITION ELEVATIONS

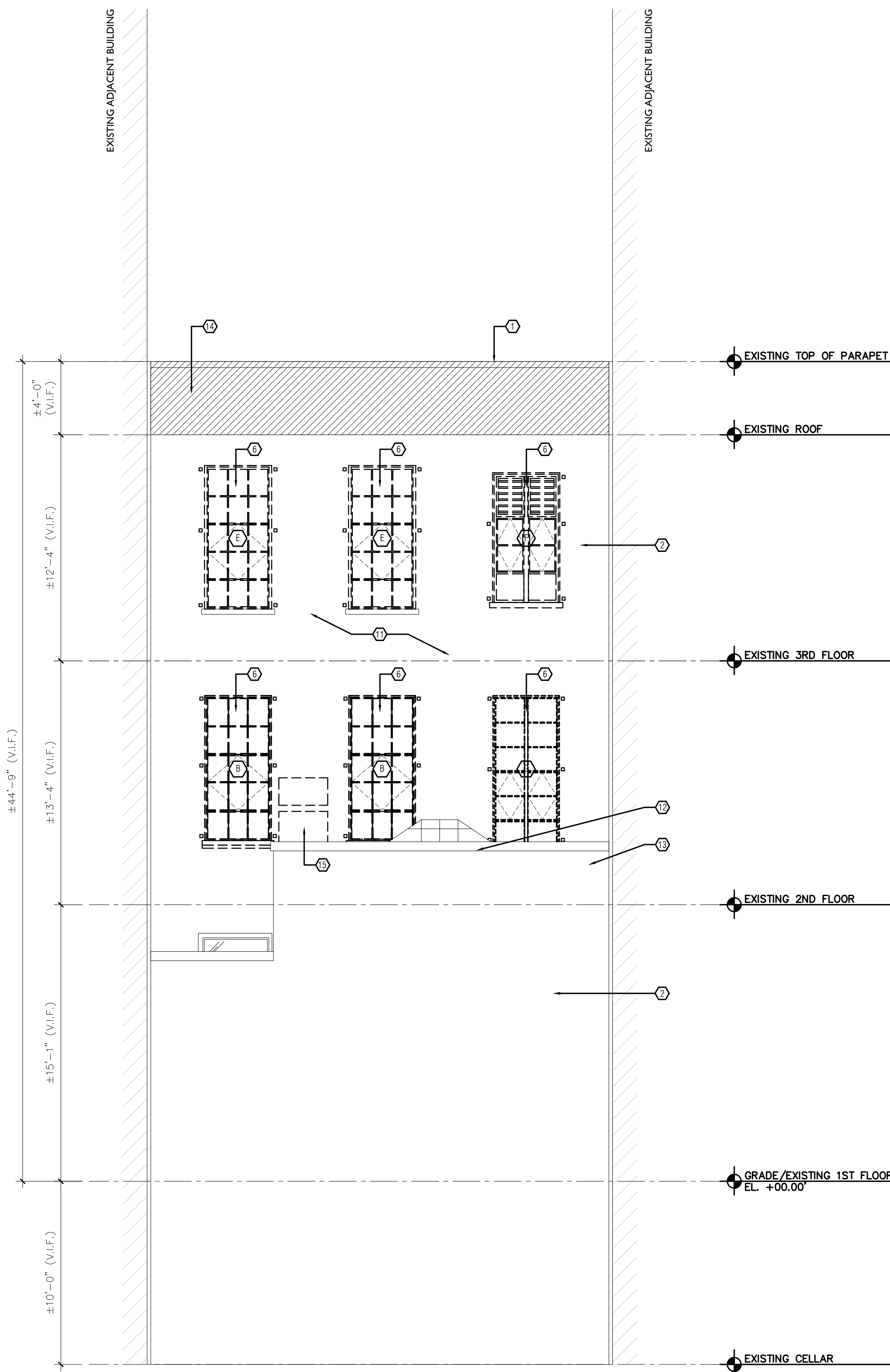
PROJ. DATE: 08/21/2021 PROJECT # 21094

PROJ. MNGR.: CD SHEET: 9 of 26

SHEET #

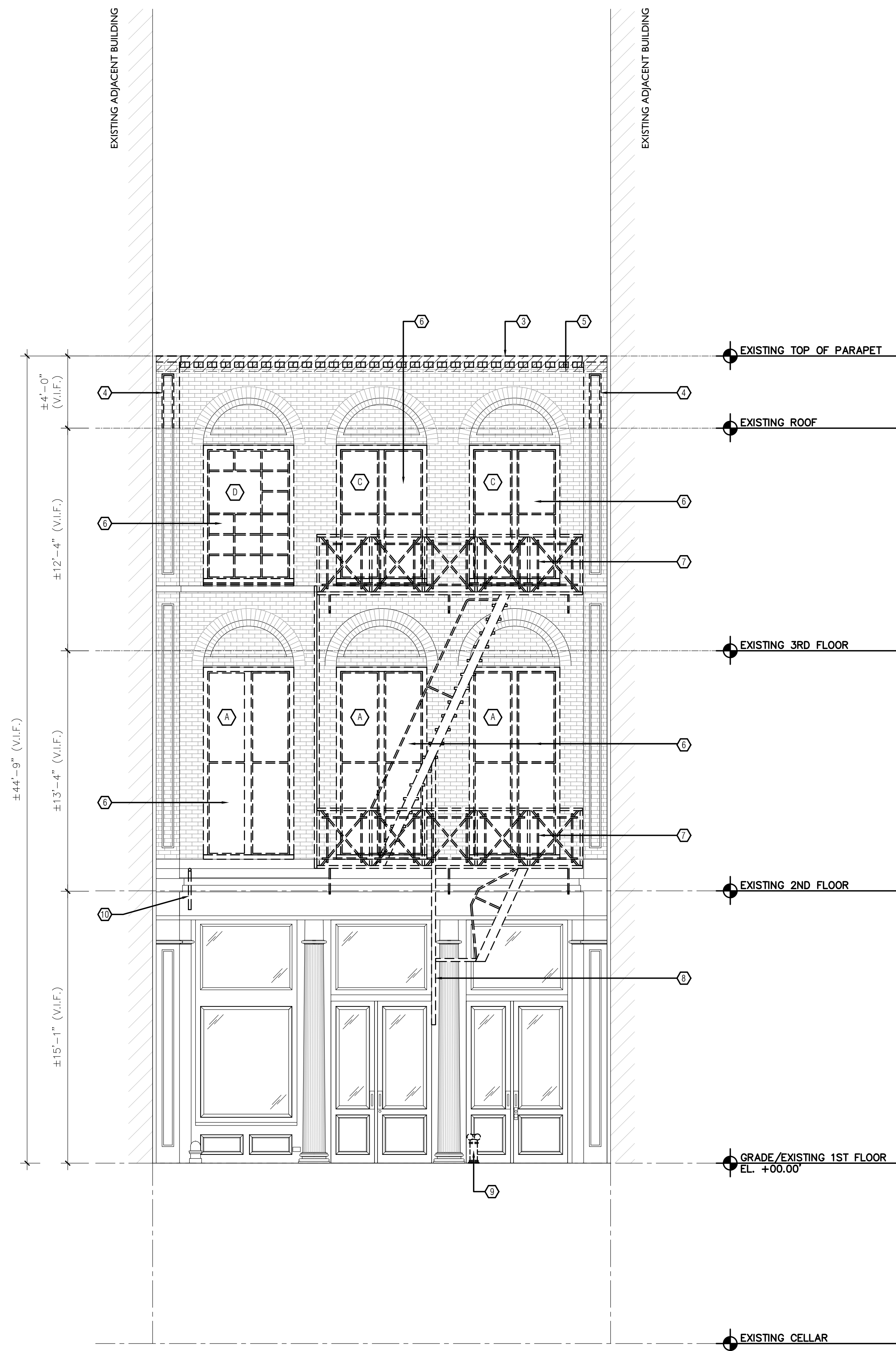
**LPC-09.00**

B-SCAN:



**1 EAST FACADE DEMOLITION ELEVATION**

SCALE: 1/4" = 1'-0"



**2 WEST FACADE DEMOLITION ELEVATION**

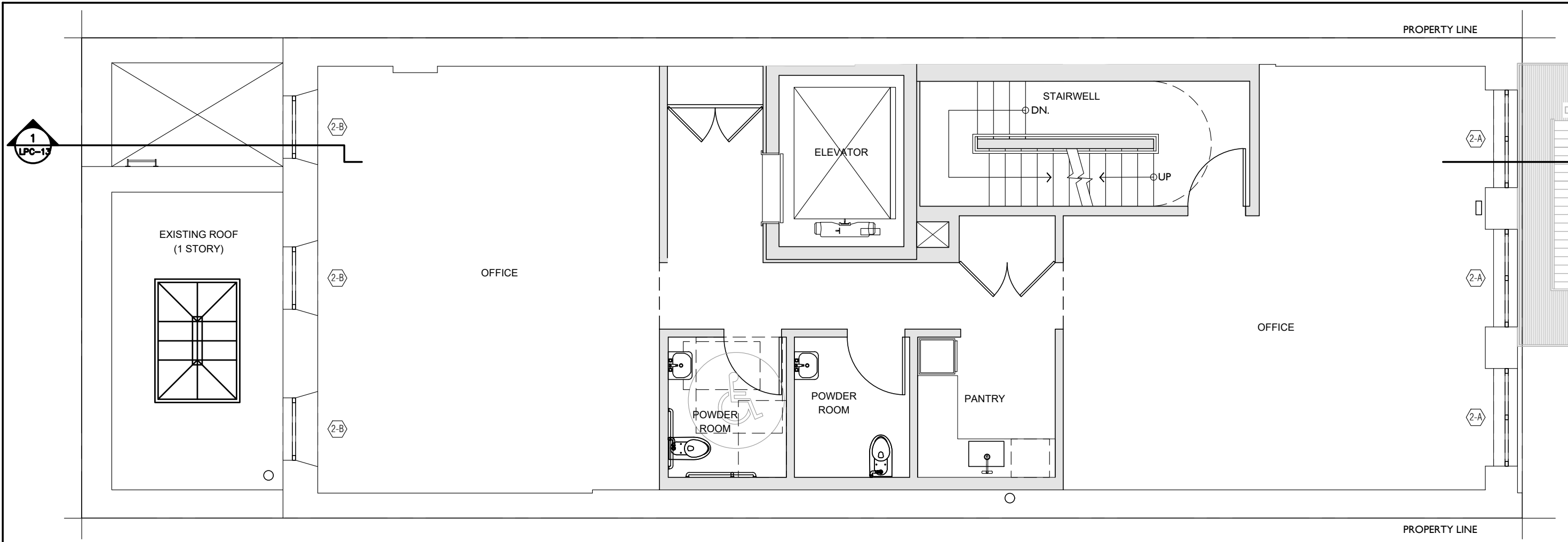
SCALE: 1/4" = 1'-0"

### DEMOLITION ELEVATION LEGEND

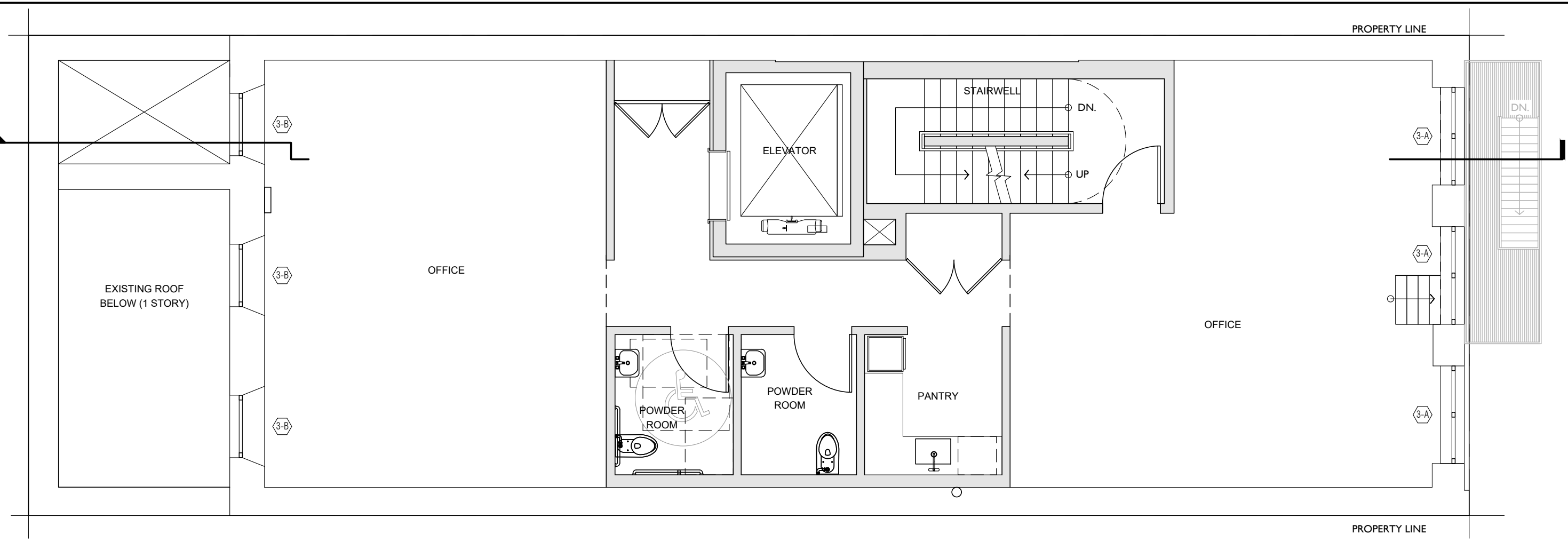
	EXTERIOR PORTION OR AREA OF EXISTING FACADE TO BE REMOVED
	HATCHED AREA DENOTES A SPECIFIC EXISTING CONDITION PER KEY NOTE TAG

### KEY NOTE TAGS

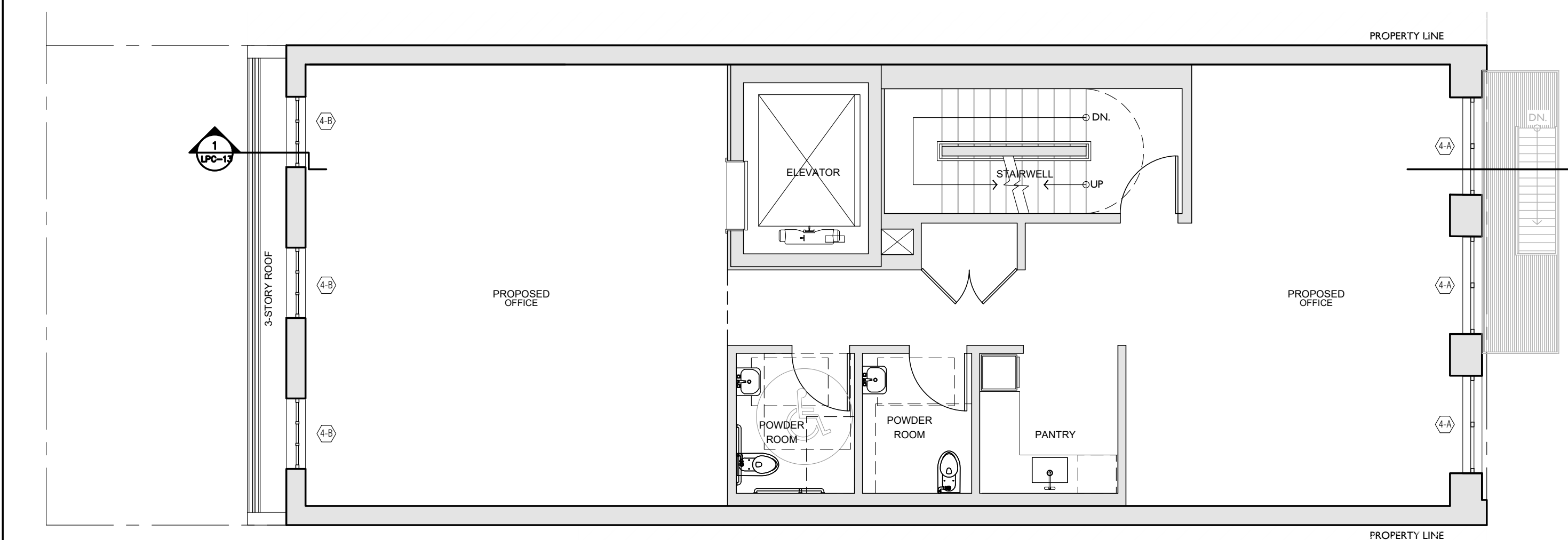
1	PATCH AND REPAIR EXISTING ROOF COPING
2	PATCH AND REPAIR EXISTING MASONRY, AS REQUIRED (TYP.)
3	EXISTING COPING AT ROOF PARAPET TO BE REMOVED
4	EXISTING CORNICE AT ROOF PARAPET TO BE REMOVED
5	EXISTING PARTIAL ROOF PARAPET TO BE REMOVED
6	EXISTING WINDOW AND FRAME TO BE REMOVED
7	EXISTING FIRE ESCAPE STAIRS TO BE REMOVED
8	EXISTING FIRE ESCAPE LADDER TO BE REMOVED
9	EXISTING SIAMESE CONNECTION TO BE RELOCATED
10	EXISTING SIGNAGE TO BE REMOVED
11	ALL WINDOW OPENINGS AND SILLS TO MATCH ORIGINAL CONSTRUCTION
12	EXISTING SKYLIGHT TO REMAIN - PAINT TO MATCH METAL CLADDING
13	COPING FINISH AND COLOR TO MATCH METAL CLADDING
14	EXISTING PORTION OF PARAPET TO BE REMOVED AND REPLACED
15	EXISTING MECH. EQUIP. TO BE REMOVED



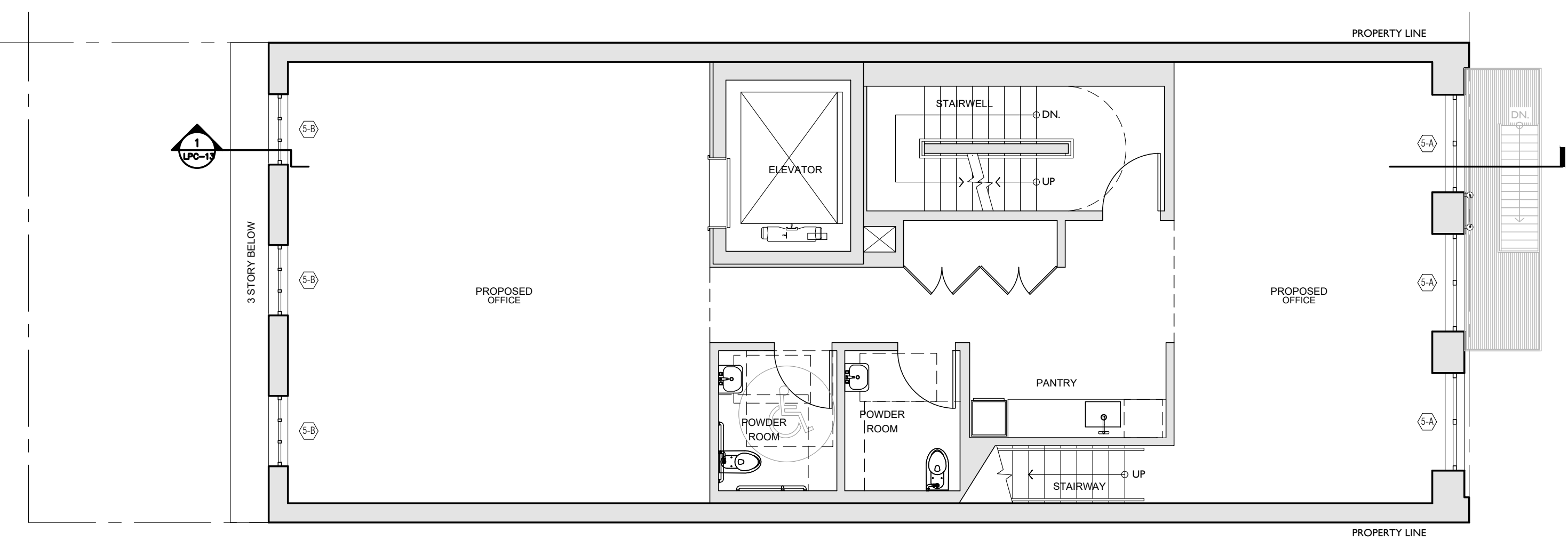
**1 SECOND FLOOR CONSTRUCTION PLAN**  
SCALE: 3/16" = 1'-0"



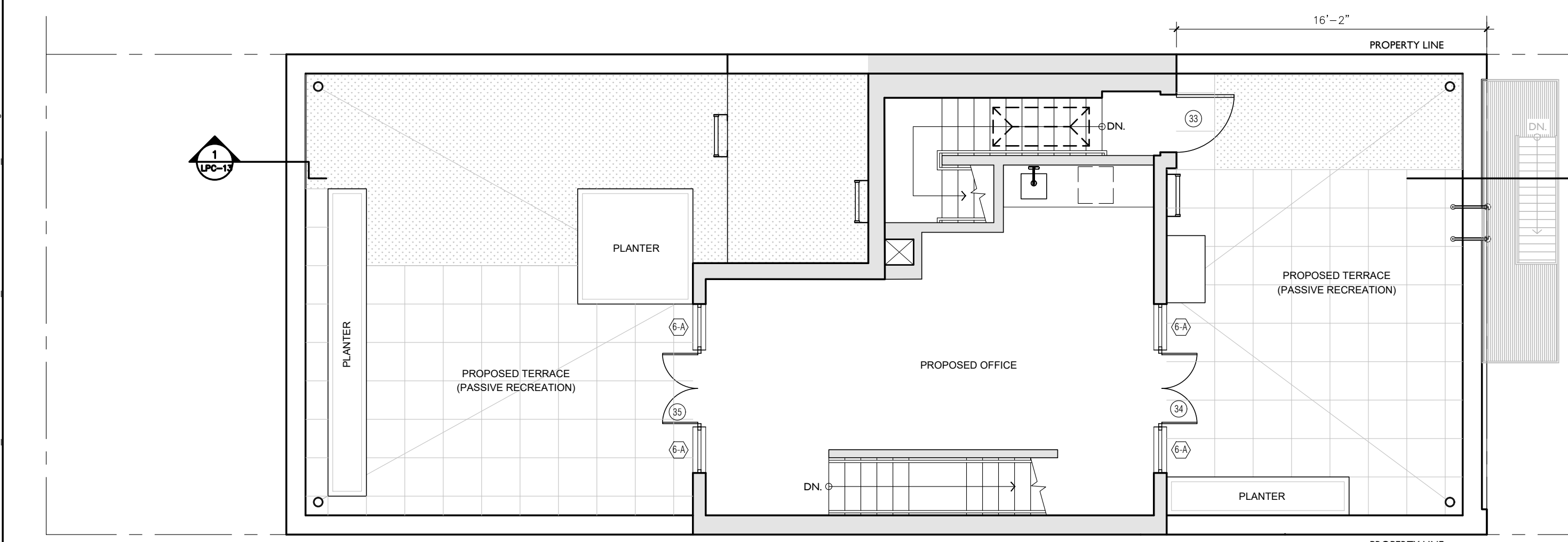
**2 THIRD FLOOR CONSTRUCTION PLAN**  
SCALE: 3/16" = 1'-0"



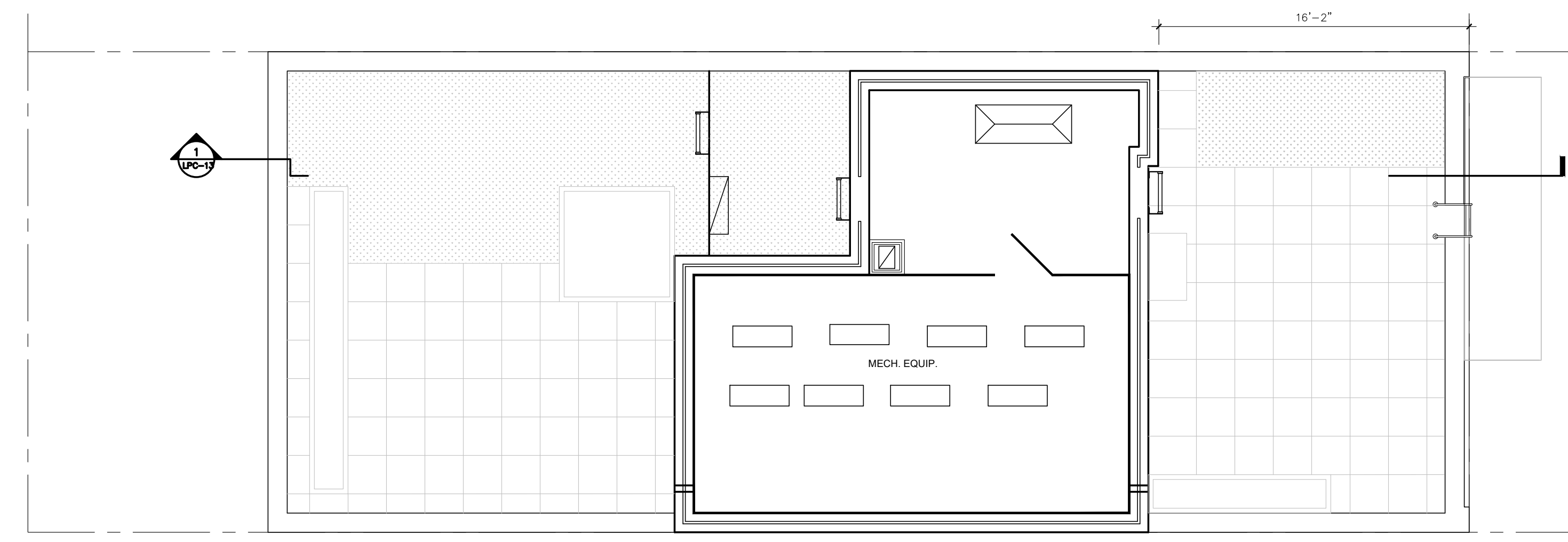
**3 PROPOSED FOURTH FLOOR CONSTRUCTION PLAN**  
SCALE: 3/16" = 1'-0"



**4 PROPOSED FIFTH FLOOR CONSTRUCTION PLAN**  
SCALE: 3/16" = 1'-0"



**5 PROPOSED PENTHOUSE CONSTRUCTION PLAN**  
SCALE: 3/16" = 1'-0"



**6 PROPOSED BULKHEAD LEVEL PLAN**  
SCALE: 3/16" = 1'-0"

  
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Revision Schedule		
#	Date	Description

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#	Date	Description
1	04/28/2021	PERMIT SET
2	12/18/2021	ISSUE TO OWNER
2	01/19/2022	ISSUE FOR LPC

FOR DOB USE:

PROFESSIONAL SEAL:

PROJECT SCOPE:  
**2-STORY + PENTHOUSE ADDITION,  
CHANGE IN EGRESS, OCCUPANCY  
AND USE**

APPLICATION TYPE: **ALTERATION TYPE-1**  
BIS#: **121209094**

PROJECT TITLE:  
**52 GREENE PARTNERS, LLP**

**52 GREENE STREET  
NEW YORK, NY 10013**

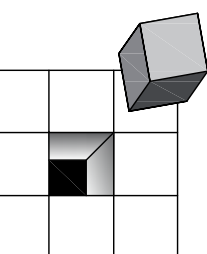
SHEET TITLE:  
**PROPOSED CONSTRUCTION  
FLOOR PLANS**

PROJ. DATE: 08/21/2021 PROJECT# 21094  
PROJ. MNGR.: CD SHEET: 10 of 26

SHEET#  
**LPC-10.00**

B-SCAN:

10/14/2022 1:20 PM C:\PROJECTS\52 Greene\DRAWINGS\52 Greene\2\PROJECTS\52 Greene\52\DRAWINGS\52\GREENE\CAD\_MASTER\A.101.00 Second Third.dwg



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APPLICATION TYPE: **ALTERATION TYPE-1**

BIG#: **121209094**

PROJECT TITLE:

**52 GREENE PARTNERS, LLP**

**52 GREENE STREET  
NEW YORK, NY 10013**

SHEET TITLE:

PROPOSED BUILDING WEST &  
EAST FACADE ELEVATIONS

PROJ. DATE: 08/21/2021 PROJECT# 21094

PROJ. MNGR.: CD SHEET: 11 of 26

SHEET#

# LPC-11.00

B-SCAN:



**1 EAST FACADE PROPOSED ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 WEST FACADE PROPOSED ELEVATION**  
SCALE: 1/4" = 1'-0"

EL = 82.60'  
PER SURVEY

EL = 77.72'  
PER SURVEY

EL = 71.03'  
PER SURVEY

EL = 67.21'  
PER SURVEY

EL = 61.10'  
PER SURVEY

EL = 60.04'  
PER SURVEY

**GREENE STREET**

50 GREENE STREET

NEW (2) STORY, PENTHOUSE & ROOF ADDITION

±74'-11" BUILDING HEIGHT  
±63'-11" (STREET WALL HEIGHT)

EXISTING (3) STORY

±15'-0" (V.I.F.)

±10'-8" (V.I.F.)

3  
LPC-12

TOP OF ROOF PARAPET RAILING  
EL. +94.82'

TOP OF PENTHOUSE ROOF SLAB  
EL. +91.03'

TOP OF PARAPET  
EL. +84.23'

PROPOSED PENTHOUSE  
EL. +80.73'

PROPOSED 5TH FLOOR  
EL. +68.81'

TOP OF EXISTING PARAPET  
EL. +60.98'

PROPOSED 4TH FLOOR  
EL. +57.48'

EXISTING 3RD FLOOR  
EL. +45.15'

EXISTING 2ND FLOOR  
EL. +31.81'

1ST FLOOR EXIST. = 16.81'  
GRADE (BASE PLANE) = 16.45'  
EL. +16.78" (SOUTH CORNER)

EXISTING CELLAR  
EL. +6.18'

TOP OF ROOF PARAPET RAILING  
EL. +94.82'

TOP OF PENTHOUSE ROOF SLAB  
EL. +91.03'

TOP OF PARAPET  
EL. +84.23'

PROPOSED PENTHOUSE  
EL. +80.73'

T.O. OF PROPOSED WINDOW  
EL. +77.22'

B.O. OF PROPOSED WINDOW  
EL. +72.17'

TOP OF BRICK ARCH  
EL. +71.54'

PROPOSED 5TH FLOOR  
EL. +68.81'

TOP OF WINDOW HEAD  
EL. +68.04'

TOP OF EXISTING PARAPET  
EL. +60.98'

B.O. OF PROPOSED WINDOW  
EL. +60.87'

PROPOSED 4TH FLOOR  
EL. +57.48'

EXISTING 3RD FLOOR  
EL. +45.15'

EXISTING 2ND FLOOR  
EL. +31.81'

1ST FLOOR EXIST. = 16.81'  
GRADE (BASE PLANE) = 16.45'  
EL. +16.78" (SOUTH CORNER)

EXISTING (3) STORY

±74'-11" BUILDING HEIGHT  
±63'-11" STREET WALL HEIGHT

±13'-4" (V.I.F.)

±15'-0" (V.I.F.)

EXISTING STOREFRONT TO REMAIN

2  
LPC-12

TOP OF ROOF PARAPET RAILING  
EL. +94.82'

TOP OF PENTHOUSE ROOF SLAB  
EL. +91.03'

TOP OF PARAPET  
EL. +84.23'

PROPOSED PENTHOUSE  
EL. +80.73'

T.O. OF PROPOSED WINDOW  
EL. +77.22'

B.O. OF PROPOSED WINDOW  
EL. +72.17'

TOP OF BRICK ARCH  
EL. +71.54'

PROPOSED 5TH FLOOR  
EL. +68.81'

TOP OF WINDOW HEAD  
EL. +68.04'

TOP OF EXISTING PARAPET  
EL. +60.98'

B.O. OF PROPOSED WINDOW  
EL. +60.87'

PROPOSED 4TH FLOOR  
EL. +57.48'

EXISTING 3RD FLOOR  
EL. +45.15'

EXISTING 2ND FLOOR  
EL. +31.81'

1ST FLOOR EXIST. = 16.81'  
GRADE (BASE PLANE) = 16.45'  
EL. +16.78" (SOUTH CORNER)

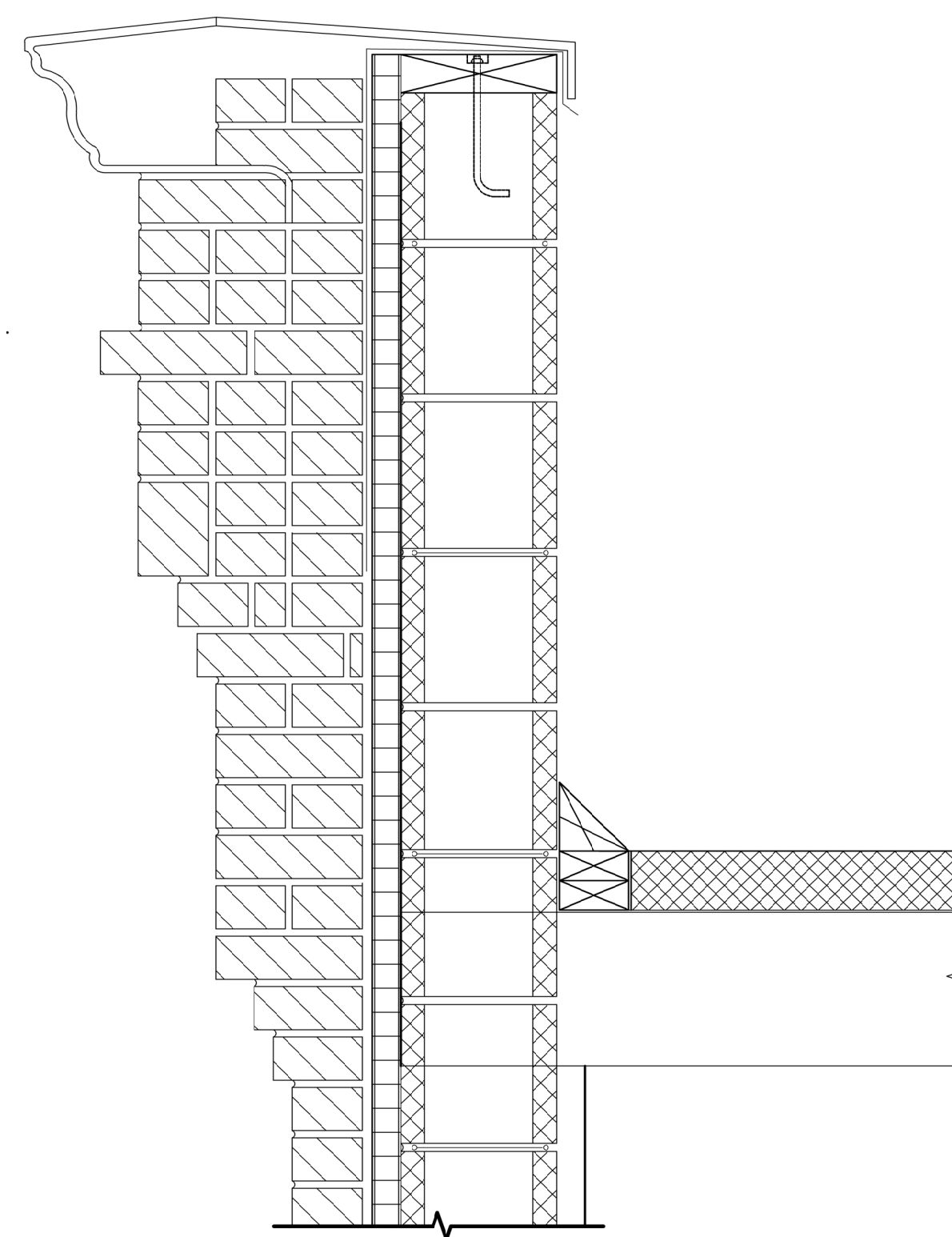
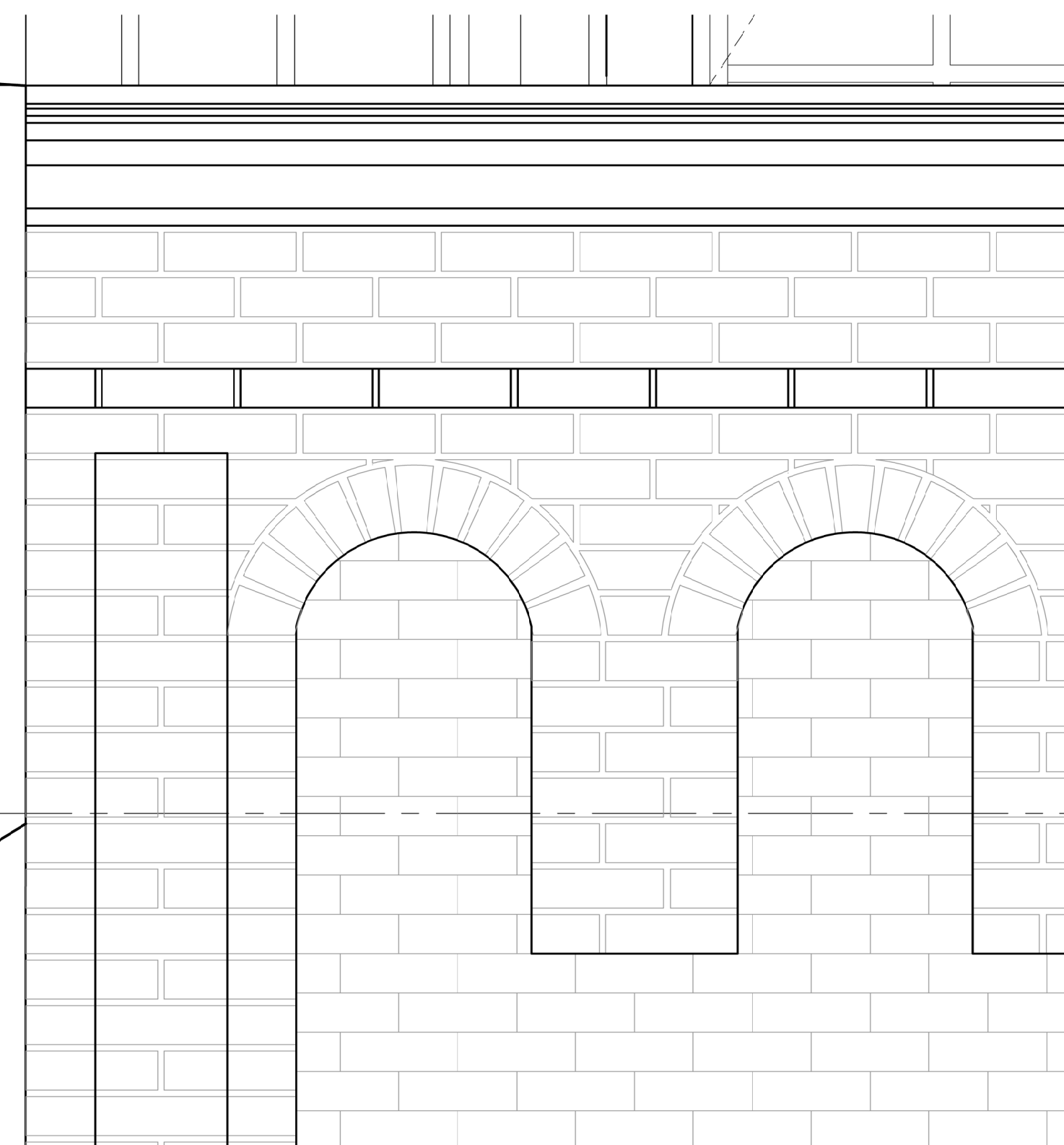
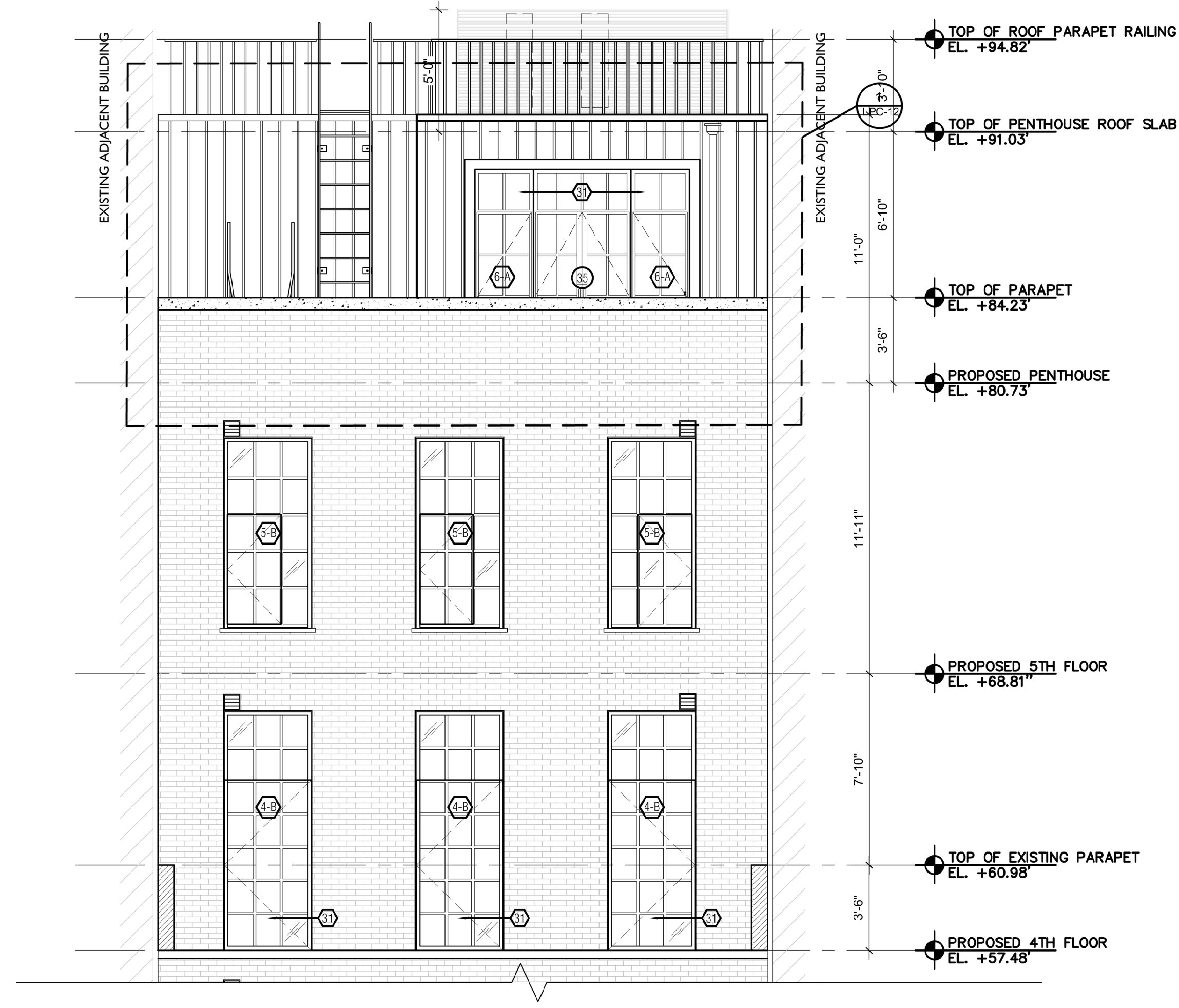
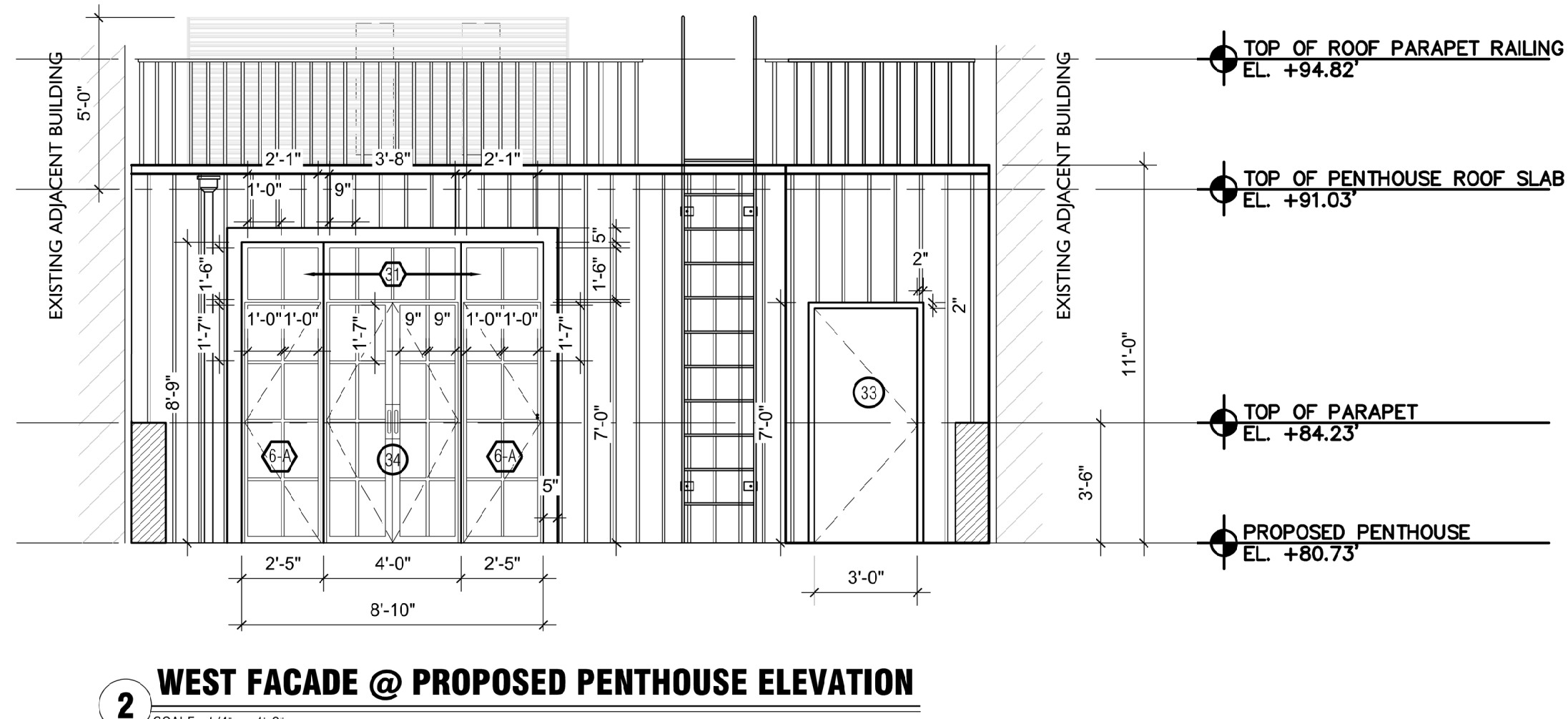
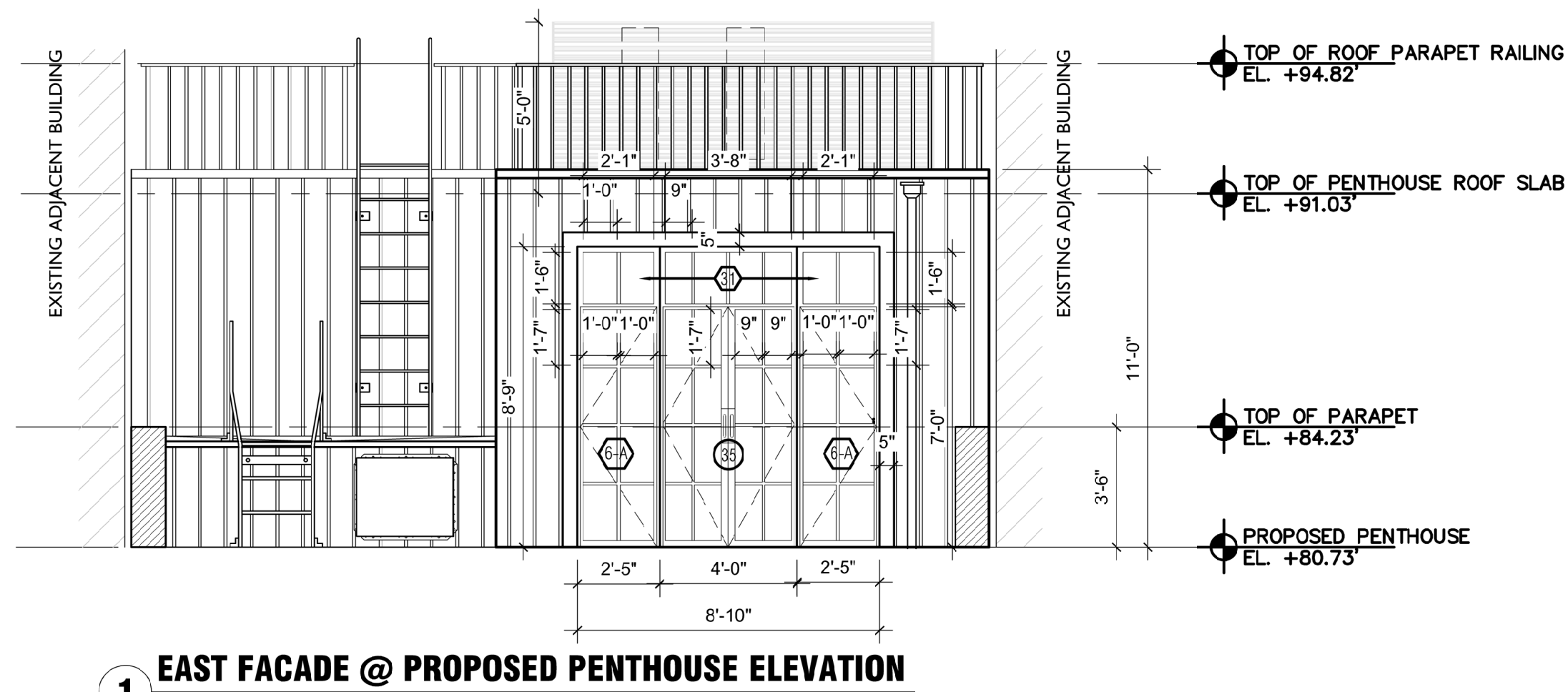
EXISTING (3) STORY

±74'-11" BUILDING HEIGHT  
±63'-11" STREET WALL HEIGHT

±13'-4" (V.I.F.)

±15'-0" (V.I.F.)

EXISTING STOREFRONT TO REMAIN



### CONSTRUCTION ELEVATION LEGEND

	HATCHED BRICK MASONRY AREA DENOTES THE NEW STORY ADDITIONS
<b>KEY NOTE TAGS</b>	
①	NEW ROOF ACCESS LADDER - PAINT TO MATCH METAL CLADDING. SEE #7/A-500 FOR TYPICAL ELEVATIONS
②	NEW 42" HIGH PIPE RAILING
③	NEW TERRACE DOORS
④	NEW GLASS TRANSOM
⑤	NEW VERTICAL ALUMINUM CLADDING - FINISH TO BE MATTE BLACK
⑥	NEW FIRE ESCAPE
⑦	NEW FIRE ESCAPE LADDER
⑧	EXISTING GOOSENECK VENT PIPE TO REMAIN
⑨	SIAMESE CONNECTION AT NEW LOCATION
⑩	EXISTING CAST IRON COLUMN TO REMAIN
<del>⑪</del>	<del>NEW METAL CAPITAL</del>
⑫	NEW BRICK CONSOLE
⑬	NEW BRICK CORNICE
⑭	NEW METAL GUARDRAIL AT 42" HEIGHT ABOVE FLOOR
⑮	COPING FINISH AND COLOR TO MATCH METAL CLADDING
⑯	18" DEEP FRAME/AWNING - FINISH TO MATCH METAL CLADDING
⑰	NEW BRICK TO MATCH ADJACENT BUILDINGS
⑱	EXISTING WINDOW SILL TO REMAIN (TYPICAL)
⑲	NEW METAL/GLASS WINDOW - FINISH AND COLOR TO MATCH METAL CLADDING
⑳	PATCH AND REPAIR EXISTING STUCCO FINISH (COLOR TBD)
㉑	EXISTING SKYLIGHT TO REMAIN - PAINT TO MATCH METAL CLADDING
㉒	ALL WINDOW OPENINGS AND SILLS TO MATCH ORIGINAL CONSTRUCTION
㉓	THREE LAYERS OF NEW BRICK RUNNING BEHIND ABOVE BRICK ARCHES (TYP.)
㉔	PROPOSED BRICK ARCH AND SECONDARY BRICK ARCH (TYP.)
㉕	NEW WINDOW AND FRAME - SEE WINDOW SCHEDULE A-600
㉖	PATCH AND REPAIR EXISTING MASONRY
㉗	NEW MECHANICAL EQUIPMENT (SEE MECH. DWGS.)
㉘	NEW SCUPPER & LEADER DOWN TO ROOF BELOW
㉙	ALL STAIRWAYS SHALL BE PLACED AT AN ANGLE OF NOT MORE THAN 60 DEGREES WITH FLAT OPEN STEPS NOT LESS THAN SIX (TYP.)
㉚	EXISTING FIRE ESCAPE TO BE REPAIRED OR REPLACED FOR BROKEN PARTS AND MISSING TREADS AND BE PAINTED WITH TWO COATS OF RUST INHIBITIVE PAINT. FIRE ESCAPE TO CONFORM WITH 27-380 OF NYC BUILDING CODE.
㉛	NEW TRANSOM WINDOW (TYP.)
㉜	NEW EQUIP. SCREENING FENCE AS PER ZR-4342(E)
㉝	NEW ELEVATOR SMOKE VENT (REF. MECH. DWGS.)

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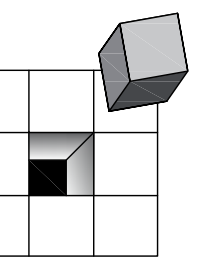
SHEET TITLE:  
PROPOSED ENLARGED BUILDING ELEVATIONS

PROJ. DATE: 08/21/2021 PROJECT#: 21094  
PROJ. MNGR.: CD SHEET: 12 of 26

SHEET#  
**LPC-12.00**

B-SCAN:

10/4/2022 4:30 PM: Z:\PROJECTS\52 Greene\52 Greene\SubDrawings\00000000-GC-SubDrawings\CAD\_MASTER\A-200.00 Proposed Building Elevation.dwg



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SHEET TITLE:

PROPOSED BUILDING SECTION

PROJ. DATE: 08/21/2021 PROJECT# 21094

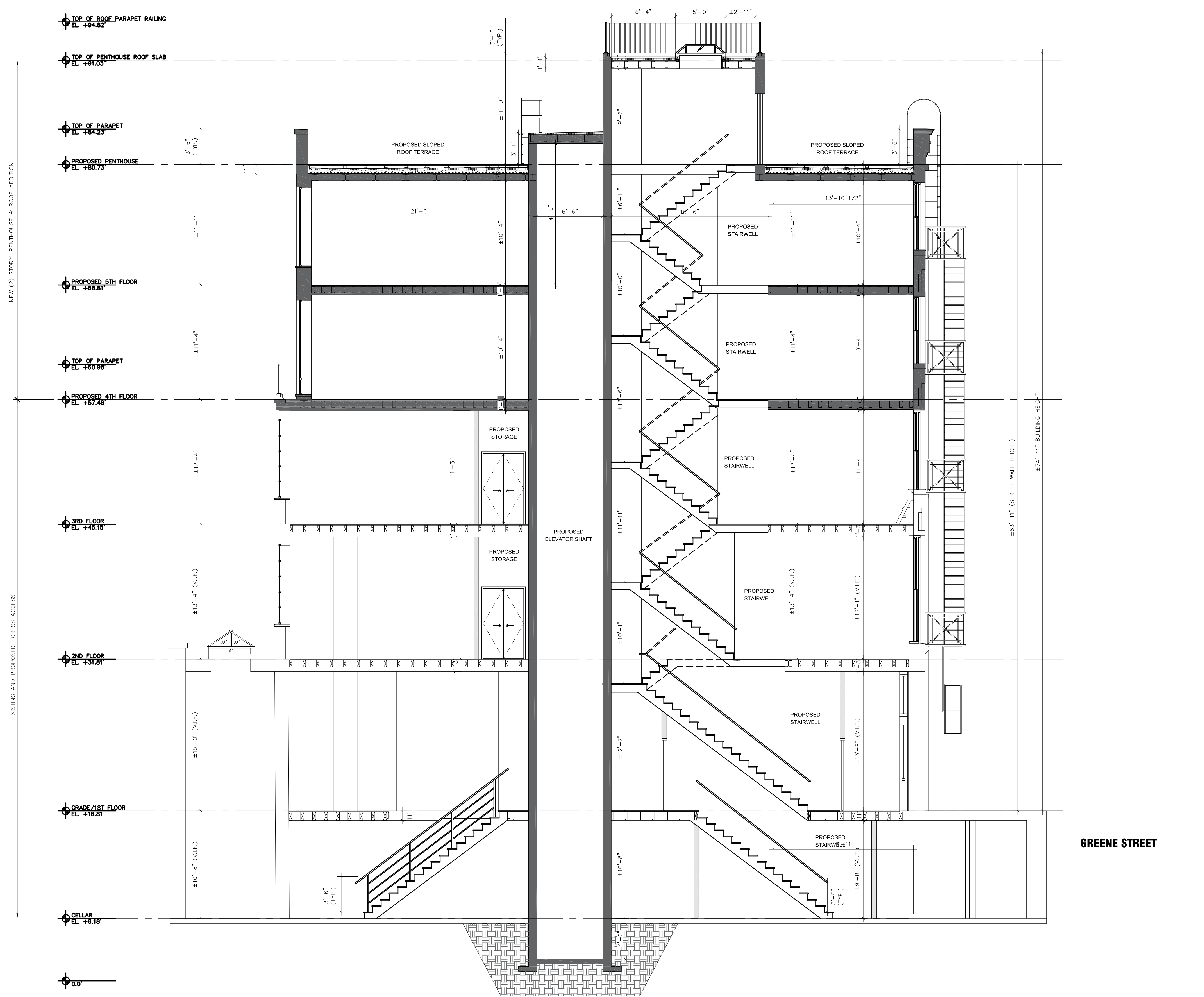
PROJ. MNGR.: CD SHEET: 13 OF 26

SHEET#

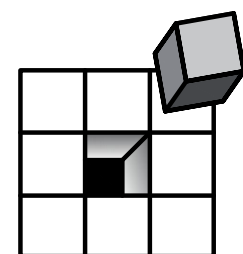
**LPC-13.00**

B-SCAN:

CONSTRUCTION SECTION NOTES	
KEY NOTE TAGS	
1	NEW ROOF ACCESS LADDER
2	NEW STONE COPING
3	NEW EXTERIOR BRICK WALL TO MATCH EXISTING
4	NEW PRE-FINISHED ALUMINUM WINDOWS
5	NEW DOUBLE DOORS
6	EXISTING EXTERIOR BRICK WALL TO REMAIN
7	EXISTING WINDOWS TO REMAIN
8	EXISTING STONE COPING TO REMAIN
9	EXISTING SIDEWALK
10	EXISTING STOREFRONT ENTRY WOOD DOORS TO REMAIN
11	EXISTING STORAGE TO REMAIN
12	EXISTING FLOOR ASSEMBLY TO REMAIN
13	NEW FIRE ESCAPE METAL STAIRS EXTENDED AND REPLACED AT EXISTING LOCATION. NEW ACCESS OPENING AT ROOF PARAPET
14	NEW ROOF - CONTRACTOR TO INSTALL NEW ROOF DECKING, ROOFING MEMBRANE, CONCRETE PAVERS & FLASHING, AS REQUIRED
15	NEW FLOOR
16	NEW HVAC CONDENSER ON PROPOSED DUNNAGE
17	NEW 1 1/2" 36" HIGH, ROUND METAL PIPE STAIRCASE RAIL
18	NEW FIRE ESCAPE LADDER
19	EXISTING COLUMN TO REMAIN
20	FIRE-RATED DOOR WITH FIREGLASS OPENING AT PENTHOUSE STAIRWELL
21	NEW SKYLIGHT
22	EXISTING SKYLIGHT TO REMAIN
23	NEW FRAMED FLOORING
24	NEW FURRED WALL AT STAIRS
25	NEW RAILING
26	PROPOSED PARAPET
27	NEW MECHANICAL EQUIPMENT (SEE MECH. DWGS.)



**1 LONGITUDINAL BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**COSTA ARCHITECTURE & ENGINEERING, LLP**  
 MAIN OFFICE: 175 GREAT NECK ROAD, SUITE 303  
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**Revision Schedule**

#	Date	Description

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#	Date	Description
1	04/28/2021	PERMIT SET
2	12/16/2021	ISSUE TO OWNER
2	01/19/2022	ISSUE FOR LPC

FOR DOB USE:

PROFESSIONAL SEAL:

PROJECT SCOPE:

**2-STORY + PENTHOUSE ADDITION, CHANGE IN EGRESS, OCCUPANCY AND USE**

APPLICATION TYPE: **ALTERATION TYPE-1**  
 BIS#: **121209094**

PROJECT TITLE:  
**52 GREENE PARTNERS, LLP**  
  
**52 GREENE STREET**  
**NEW YORK, NY 10013**

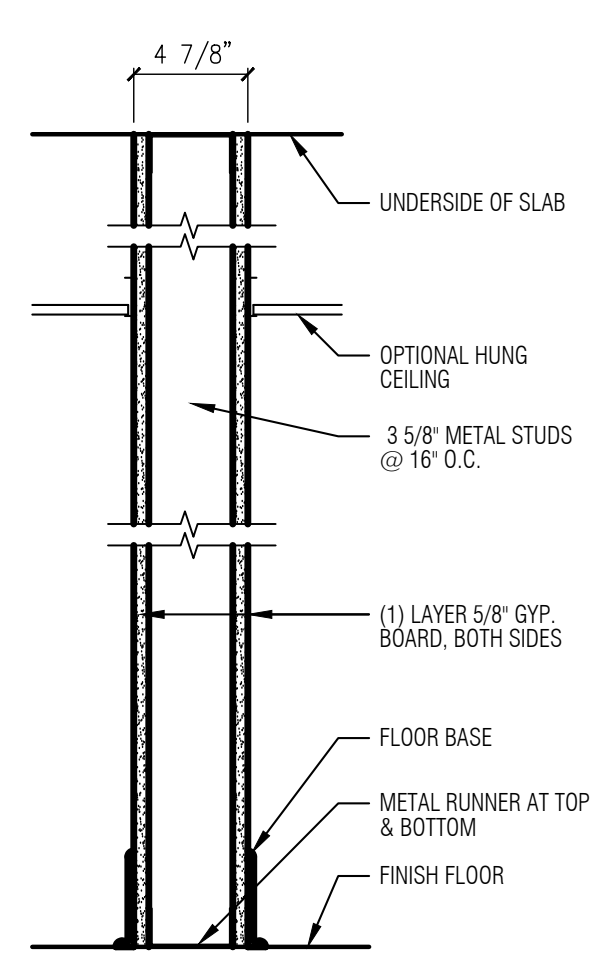
SHEET TITLE:  
 PARTITION TYPES & EXTERIOR DETAILS

PROJ. DATE: 08/21/2021 PROJECT # 21094  
 PROJ. MNGR.: CD SHEET: 14 of 26

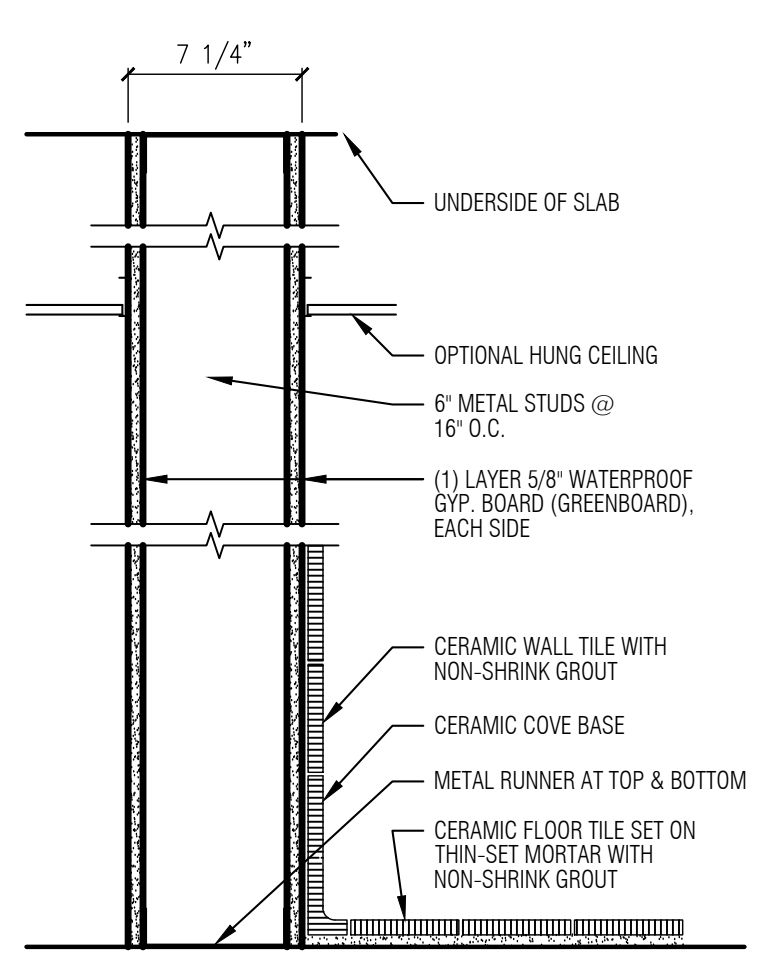
SHEET #

**LPC-14.00**

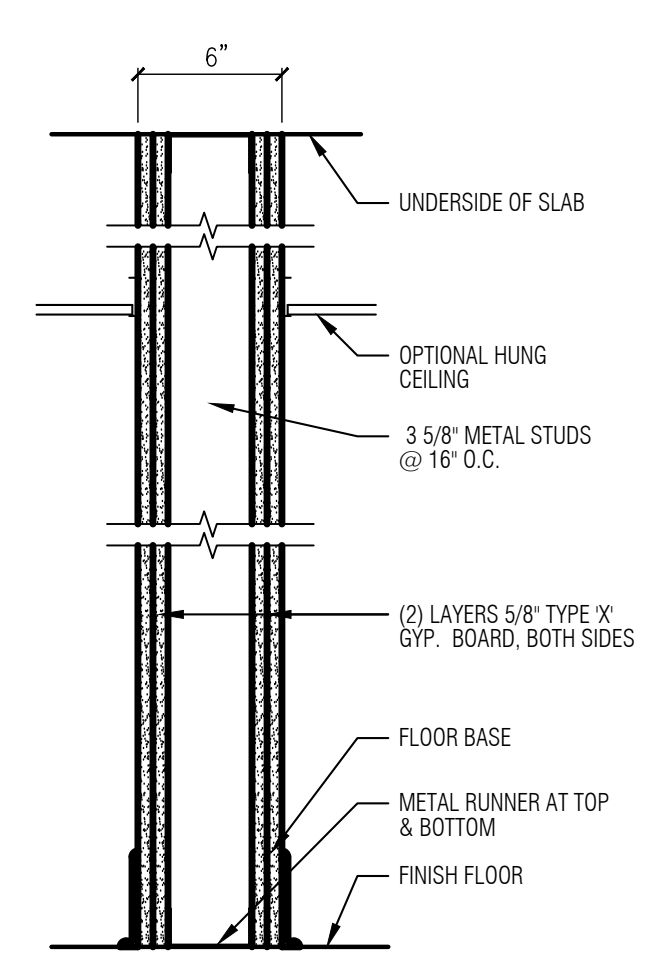
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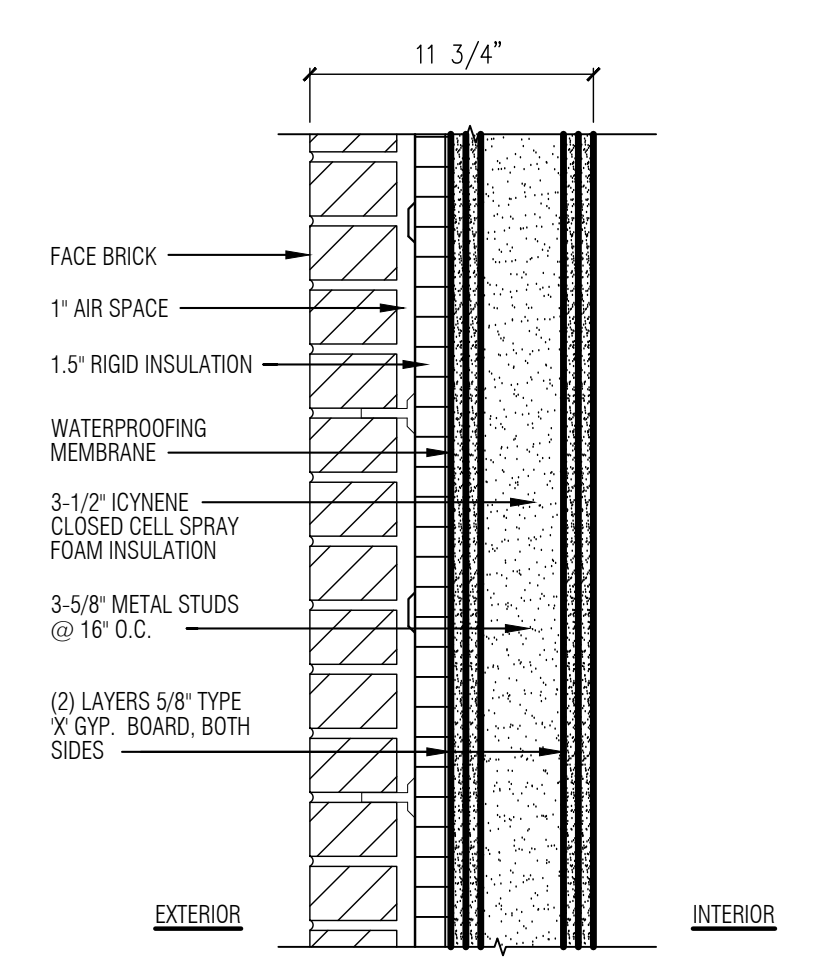
**1 NON-RATED PARTITION**  
SCALE: 1 1/2" = 1'-0"



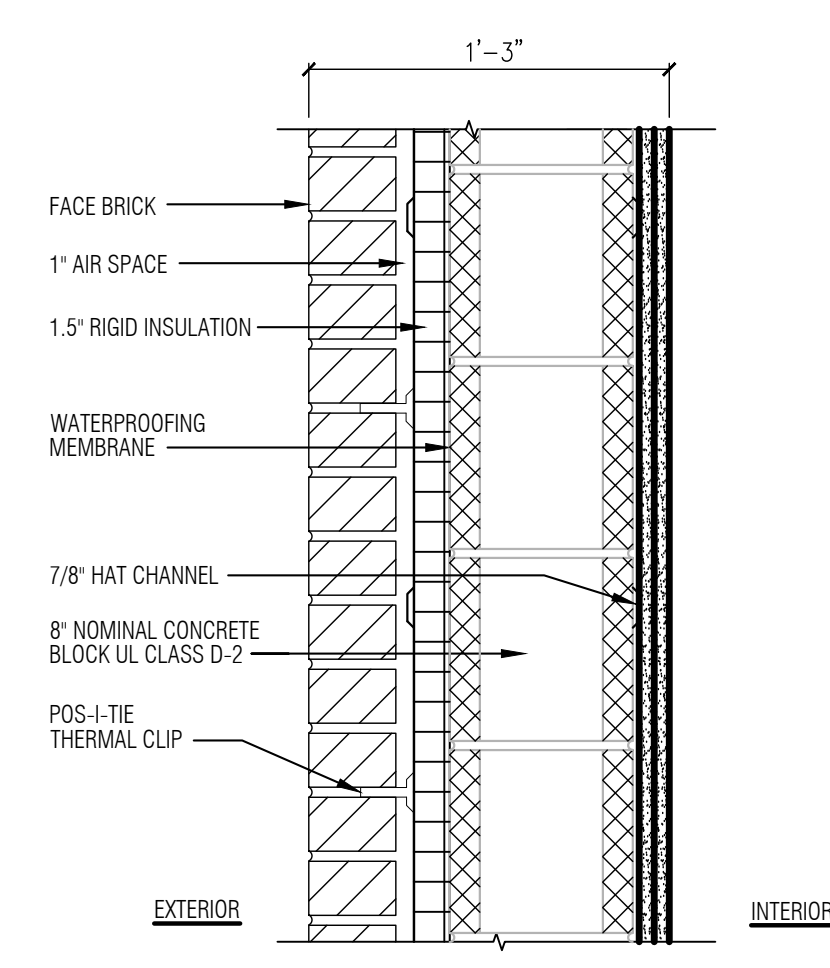
**2 NON-RATED PARTITION AT BATHROOMS**  
SCALE: 1 1/2" = 1'-0"



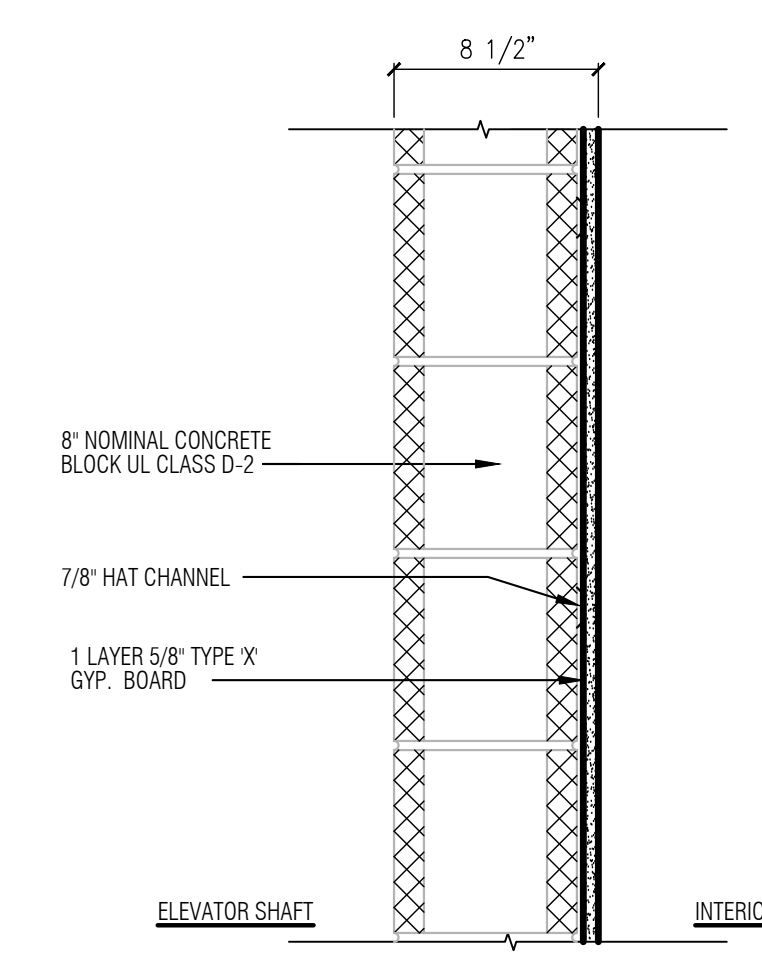
**3 2-HOUR RATED PARTITION**  
SCALE: 1 1/2" = 1'-0"



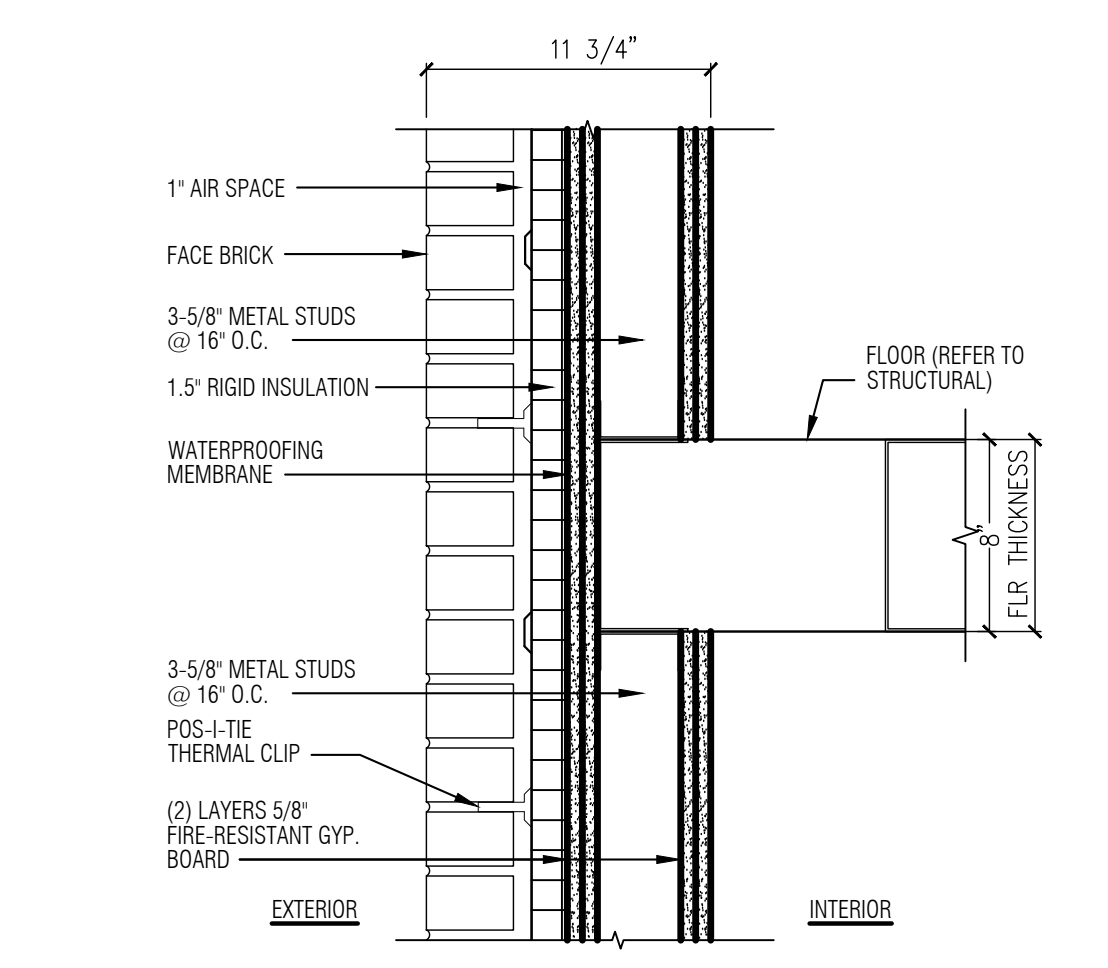
**4 2-HOUR RATED BRICK STUD WALL ASSEMBLY**  
SCALE: 1 1/2" = 1'-0"



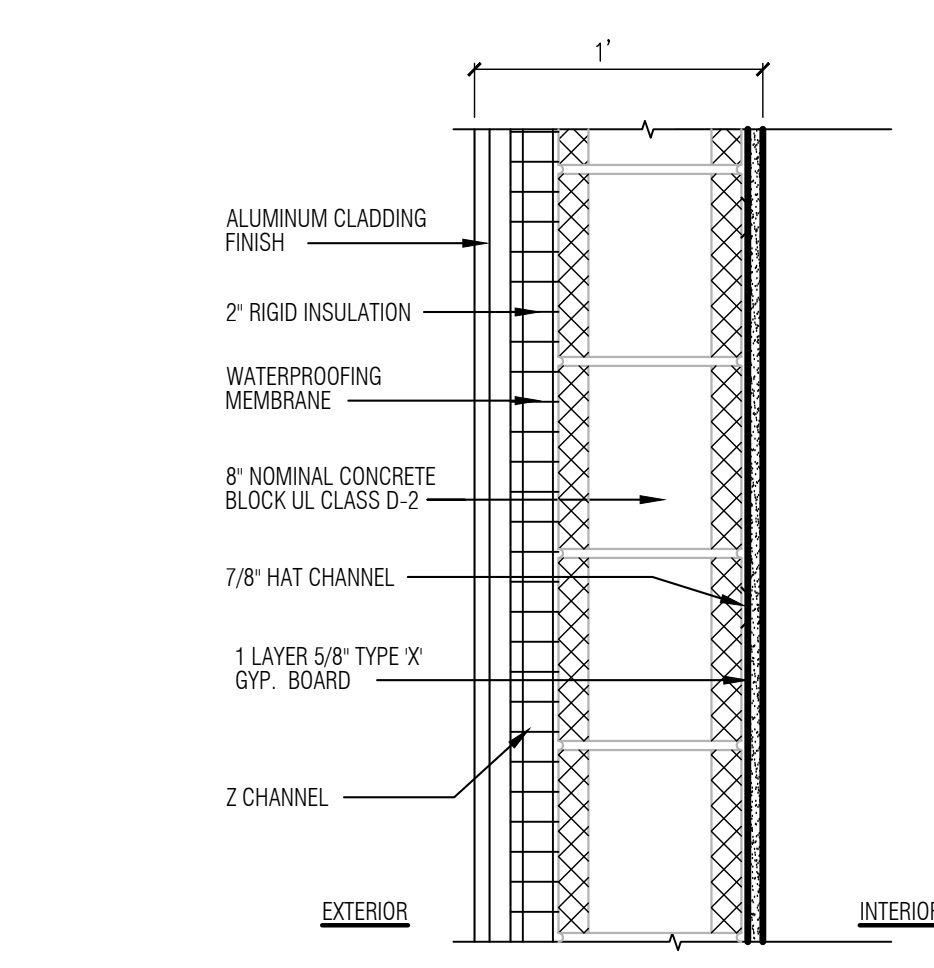
**5 EXTERIOR BRICK CMU w/ FURRED WALL**  
SCALE: 1 1/2" = 1'-0"



**6 ELEVATOR CMU WALL**  
SCALE: 1 1/2" = 1'-0"

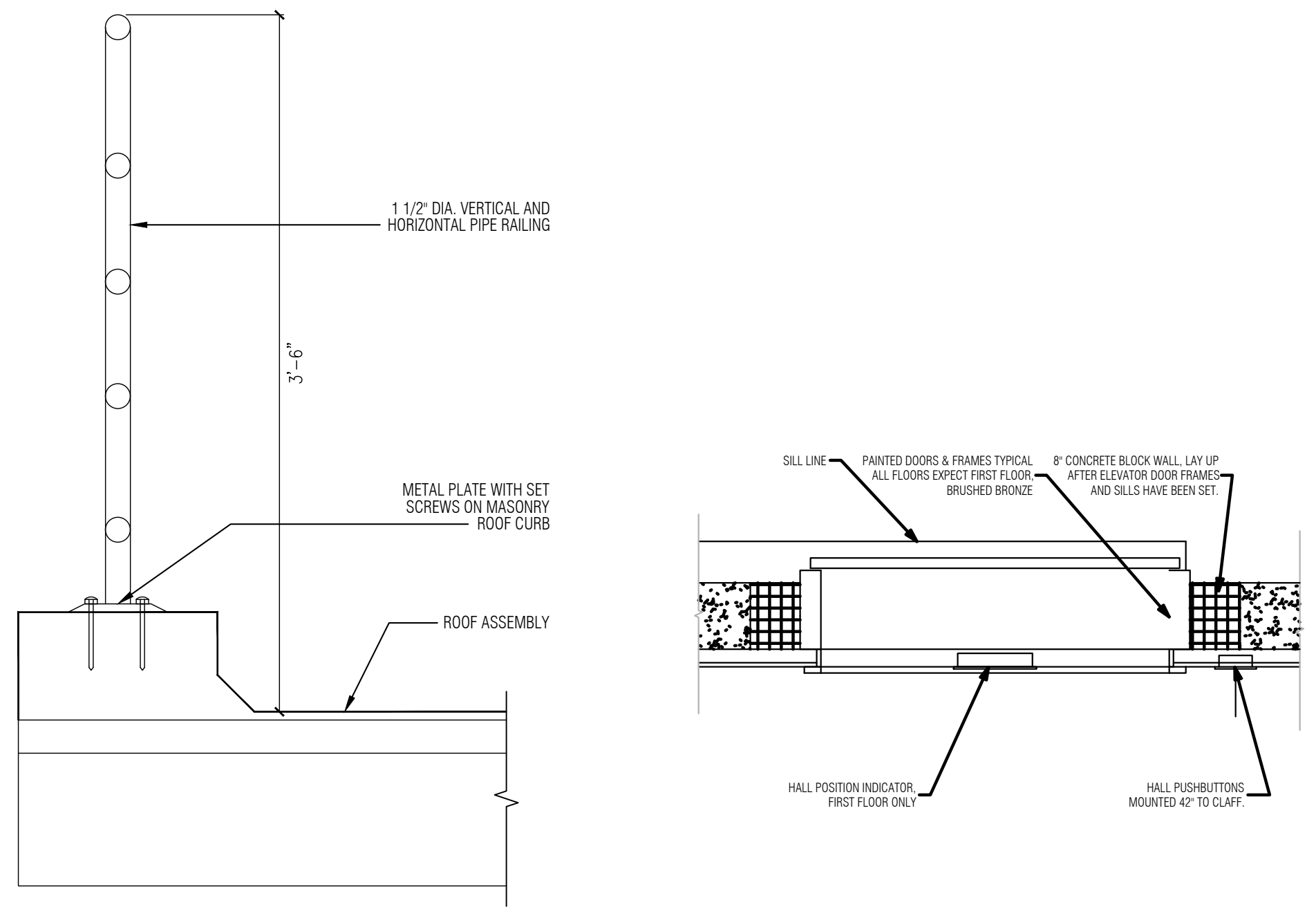


**7 2-HOUR RATED BRICK WALL ASSEMBLY W/ FLOOR EDGE**  
SCALE: 1 1/2" = 1'-0"



**8 ELEVATOR CMU WALL @ PENTHOUSE**  
SCALE: 1 1/2" = 1'-0"

10/4/2022 1:19 PM: Z:\PROJECTS\52 GREENE STREET\52 GREENE\CAD\_MASTERS\500-00 Partition Types & Exterior Details.dwg

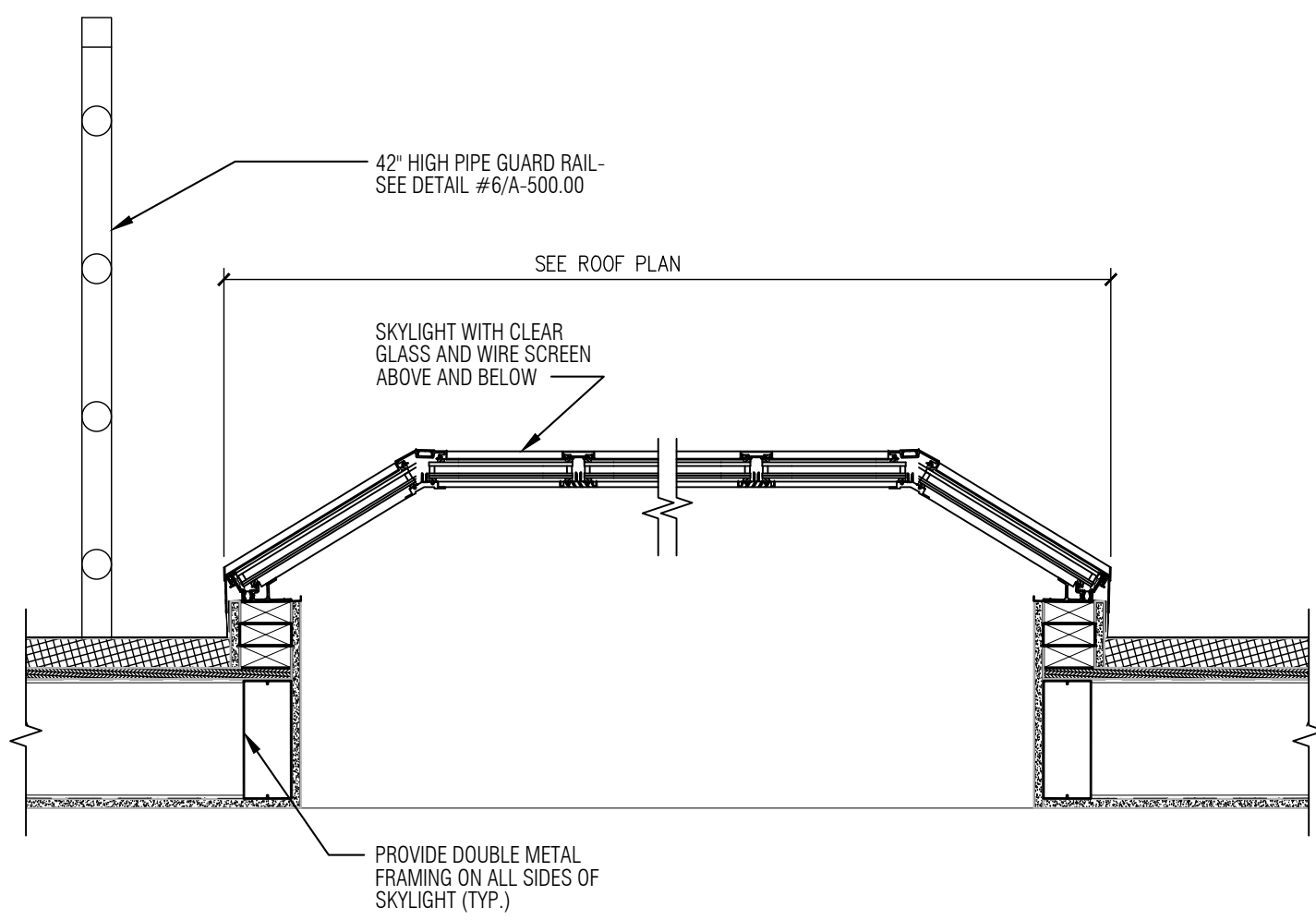


1 PIPE GUARD RAILING DETAIL AT ROOF

SCALE: 1 1/2" = 1'-0"

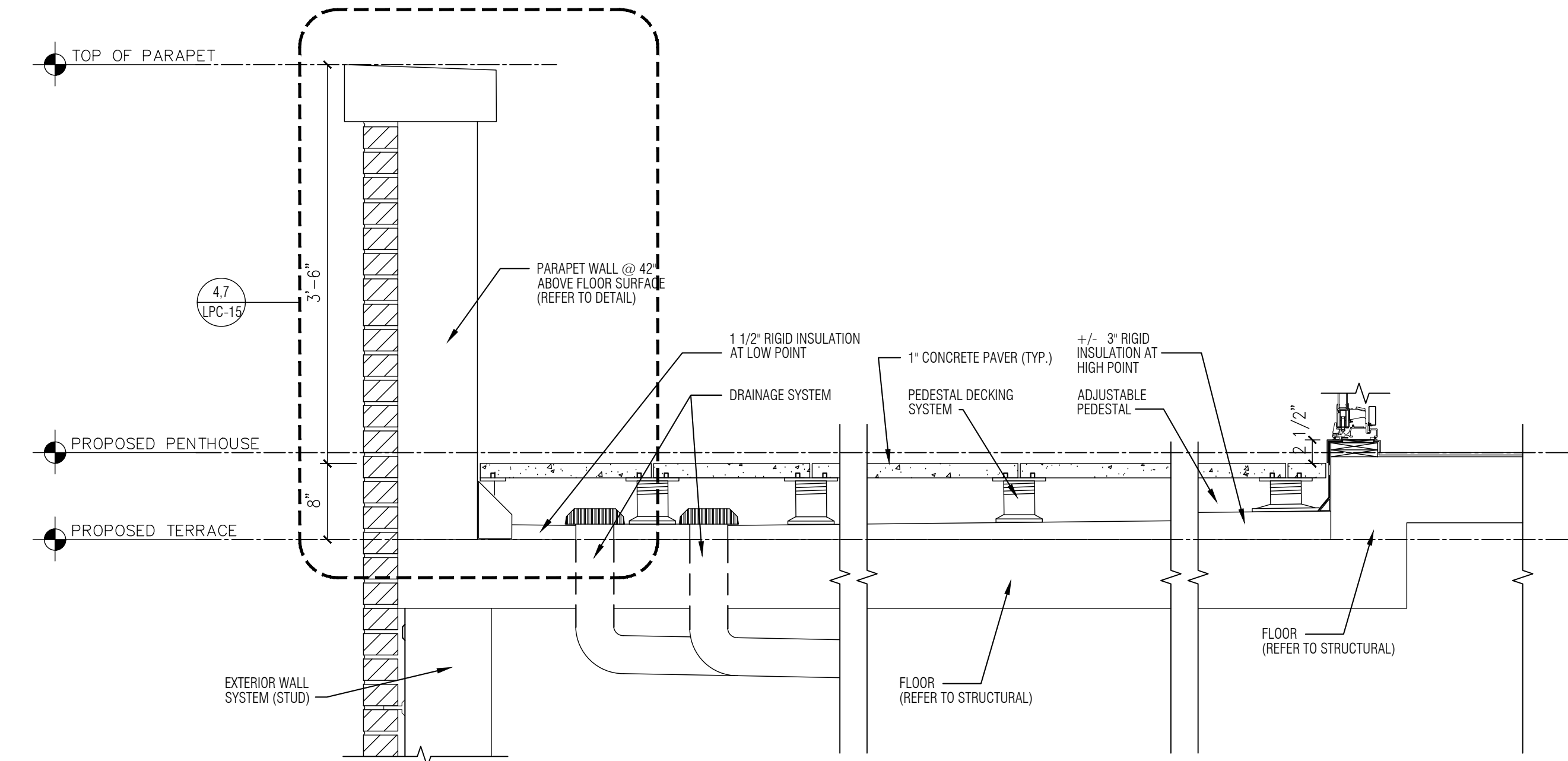
2 TYP. PLAN DETAIL AT ELEVATOR DOOR

SCALE: N.T.S.



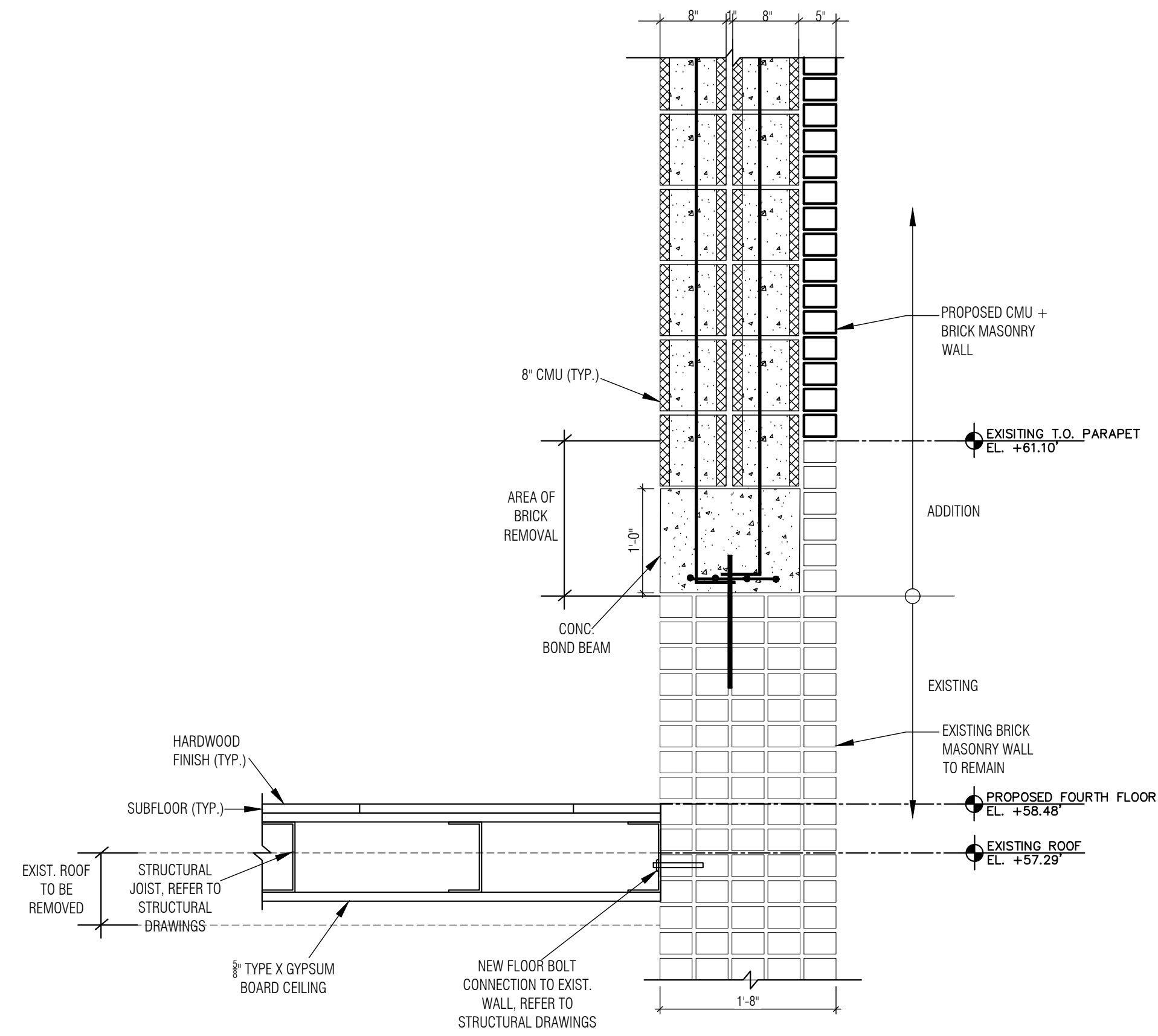
5 SECTION AT ROOF SKYLIGHT

SCALE: 1" = 1'-0"



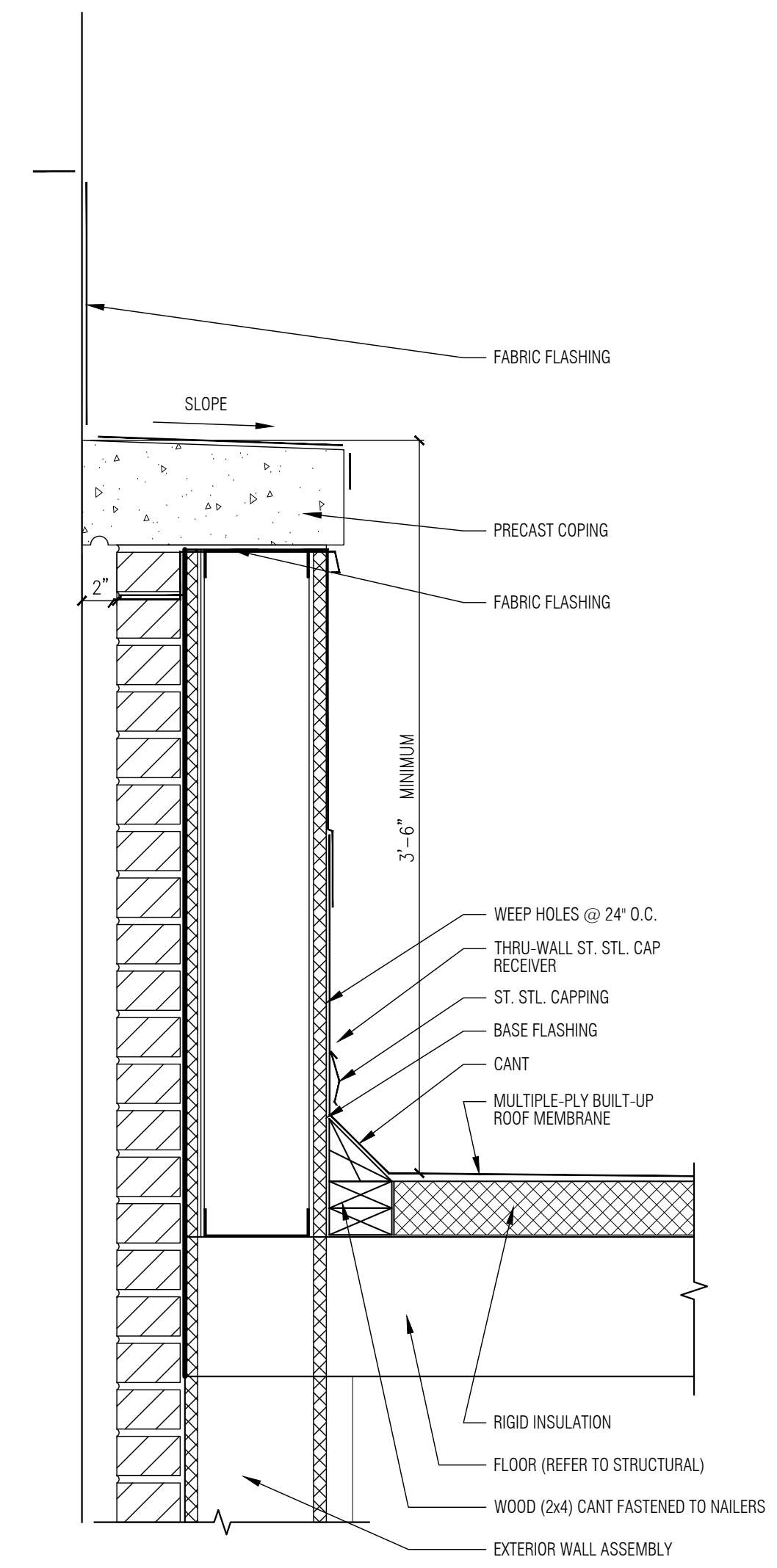
6 SECTION AT ROOF TERRACE

SCALE: 1" = 1'-0"



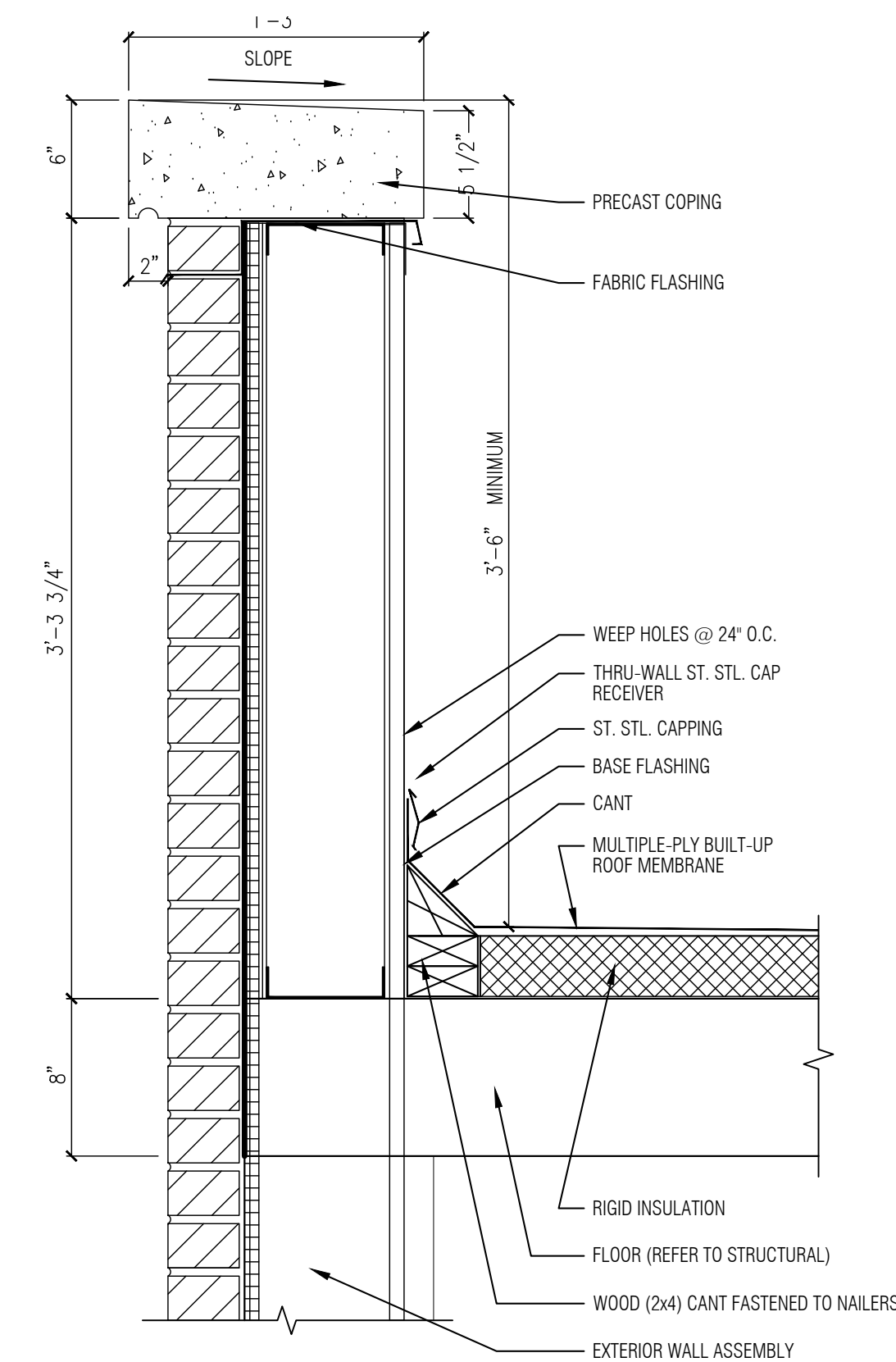
3 FRONT FACADE AT 4TH FLR

SCALE: 1 1/2" = 1'-0"



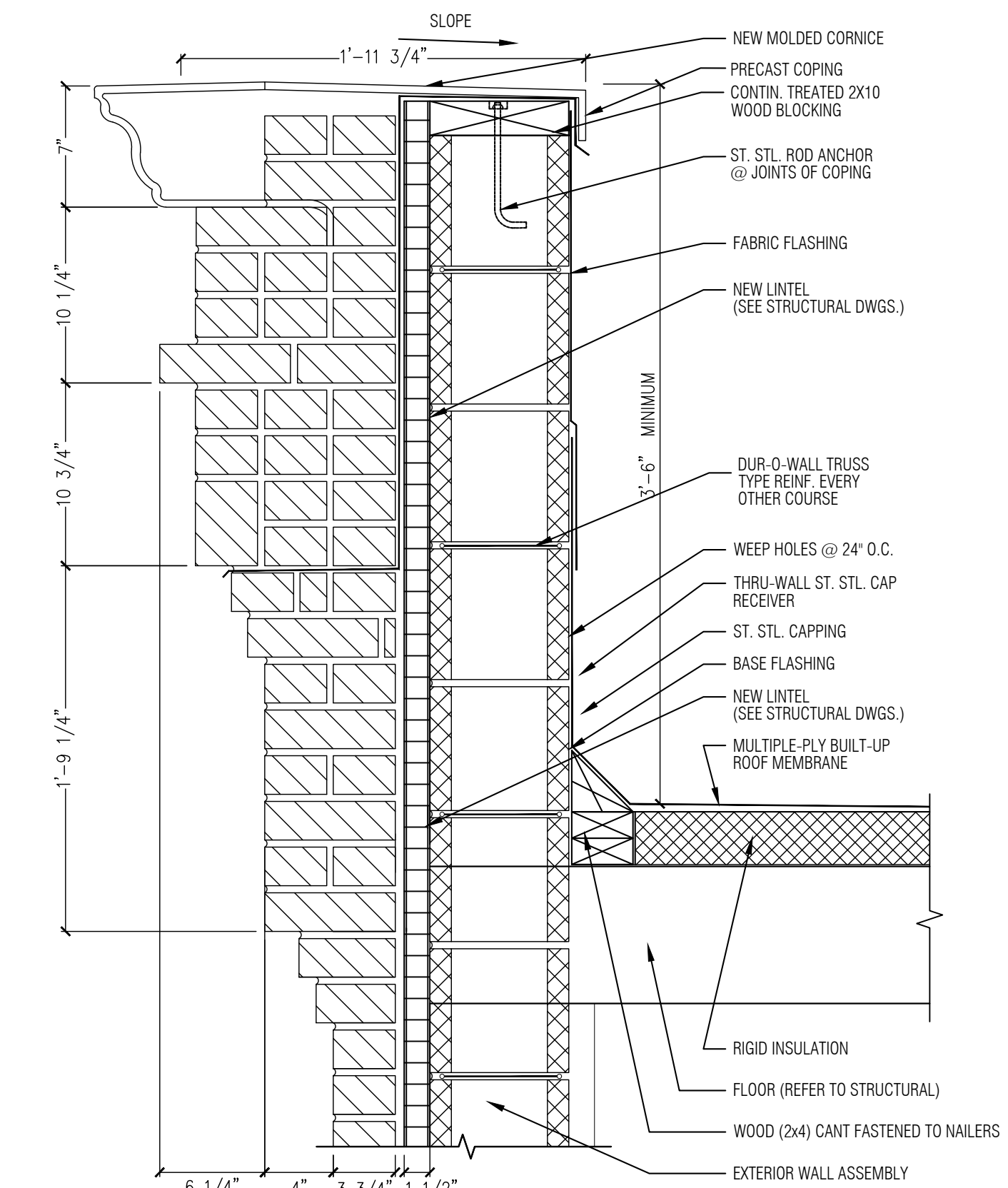
4 SECTION AT CONCRETE PARAPET (SIDE)

SCALE: 1 1/2" = 1'-0"



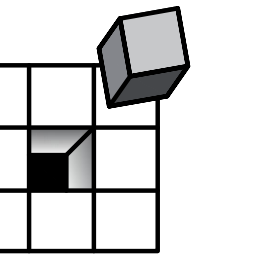
7 SECTION AT CONCRETE PARAPET (REAR)

SCALE: 1 1/2" = 1'-0"



8 SECTION AT CONCRETE PARAPET (FRONT)

SCALE: 1 1/2" = 1'-0"



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FOR DOB USE:

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PROFESSIONAL SEAL:

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PROJECT SCOPE:  
**2-STORY + PENTHOUSE ADDITION, CHANGE IN EGRESS, OCCUPANCY AND USE**

APPLICATION TYPE: **ALTERATION TYPE-1**

BIS#: **121209094**

PROJECT TITLE:  
**52 GREENE PARTNERS, LLP**

**52 GREENE STREET  
 NEW YORK, NY 10013**

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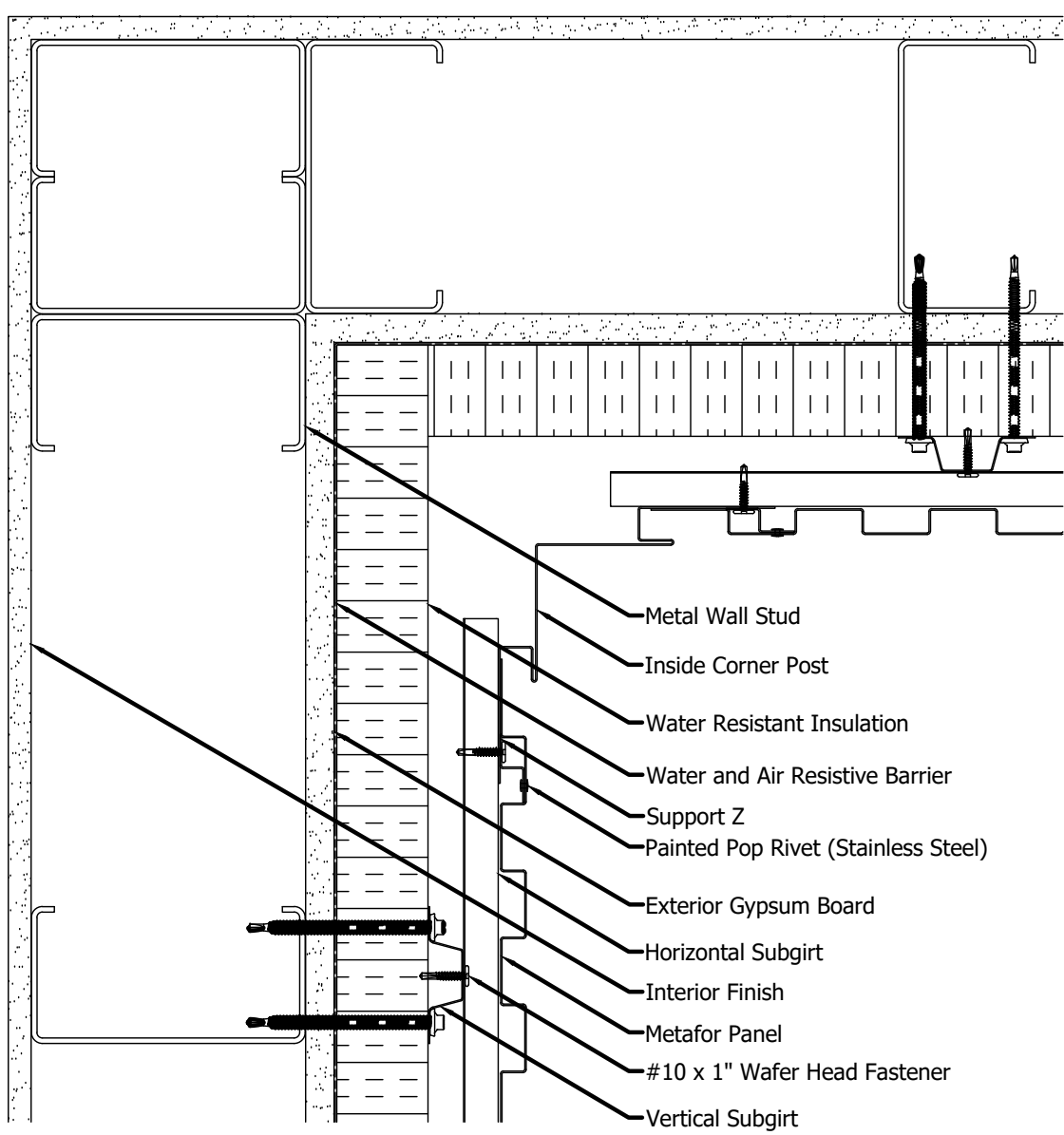
SHEET TITLE:  
 PARTITION TYPES & EXTERIOR DETAILS

PROJ. DATE: 08/21/2021 PROJECT # 21094  
 PROJ. MNGR.: CD SHEET: 15 OF 26  
 SHEET #

# LPC-15.00

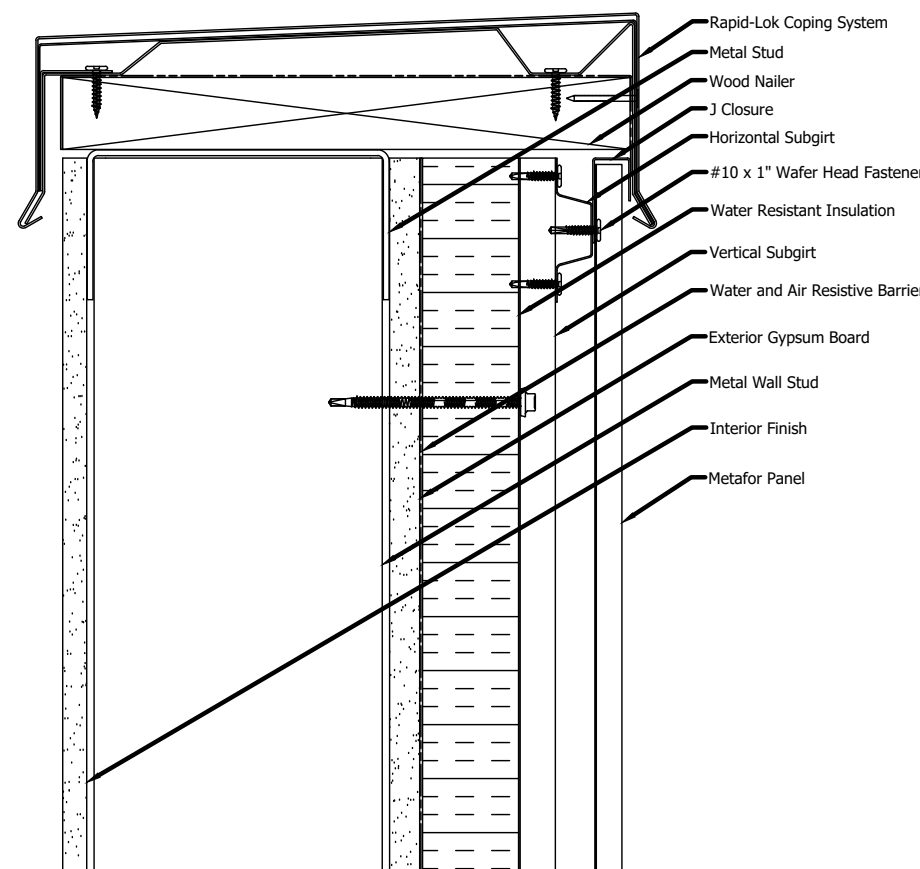
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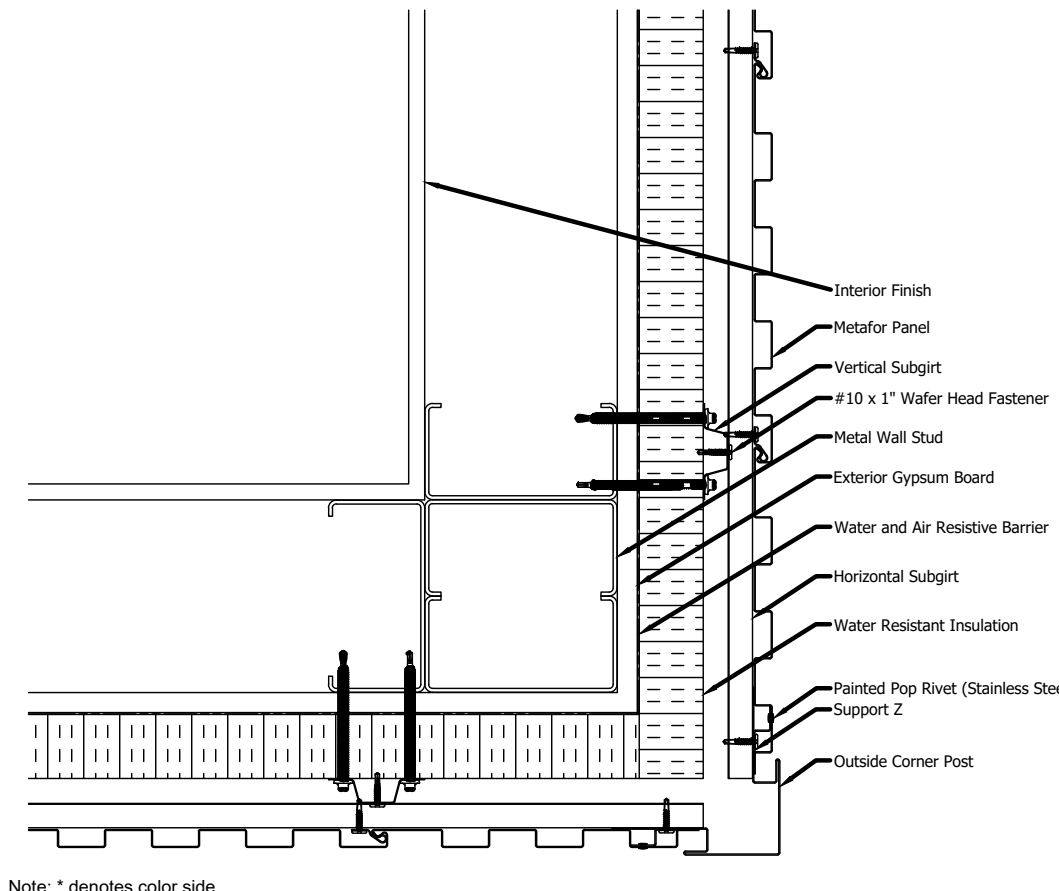
**1 REAR PENTHOUSE FACADE TRANSITION DETAIL - INSIDE CORNER**  
SCALE: 3" = 1'-0"

Vertical Panel



**2 FRONT/REAR PENTHOUSE ROOF PARAPET DETAIL - TOP OF WALL**  
SCALE: 3" = 1'-0"

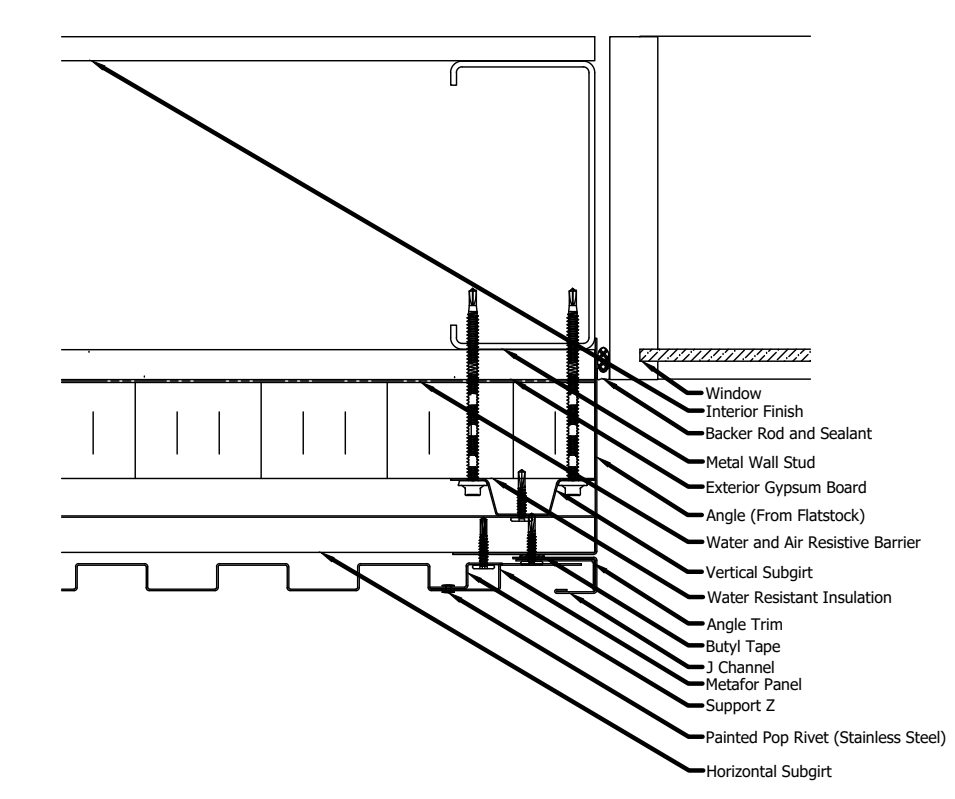
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Note: \* denotes color side.

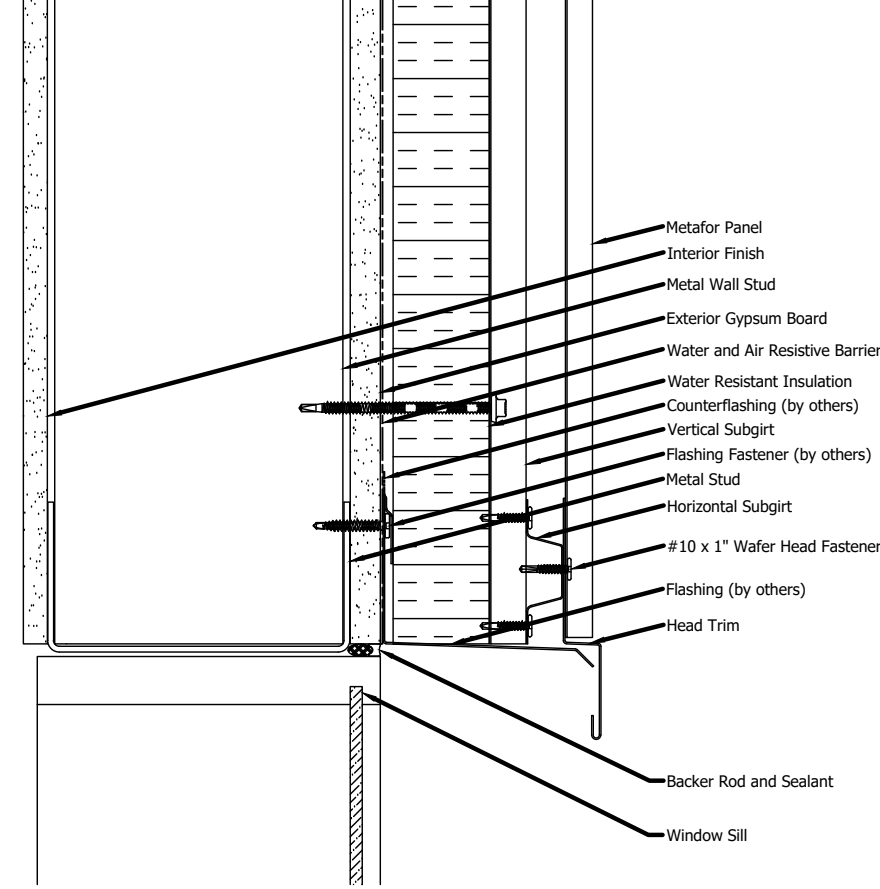
**3 REAR PENTHOUSE FACADE TRANSITION DETAIL - OUTSIDE CORNER**  
SCALE: 3" = 1'-0"

Vertical Panel



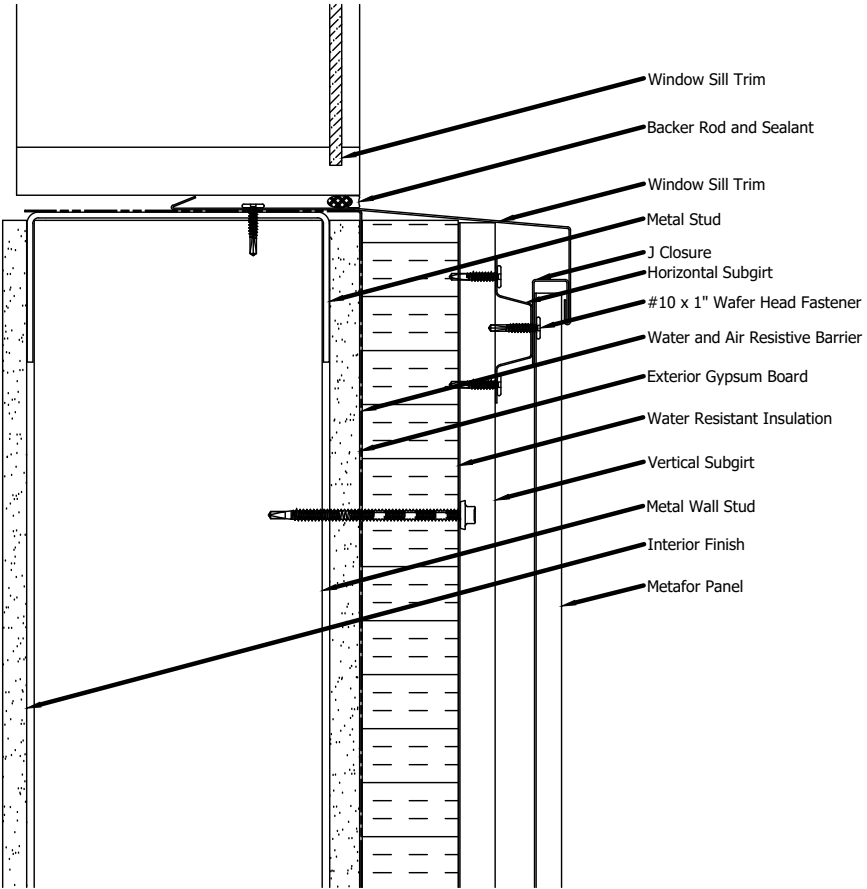
**4 DOOR JAMB + ADJACENT WINDOW OPENING DETAIL**  
SCALE: 3" = 1'-0"

Vertical Panel

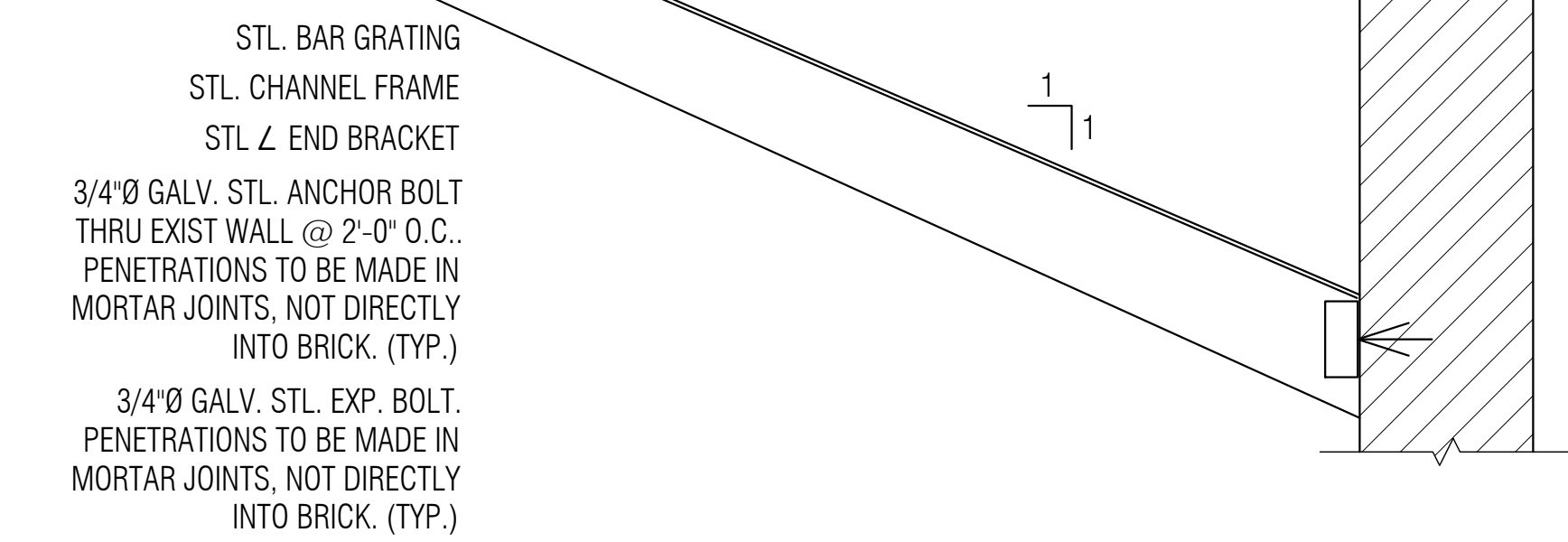


**5 DETAIL @ TOP OF WINDOW/DOOR FRAME OPENING**  
SCALE: 3" = 1'-0"

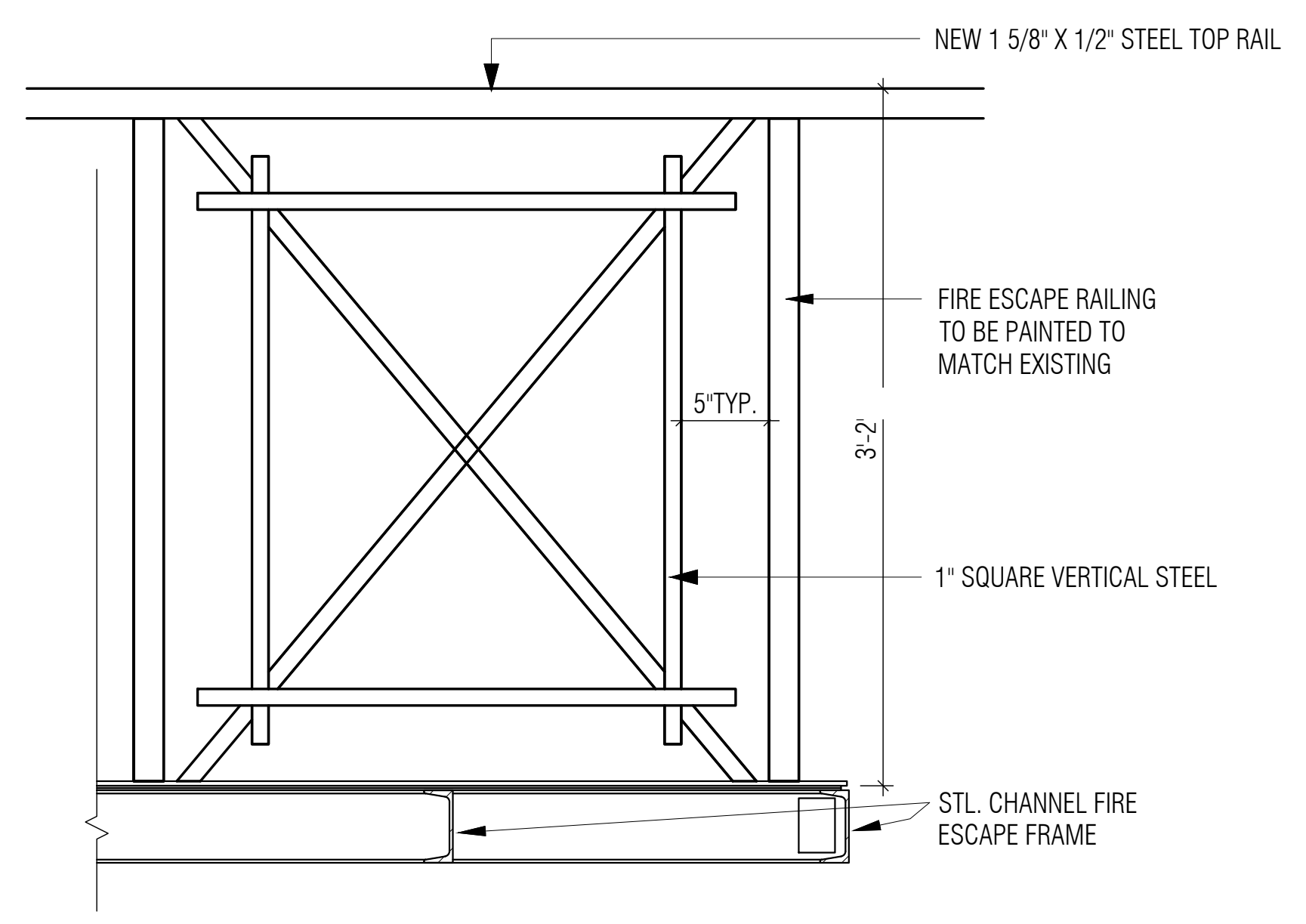
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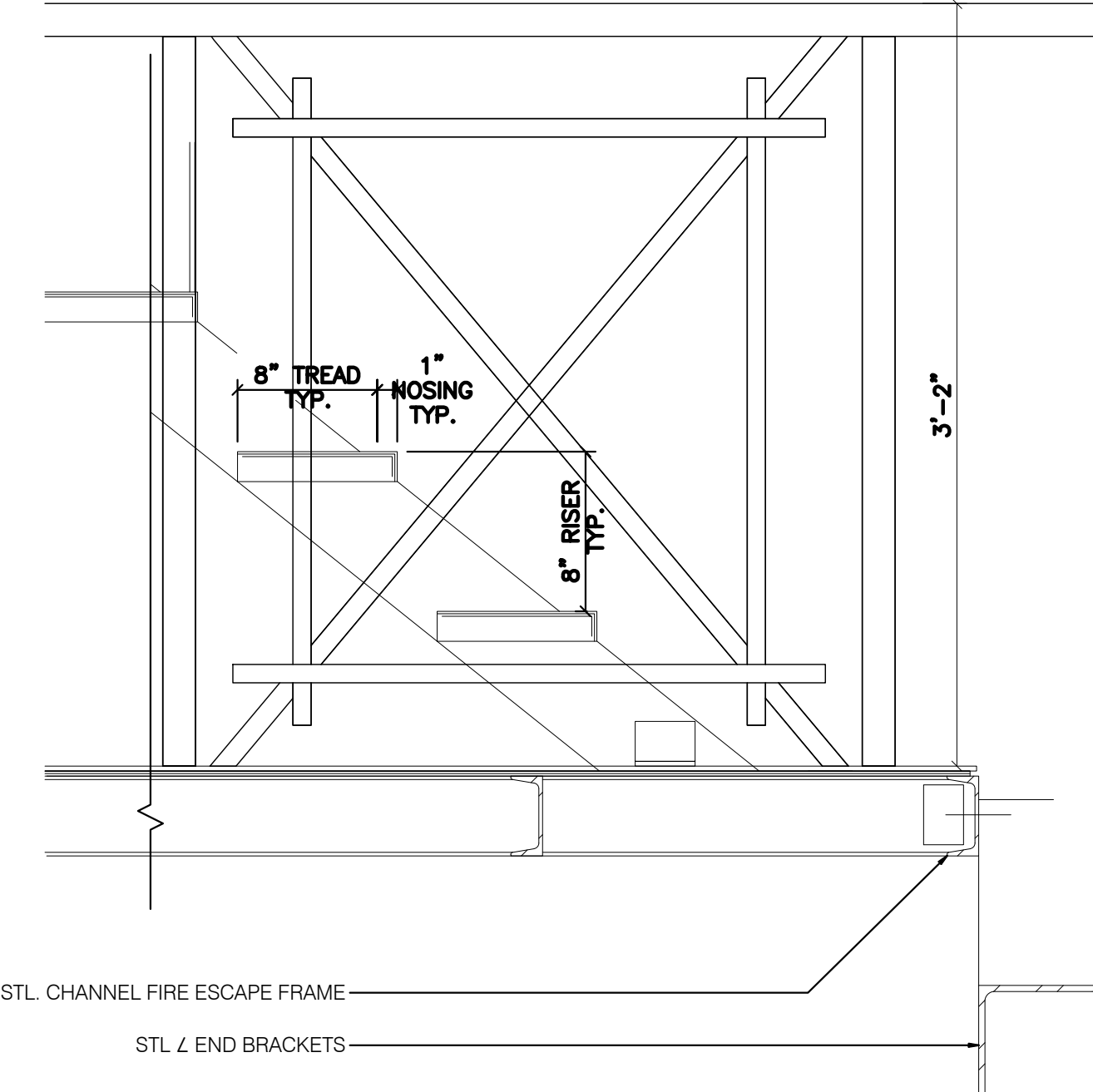
**6 PENTHOUSE WINDOW SILL DETAIL**  
SCALE: 3" = 1'-0"



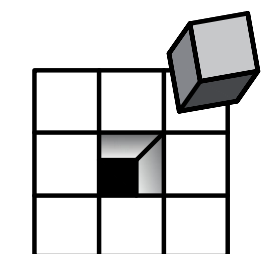
**7 FIRE ESCAPE CONNECTION DETAIL**  
SCALE: 1 1/2" = 1'-0"



**8 FIRE ESCAPE RAILING DETAIL**  
SCALE: 1 1/2" = 1'-0"



**9 FIRE ESCAPE STAIR DETAIL**  
SCALE: 1 1/2" = 1'-0"



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PROFESSIONAL SEAL:

PROJECT SCOPE:  
**2-STORY + PENTHOUSE ADDITION, CHANGE IN EGRESS, OCCUPANCY AND USE**

APPLICATION TYPE: **ALTERATION TYPE-1**  
BIS#: **121209094**

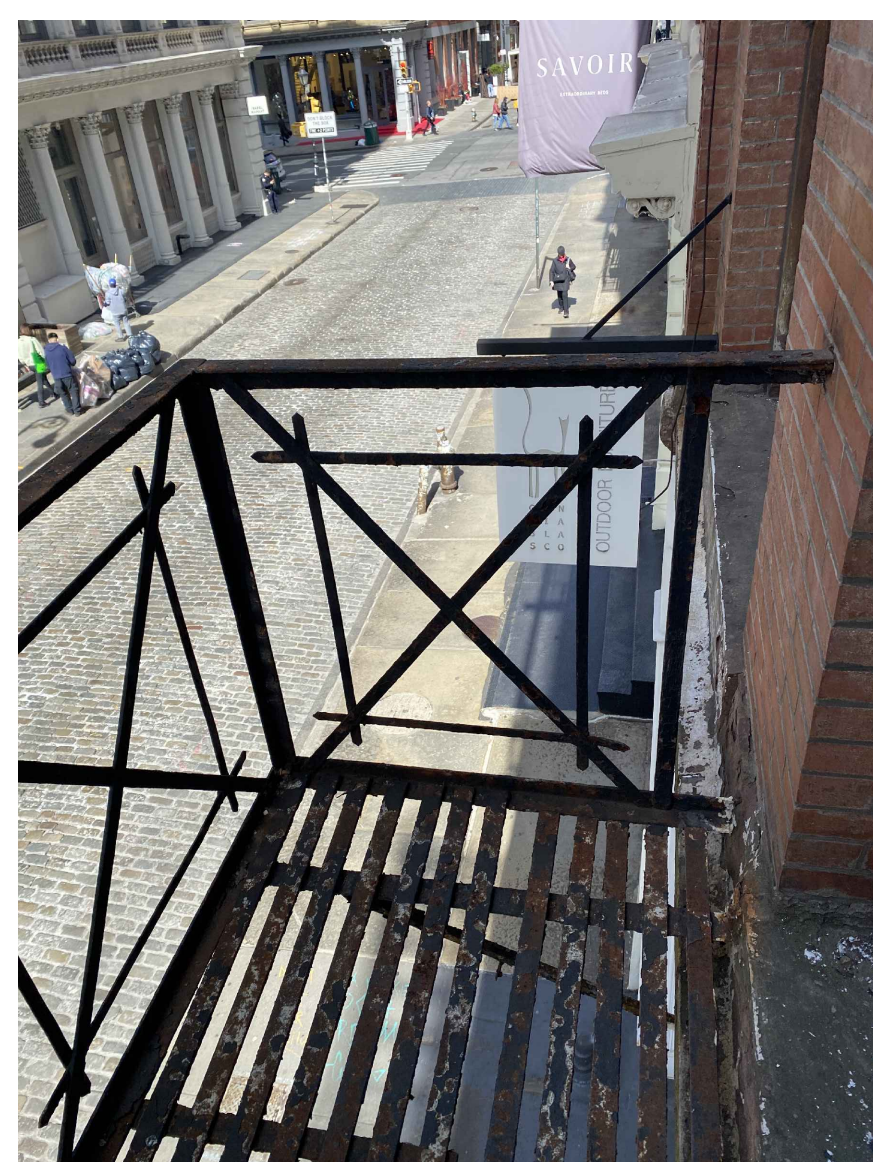
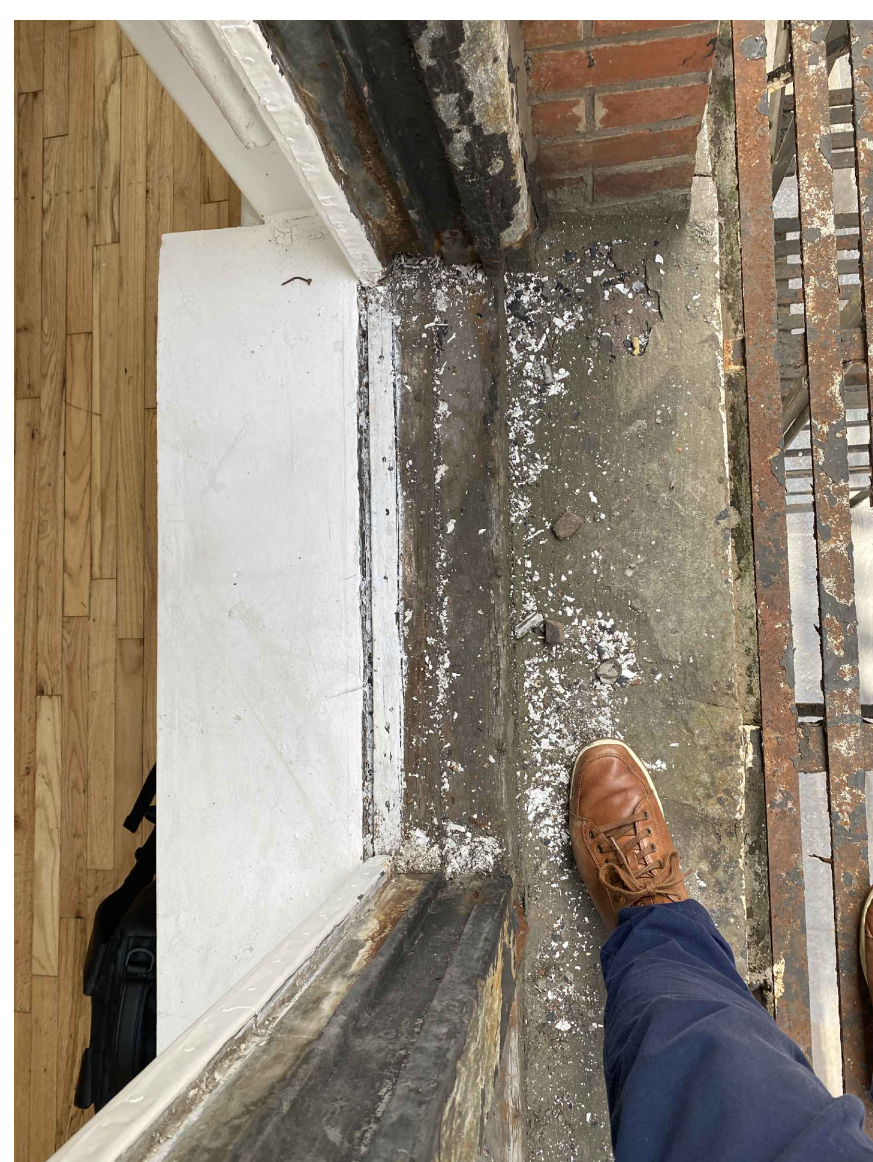
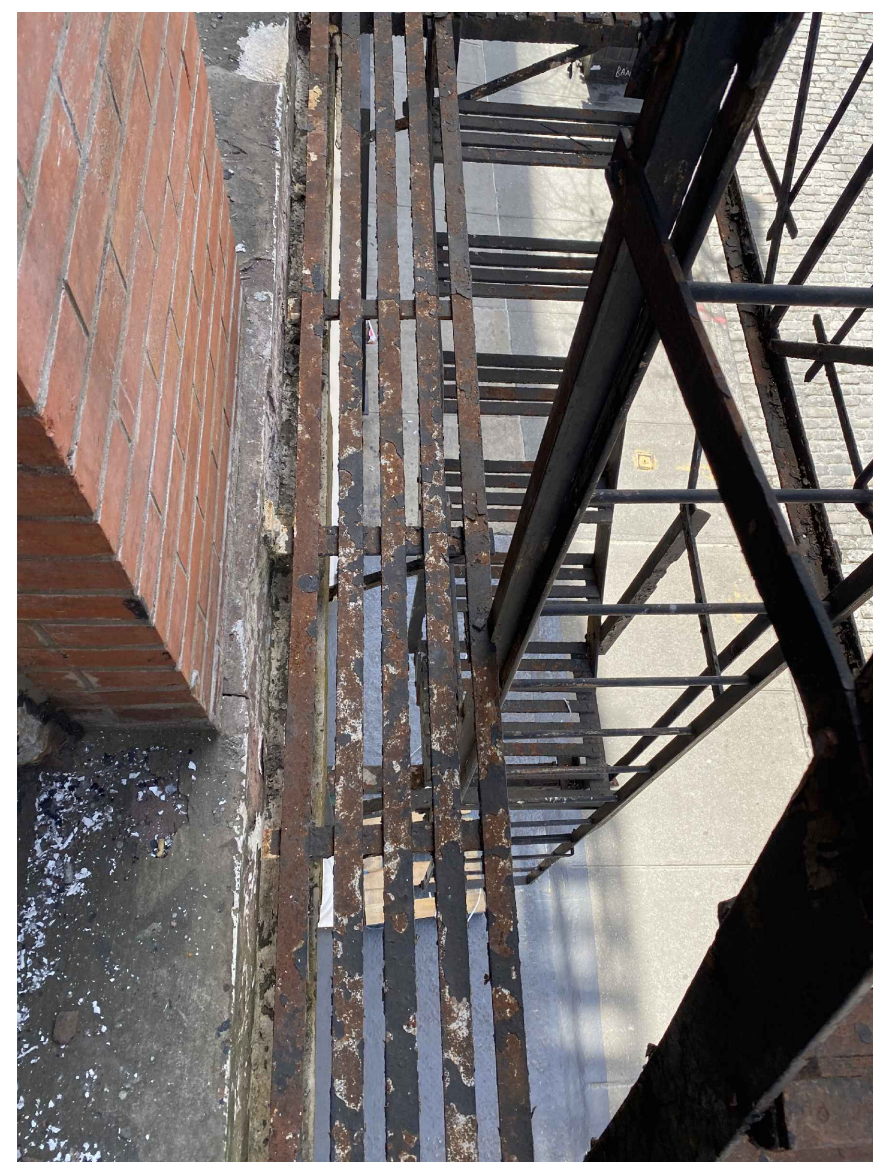
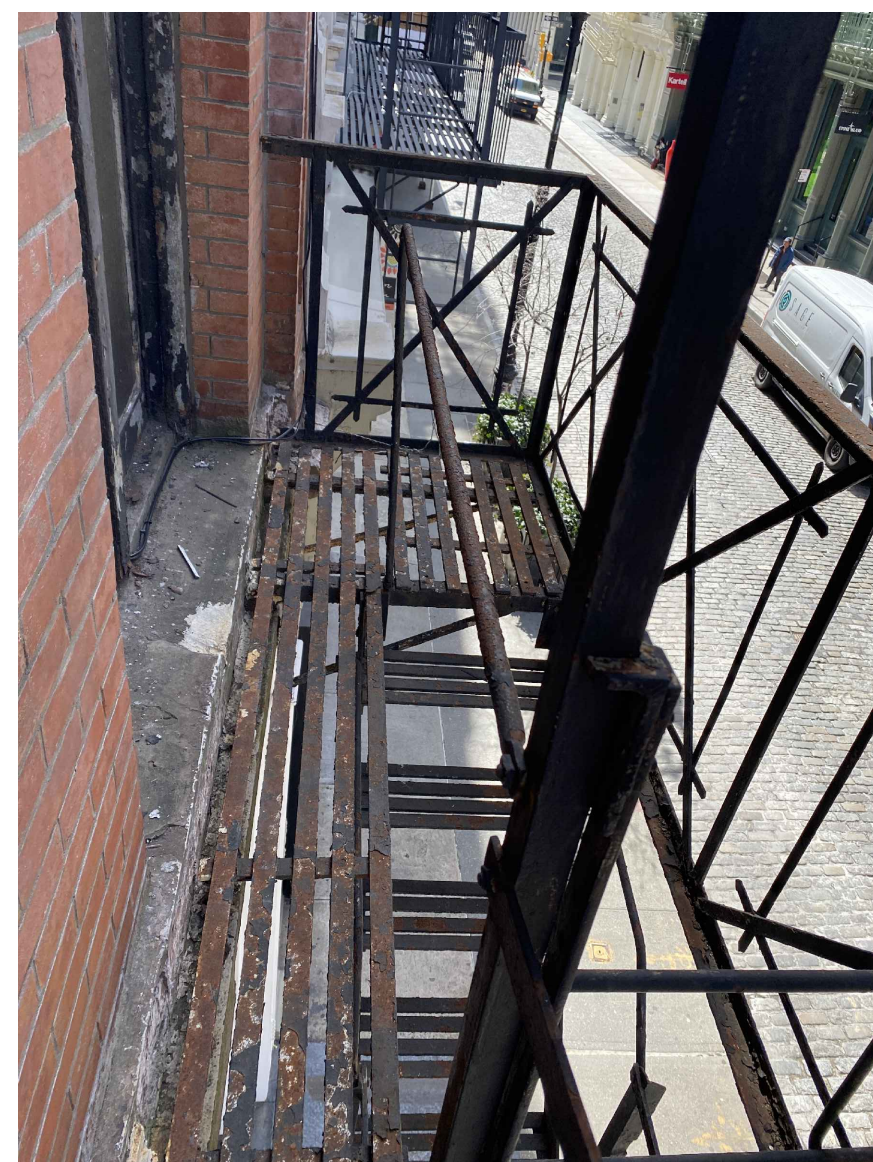
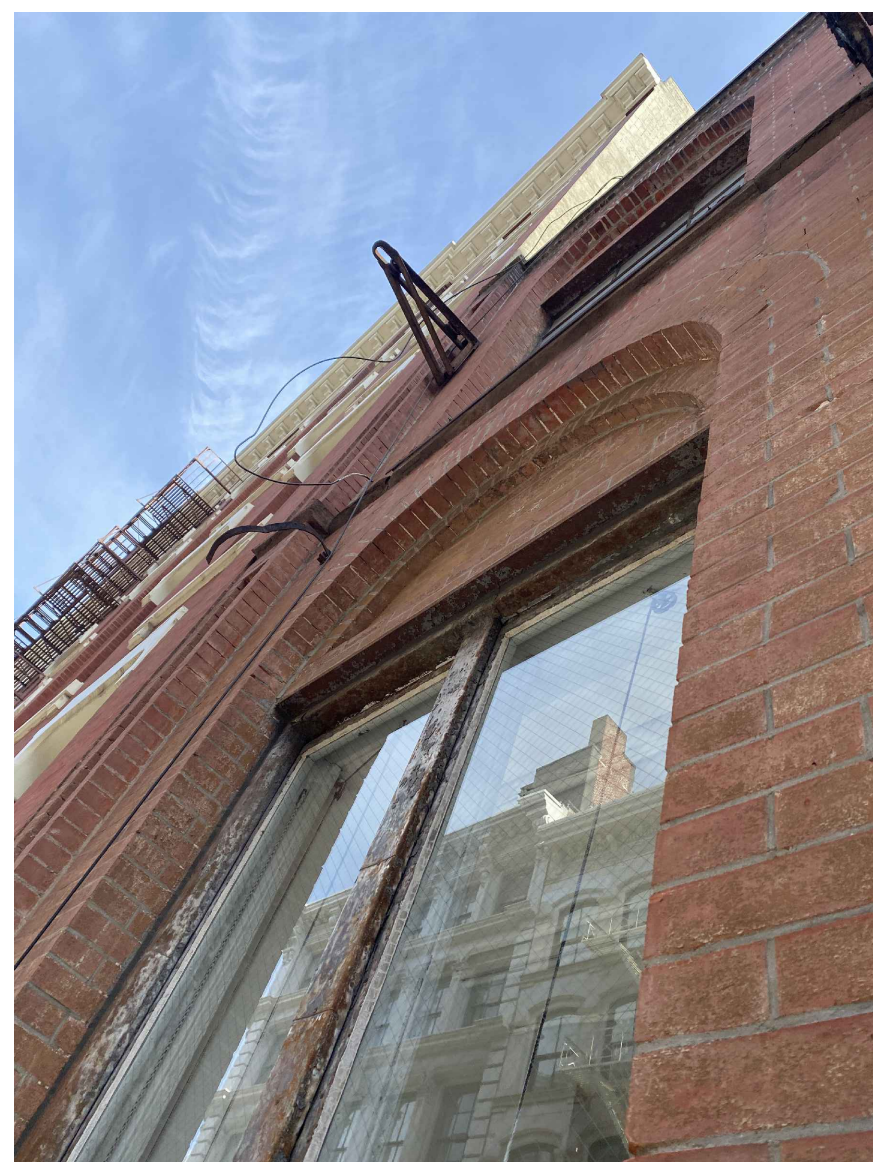
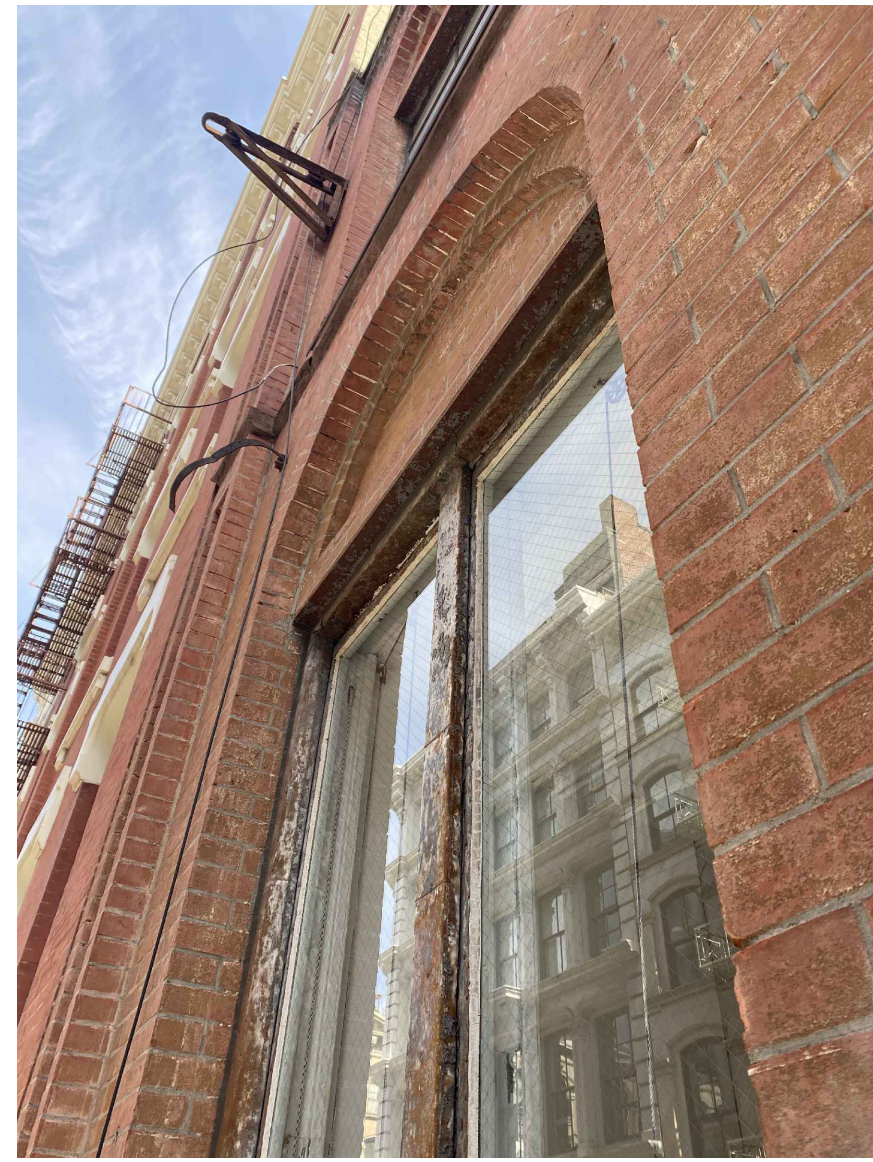
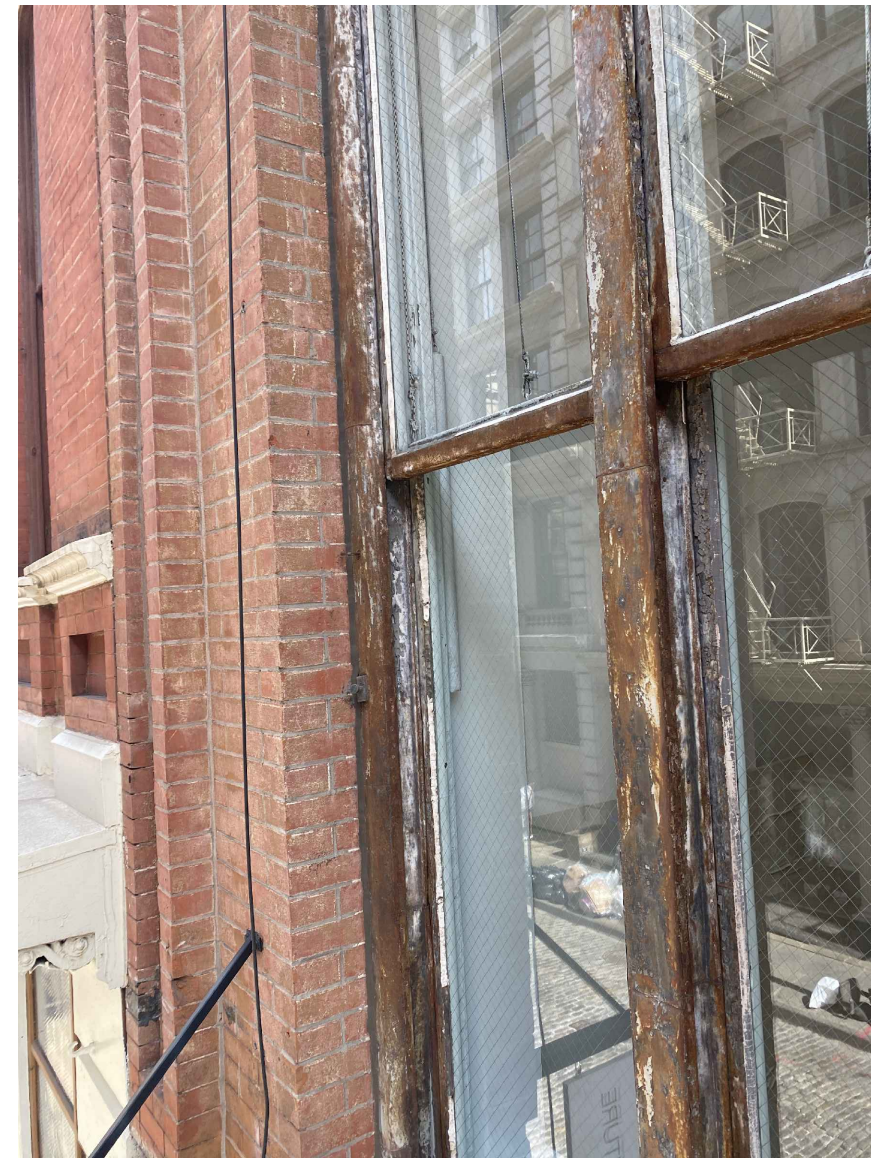
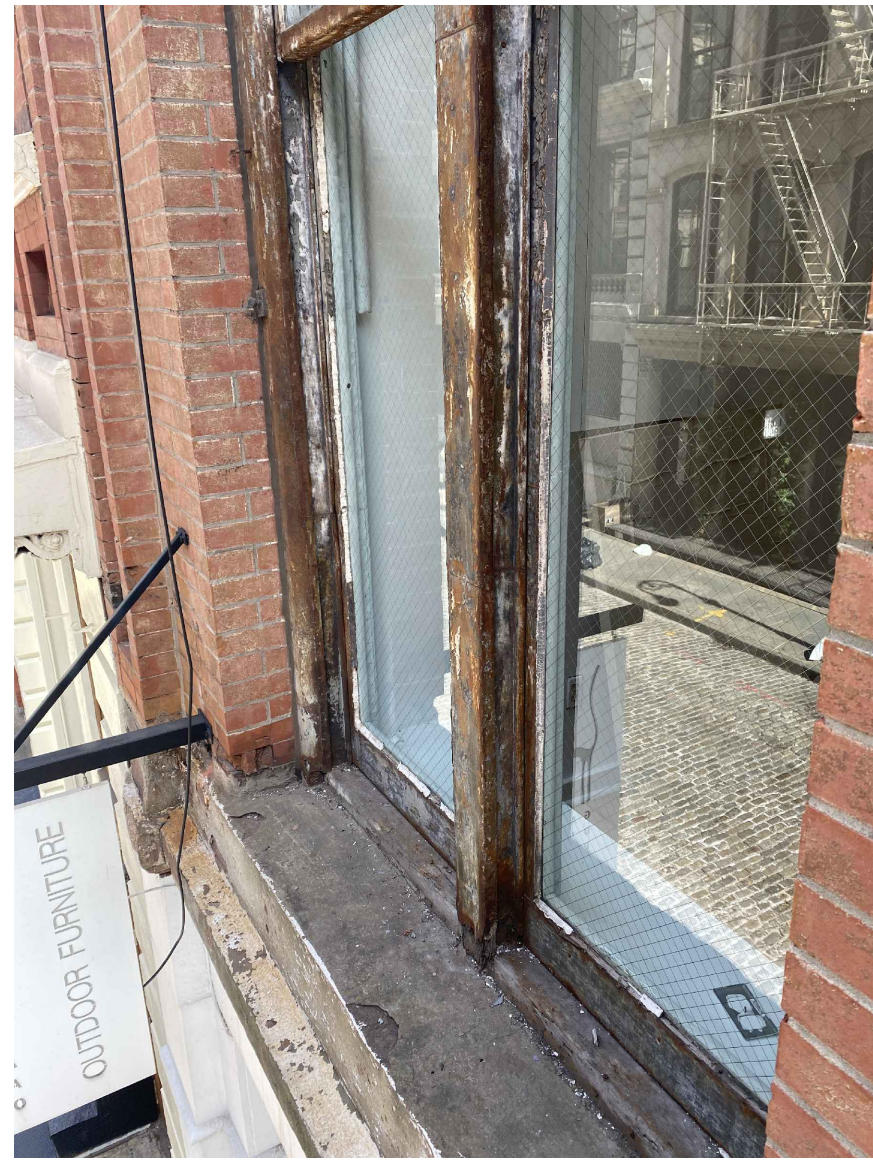
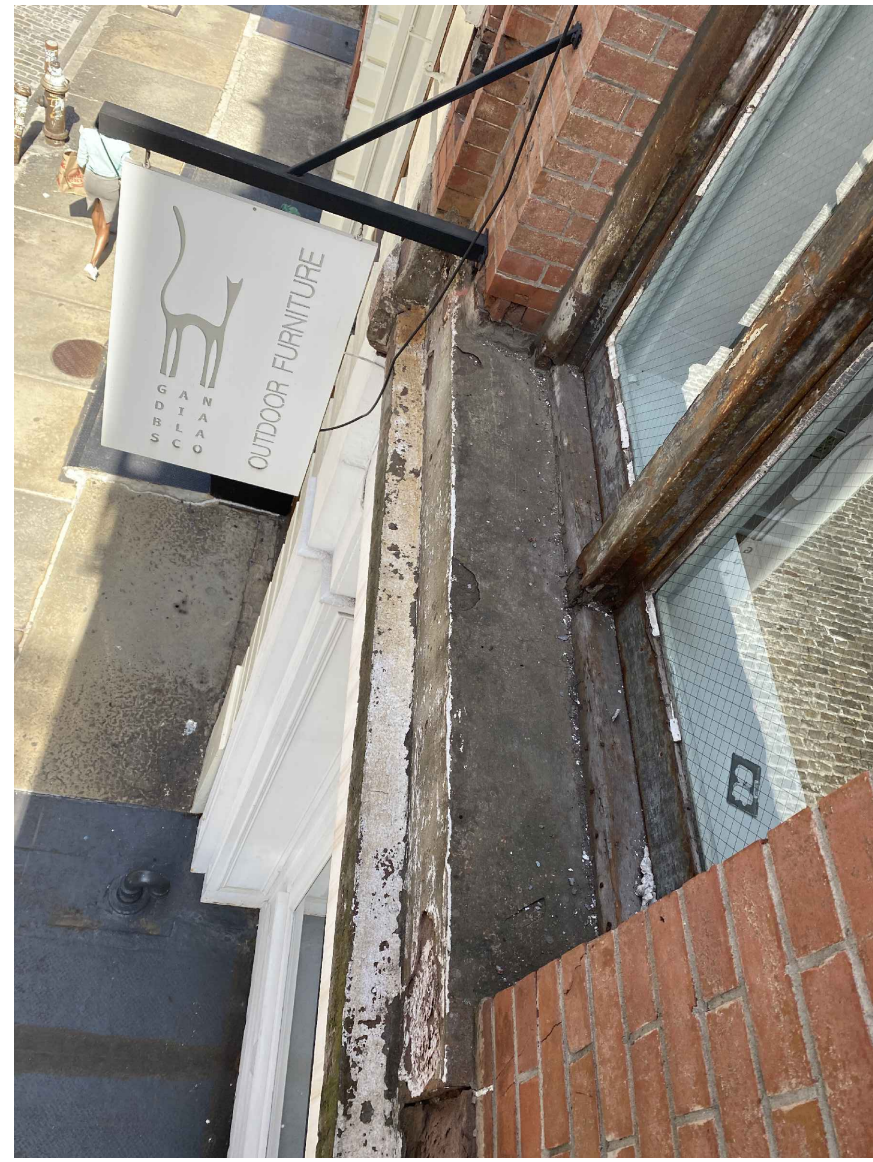
PROJECT TITLE:  
**52 GREENE PARTNERS, LLP**  
**52 GREENE STREET**  
**NEW YORK, NY 10013**

SHEET TITLE:  
PENTHOUSE FACADE  
DETAILS, FIRE ESCAPE  
DETAILS  
PROJ. DATE: 08/21/2021 PROJECT # 21094  
PROJ. MNGR.: CD SHEET 16 of 26

**LPC-16.00**

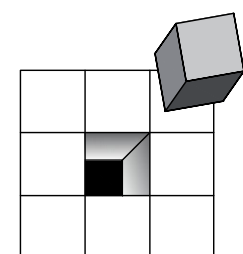
B-SCAN:





**1** EXISTING PHOTOS OF FRONT FACADE AT SECOND FLOOR LEVEL

SCALE: N.T.S.



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CHANGE IN EGRESS, OCCUPANCY  
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APPLICATION TYPE: **ALTERATION TYPE-1**

BIC#: **121209094**

PROJECT TITLE:  
**52 GREENE PARTNERS, LLP**  
**52 GREENE STREET  
NEW YORK, NY 10013**

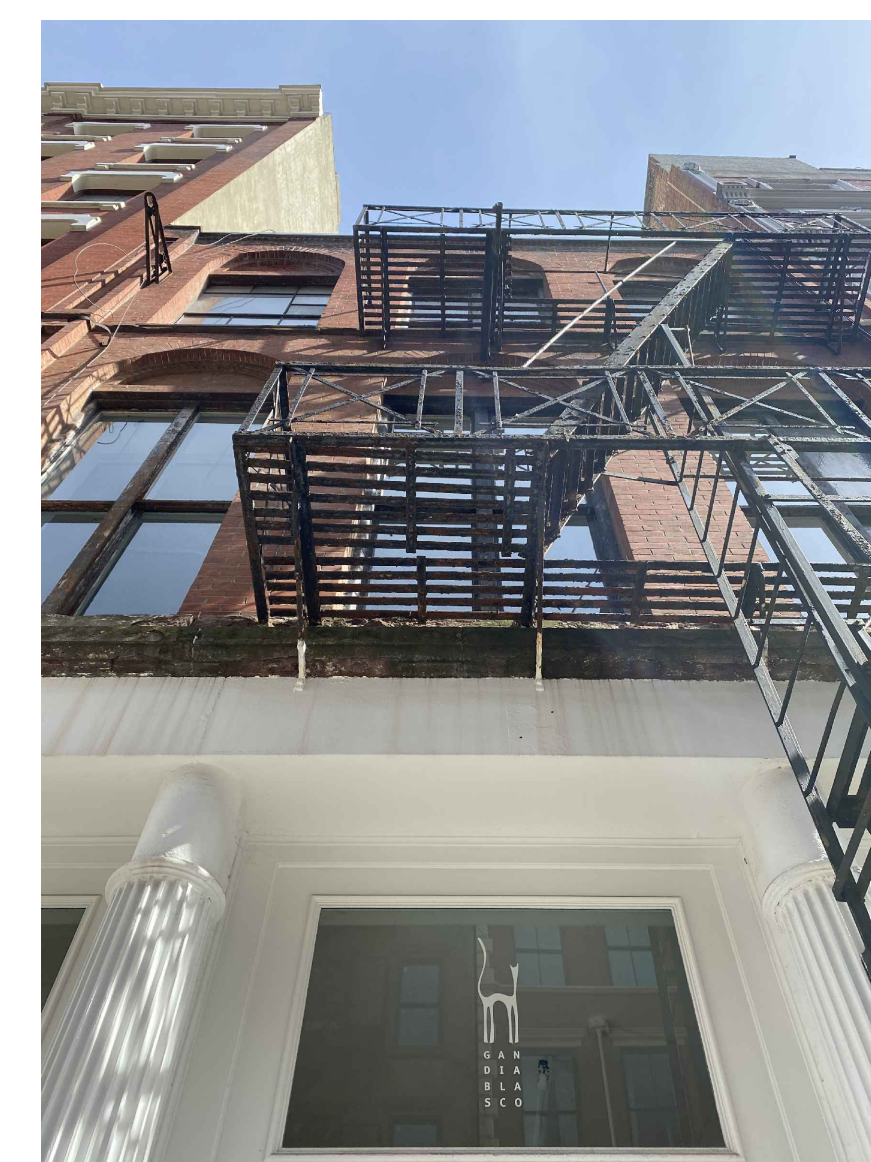
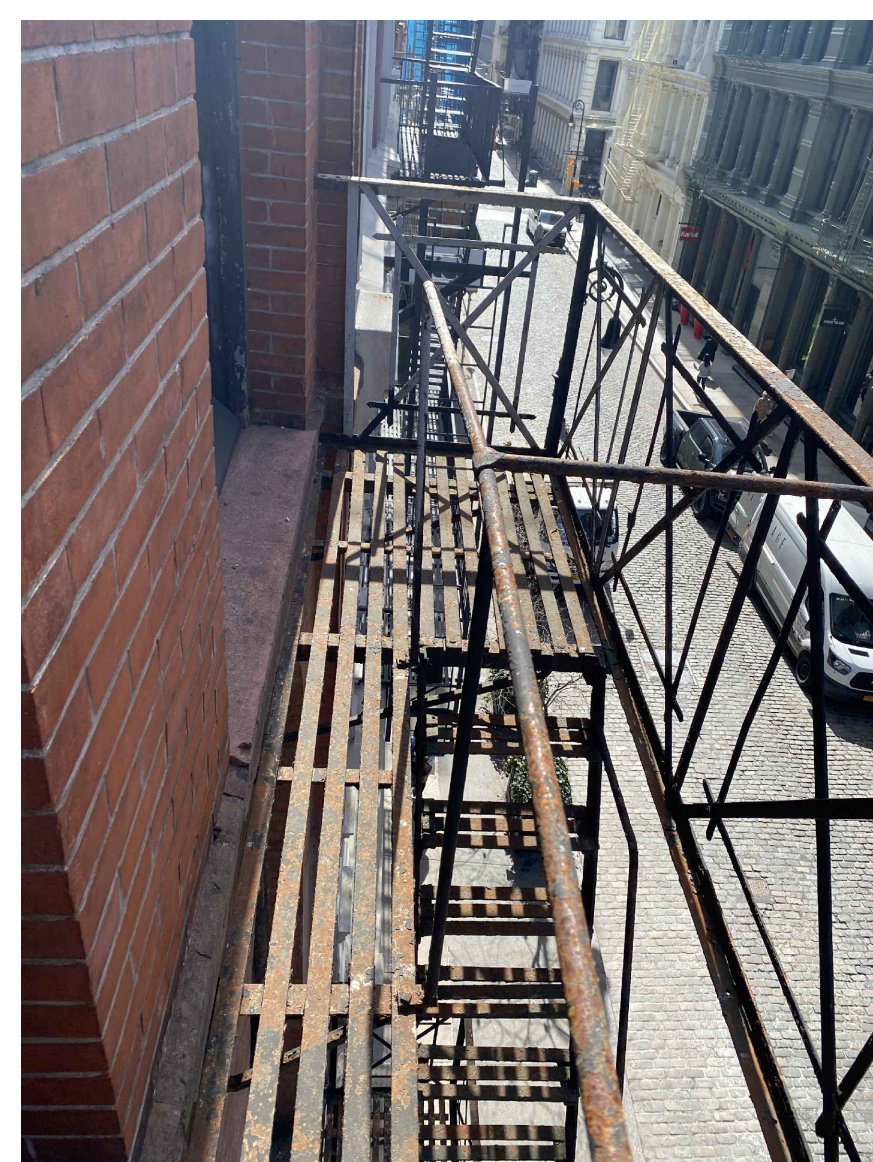
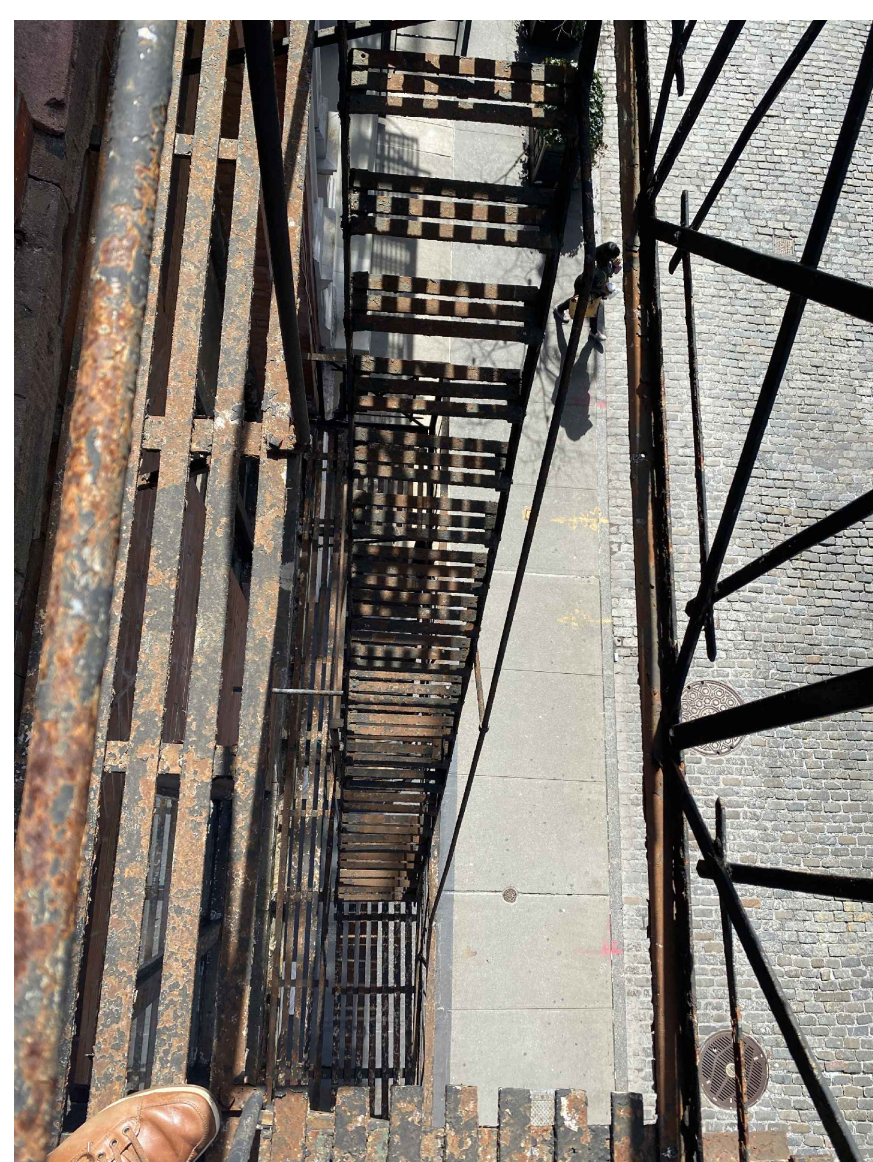
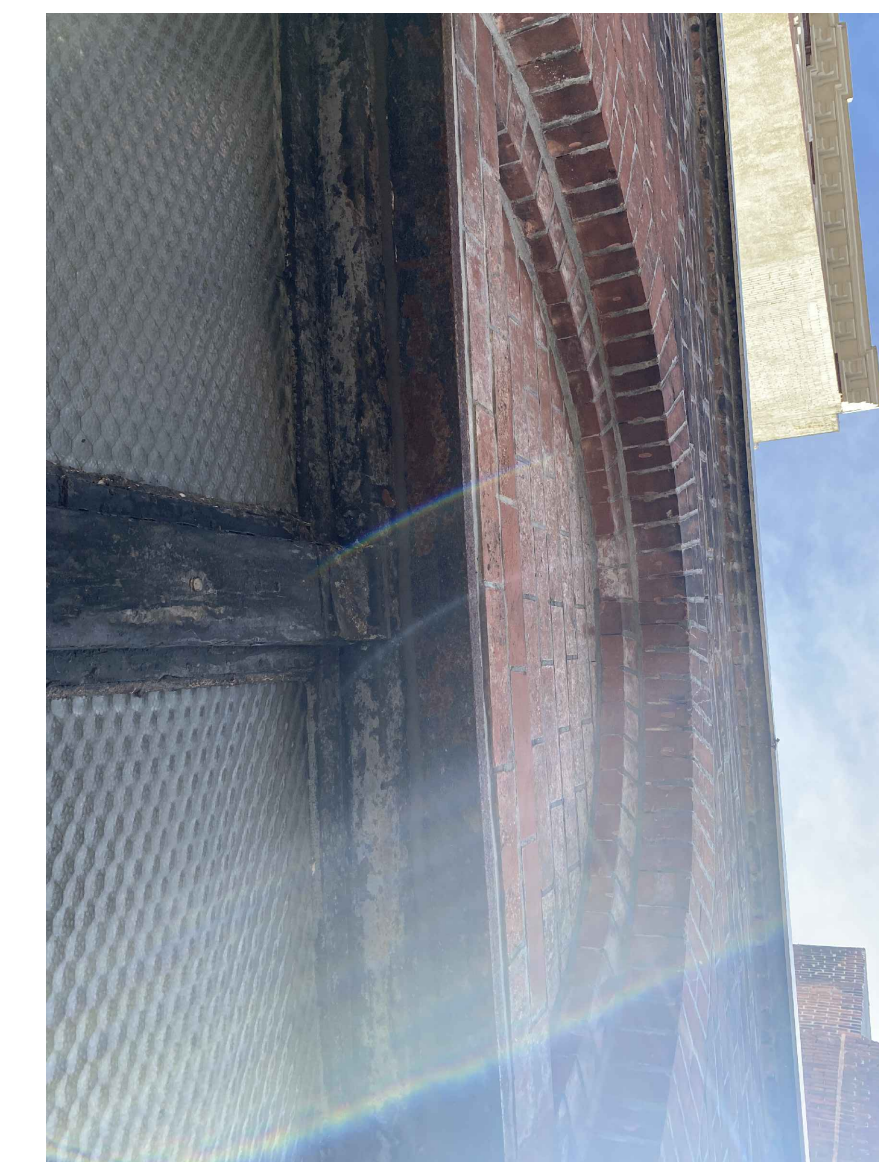
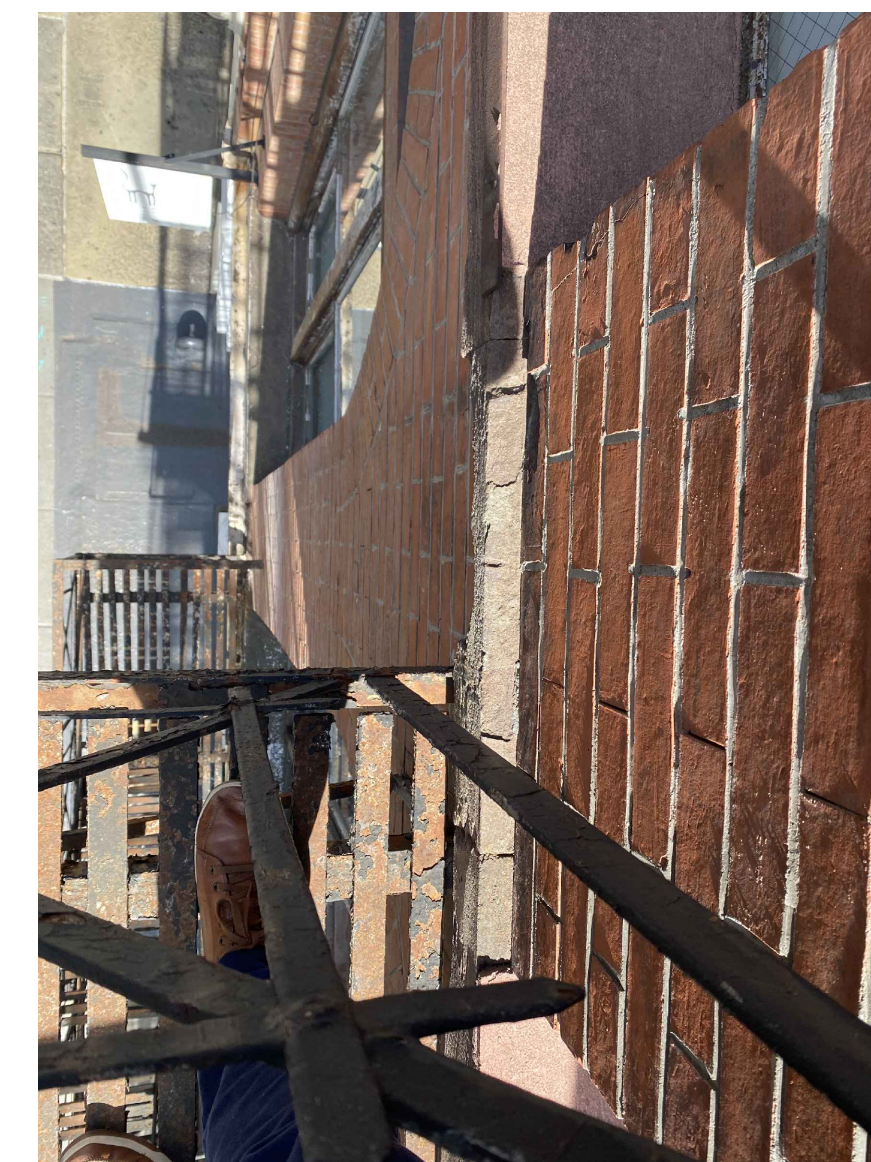
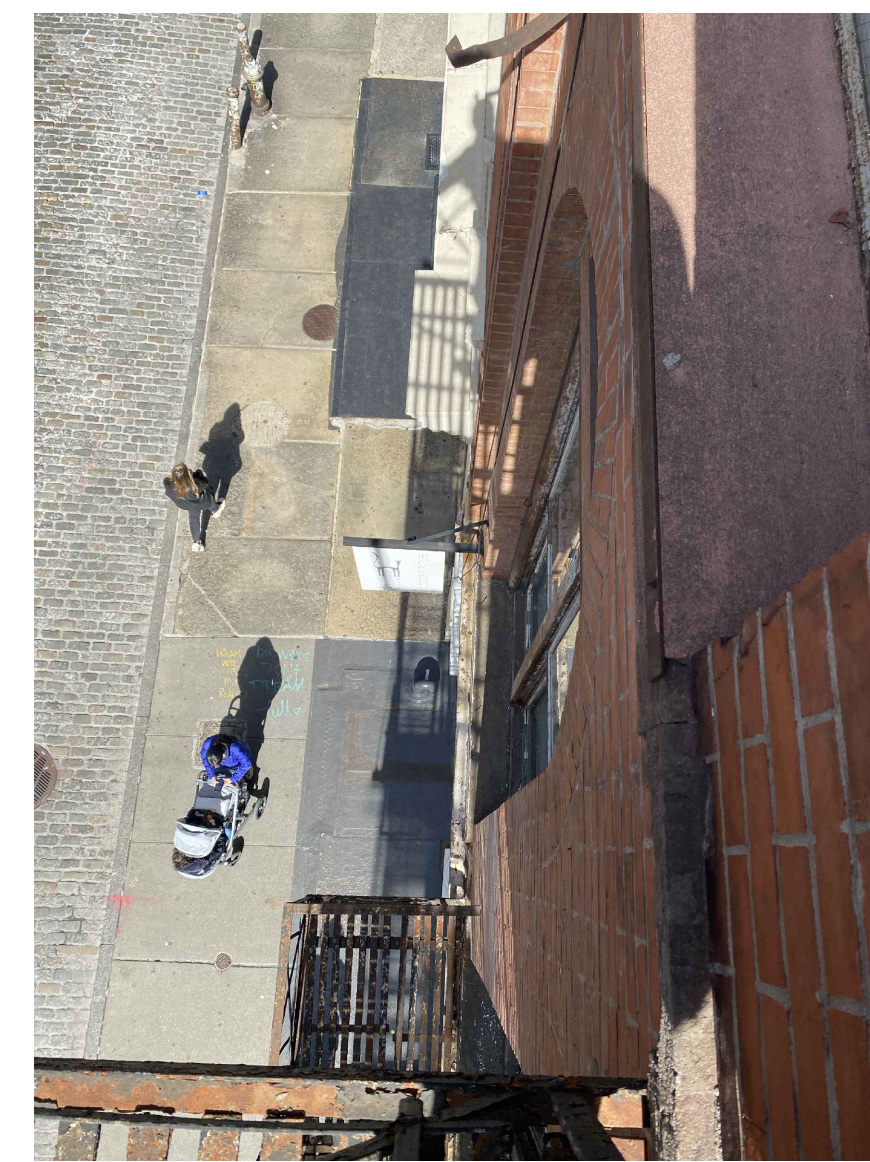
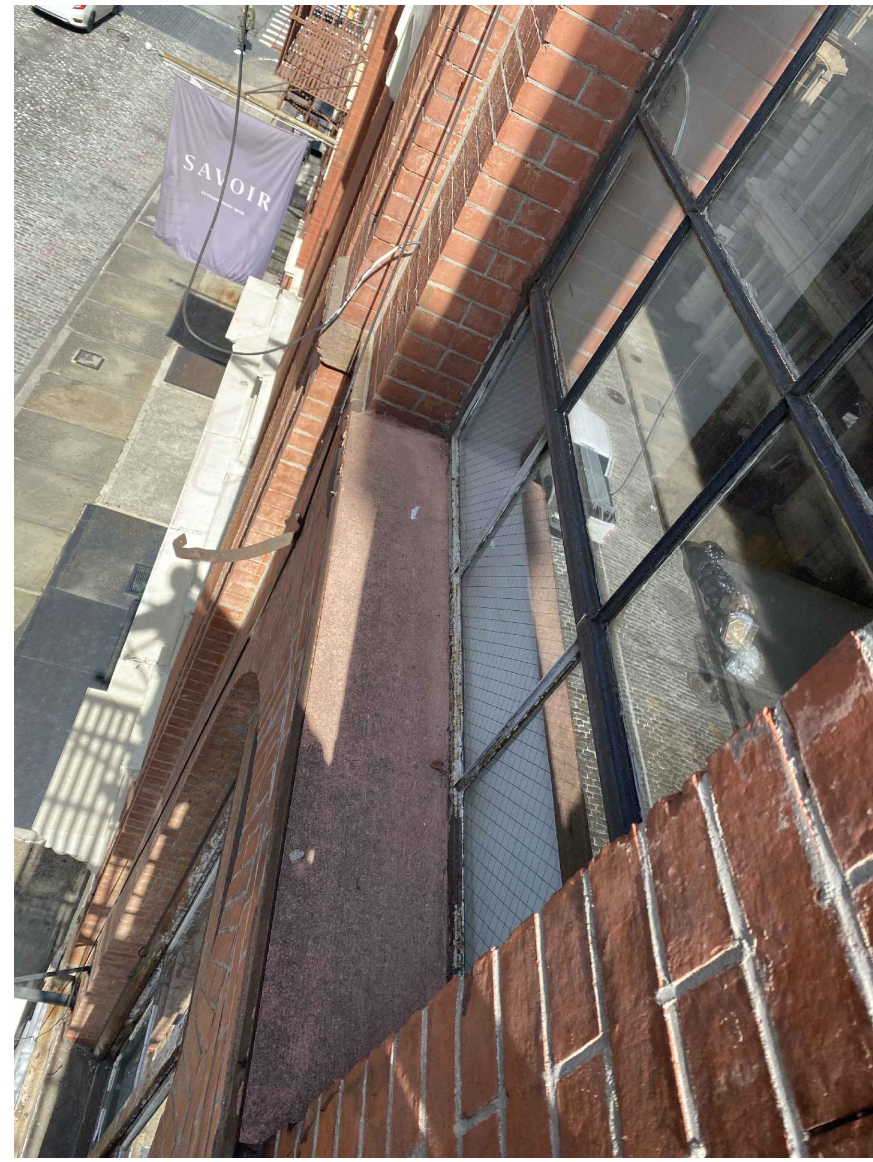
SHEET TITLE:  
**EXISTING CONDITIONS  
PHOTO STUDY 6**

PROJ. DATE: 08/21/2021 PROJECT# 21094  
PROJ. MNGR.: CD SHEET: 17 of 26

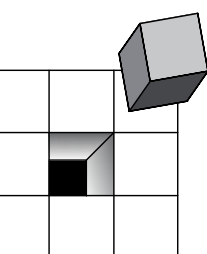
SHEET # **LPC-17.00**

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10/14/2022 1:04 PM Z:\PROJECTS\52 GREENE\52 GREENE\_MASTER\LPC-17-Existing Front Facade Photo Study 5.dwg



1 EXISTING PHOTOS OF FRONT FACADE AT THIRD FLOOR LEVEL  
SCALE: N.T.S.



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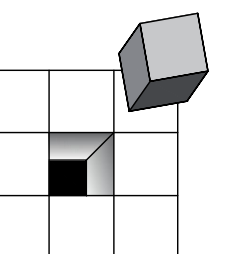
SHEET TITLE:  
EXISTING CONDITIONS  
PHOTO STUDY 6

PROJ. DATE: 08/21/2021 PROJECT # 21094  
PROJ. MNGR.: CD SHEET: 18 of 26

SHEET #  
**LPC-18.00**

B-SCAN:

10/4/2022 1:24 PM Z:\PROJECTS\52 GREENE\52 GREENE\CAD MASTER\IPC\_18\_Existing Front Facade Photo Study 6.dwg



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**Revision Schedule**

#	Date	Description

**Issue Schedule**

#	Date	Description
1	04/28/2021	PERMIT SET
2	12/16/2021	ISSUE TO OWNER
2	01/19/2022	ISSUE FOR LPC

FOR DOB USE:

PROFESSIONAL SEAL:

PROJECT SCOPE:

**2-STORY + PENTHOUSE ADDITION,  
CHANGE IN EGRESS, OCCUPANCY  
AND USE**

APPLICATION TYPE: **ALTERATION TYPE-1**

BIS#: **121209094**

PROJECT TITLE:

**52 GREENE PARTNERS, LLP**

**52 GREENE STREET  
NEW YORK, NY 10013**

SHEET TITLE:

EXISTING CONDITIONS  
PHOTO STUDY 6

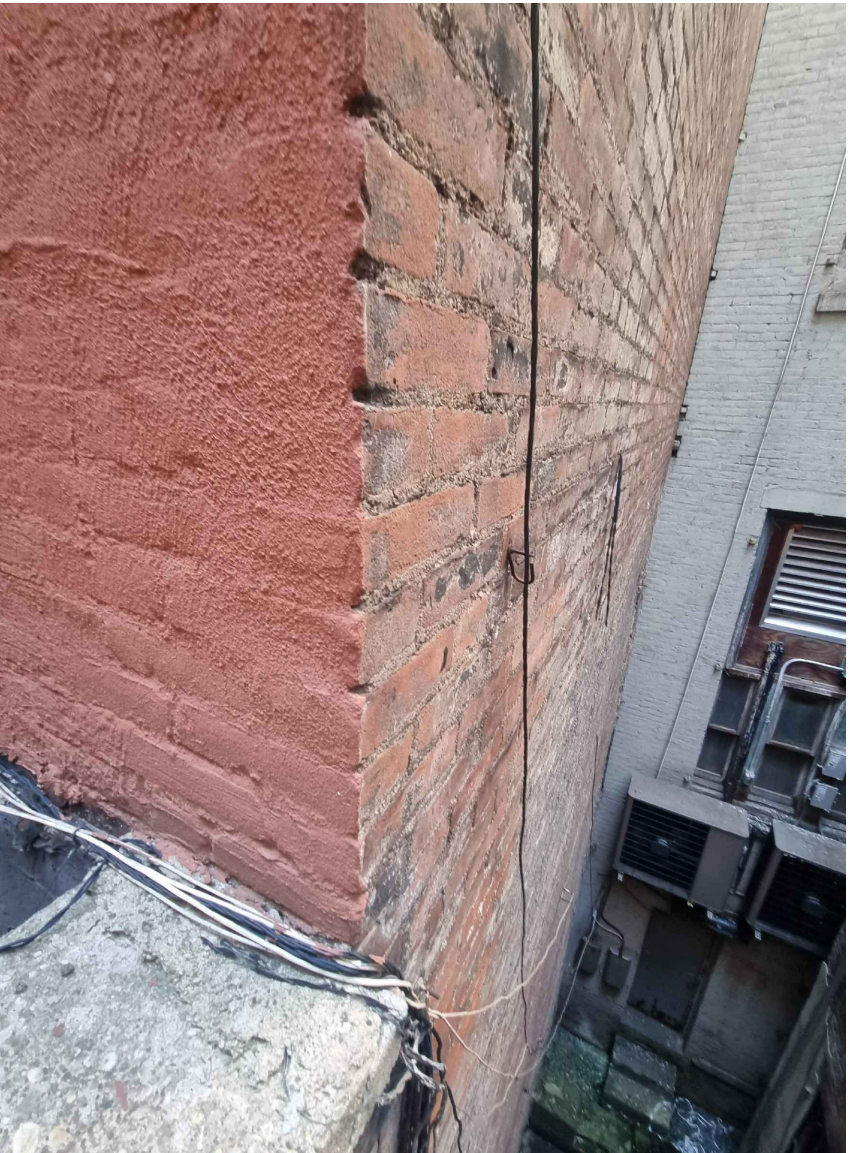
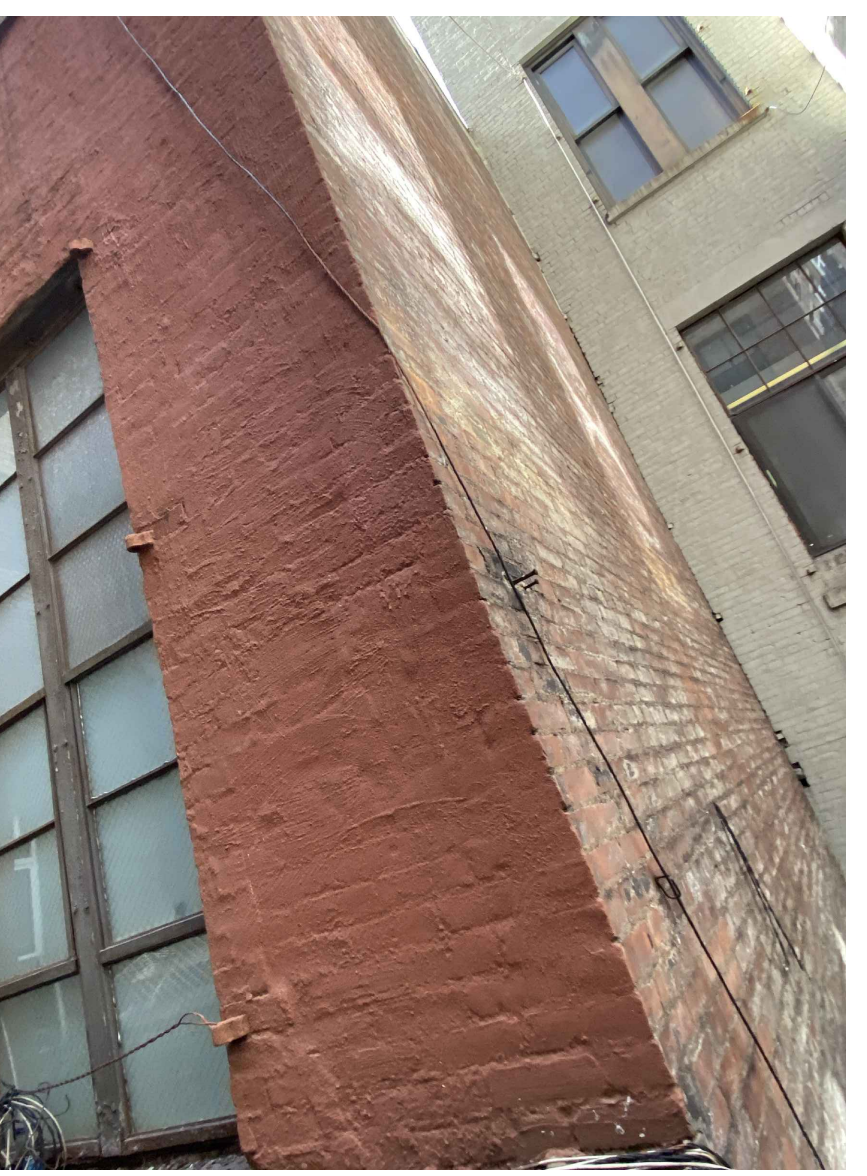
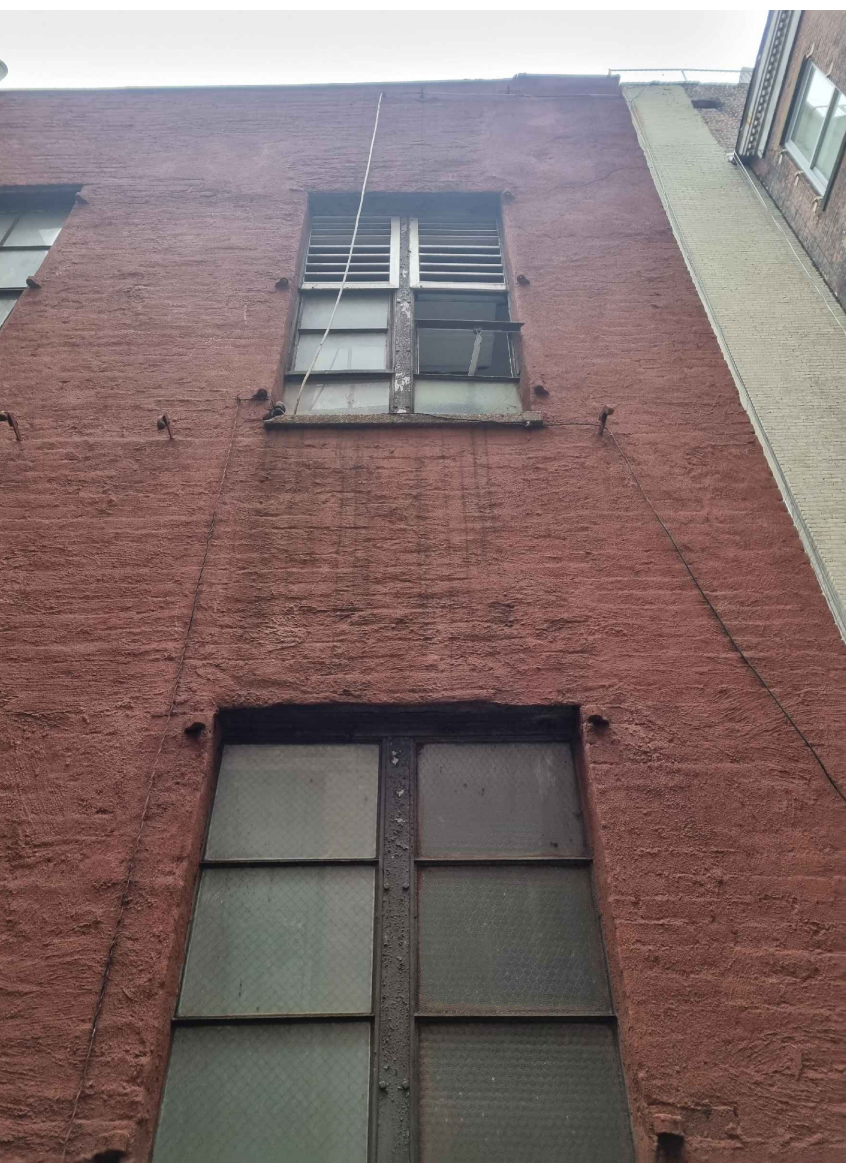
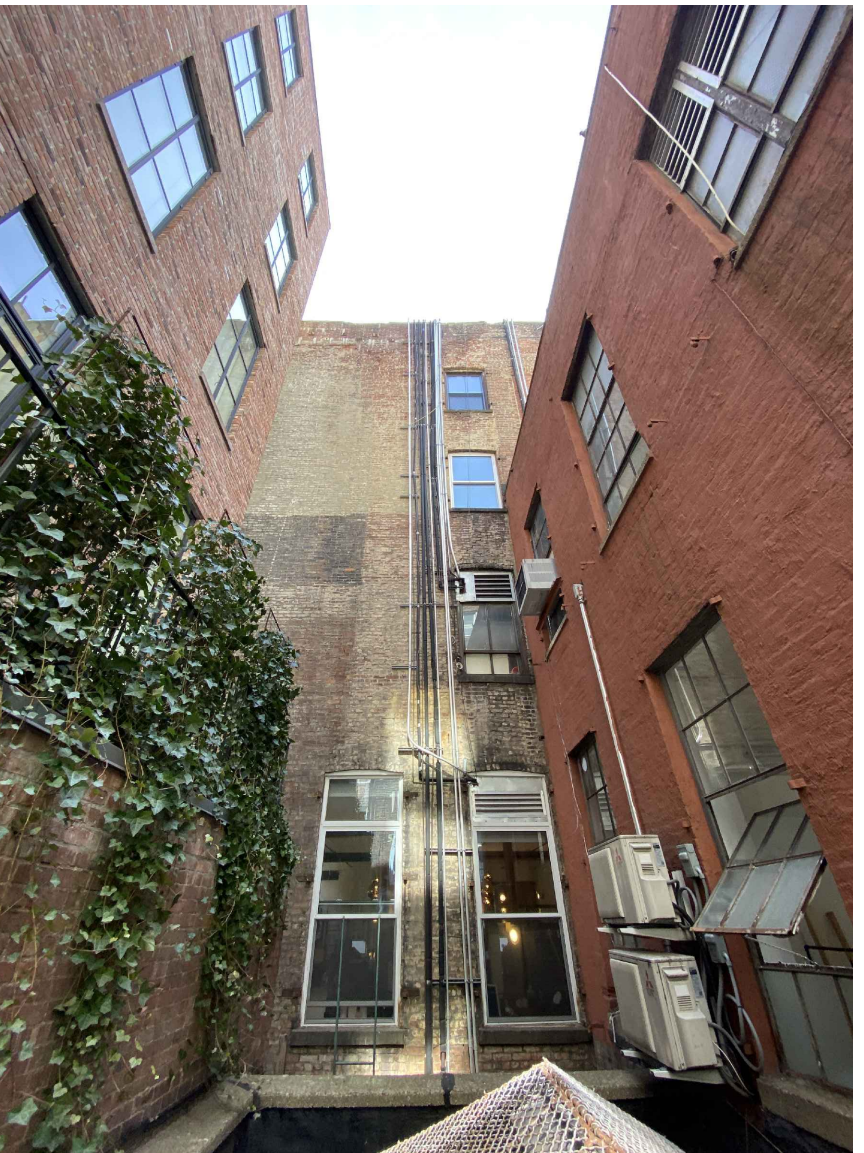
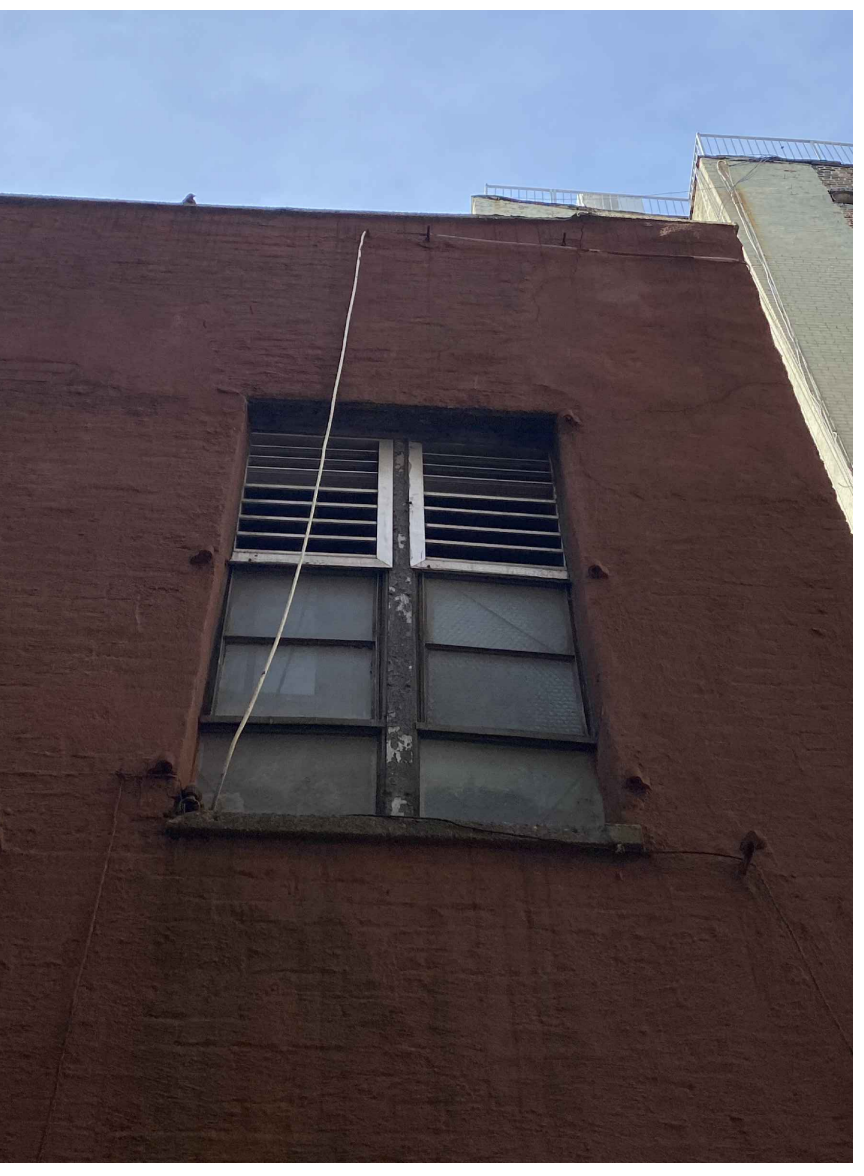
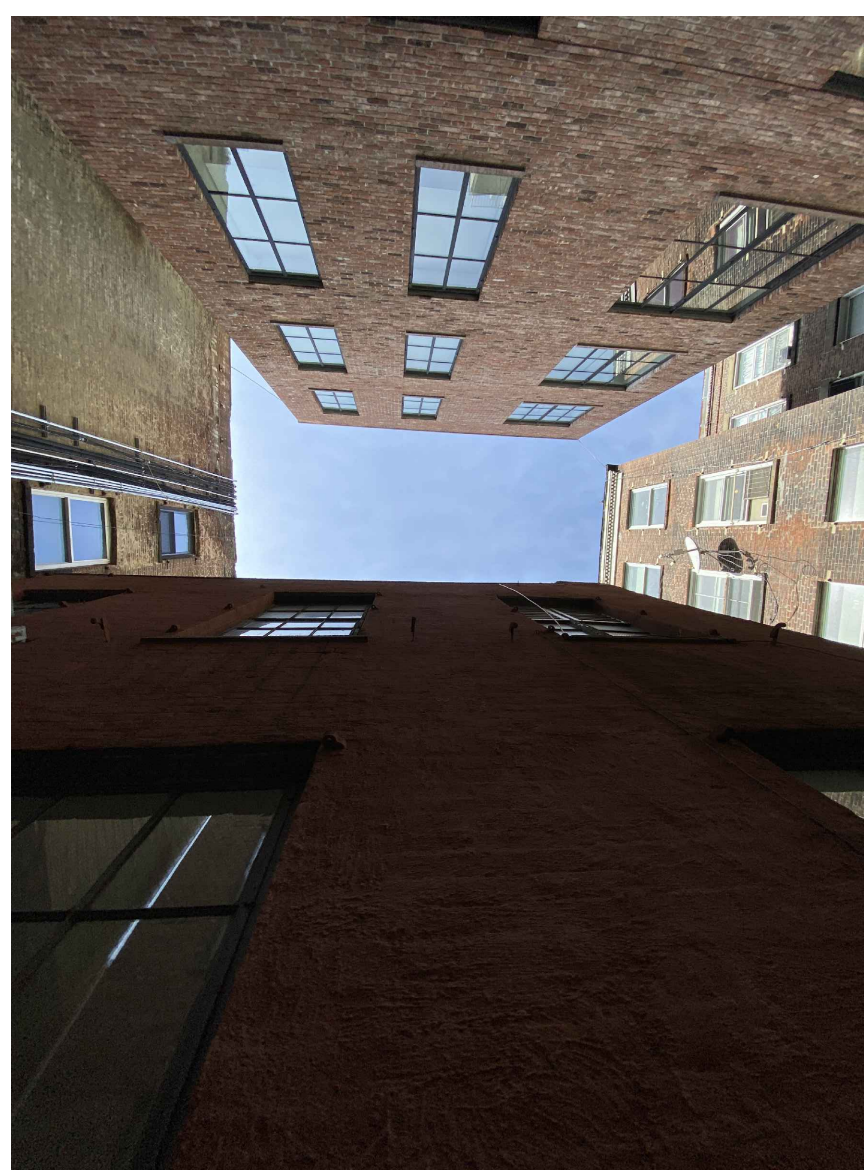
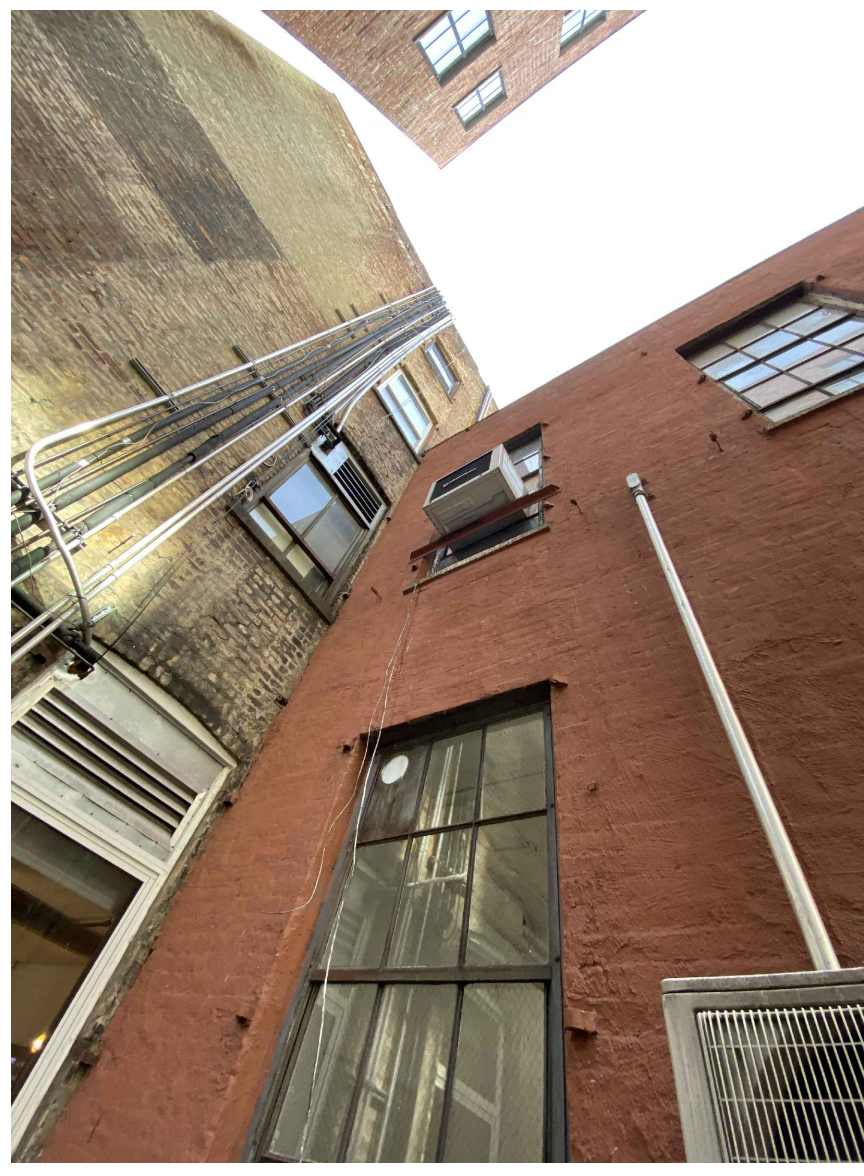
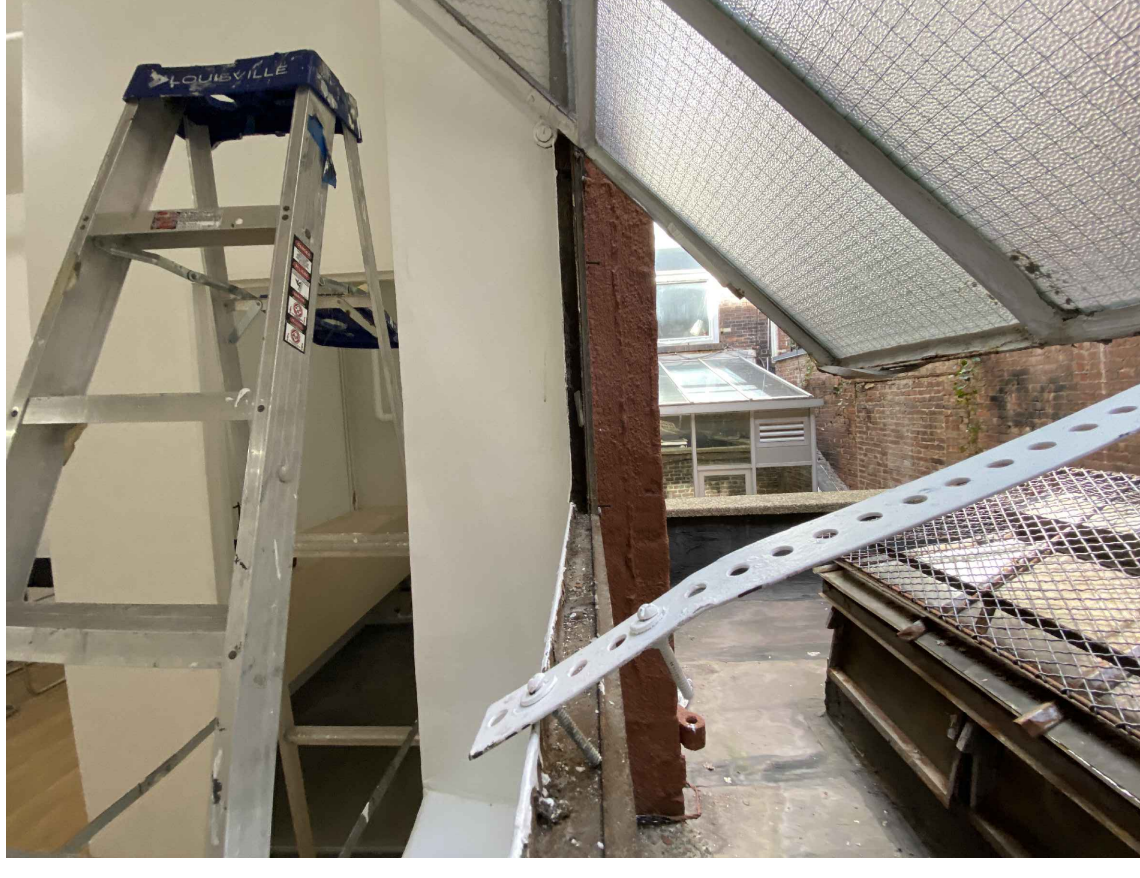
PROJ. DATE: 08/21/2021 PROJECT# 21094

PROJ. MNGR.: CD SHEET: 19 of 26

SHEET#

**LPC-19.00**

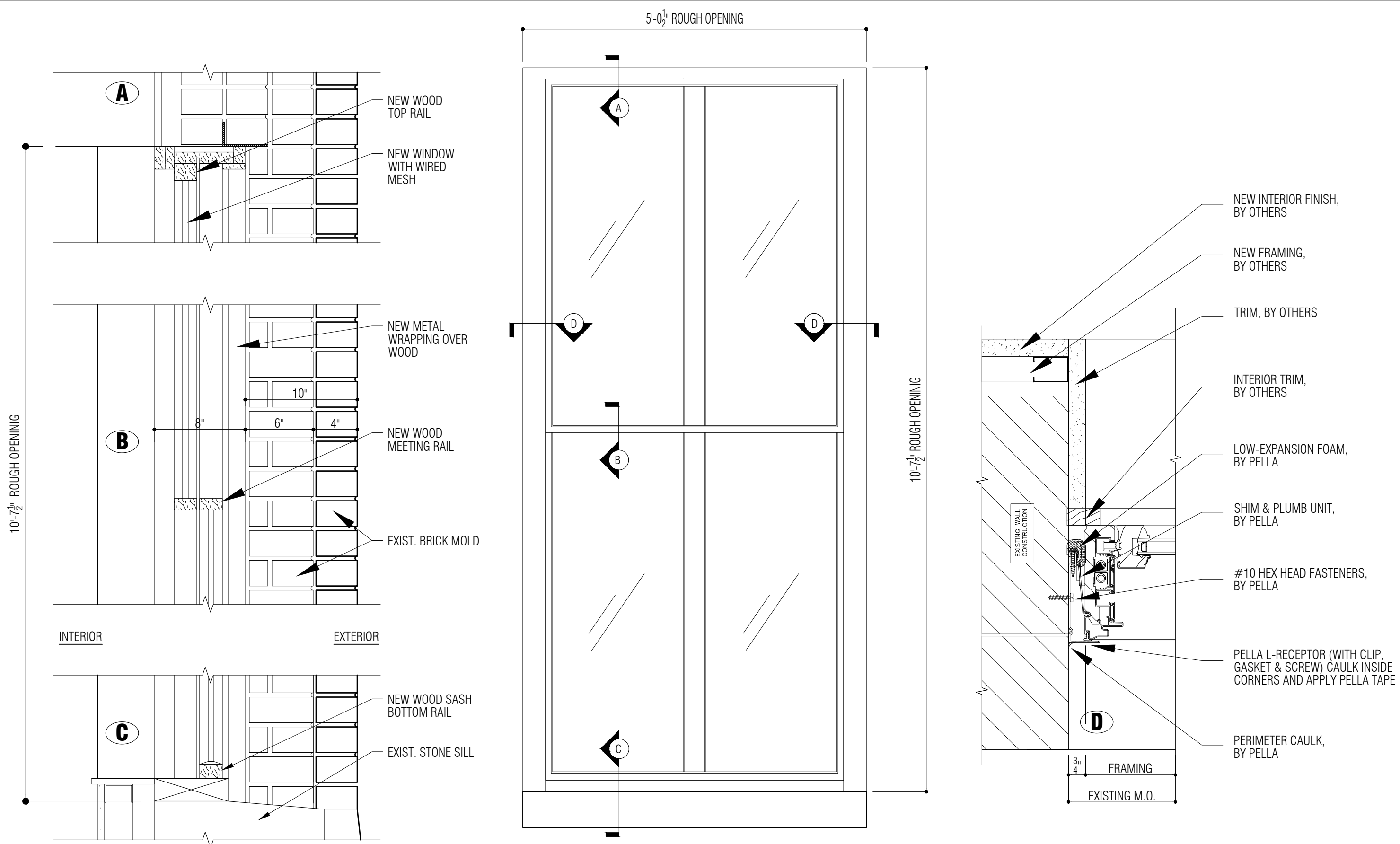
B-SCAN:



**1 EXISTING PHOTOS OF REAR FACADE**

SCALE: N.T.S.

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**PROPOSED WINDOW SECTION**

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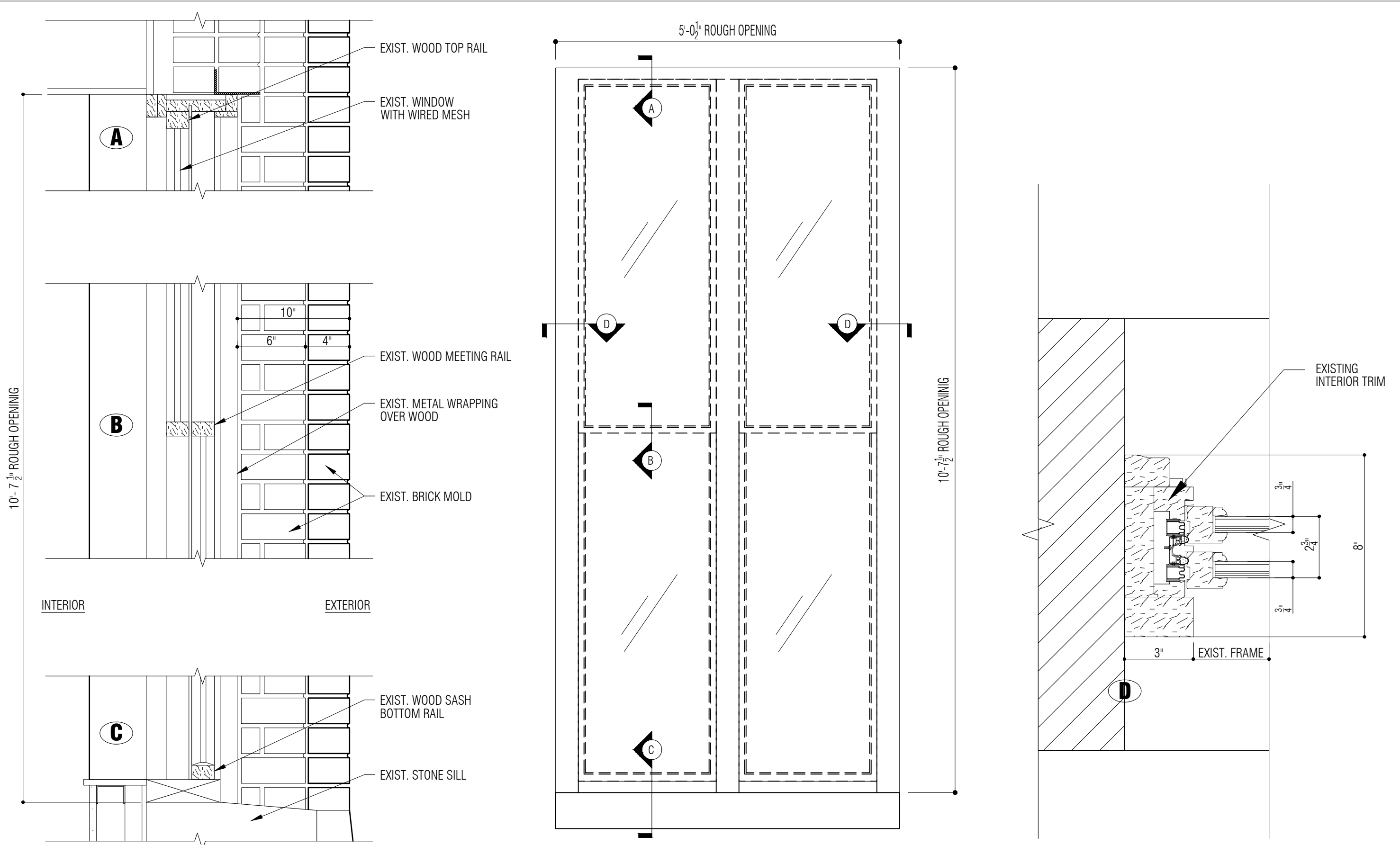
**PROPOSED WINDOW ELEVATION**

SCALE: 3/4" = 1'-0"

**PROPOSED WINDOW JAMB**

SCALE: 3" = 1'-0"

**1 PROPOSED 2ND FLOOR FRONT WINDOW/DETAILS - 2A**



**EXISTING WINDOW SECTION**

SCALE: 1 1/2" = 1'-0"

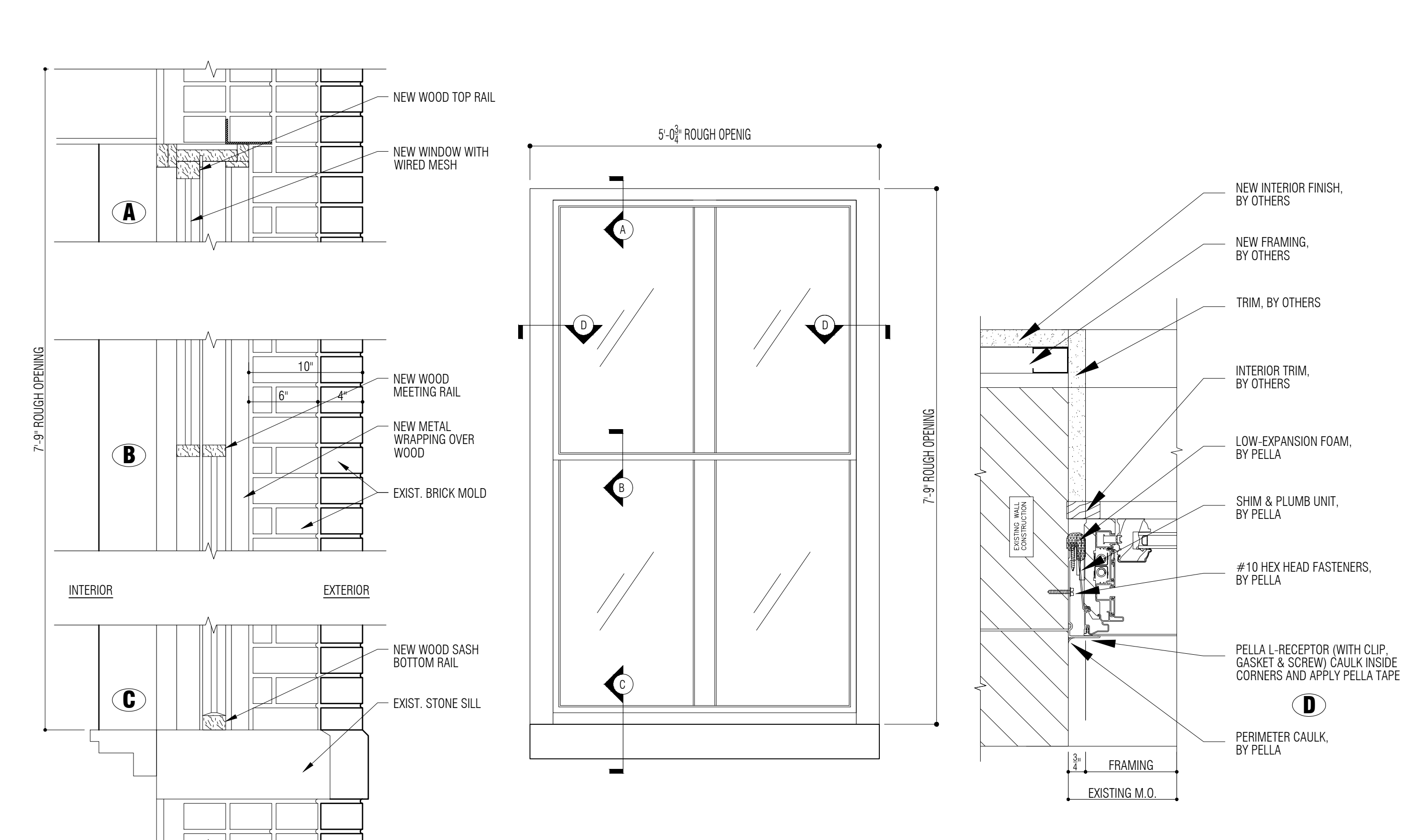
**EXISTING WINDOW ELEVATION**

SCALE: 3/4" = 1'-0"

**EXISTING WINDOW JAMB**

SCALE: 3" = 1'-0"

**2 EXISTING 2ND FLOOR FRONT WINDOW/DETAILS - A**



**PROPOSED WINDOW SECTION**

SCALE: 1 1/2" = 1'-0"

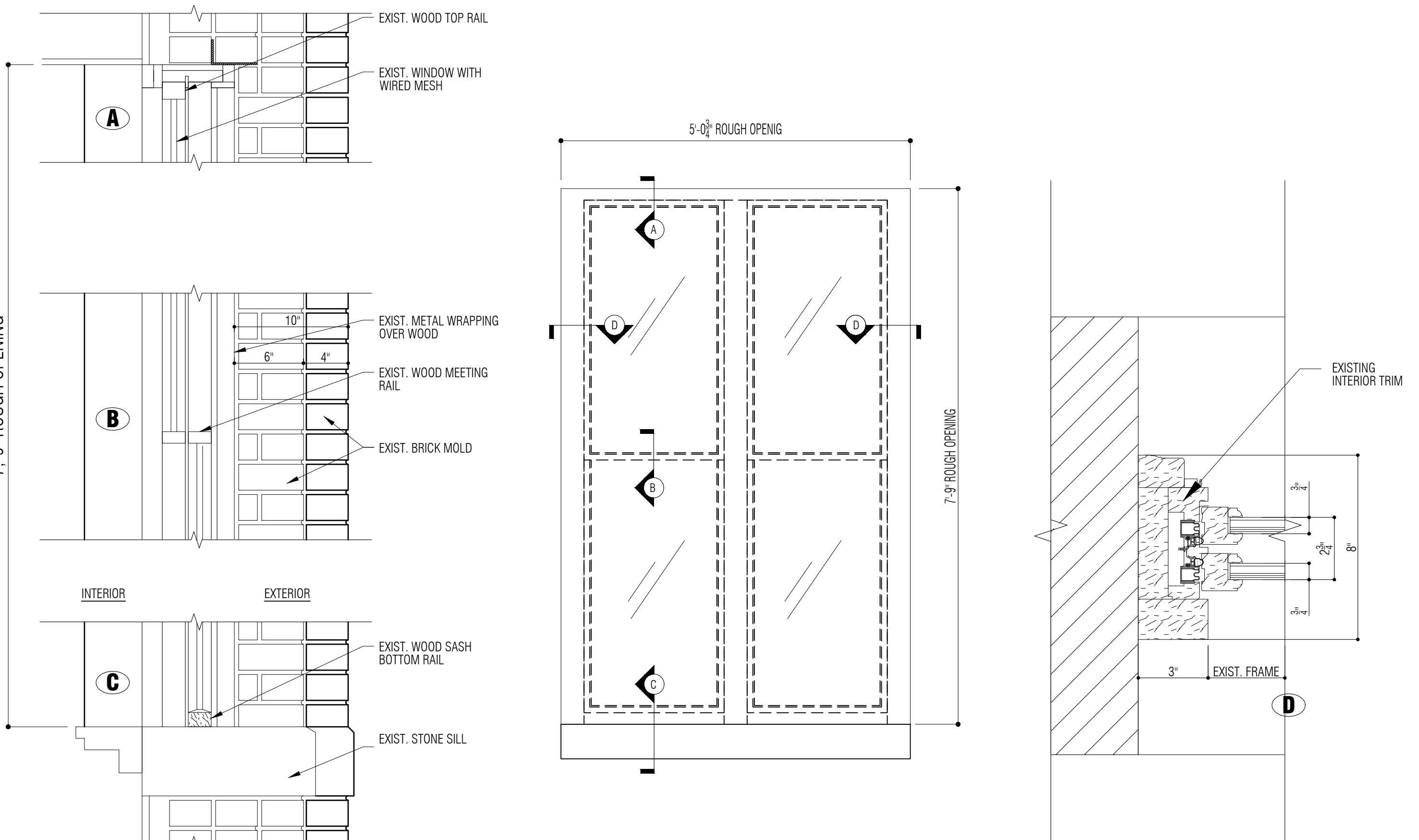
**PROPOSED WINDOW ELEVATION**

SCALE: 3/4" = 1'-0"

**PROPOSED WINDOW JAMB**

SCALE: 3" = 1'-0"

**3 PROPOSED 3RD FLOOR FRONT WINDOW/DETAILS - 3A**



**EXISTING WINDOW SECTION**

SCALE: 1 1/2" = 1'-0"

**EXISTING WINDOW ELEVATION**

SCALE: 3/4" = 1'-0"

**EXISTING WINDOW JAMB**

SCALE: 3" = 1'-0"

**4 EXISTING 3RD FLOOR FRONT WINDOW/DETAILS - C**

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Revision Schedule		
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PROFESSIONAL SEAL:

PROJECT SCOPE:  
**2-STORY + PENTHOUSE ADDITION, CHANGE IN EGRESS, OCCUPANCY AND USE**

APPLICATION TYPE: **ALTERATION TYPE-1**

BIS#: **121209094**

PROJECT TITLE:  
**52 GREENE PARTNERS, LLP**

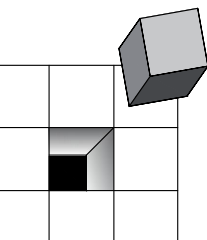
**52 GREENE STREET  
 NEW YORK, NY 10013**

SHEET TITLE:  
 EXISTING & PROPOSED WINDOW/DETAIL @ 2ND & 3RD FLOOR FRONT FACADE

PROJ. DATE: 08/21/2021 PROJECT# 21094  
 PROJ. MNGR.: CD SHEET: 20 of 26

SHEET# **LPC-20.00**

B-SCAN:



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FOR DOB USE:

PROFESSIONAL SEAL:

PROJECT SCOPE:  
**2-STORY + PENTHOUSE ADDITION,  
CHANGE IN EGRESS, OCCUPANCY  
AND USE**

APPLICATION TYPE: **ALTERATION TYPE-1**

BIS#: **121209094**

PROJECT TITLE:  
**52 GREENE PARTNERS, LLP  
52 GREENE STREET  
NEW YORK, NY 10013**

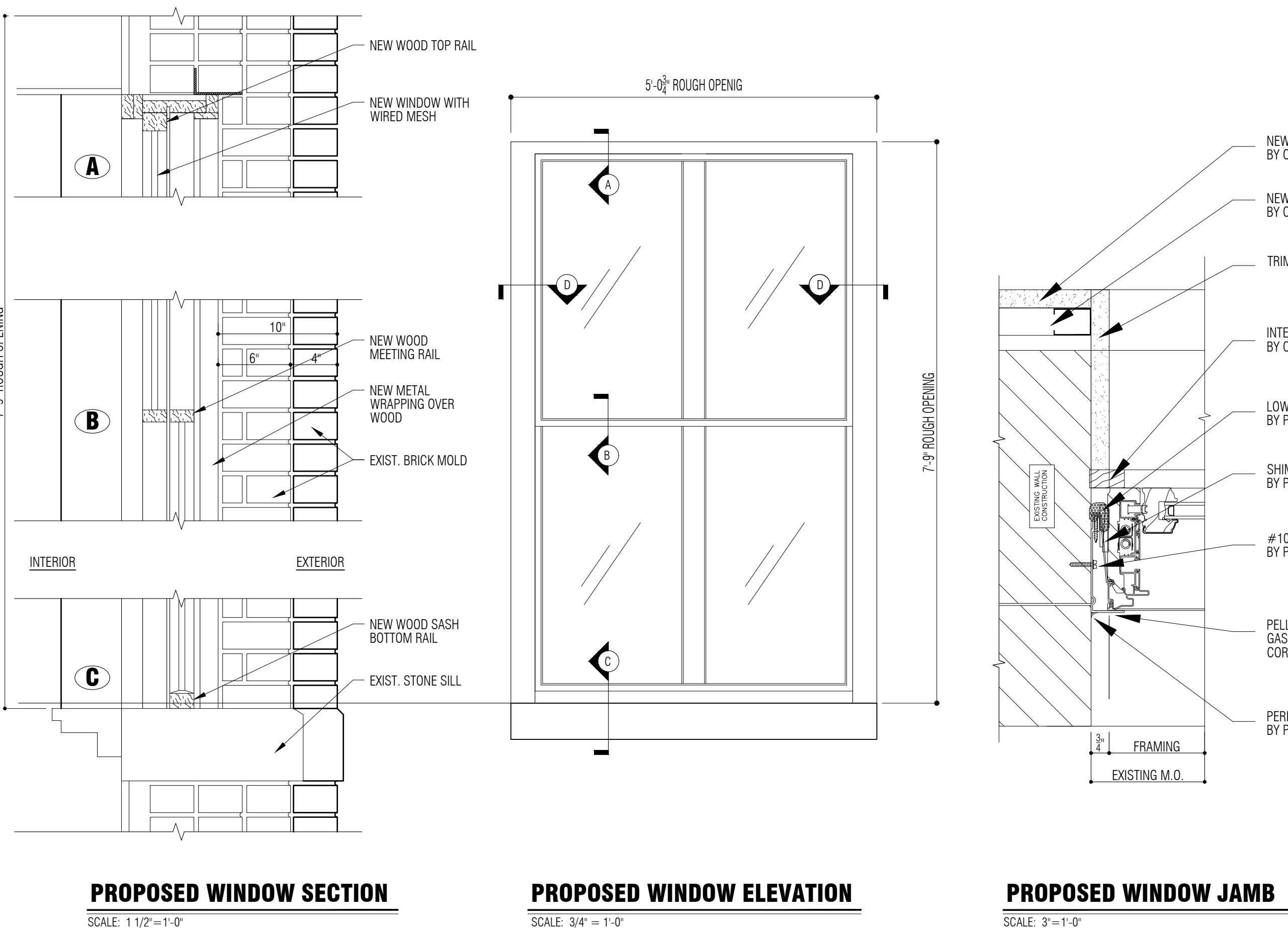
SHEET TITLE:  
EXISTING & PROPOSED  
WINDOW/DETAIL @ 3RD,  
4TH & 5TH FLOORS  
FRONT FACADE

PROJ. DATE: 08/21/2021 PROJECT# 21094

PROJ. MNGR.: CD SHEET: 21 OF 26

SHEET# **LPC-21.00**

B-SCAN:

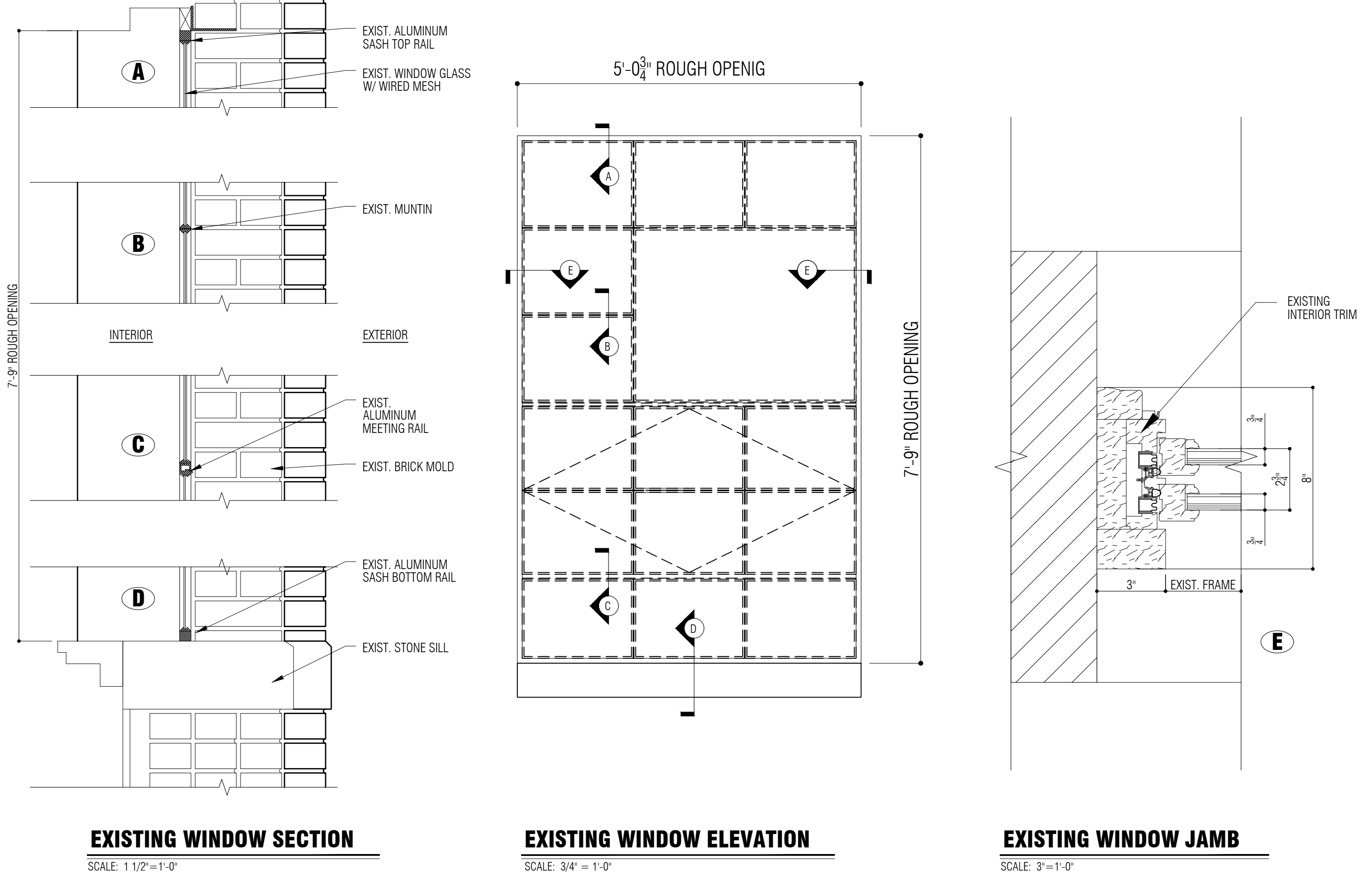


**PROPOSED WINDOW SECTION**  
SCALE: 1 1/2" = 1'-0"

**PROPOSED WINDOW ELEVATION**  
SCALE: 3/4" = 1'-0"

**PROPOSED WINDOW JAMB**  
SCALE: 3/4" = 1'-0"

**1 PROPOSED 3RD FLOOR FRONT WINDOW/DETAILS - 3A**

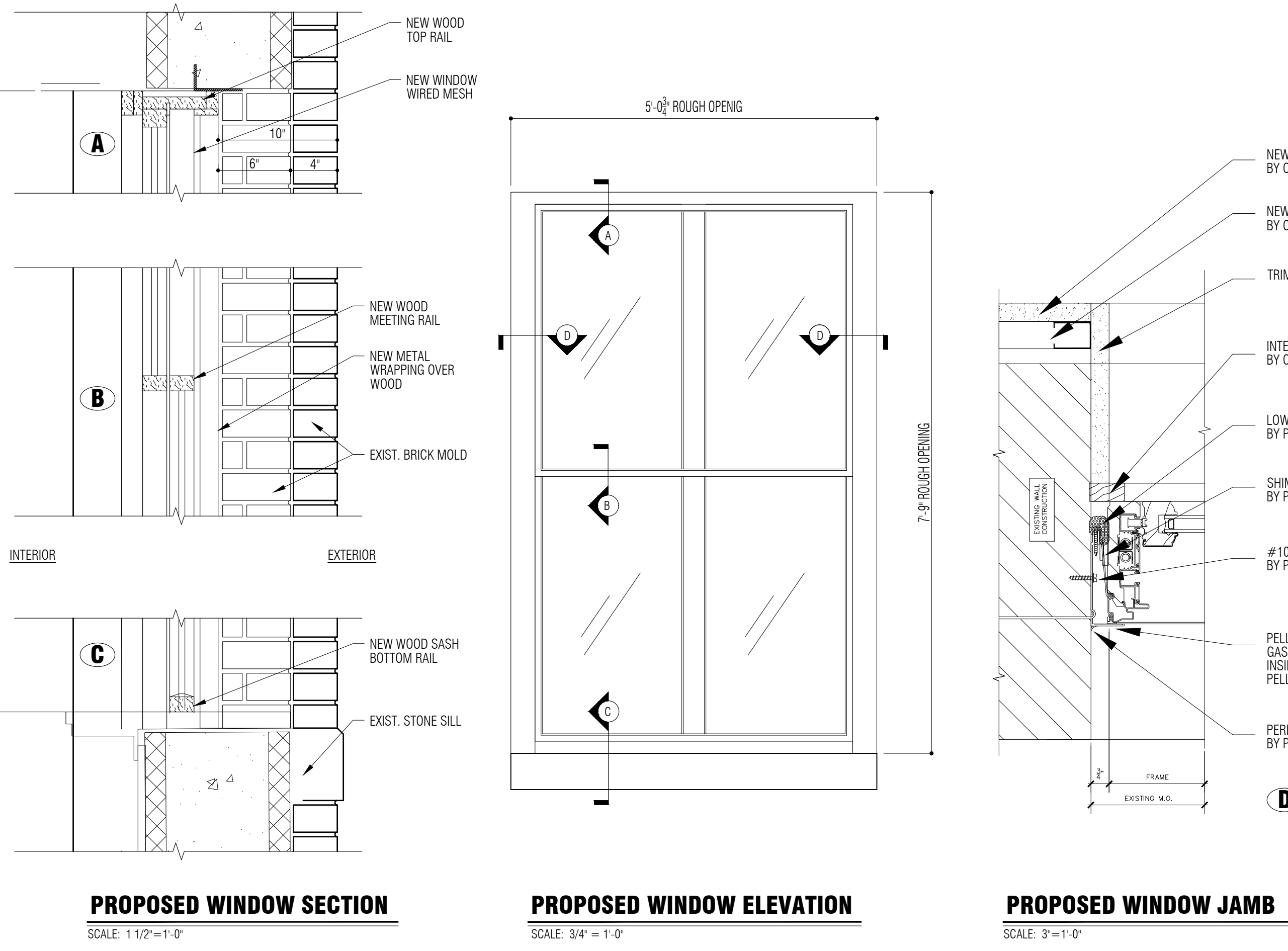


**EXISTING WINDOW SECTION**  
SCALE: 1 1/2" = 1'-0"

**EXISTING WINDOW ELEVATION**  
SCALE: 3/4" = 1'-0"

**EXISTING WINDOW JAMB**  
SCALE: 3/4" = 1'-0"

**2 EXISTING 3RD FLOOR FRONT WINDOW/DETAILS - D**

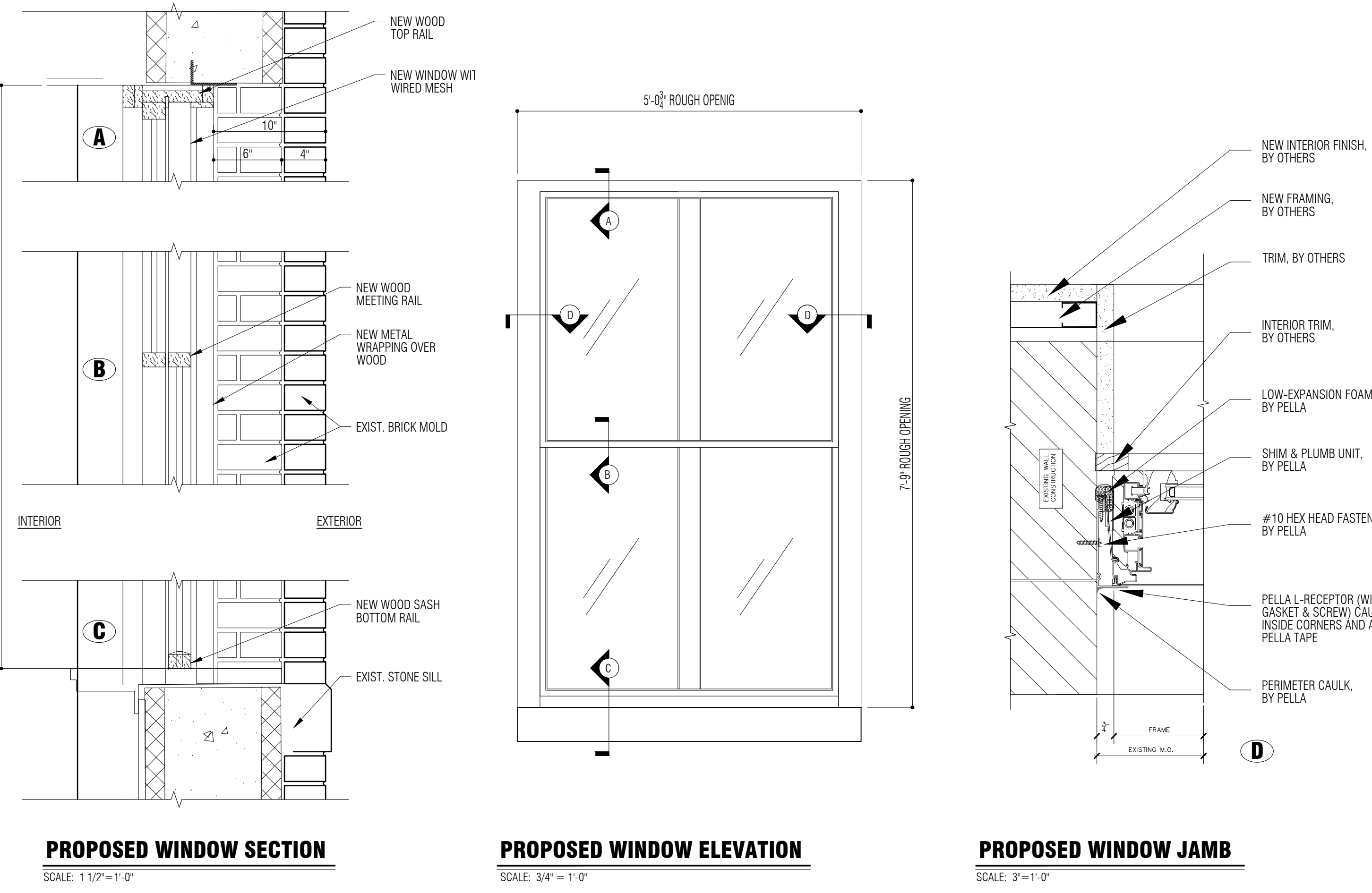


**PROPOSED WINDOW SECTION**  
SCALE: 1 1/2" = 1'-0"

**PROPOSED WINDOW ELEVATION**  
SCALE: 3/4" = 1'-0"

**PROPOSED WINDOW JAMB**  
SCALE: 3/4" = 1'-0"

**3 PROPOSED 4TH FLOOR FRONT WINDOW/DETAILS - 4A**



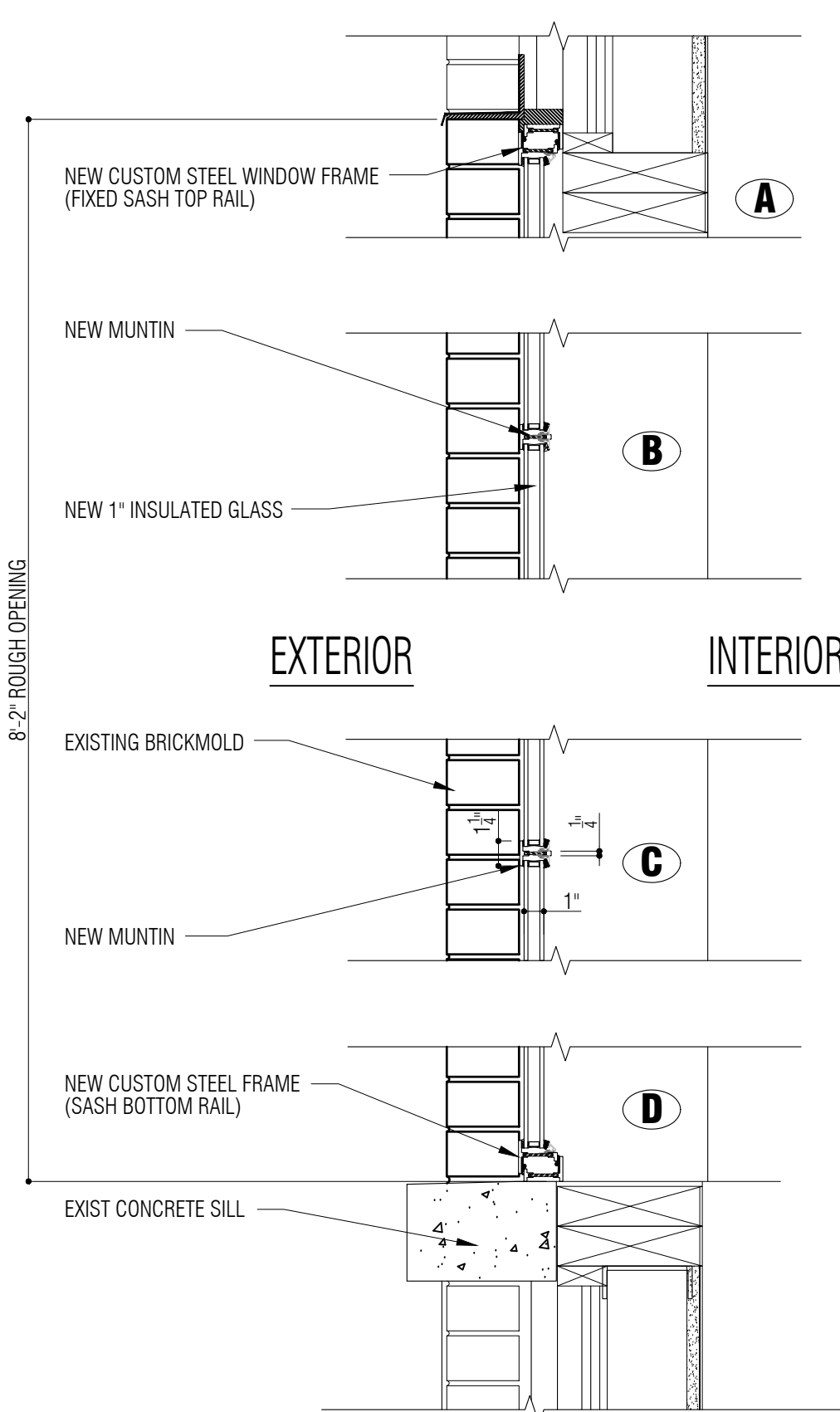
**PROPOSED WINDOW SECTION**  
SCALE: 1 1/2" = 1'-0"

**PROPOSED WINDOW ELEVATION**  
SCALE: 3/4" = 1'-0"

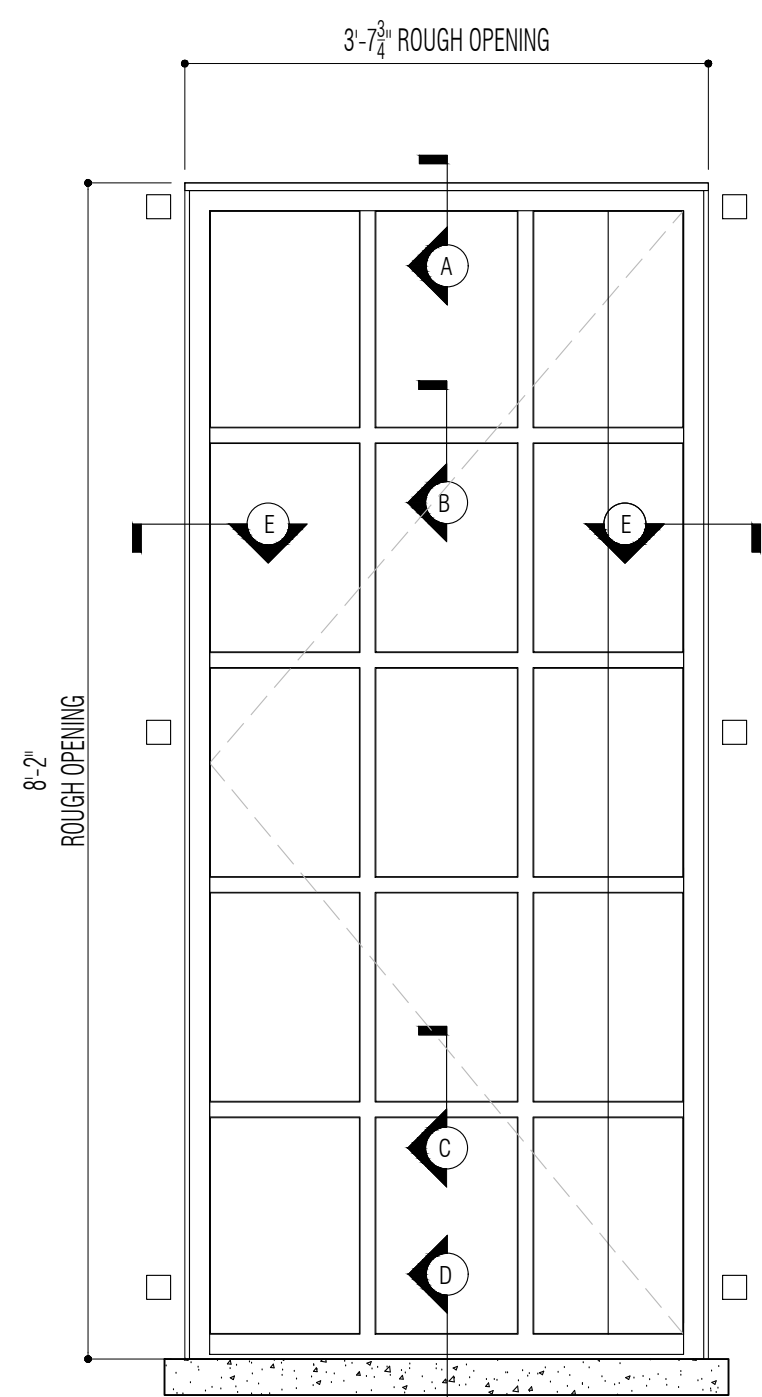
**PROPOSED WINDOW JAMB**  
SCALE: 3/4" = 1'-0"

**3 PROPOSED 5TH FLOOR FRONT WINDOW/DETAILS - 5A**

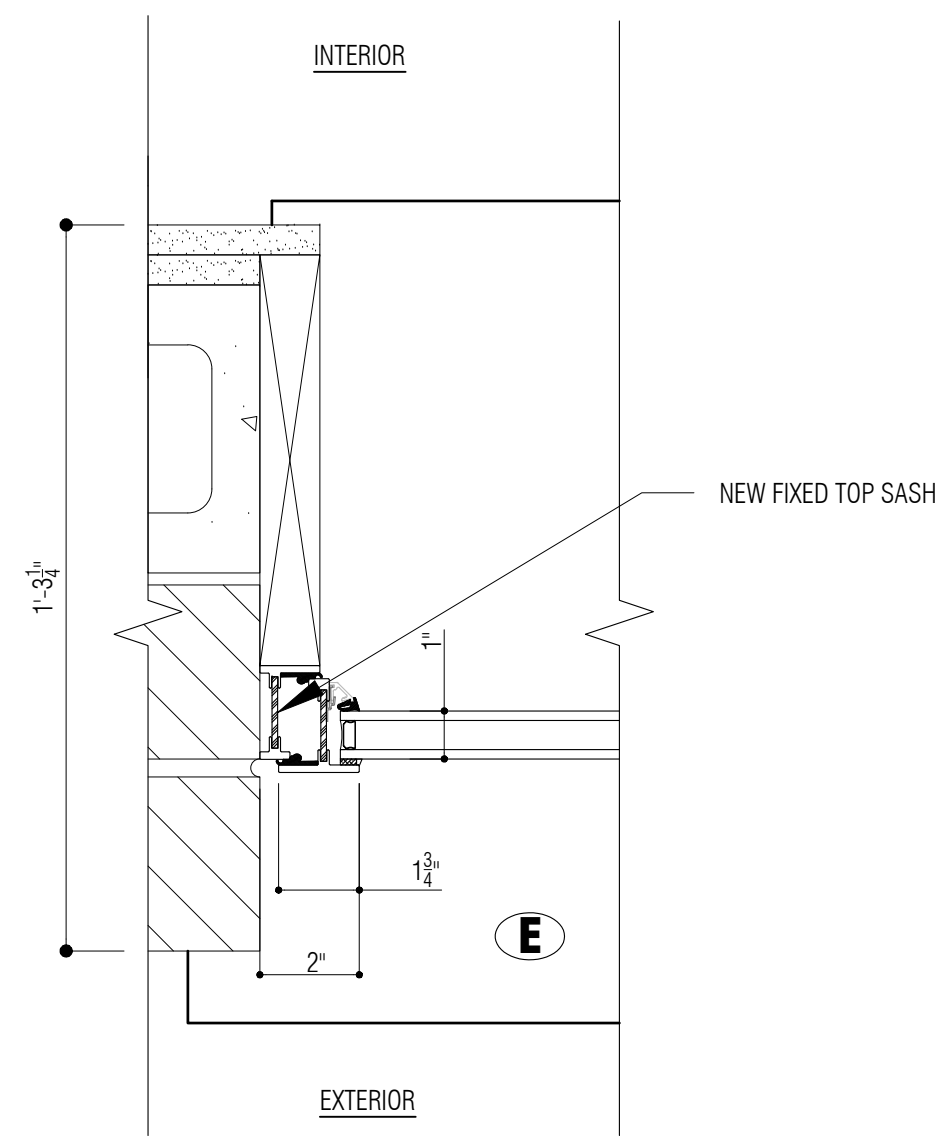
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**PROPOSED WINDOW SECTION**  
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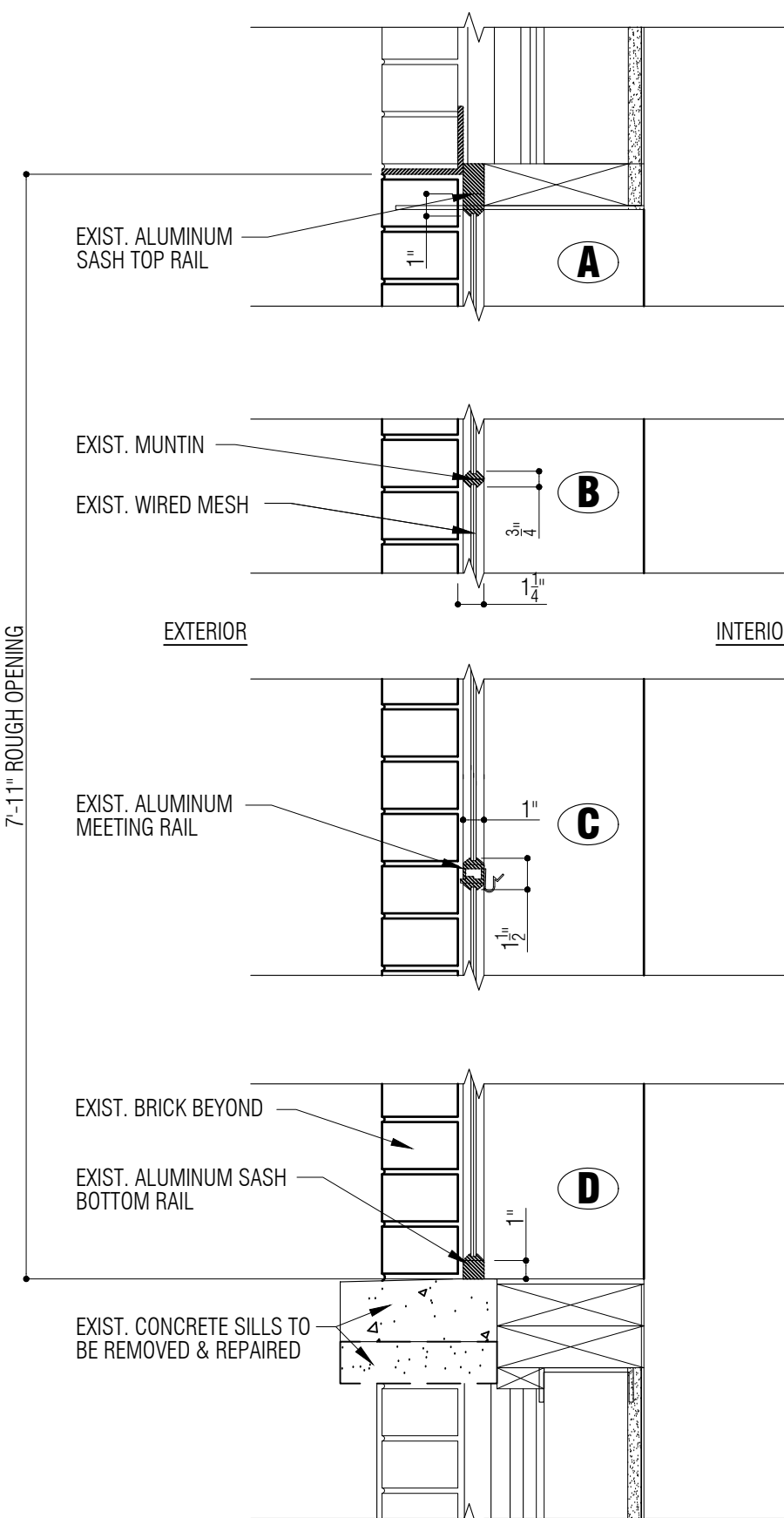


**PROPOSED WINDOW ELEVATION**  
SCALE: 3/4" = 1'-0"

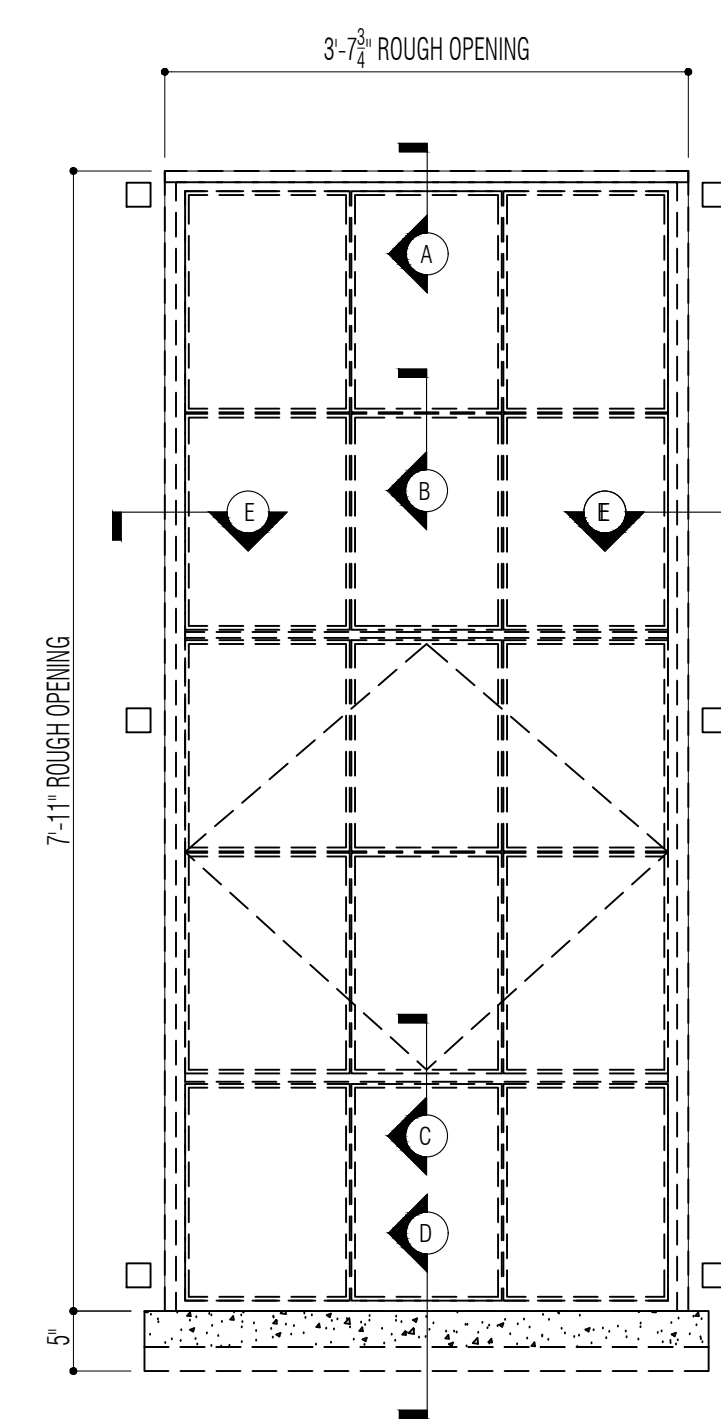


**PROPOSED WINDOW JAMB**  
SCALE: 3\"/>

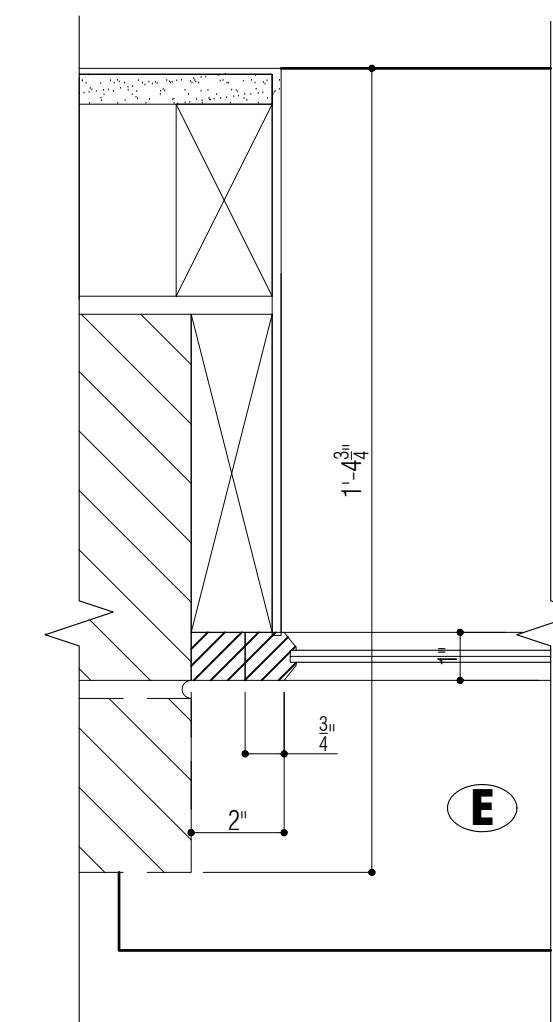
1 **PROPOSED 2ND FLOOR REAR WINDOW/DETAILS - 2B**



**EXISTING WINDOW SECTION**  
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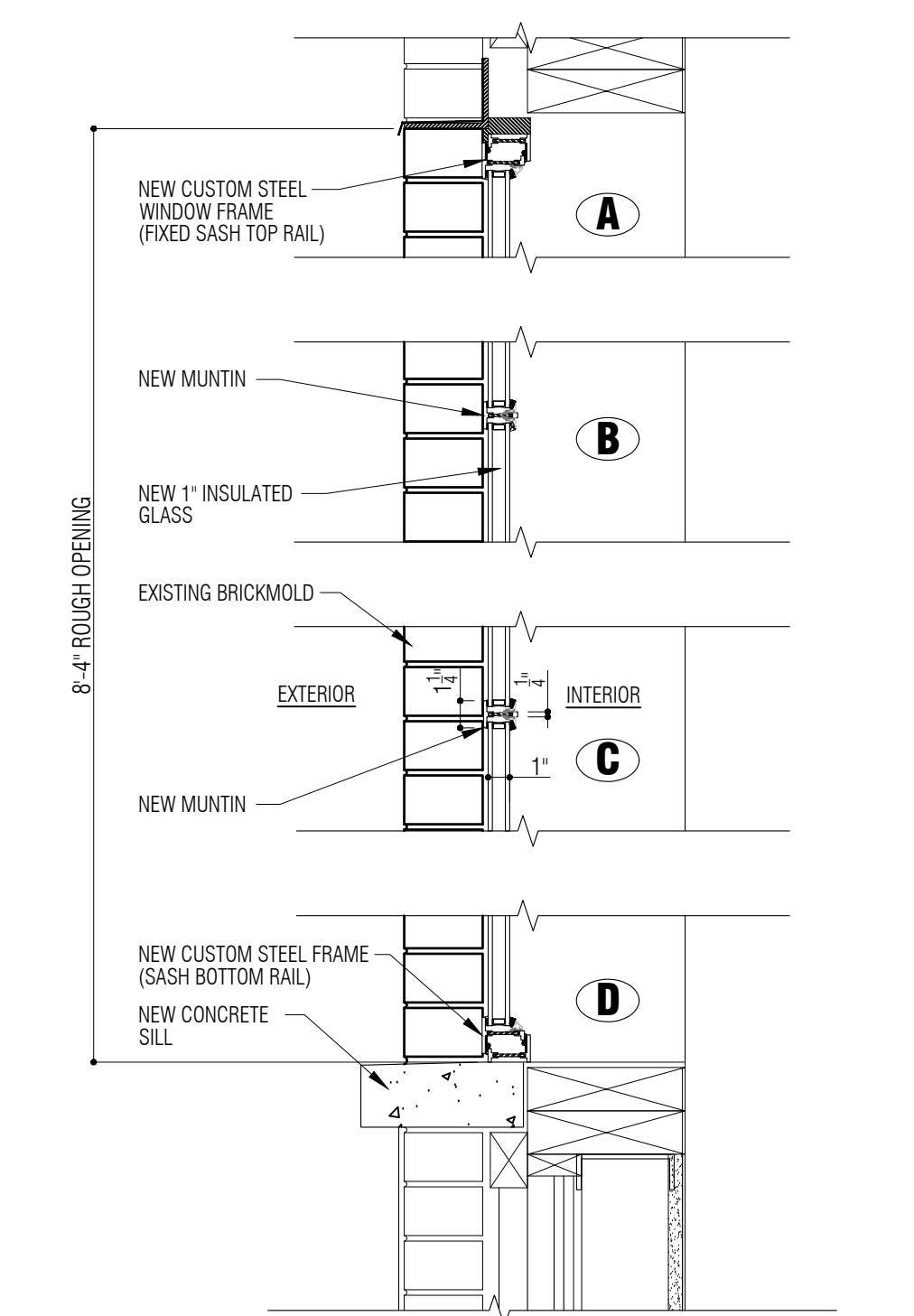


**EXISTING WINDOW ELEVATION**  
SCALE: 3/4" = 1'-0"

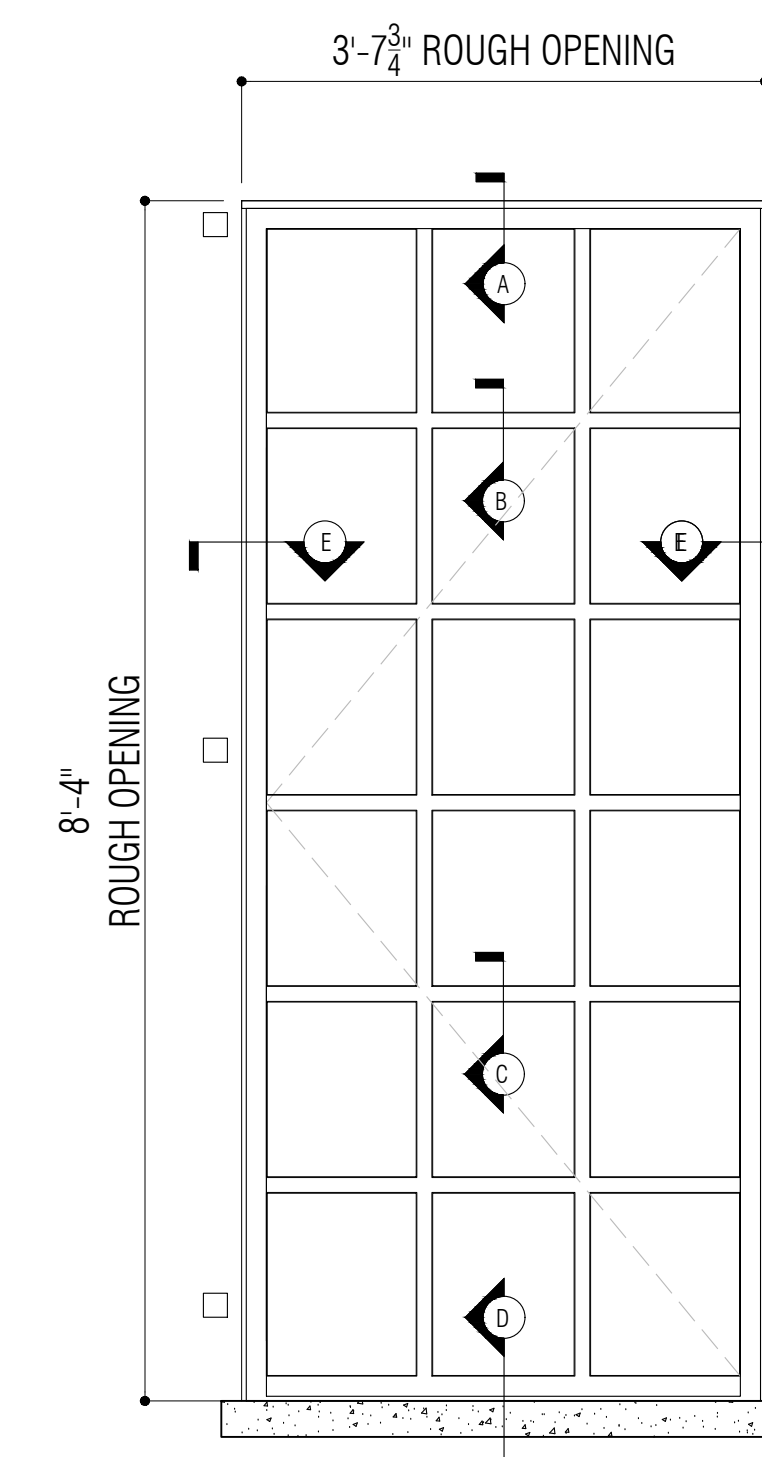


**EXISTING WINDOW JAMB**  
SCALE: 3\"/>

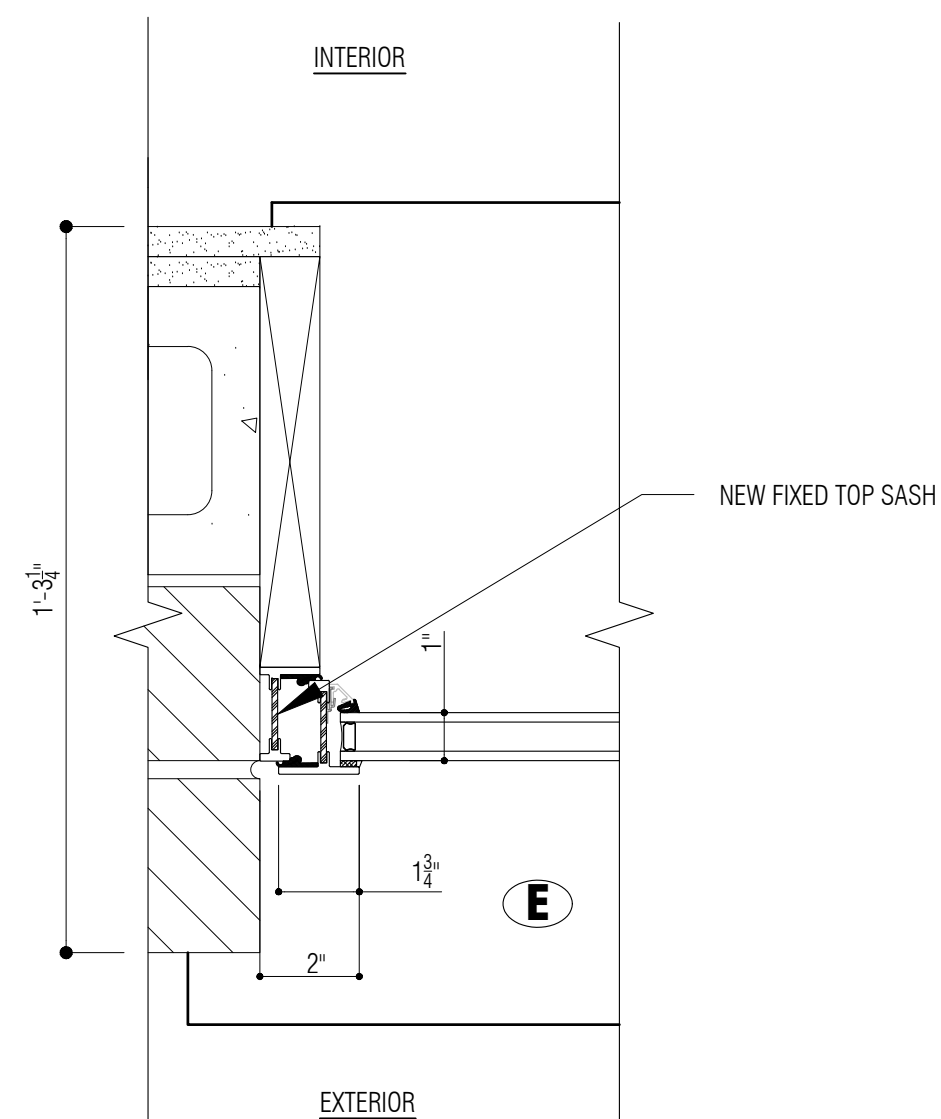
2 **EXISTING 2ND FLOOR REAR WINDOW/DETAILS - B**



**PROPOSED WINDOW SECTION**  
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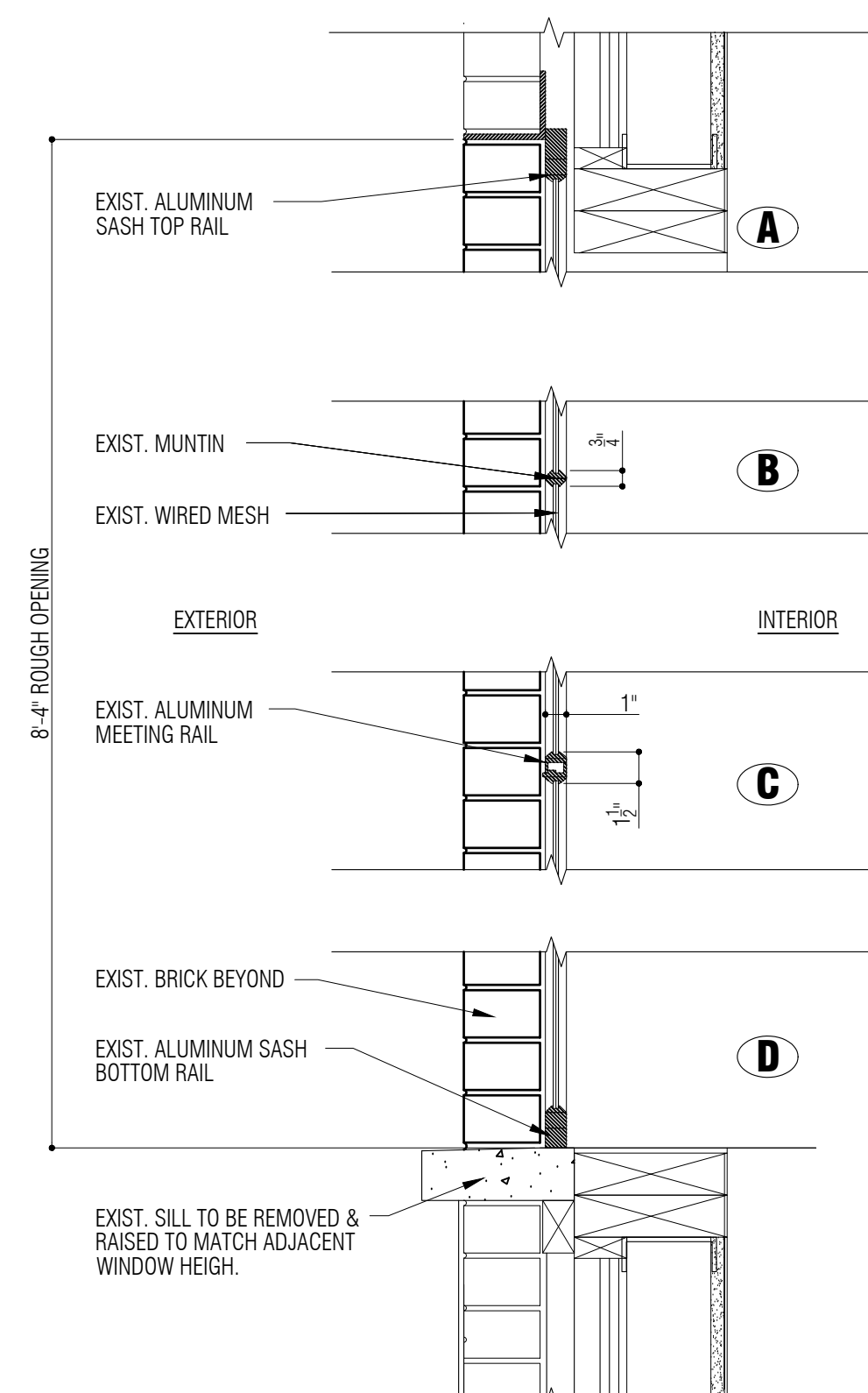


**PROPOSED WINDOW ELEVATION**  
SCALE: 3/4" = 1'-0"

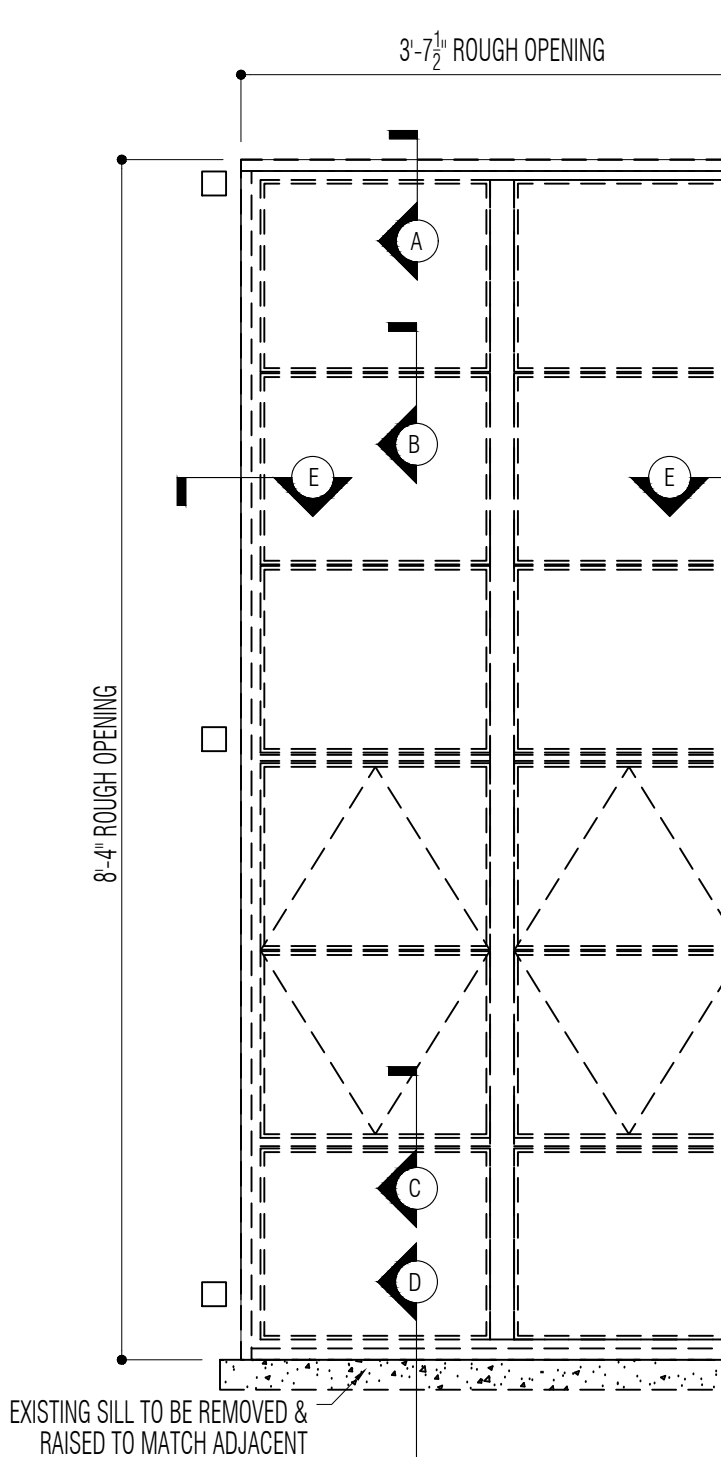


**PROPOSED WINDOW JAMB**  
SCALE: 3\"/>

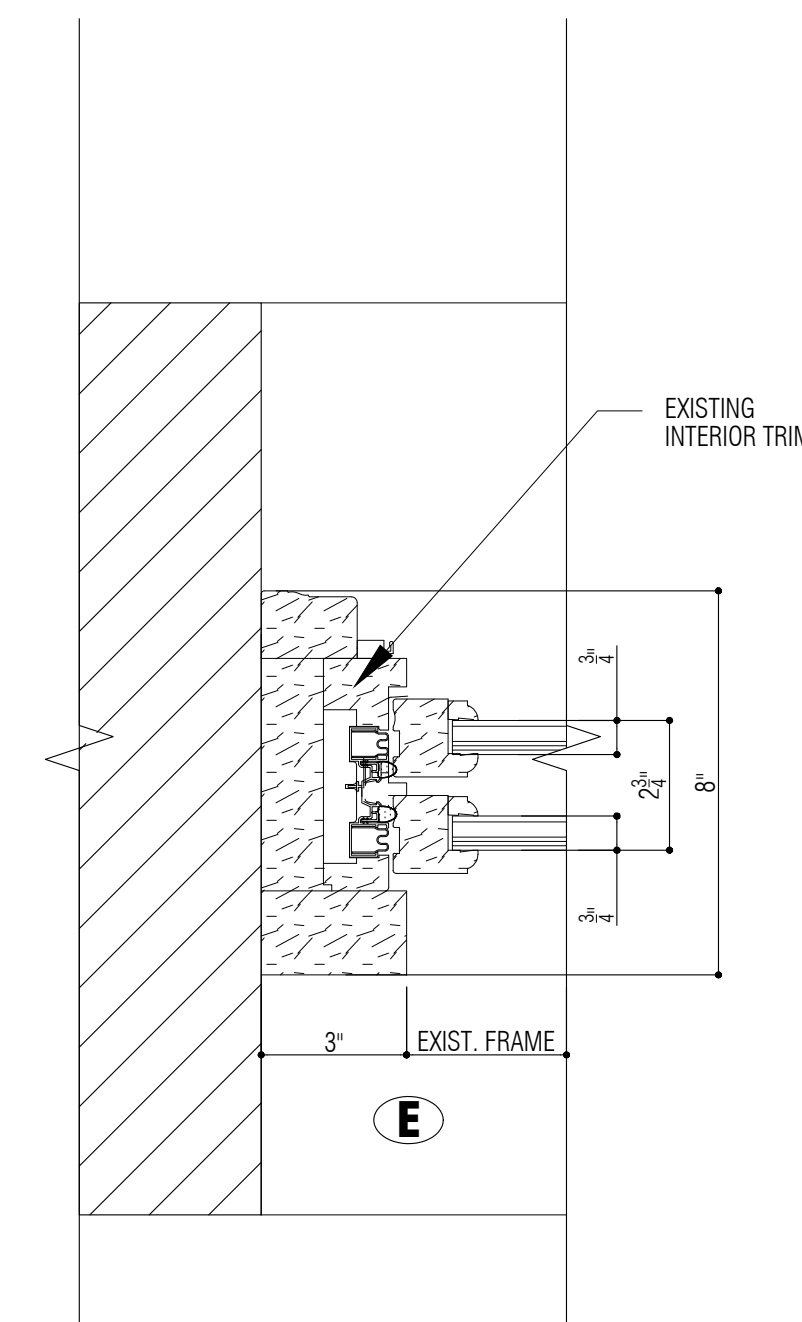
3 **PROPOSED 2ND FLOOR REAR WINDOW/DETAILS - 2C**



**PROPOSED WINDOW SECTION**  
SCALE: 1 1/2" = 1'-0"

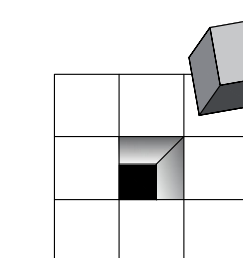


**PROPOSED WINDOW ELEVATION**  
SCALE: 3/4" = 1'-0"



**PROPOSED WINDOW JAMB**  
SCALE: 3\"/>

4 **EXISTING 2ND FLOOR REAR WINDOW/DETAILS - G**



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**2-STORY + PENTHOUSE ADDITION,  
CHANGE IN EGRESS, OCCUPANCY  
AND USE**

APPLICATION TYPE: **ALTERATION TYPE-1**

BIS#: **121209094**

PROJECT TITLE:  
**52 GREENE PARTNERS, LLP**

**52 GREENE STREET  
NEW YORK, NY 10013**

SHEET TITLE:  
EXISTING & PROPOSED  
WINDOW/DETAIL @ 3RD,  
4TH & 5TH FLOORS  
REAR FACADE

PROJ. DATE: 08/21/2021 PROJECT# 21094

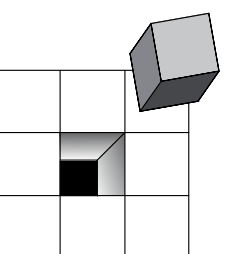
PROJ. MNGR.: CD SHEET: 22 of 26

SHEET#

**LPC-22.00**

B-SCAN:

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BIS#: **121209094**

PROJECT TITLE:

**52 GREENE PARTNERS, LLP**

**52 GREENE STREET  
NEW YORK, NY 10013**

SHEET TITLE:  
EXISTING & PROPOSED  
WINDOW/DETAIL @ 3RD,  
4TH & 5TH FLOORS  
REAR FACADE

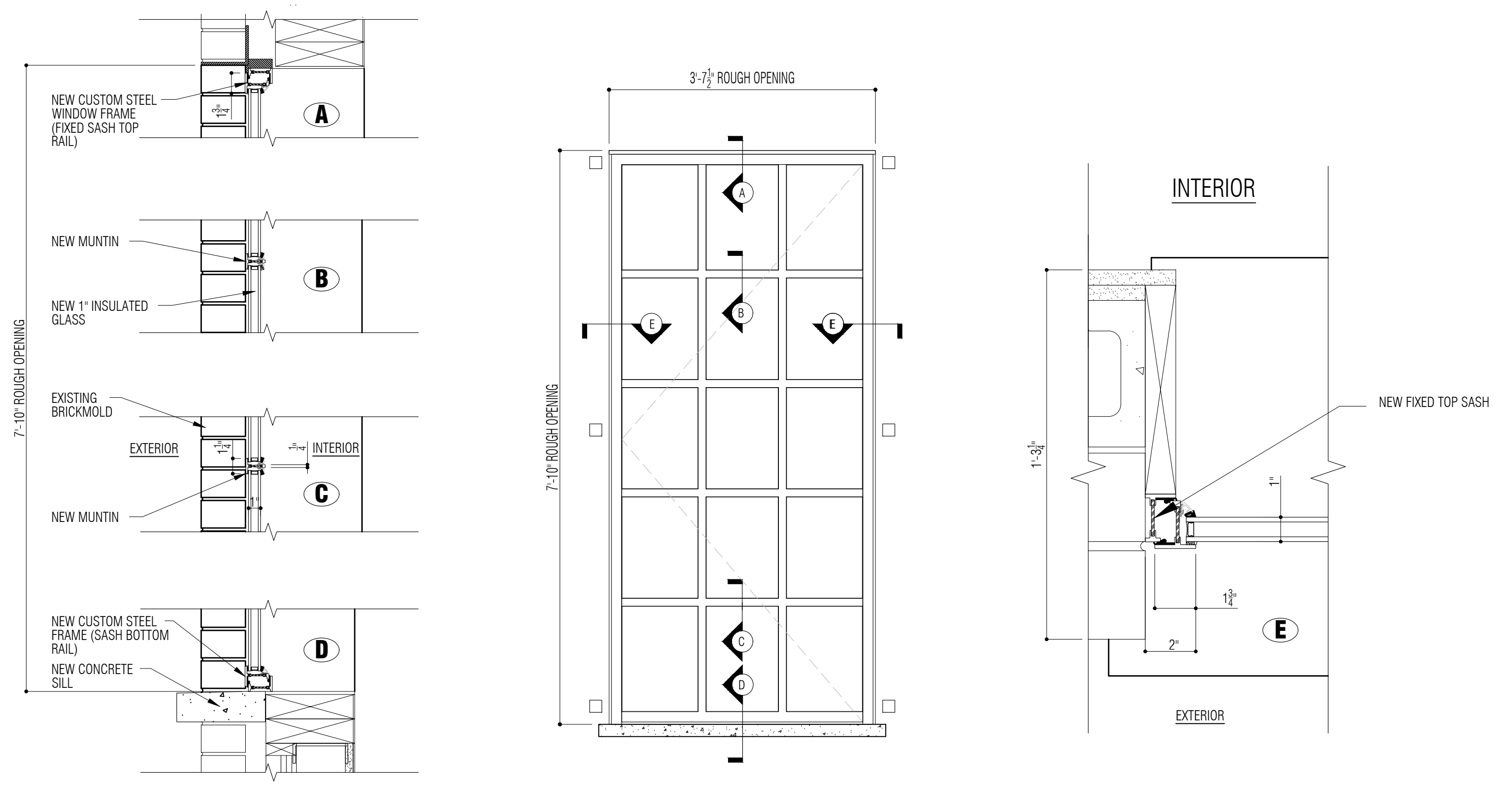
PROJ. DATE: 08/21/2021 PROJECT# 21094

PROJ. MNGR.: CD SHEET: 23 of 26

SHEET#

**LPC-23.00**

B.SCAN:



**PROPOSED WINDOW SECTION**

SCALE: 1 1/2"=1'-0"

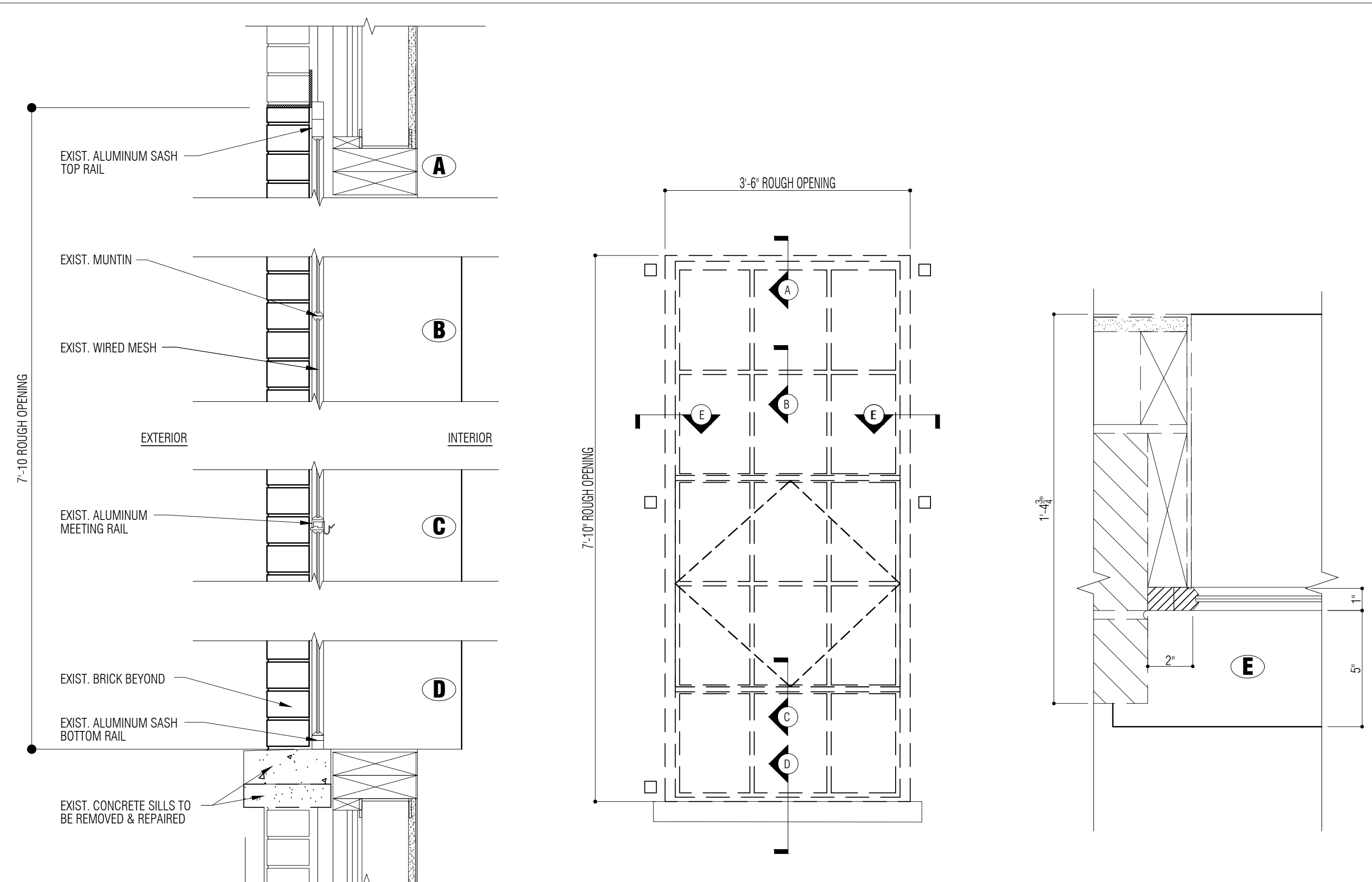
**PROPOSED WINDOW ELEVATION**

SCALE: 3/4"=1'-0"

**PROPOSED WINDOW JAMB**

SCALE: 3"=1'-0"

**1 PROPOSED 3RD FLOOR REAR WINDOW/DETAILS - 3B**



**EXISTING WINDOW SECTION**

SCALE: 1 1/2"=1'-0"

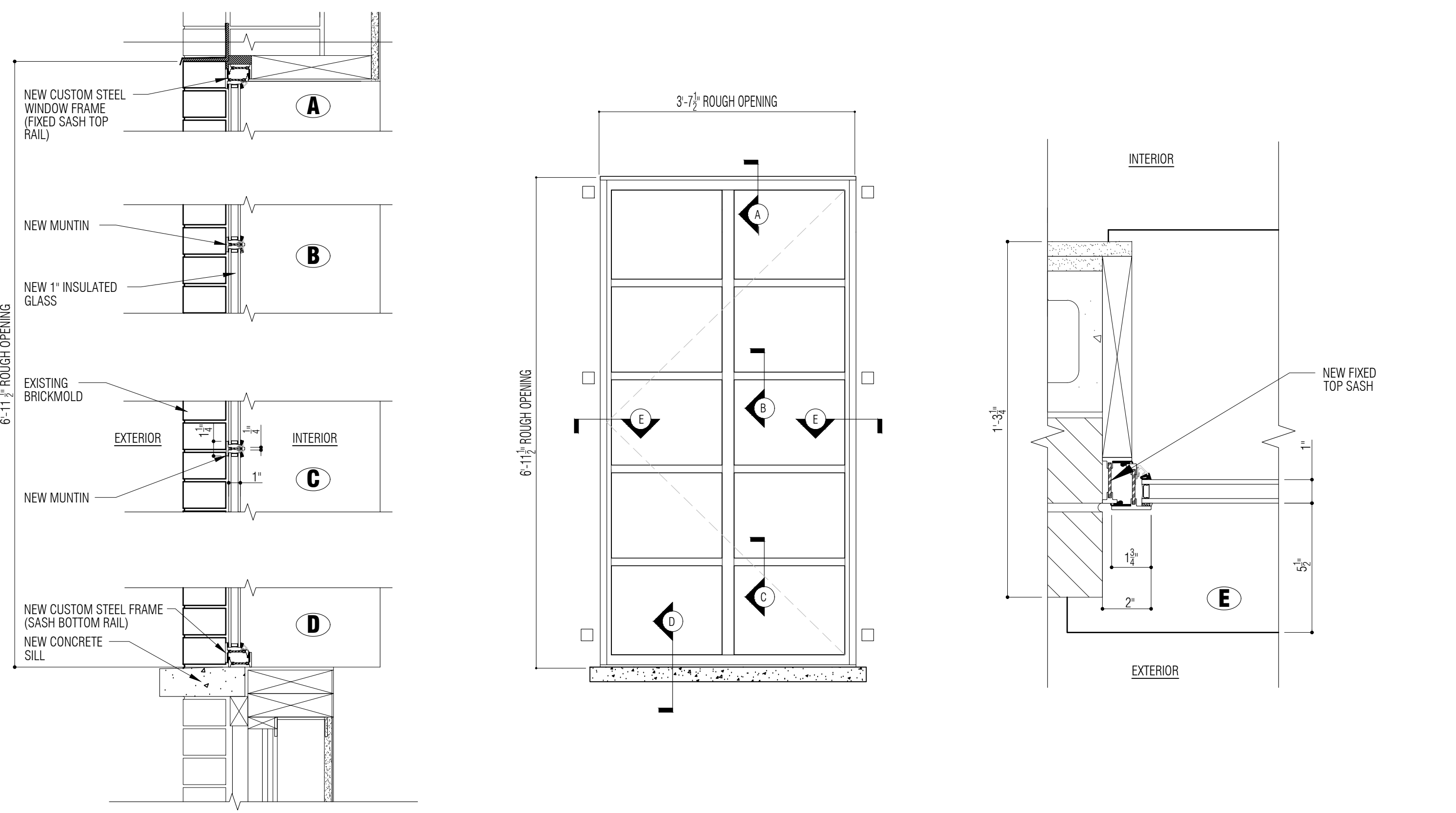
**EXISTING WINDOW ELEVATION**

SCALE: 3/4"=1'-0"

**EXISTING WINDOW JAMB**

SCALE: 3"=1'-0"

**2 EXISTING 3RD FLOOR REAR WINDOW/DETAILS - E**



**PROPOSED WINDOW SECTION**

SCALE: 1 1/2"=1'-0"

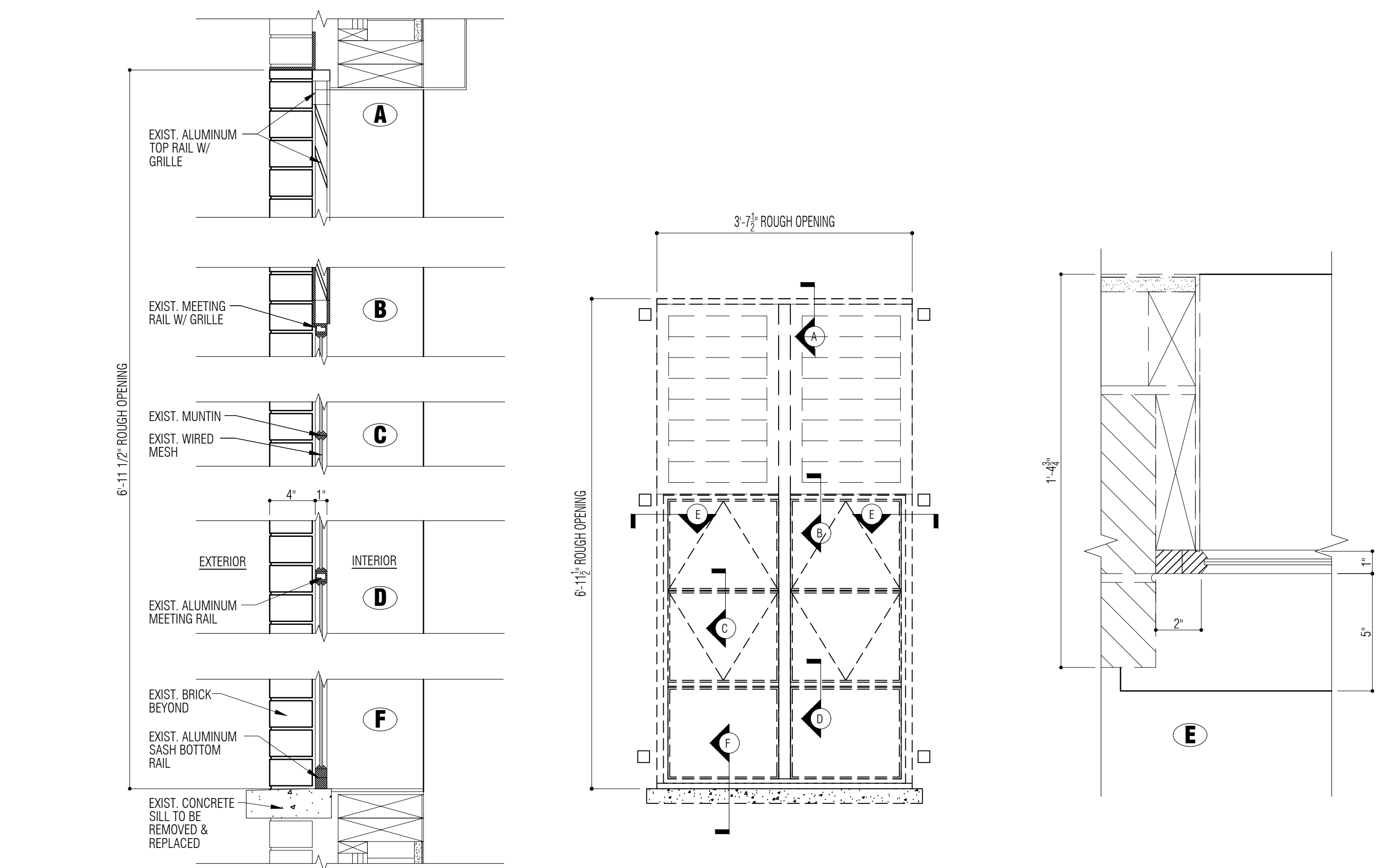
**PROPOSED WINDOW ELEVATION**

SCALE: 3/4"=1'-0"

**PROPOSED WINDOW JAMB**

SCALE: 3"=1'-0"

**3 PROPOSED 3RD FLOOR REAR WINDOW/DETAILS - 3C**



**PROPOSED WINDOW SECTION**

SCALE: 1 1/2"=1'-0"

**PROPOSED WINDOW ELEVATION**

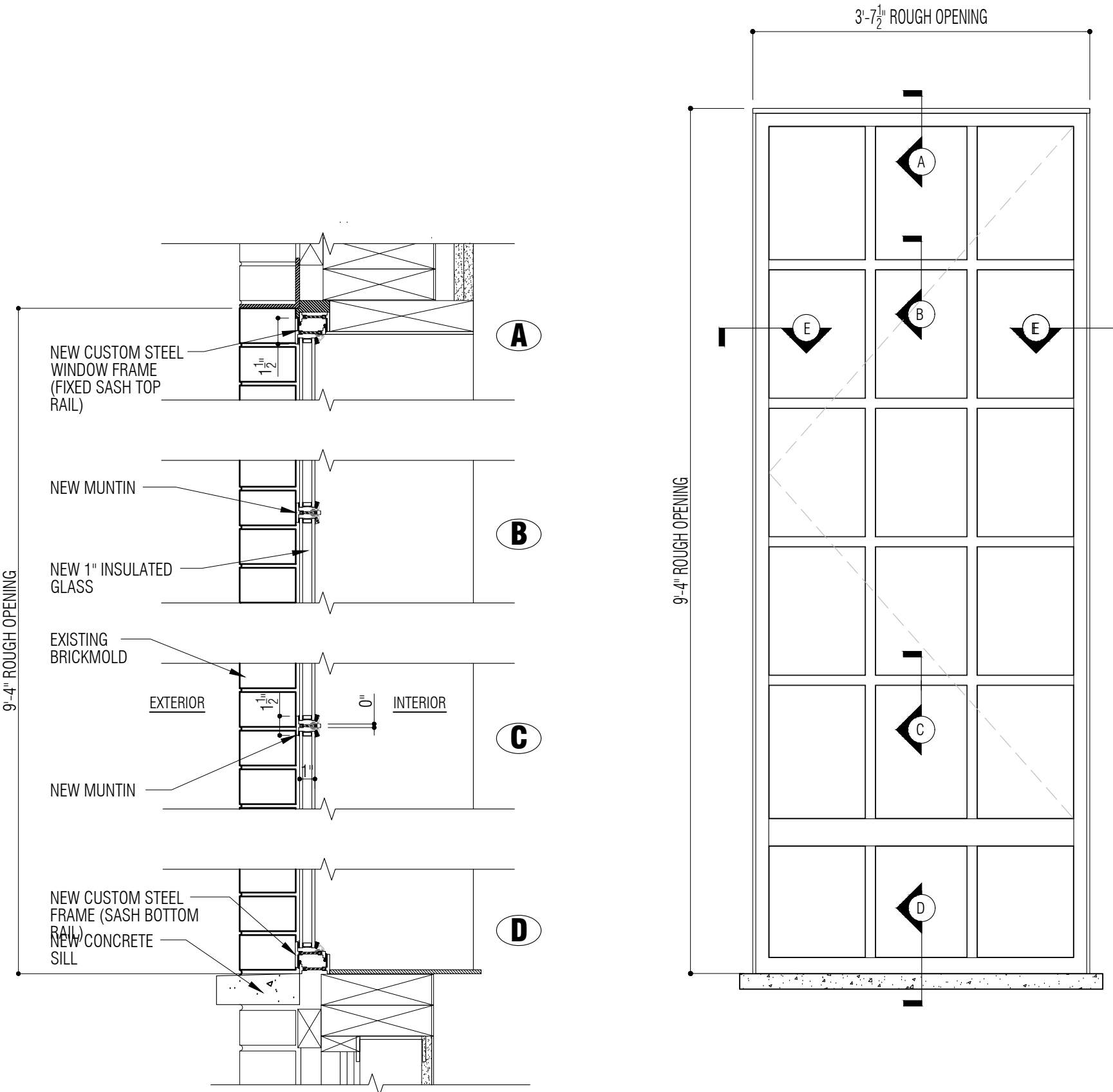
SCALE: 3/4"=1'-0"

**PROPOSED WINDOW JAMB**

SCALE: 3"=1'-0"

**4 EXISTING 3RD FLOOR REAR WINDOW/DETAILS - F**

10/12/2022 1:36 PM Z:\PROJECTS\52 Greene S\DRAWINGS\00000000-EC-00-Name\CD\_MASTER\LPC\FILING SET.dwg

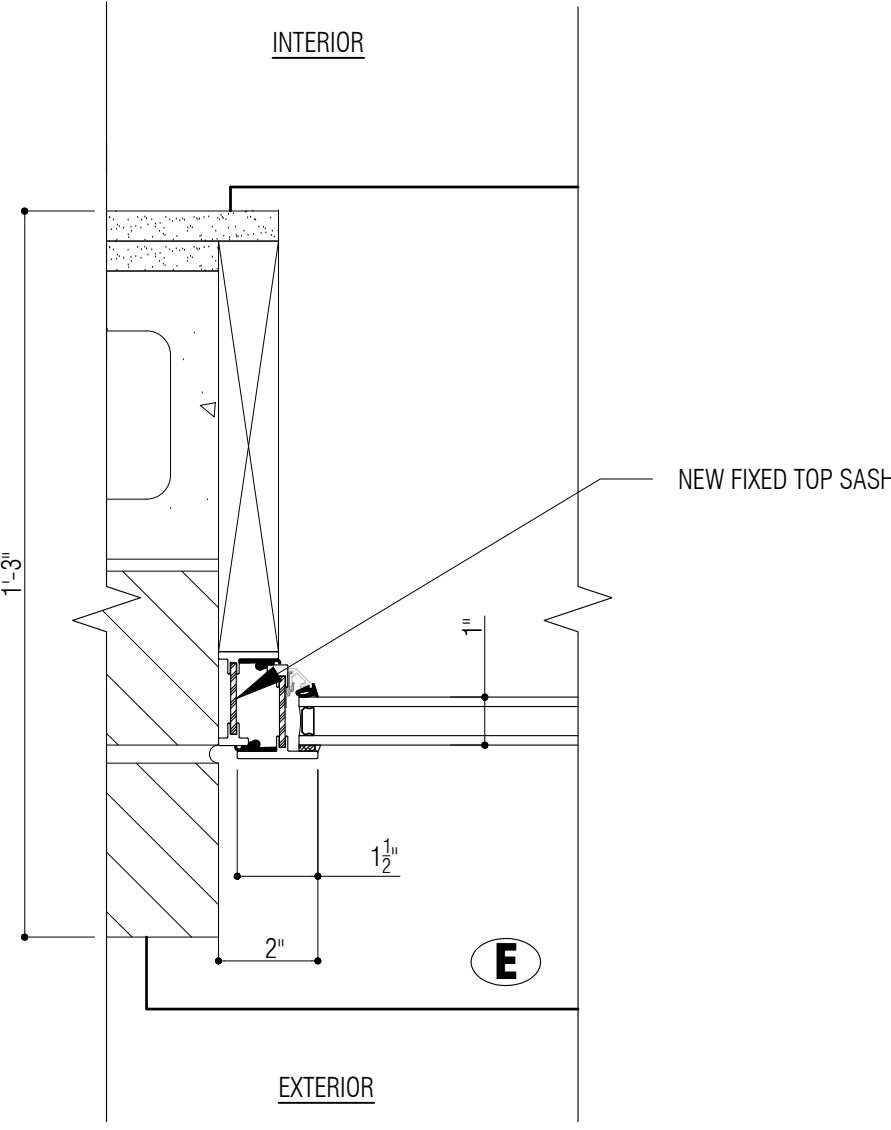


**PROPOSED WINDOW SECTION**

SCALE: 3/4" = 1'-0"

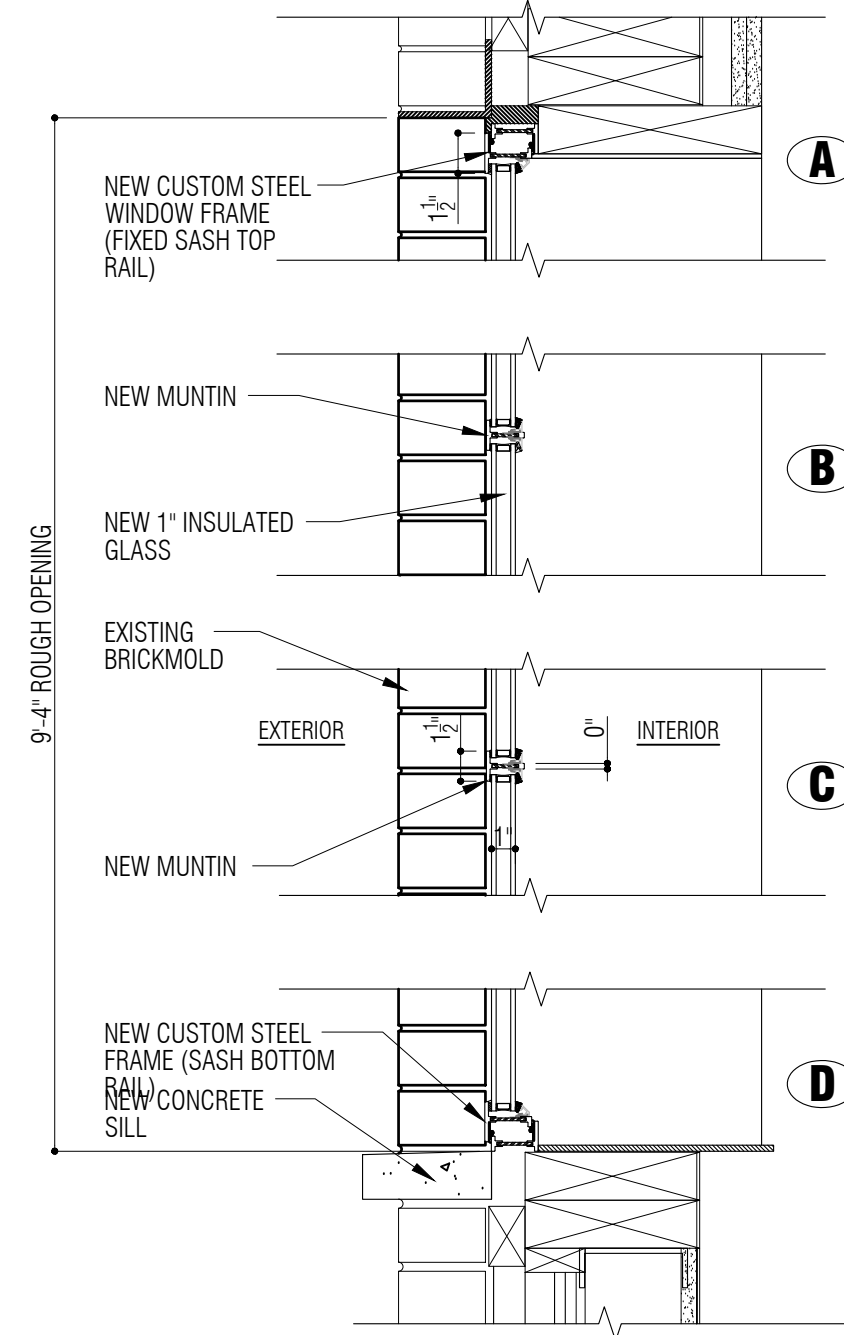
**PROPOSED WINDOW ELEVATION**

SCALE: 3/4" = 1'-0"



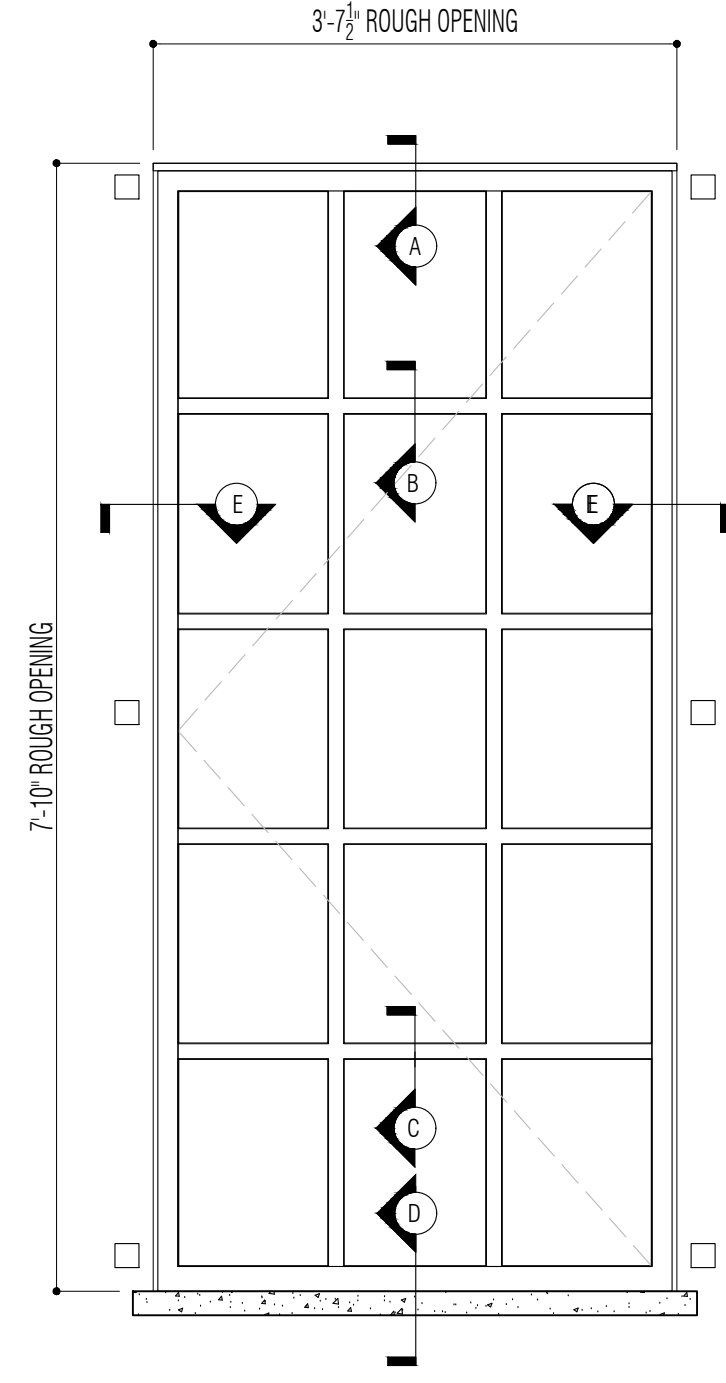
**PROPOSED WINDOW JAMB**

SCALE: 3" = 1'-0"



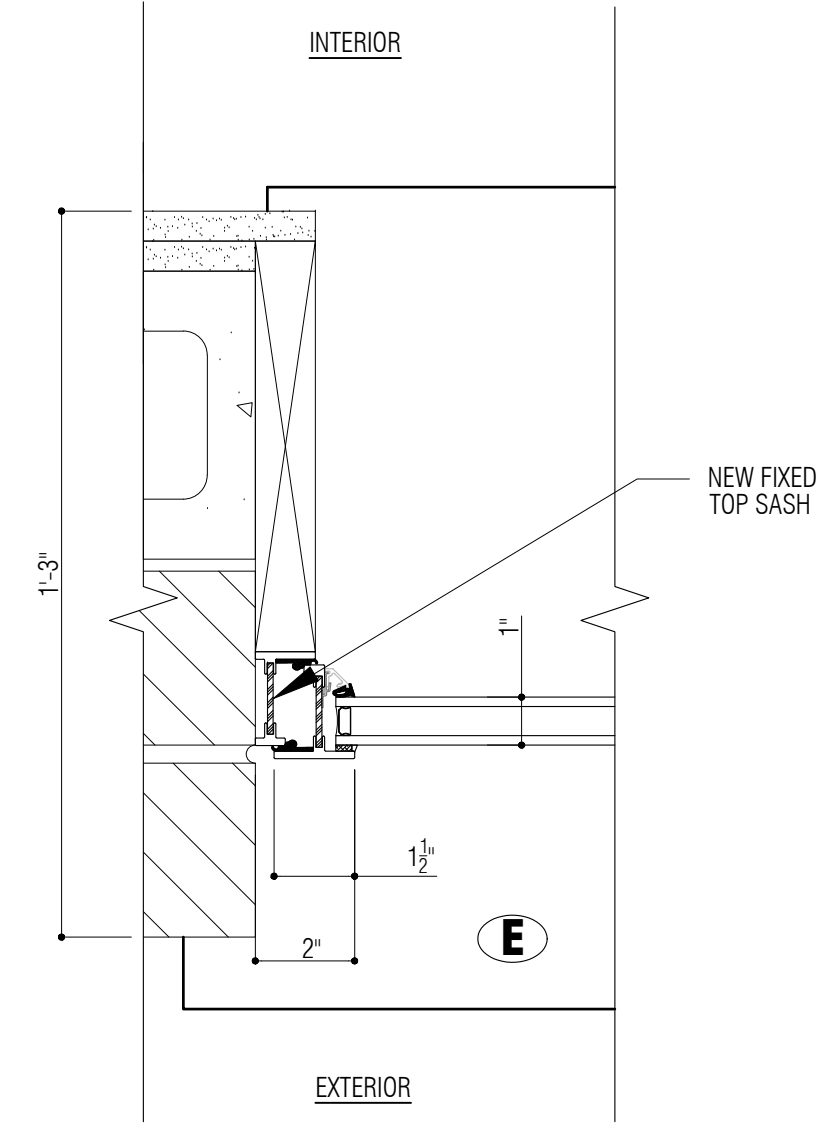
**PROPOSED WINDOW SECTION**

SCALE: 3/4" = 1'-0"



**PROPOSED WINDOW ELEVATION**

SCALE: 3/4" = 1'-0"

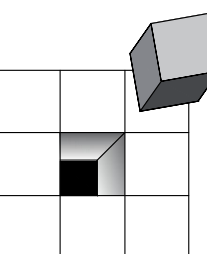


**PROPOSED WINDOW JAMB**

SCALE: 3" = 1'-0"

**1 PROPOSED 4TH FLOOR REAR WINDOW/DETAILS - 4B**

**1 PROPOSED 5TH FLOOR REAR WINDOW/DETAILS - 5B**



**COSTA ARCHITECTURE & ENGINEERING, LLP**

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**Revision Schedule**

#	Date	Description

**Issue Schedule**

#	Date	Description
1	04/28/2021	PERMIT SET
2	12/16/2021	ISSUE TO OWNER
2	01/19/2022	ISSUE FOR LPC

FOR DOB USE:

PROFESSIONAL SEAL:

PROJECT SCOPE:  
**2-STORY + PENTHOUSE ADDITION,  
CHANGE IN EGRESS, OCCUPANCY  
AND USE**

APPLICATION TYPE: **ALTERATION TYPE-1**

BIS#: **121209094**

PROJECT TITLE:  
**52 GREENE PARTNERS, LLP**  
  
**52 GREENE STREET  
NEW YORK, NY 10013**

SHEET TITLE:  
PROPOSED  
WINDOW/DETAIL @  
4TH & 5TH FLOORS  
REAR FACADE

PROJ. DATE: 08/21/2021 PROJECT# 21094  
PROJ. MNGR: CD SHEET: 24 of 26

SHEET#  
**LPC-24.00**

B-SCAN:

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