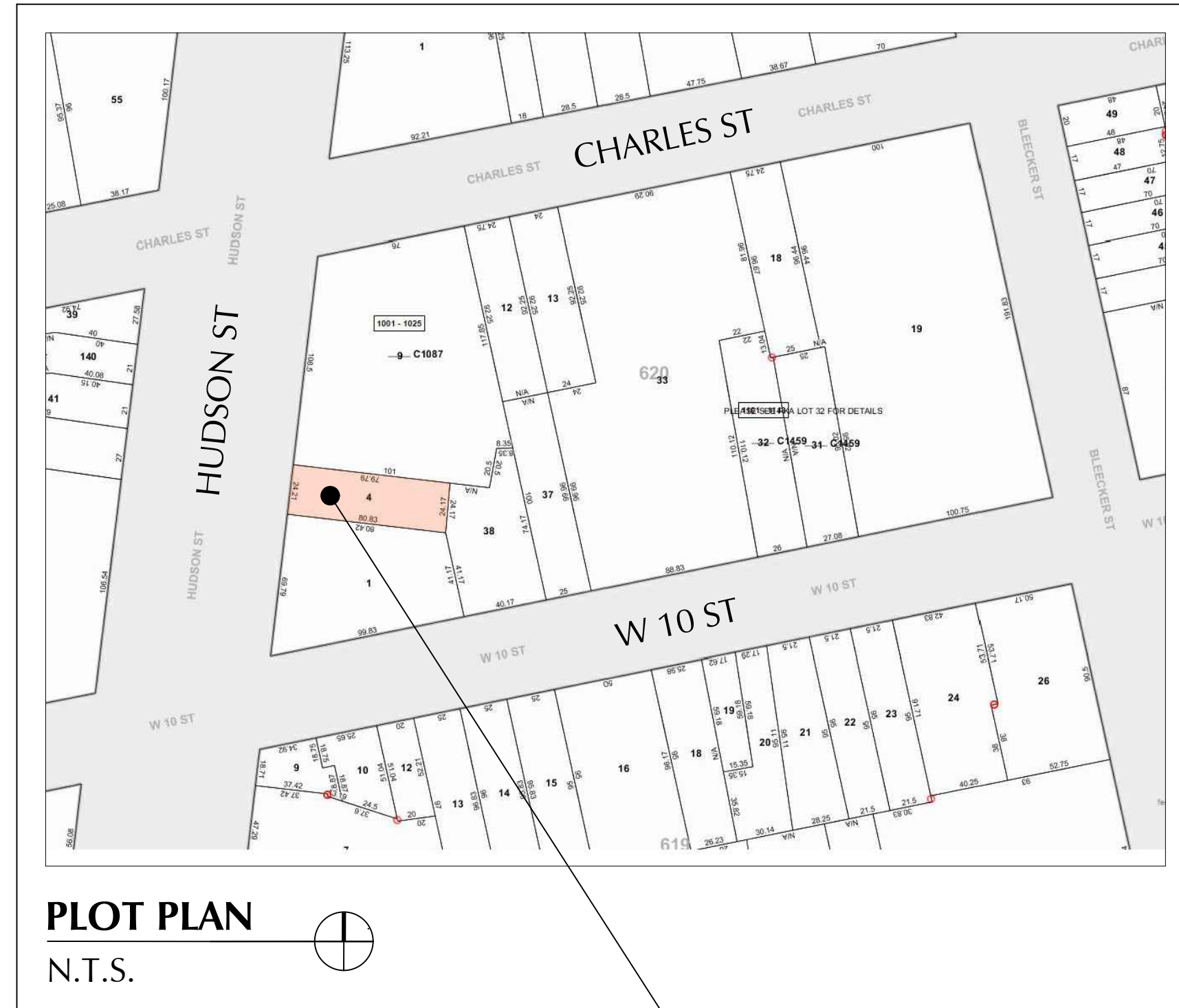


526 Hudson Street New York, NY 10021



AREA OF WORK
526 HUDSON ST.
New York, NY 10014

ZONING INFORMATION:
BLOCK: 620
LOT: 4
LOT AREA: 1,920 SF
CONSTRUCTION CLASS: 3
BUILDING OCC GROUP CLASS: J-2
ZONING MAP: 12A
BIN: 1011184
ZONING DISTRICT: C1-6
NO. OF STORIES: 5
NO. OF DWELLING UNITS: 7
CO NUMBER: 100817528



1940 - HISTORICAL PHOTO



2022 - CURRENT CONDITION

MICHAEL ZENREICH, PC
ARCHITECT
149 West 36th Street, 7 Fl.
New York, N.Y. 10018
Tel. (212) 242-7440

**526 HUDSON STREET
NEW YORK, NY 10021**
BUILDING RENOVATION

CLIENT:
C/o Our Neighborhood Place
526 Hudson Street
New York, NY 10011

MEP ENGINEER:
HH Design
Consulting, LTD.
1751 Second Avenue, 201
New York, NY 10128

STRUCTURAL ENGINEER:
Old Structures
90 Broad St, 15th Floor
New York, NY 10004

ELEVATOR COMPANY:
Metropolitan Elevator
330 West 38th Street, Suite 903
New York, NY 10018

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Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.19.2022

Drawn By: RC / JW
Checked By: RC / JW

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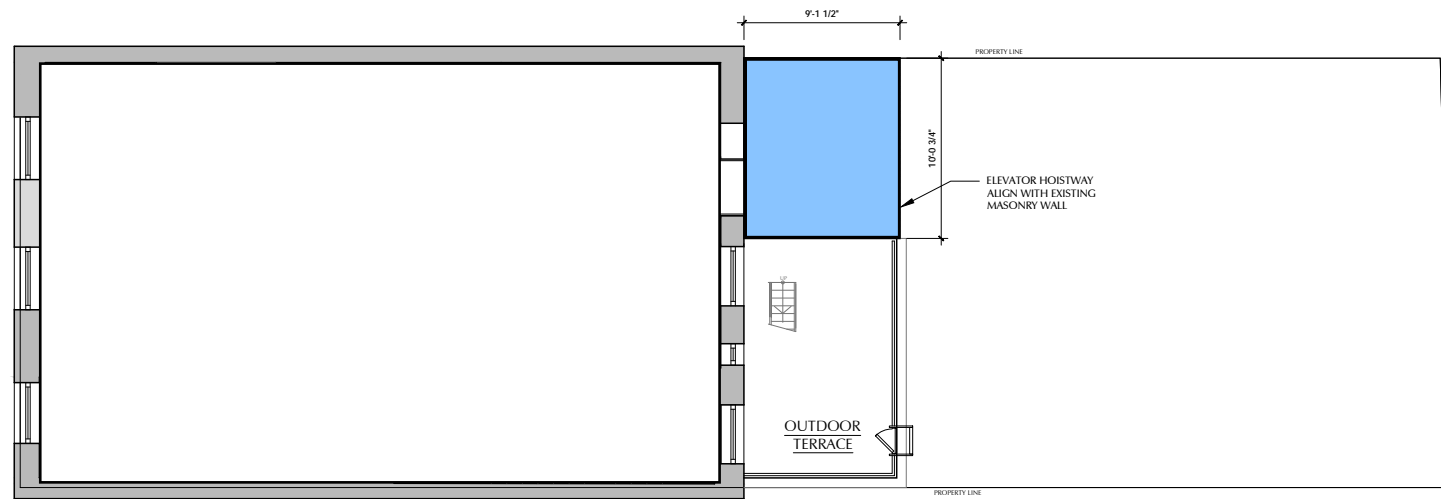
Location :
**526 Hudson Street
New York, NY 10021**

Title:
COVER

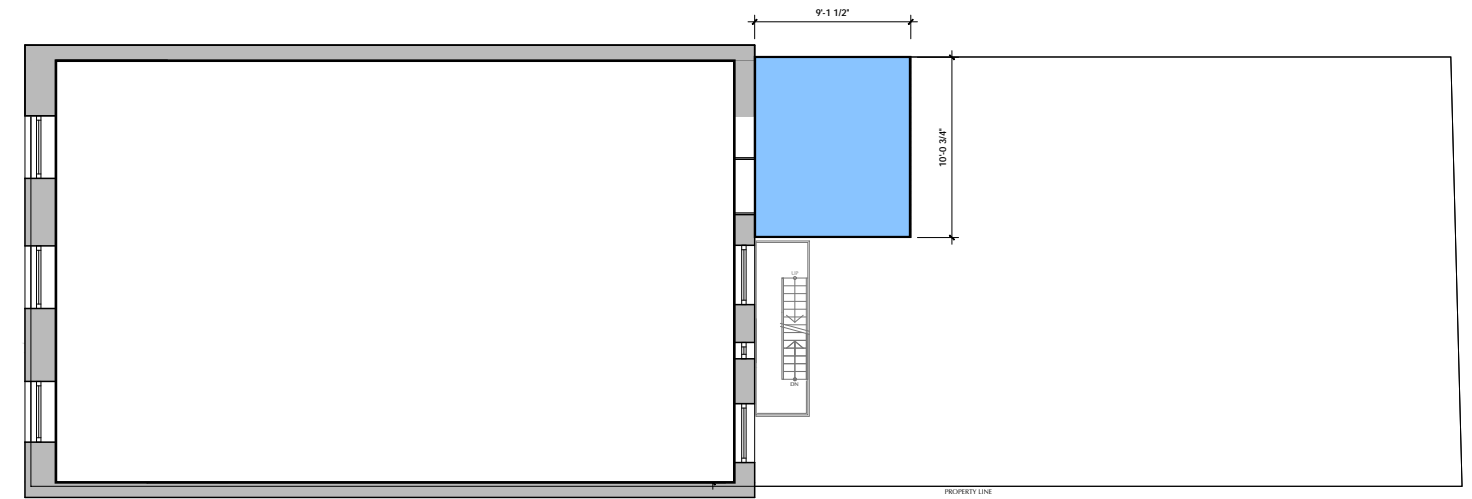
Date: 07.19.2022
Scale: As Noted
Project #: 2022 - 26
Drawing No.:

LPC-101.00

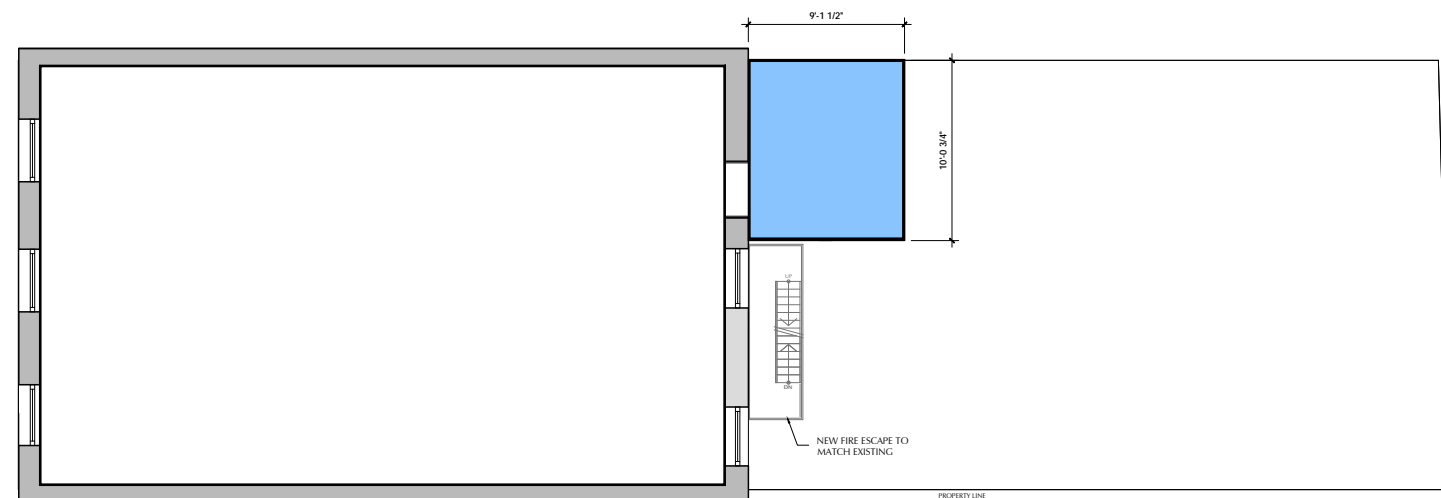
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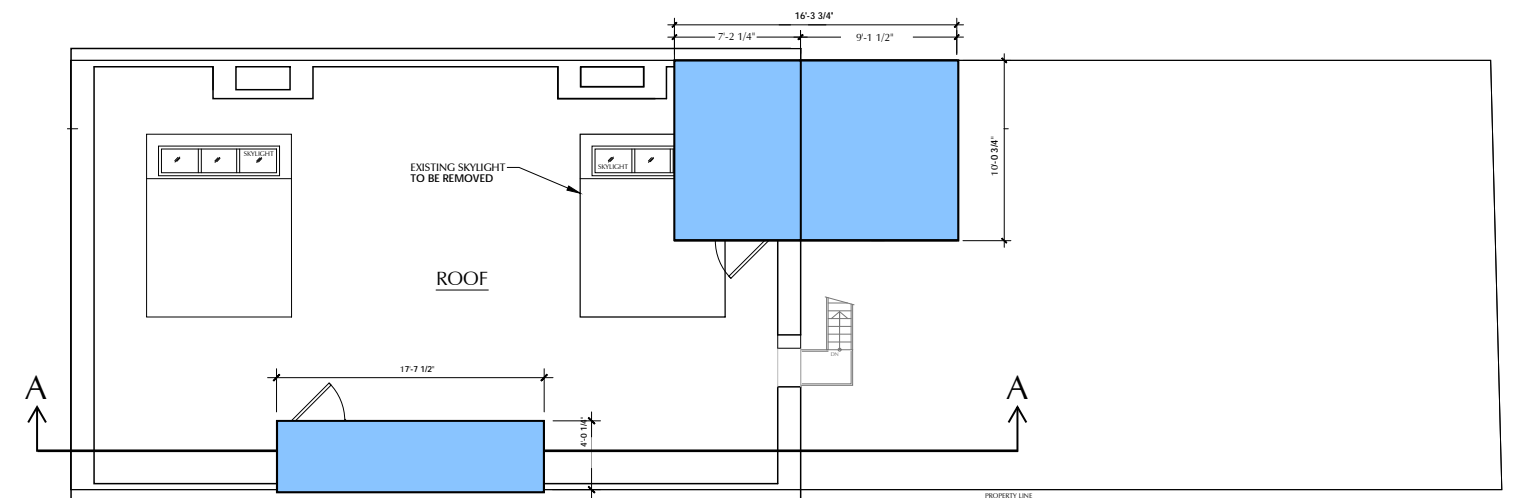
1 2ND FLOOR PLAN
SCALE: 3/16"=1'-0"



2 3RD FLOORPLAN
SCALE: 3/16"=1'-0"

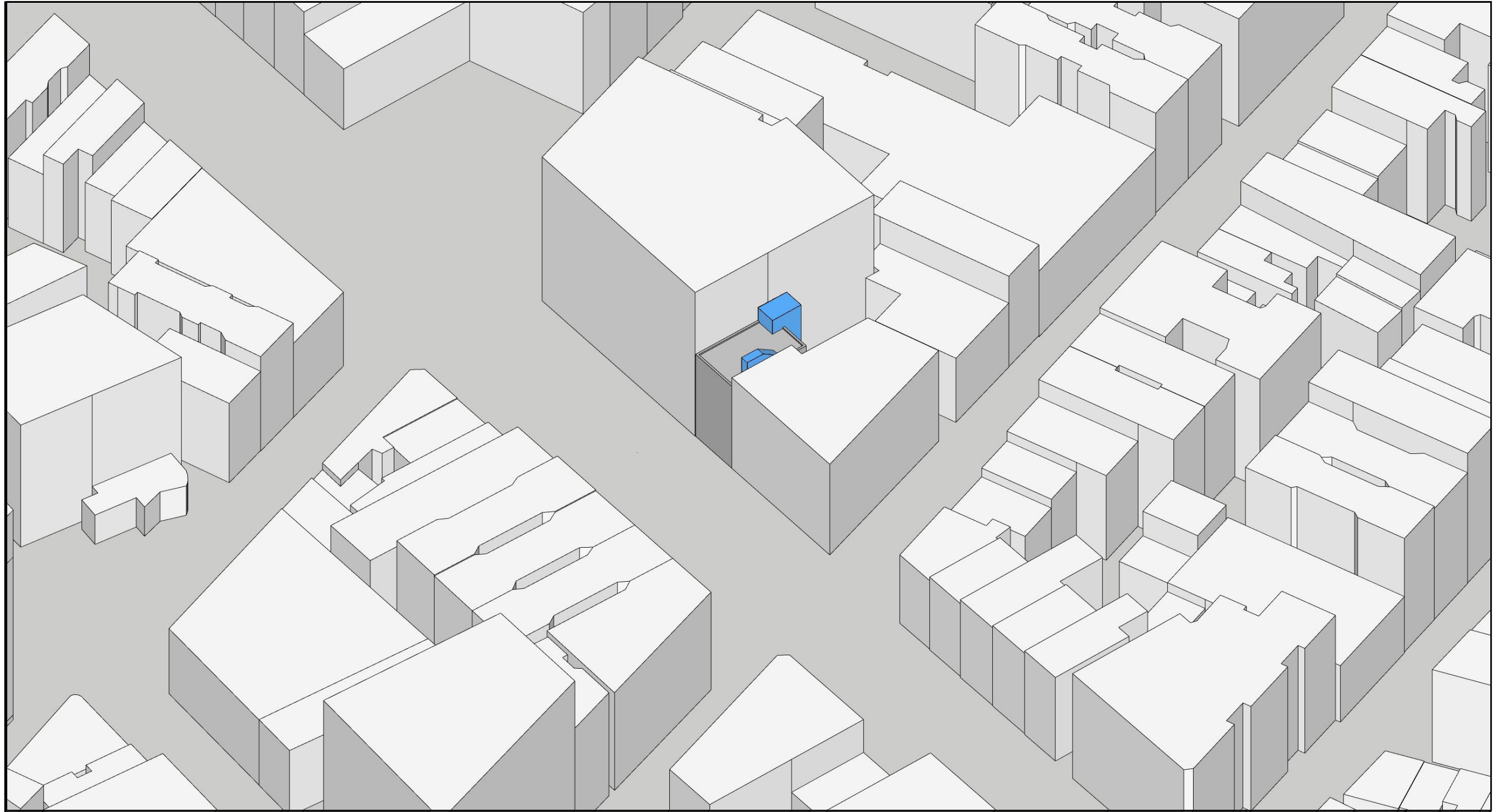


3 4TH FLOOR PLAN
SCALE: 3/16"=1'-0"

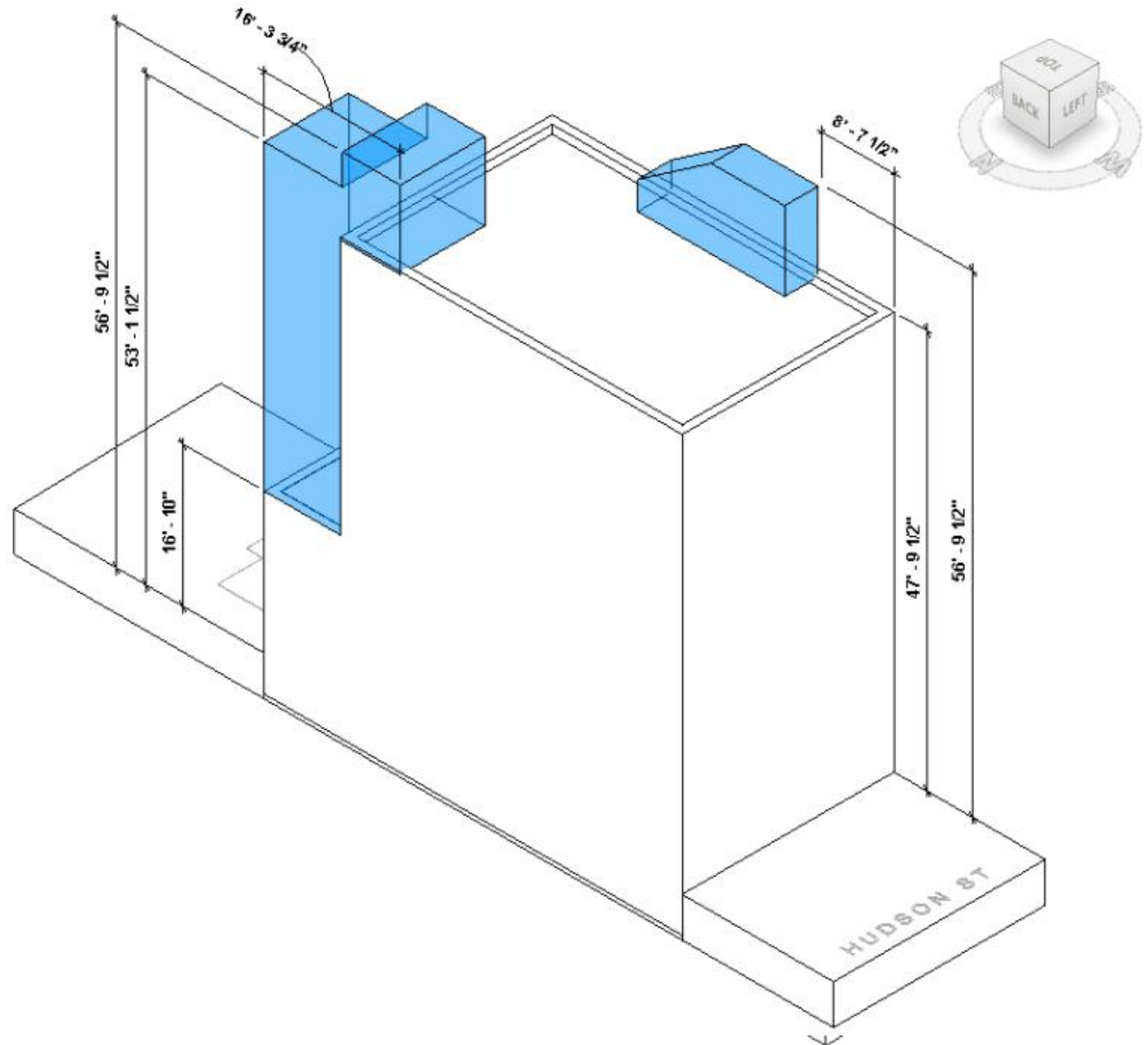
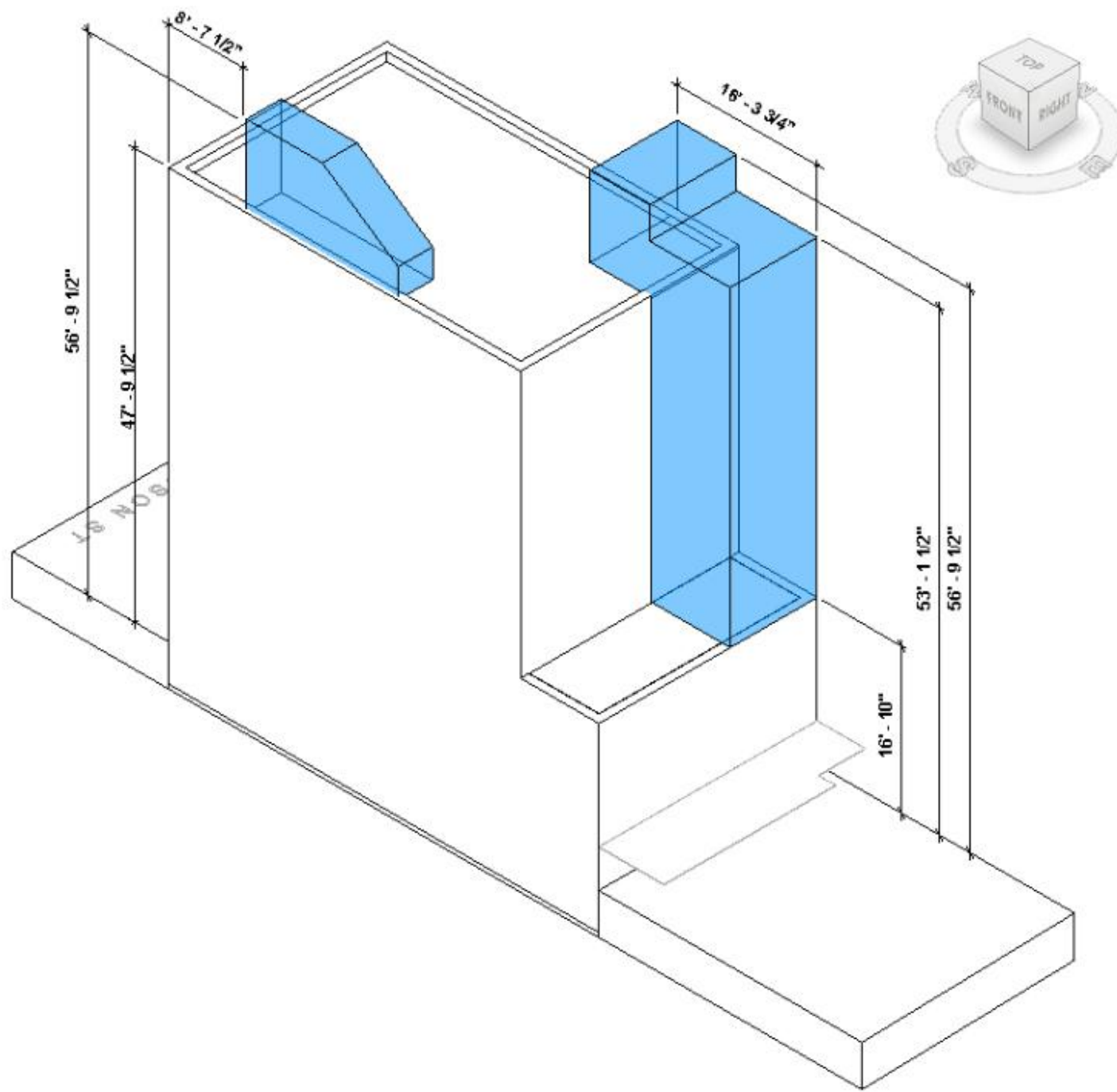


4 ROOF PLAN
SCALE: 3/16"=1'-0"

526 HUDSON - NEW CONSTRUCTION PLANS



526 HUDSON - CONTEXT AXONOMETRIC VIEW



526 HUDSON - NEW CONSTRUCTION AXONOMETRIC VIEW

CLIENT:
 C/o Our Neighborhood Place
 526 Hudson Street
 New York, NY 1001

MEP ENGINEER:
 HH Design
 Consulting, LTD.
 1751 Second Avenue, 201
 New York, NY 10128

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Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.19.2022

Drawn By: RC / JW
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Seal:

Location :
**526 Hudson Street
 New York, NY 10021**

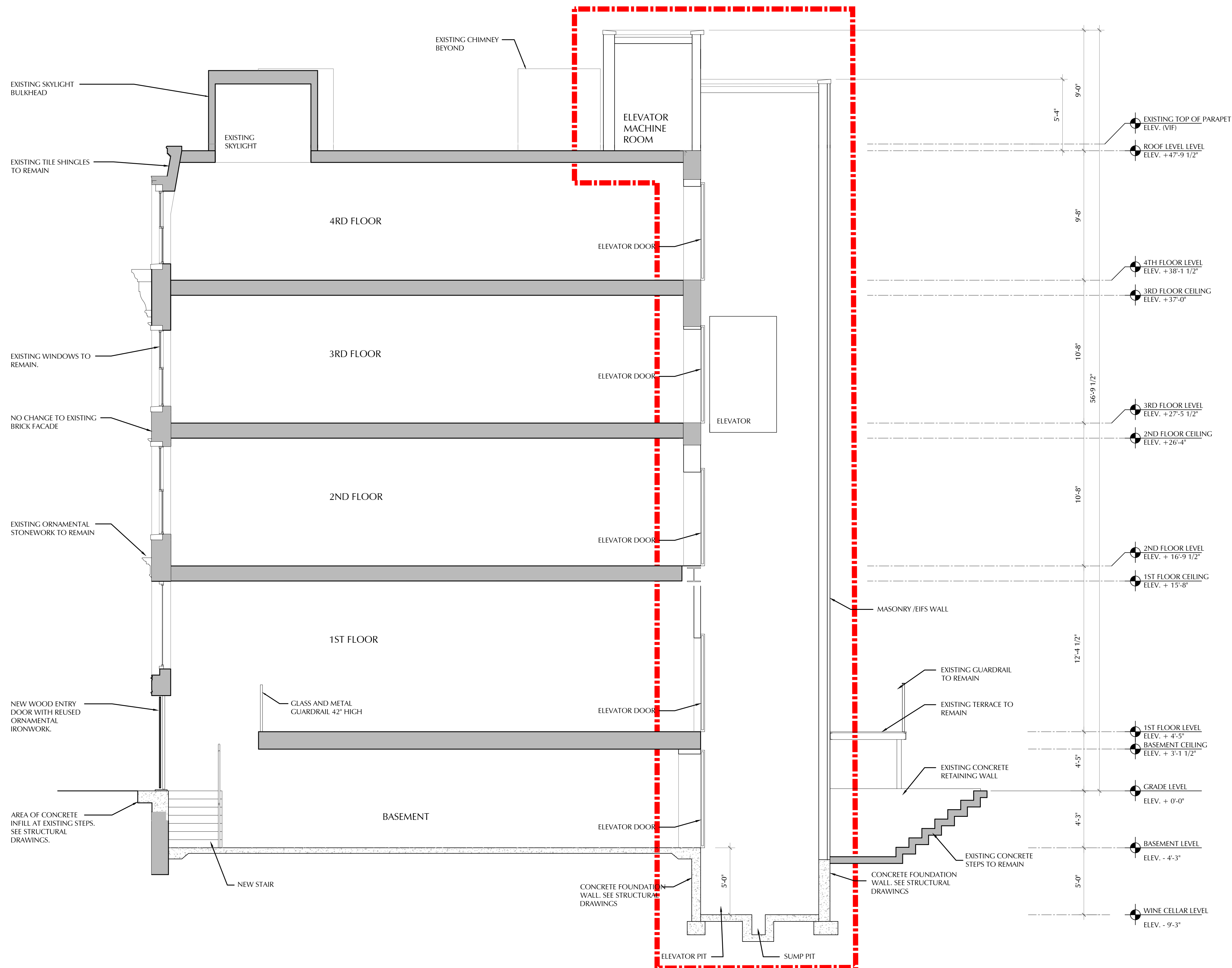
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SECTION A

Date: 07.19.2022
 Scale: As Noted
 Project #: 2022 - 26
 Drawing No.:

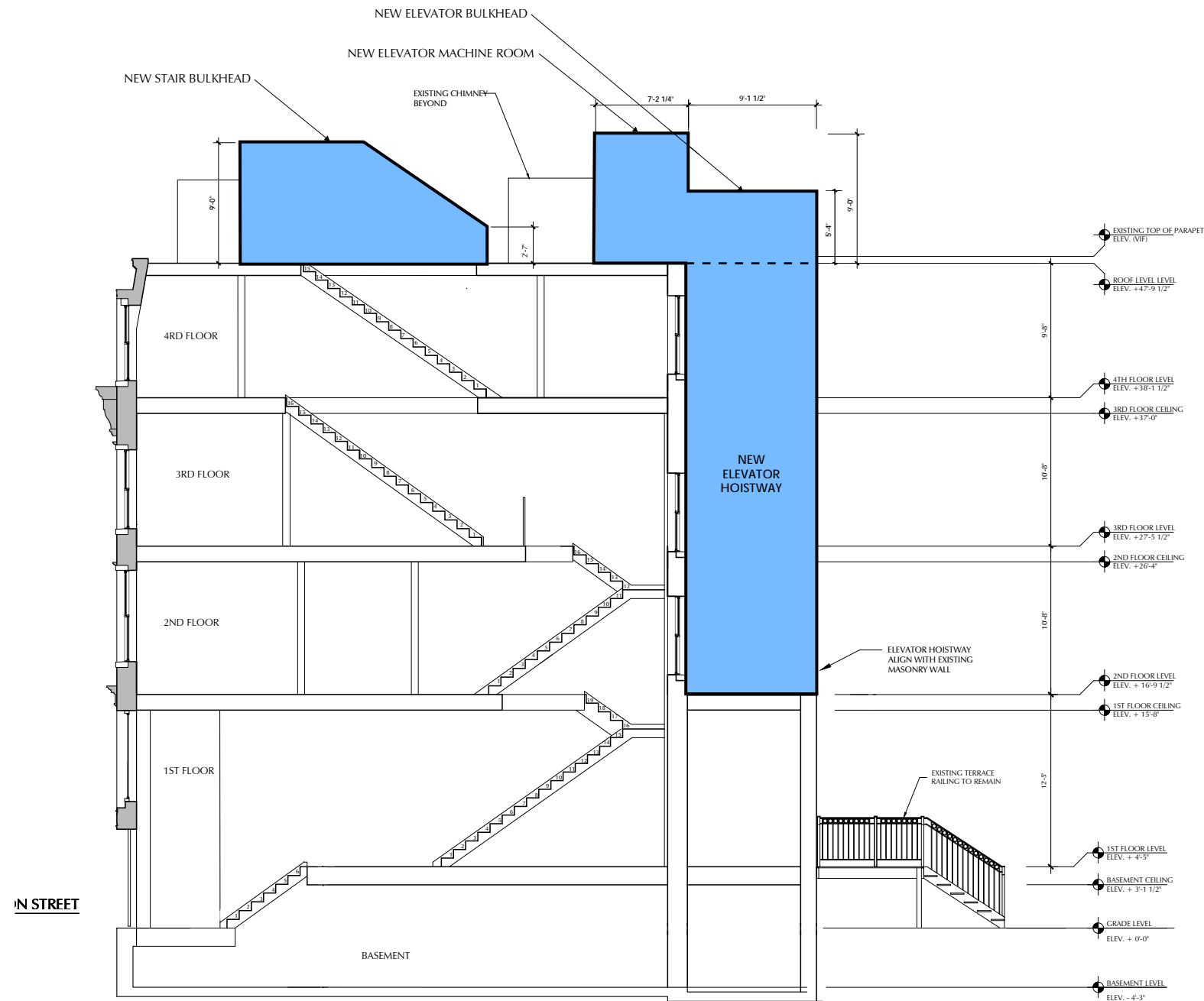
A-401.00

DOB Job#:

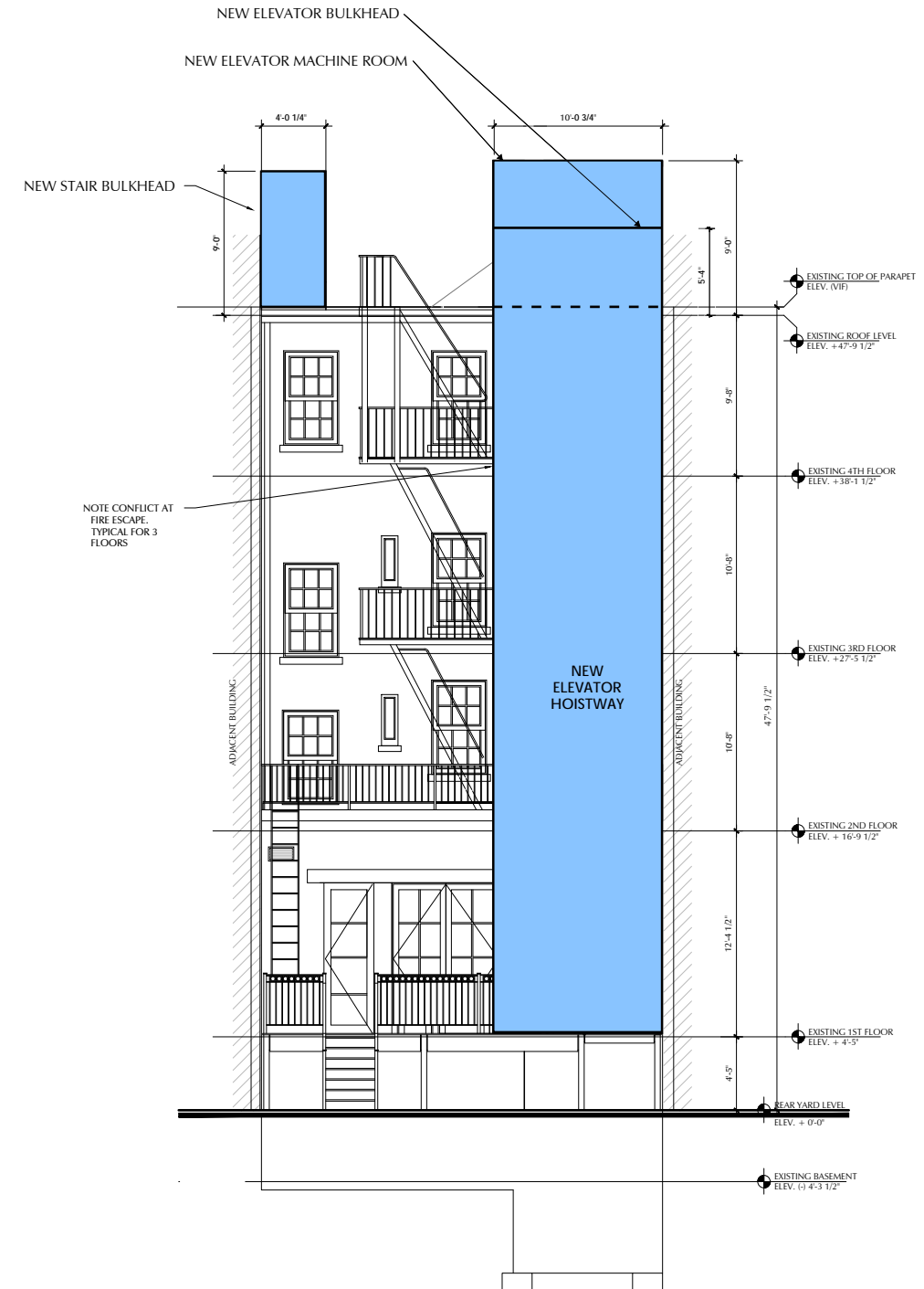
NEW CONSTRUCTION



2 SECTION A
 SCALE: 1/4"=1'-0"



1 SECTION A
SCALE: 3/16"=1'-0"

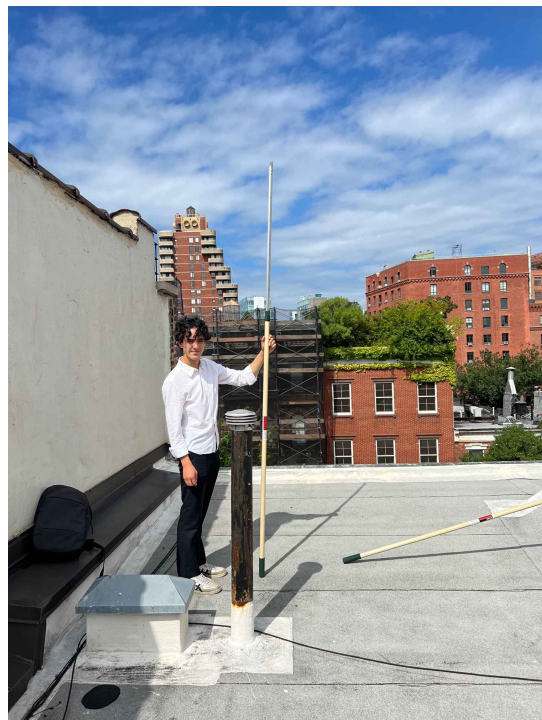
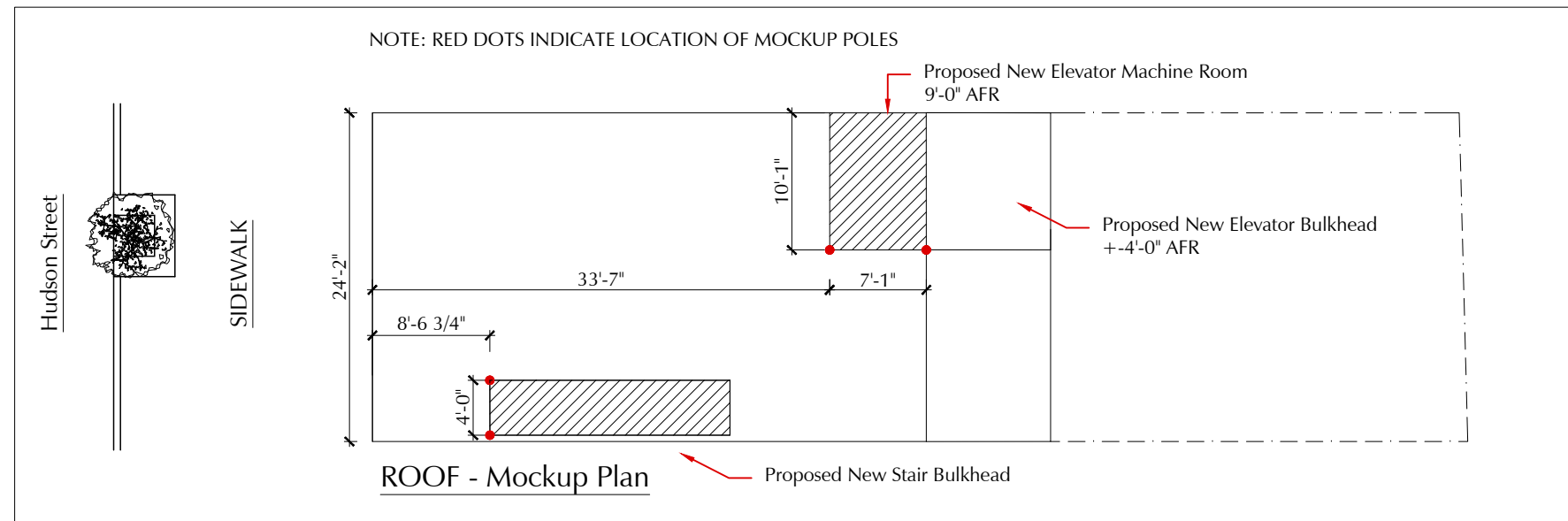


2 EAST ELEVATION
SCALE: 3/16"=1'-0"

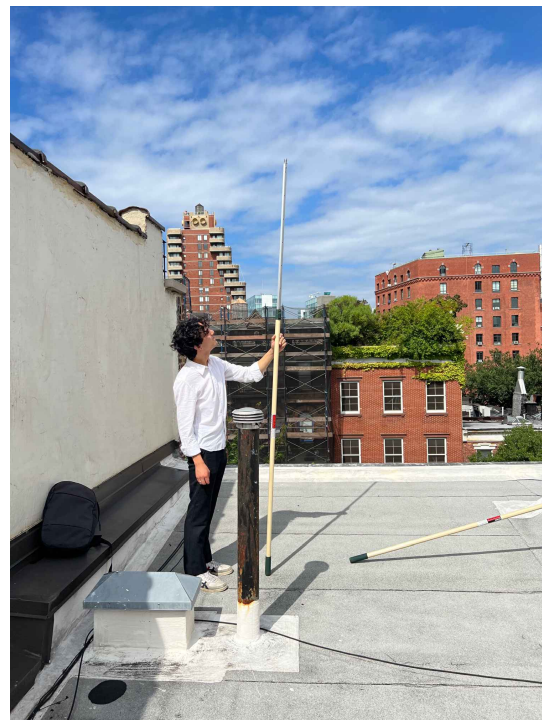
526 HUDSON - NEW CONSTRUCTION SECTION & REAR ELEVATION

526 Hudson Street, New York, NY

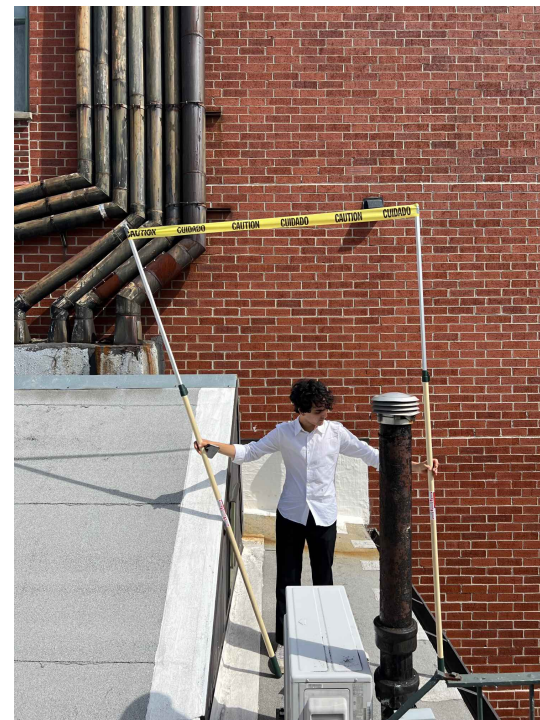




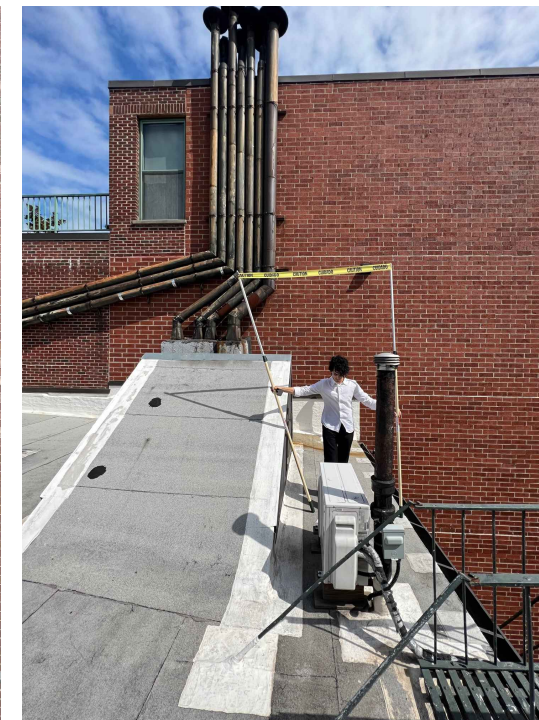
Mockup @ Stair Bulkhead



Mockup @ Stair Bulkhead



Mockup @ Elevator Bulkhead



Mockup @ Elevator Bulkhead

Front of Stair Bulkhead Visible



Photo - A

Front of Stair Bulkhead Partially Visible Through Tree



Photo - B

Stair Bulkhead Not Visible Through Tree



Photo - C



Photo - D

Stair Bulkhead Visible



Photo - E

Stair Bulkhead Not Visible Through Tree

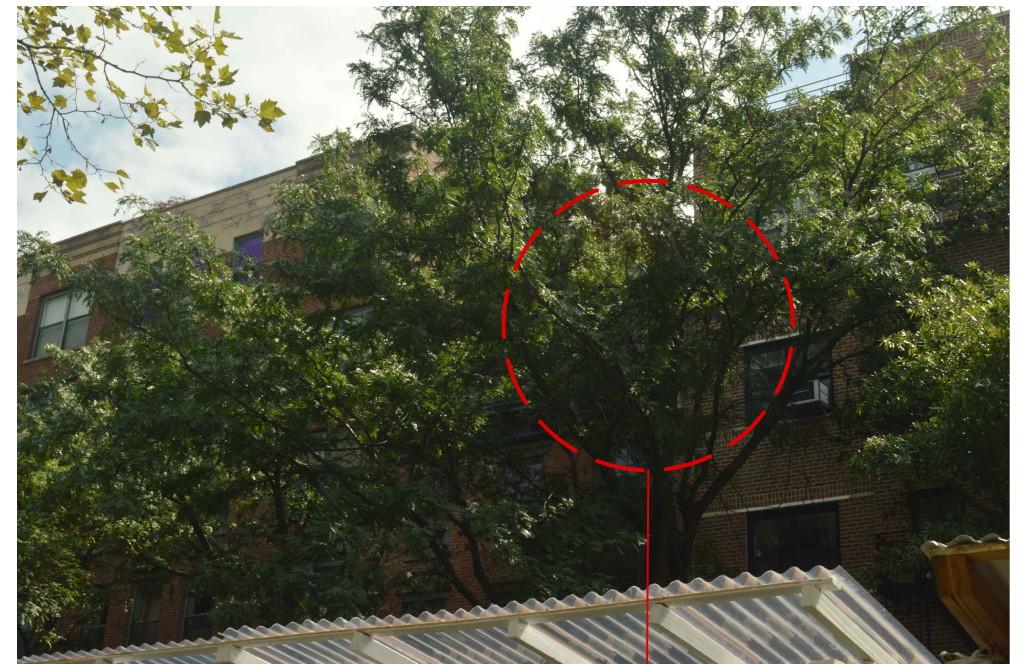


Photo - F

Stair Bulkhead Not Visible Through Tree

Stair Bulkhead Mockup Photos

Stair Bulkhead Not Visible



Photo - G
Stair Bulkhead Mockup Photos

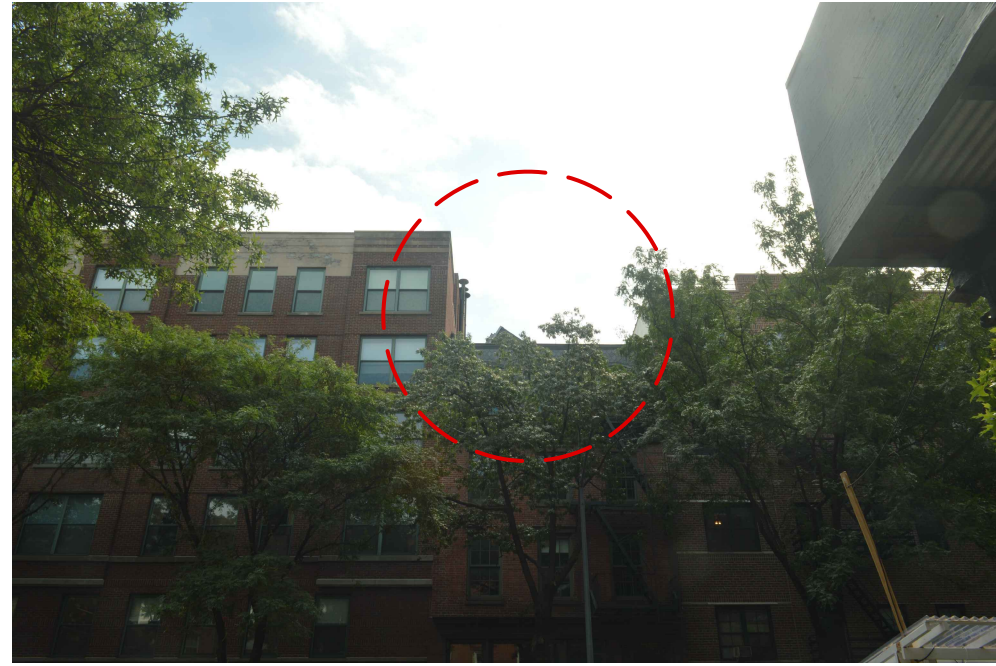


Photo - H
EMR Mockup Photos

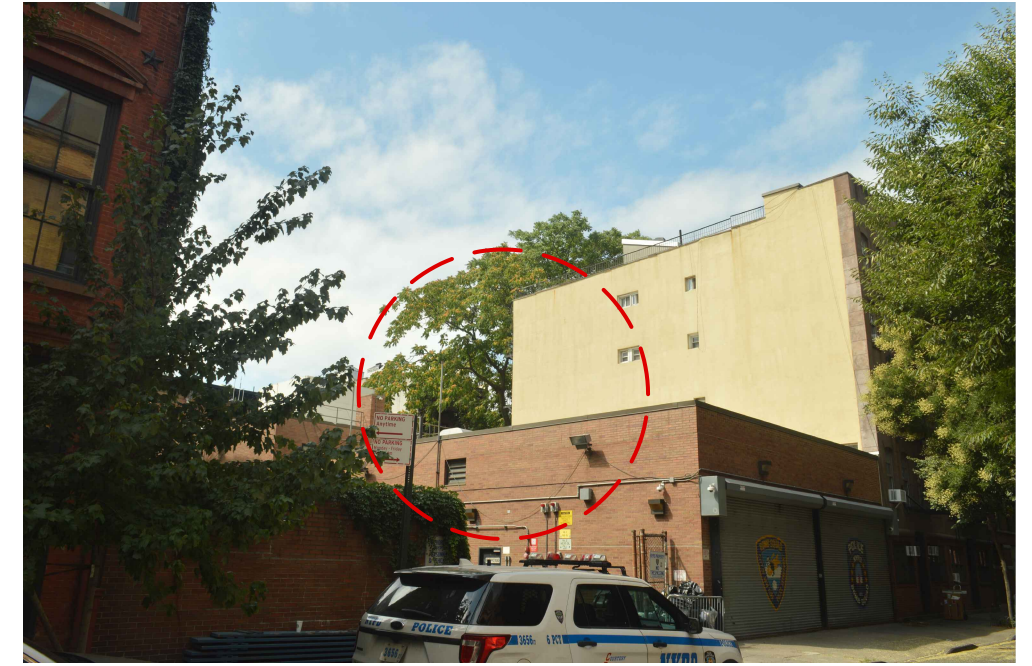


Photo - I
EMR Mockup Photos



Photo - J
EMR Mockup Photos



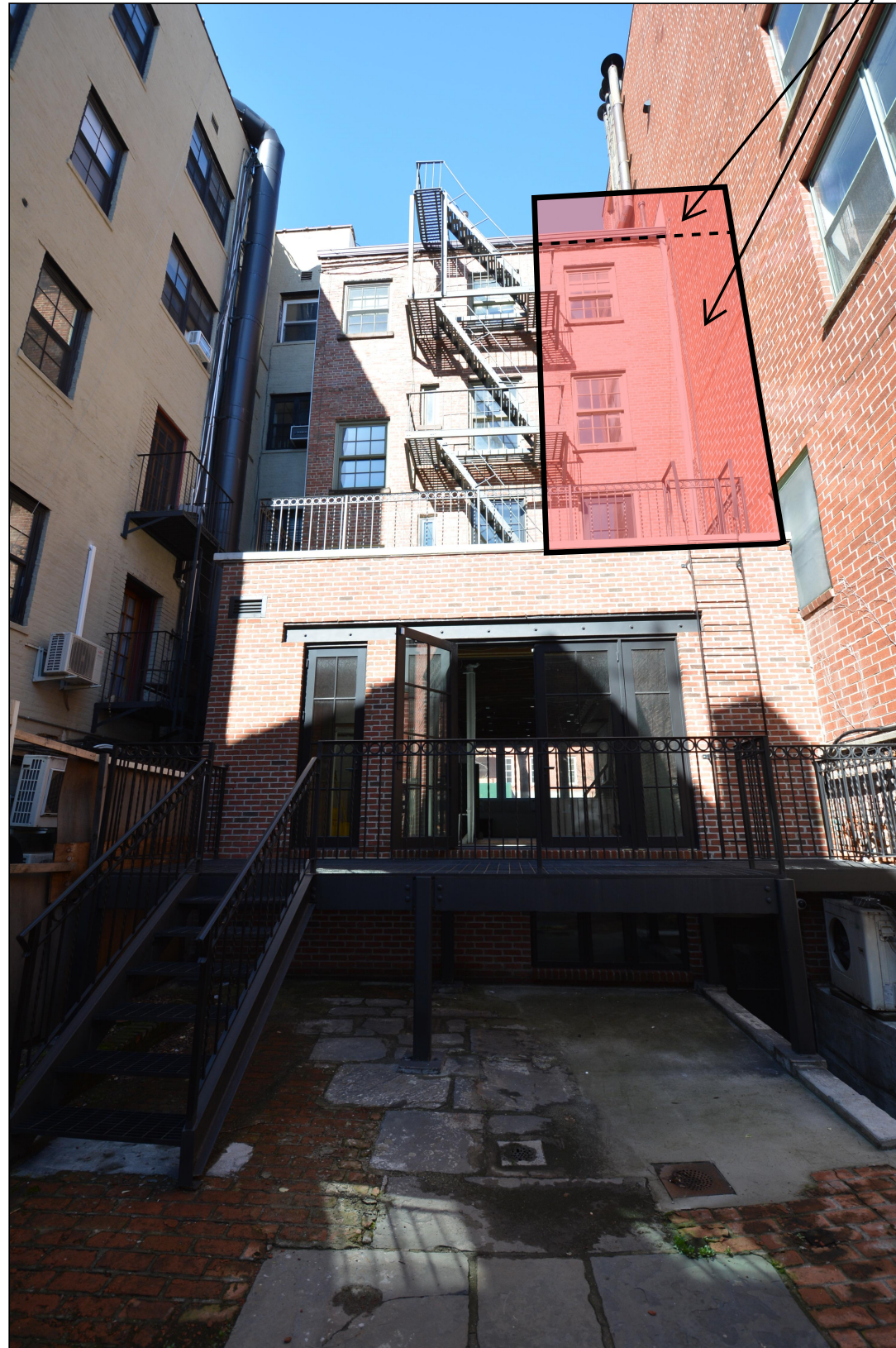
Photo - K
EMR Mockup Photos



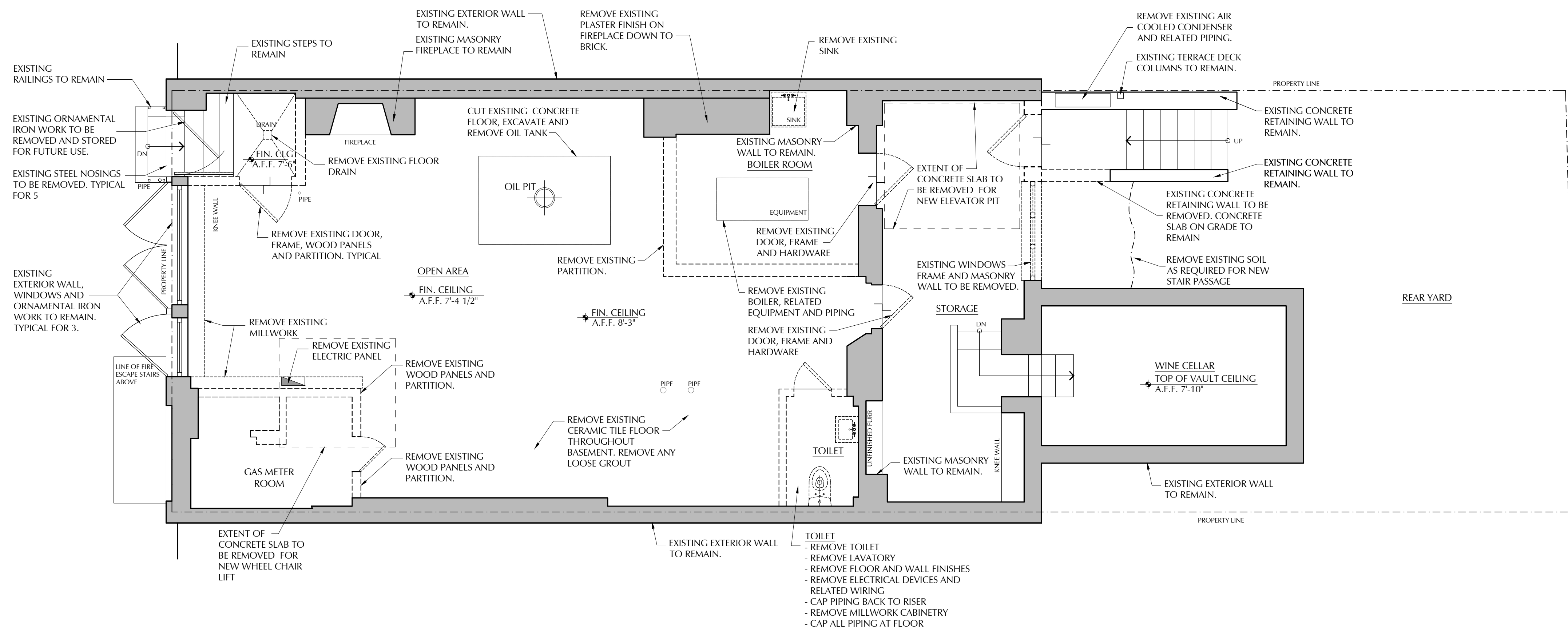
Photo - L
EMR Mockup Photos

NOTE: THERE WAS NO VISIBILITY OF THE ELEVATOR MACHINE ROOM MOCKUP

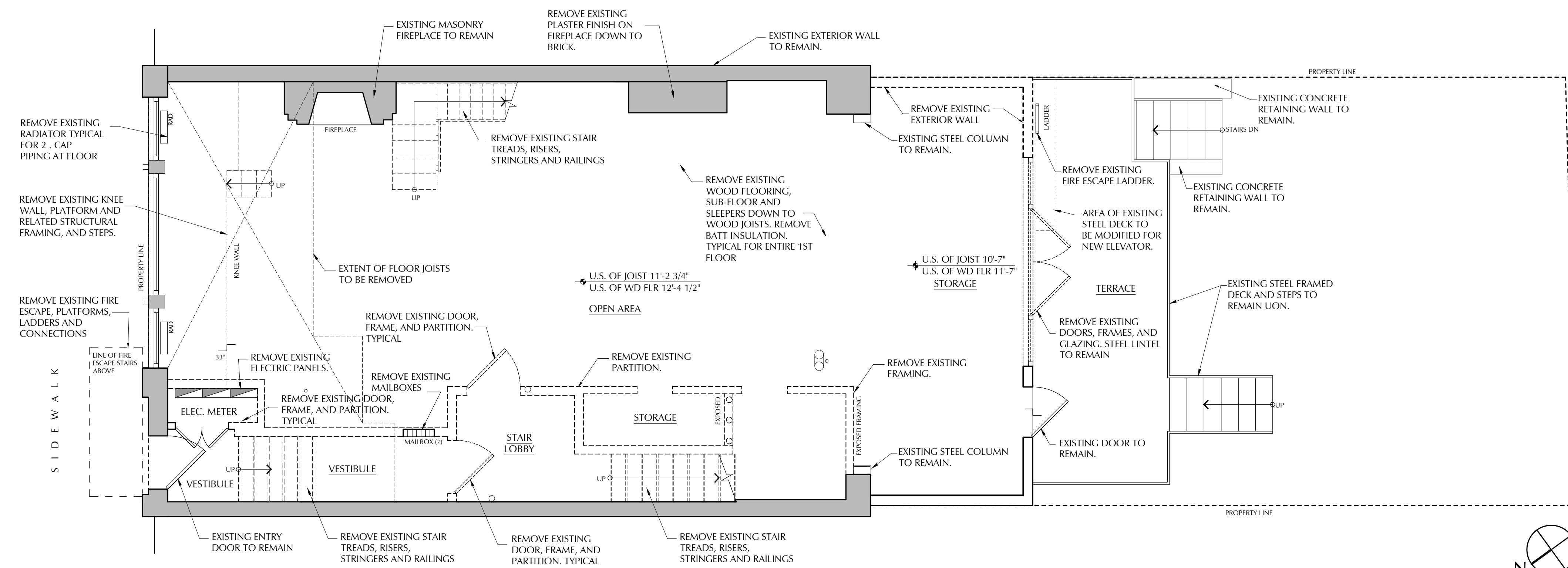
PROPOSED NEW ELEVATOR SHAFT & BULKHEAD



EXISTING REAR FACADE (LOCATION - K)



1 BASEMENT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 1ST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

1.0 DEMOLITION NOTES

- 1.1 SCOPE
A. WORK INCLUDED PERFORM DEMOLITION WORK AS SHOWN OR SPECIFIED AND IN ACCORDANCE WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- 1.2 REQUIREMENTS OF REGULATORY AGENCIES
A. PERFORM DEMOLITION WORK IN ACCORDANCE WITH APPLICABLE RULES REGULATIONS, CODES AND ORDINANCES OF LOCAL, STATE AND FEDERAL AUTHORITIES, AND IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLIC UTILITY CORPORATIONS HAVING JURISDICTION OVER THE WORK.
B. ANS A 10.6. "SAFETY REQUIREMENTS FOR DEMOLITION" SHALL GOVERN EXCEPT AS OTHERWISE SPECIFIED HEREIN, WHERE THE REQUIREMENTS SPECIFIED HEREIN OR CONTAINED IN THE ANSI STANDARD DIFFER FROM THE REQUIREMENTS SHALL GOVERN THE WORK UNDER THIS CONTRACT.
- 1.3 JOB CONDITIONS
A. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF THE STRUCTURES TO BE DEMOLISHED EXAMINE THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK, AS FAR AS IT IS PRACTICAL.
- 1.4 PROTECTION
A. PROVIDE AND MAINTAIN TEMPORARY PROTECTION OF EXISTING STRUCTURES DESIGNATED TO REMAIN, WHERE DEMOLITION, REMOVAL, AND NEW WORK IS BEING DONE MATERIALS HANDLED AS BEING MOVED.
B. PROVIDE WARNING SIGNS AND ALL OTHER ITEMS AS REQUIRED FOR THE PROPER PROTECTION OF WORKPERSONS ENGAGED IN DEMOLITION OPERATIONS. THE PUBLIC AND ADJACENT CONSTRUCTIONS.
C. PROVIDE ADEQUATE FIRE PROTECTION IN ACCORDANCE WITH LOCAL FIRE DEPARTMENT REQUIREMENTS.
D. DO NOT CLOSE OR OBSTRUCT STREETS OR SIDEWALKS WITHOUT THE PROPER PERMITS, CONDUCT OPERATIONS WITH THE MINIMUM TRAFFIC INTERFERENCE.
E. MAKE SUCH EXPLORATIONS AND PROBES AS ARE NECESSARY TO ASCERTAIN ANY REQUIRED PROTECTIVE MEASURES BEFORE PROCEEDING WITH DEMOLITION AND REMOVAL WORK. GIVE PARTICULAR ATTENTION TO SHORING AND BRACING REQUIREMENTS SO AS TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION.
F. DO NOT CLOSE OR OBSTRUCT WALKWAYS, PASSAGEWAYS, OR STAIRWAYS WITHOUT AUTHORIZATION OF THE OWNER. DO NOT STORE OR PLACE MATERIALS IN PASSAGEWAYS, STAIRS, OR OTHER MEANS OF EGRESS.
G. PROCEDURES SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.
- 1.5 DEMOLITION OPERATION
A. EXECUTE THE WORK IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE DISURBANCE TO THE PUBLIC AND NEIGHBORS, ETC.
B. IN GENERAL, DEMOLISH MASONRY IN SMALL SECTIONS. WHERE NECESSARY TO PREVENT THE COLLAPSE OF ANY CONSTRUCTION, INSTALL TEMPORARY SHORES, STRUTS, AND BRACING AS REQUIRED TO ENSURE CONTINUED STABILITY.
C. DEMOLITION AND REMOVAL WORK SHALL BE ON THE DRAWINGS AND AS REQUIRED TO MAKE WAY FOR NEW CONSTRUCTION. DO ALL SUCH WORK REQUIRED IN CONNECTION WITH THIS PROJECT WITH DUE CARE INCLUDING SHORING, BRACING, ETC. BE RESPONSIBLE FOR SUCH DAMAGE WHICH MAY BE CAUSED BY SUCH WORK OR PARTS OF THE EXISTING AND/OR ADJACENT STRUCTURE AND BUILDING SERVICES.
D. MATERIALS AND/OR ITEMS DESIGNATED ON DRAWINGS ARE TO REMAIN THE PROPERTY OF THE OWNER AND SHALL BE REMOVED WITH CARE AND STORED ON THE SITE DESIGNED BY THE OWNER; THIS IS INCLUSIVE OF ANY/ALL APPLIANCES WHICH SHALL BE SALVAGED AND READIED FOR TRANSPORT.
E. MATERIALS AND/OR ITEMS DEMOLISHED AND NOT DESIGNATED TO BECOME THE PROPERTY OF THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE OWNER PROPERTY.
F. TAKE PRECAUTIONS TO GUARD AGAINST MOVEMENT OR COLLAPSE OF ANY DESIGNATED CONSTRUCTION OR EQUIPMENT DESIGNATED TO REMAIN, AND BE LIABLE FOR SUCH MOVEMENT OR COLLAPSE.

- 1.6 NOISE CONTROL
A. WORKPERSONS VOICE COMMUNICATION SHALL BE KEPT UNDER CONTROL AT ALL TIMES.
B. NOISE MITIGATION PLAN AND ANY RELATED SITE SAFETY COMPLIANCE NOTICES ARE TO BE POSTED AND MAINTAINED AS CURRENT.
- 1.7 CLEANING UP
A. UPON COMPLETION OF ALL WORK UNDER THIS SECTION. REMOVE ALL TOOLS, MATERIALS, PLANT APPARATUS AND RUBBISH OF ANY SORT. THE PREMISES SHALL BE LEFT BROOM CLEAN.
- 2.0 PATCHING & CUTTING
A. THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, FITTING, AND PATCHING WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY, AND IT FITS TO RECEIVE OR BE RECEIVED BY WORK OF OTHER CONTRACTORS AS SHOWN UPON OR REASONABLY IMPLIED BY THE DRAWINGS AND NOTES.
B. THE GENERAL CONTRACTOR SHALL PROVIDE ALL FLOOR CUTOUTS AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL WORK.
C. THE GENERAL CONTRACTOR SHALL SURVEY ALL EXISTING FINISHED SURFACES INCLUDING CORNER BEADS, STOPS, ETC. FOR CHIPS, CRACKS, HOLES, DAMAGED SURFACES WHEREVER DOOR BUCKS HAVE BEEN MOVED AND ANY OTHER DEFECTS CAUSING AN APPEARANCE DIFFERENT FROM A NEW FIRST CLASS FINISHED INSTALLATION. THESE DEFECTIVE SURFACED SHALL BE REPAIRED OR IF BEYOND REPAIRING. THEN THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING AND INSTALL NEW SURFACES TO THE SATISFACTION OF THE ARCHITECT.
D. ALL OTHER DAMAGED SURFACED FINISHED FLOOR CEILING, ETC. SHALL BE REPAIRED TO THE SATISFACTION OF THE ARCHITECT.
E. ALL DAMAGED EXISTING AREAS TO REMAIN AND EXISTING AREAS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WORK SHOWN ON DRAWING SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATE EXISTING ADJACENT ARE AS IN MATERIALS, FIRE RATING, FINISH AND COLOR UNLESS OTHERWISE NOTED.
- 3.0 ASBESTOS NOTES
ASBESTOS PRESENT IN THE BUILDING IS TO BE SELECTIVELY DEMOLISHED. A REPORT ON THE PRESENCE OF ASBESTOS IS ON FILE FOR REVIEW AND USE. EXAMINE THE REPORT TO BECOME AWARE OF LOCATIONS WHERE ASBESTOS IS PRESENT.
A. ASBESTOS ABATEMENT IS SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.
B. DO NOT DISTURB ASBESTOS OR ANY MATERIAL SUSPECTED OF CONTAINING ASBESTOS EXCEPT UNDER THE PROCEDURES SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.

REFERENCE SYMBOLS

ROOM NAME	ROOM #	CEILING HEIGHT	FLOOR FINISH	WALL FINISH	CEILING FINISH
ROOM #	ROOM #	X'X"	---	---	---
XXX	---	---	---	---	---

1 CONSTRUCTION PLAN
SCALE:

⊕ - PLAN NORTH
- PROPERTY LINE
5'-0" - DIMENSION LINE

DRAWING LEGEND

EX	-EXIST. WALL TO REMAIN
---	-EXIST. WALL TO BE REMOVED
◆	-NEW WALL TYPE
SC	-HARD WIRE SMOKE/CARBON MONOXIDE DETECTOR
⊗	-EXIT SIGN
FPSC	-FIRE PROOF SELF CLOSING
▨	-NOT IN CONTRACT

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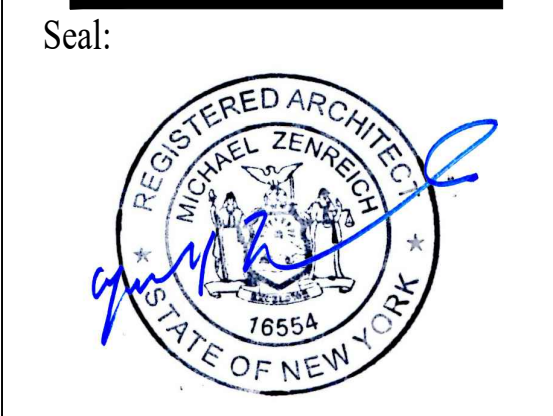
ELEVATOR COMPANY:
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New York, NY 10018

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Issue Name	Issue Date
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DOB Review Set	07.19.2022

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Location:
526 Hudson Street
New York, NY 10021

Title:
BASEMENT & 1ST FL
DEMOLITION PLANS

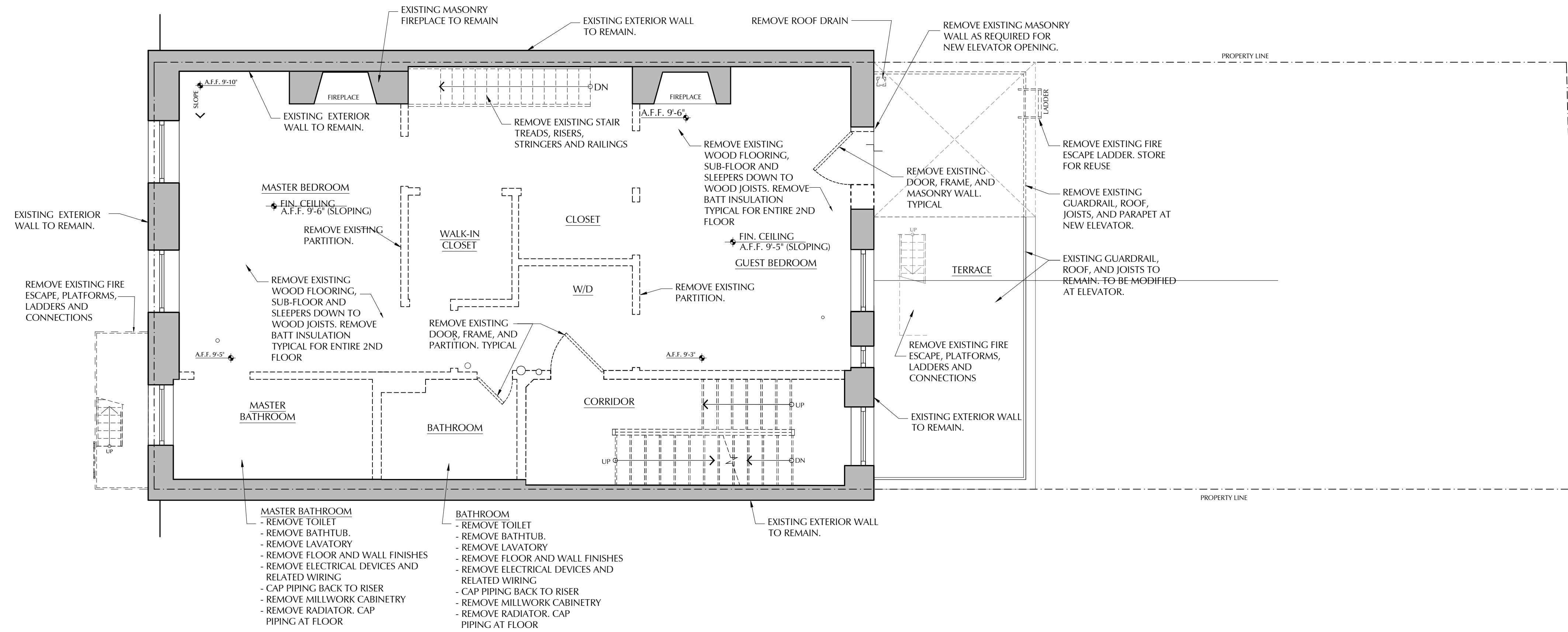
Date: 07.19.2022
Scale: As Noted
Project #: 2022 - 26
Drawing No.:

DM-101.00

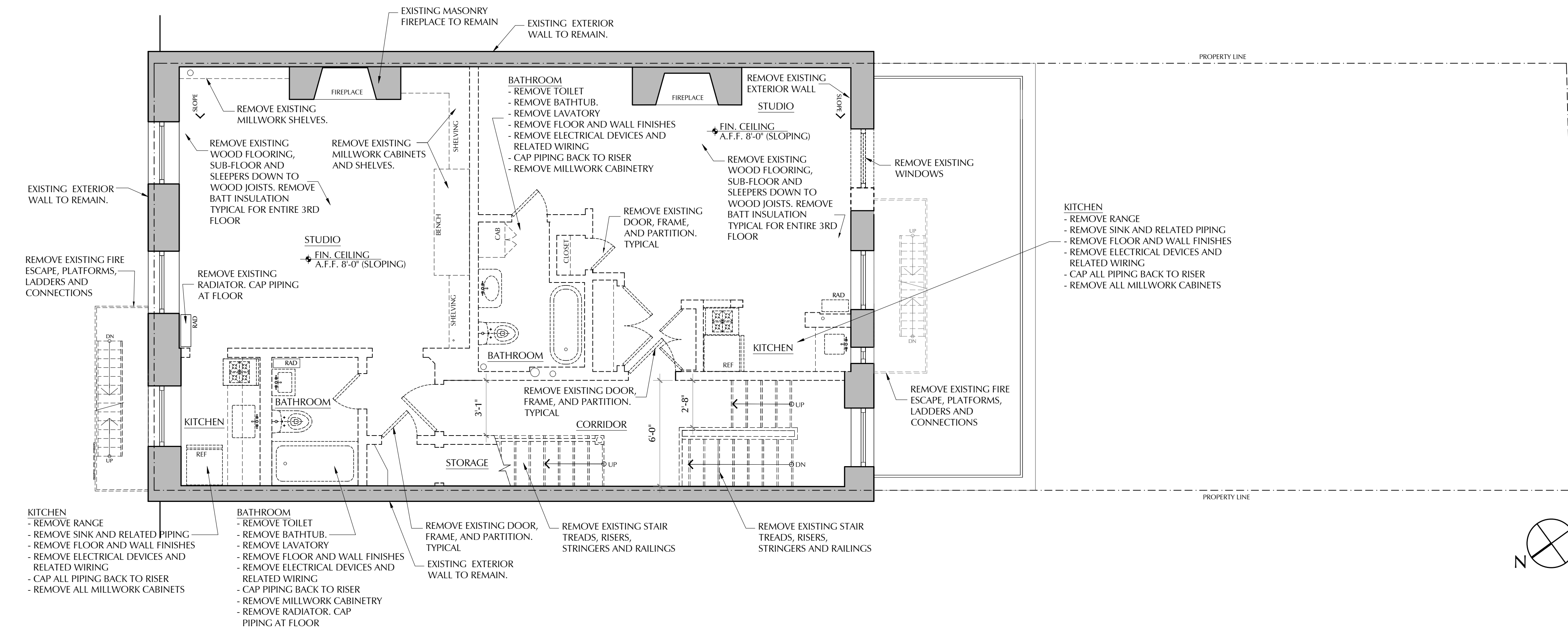
DOB Job#:

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Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.19.2022



1 2ND FLOOR DEMOLITION PLAN
 SCALE: 1/4"=1'-0"



2 3RD FLOOR DEMOLITION PLAN
 SCALE: 1/4"=1'-0"

SEE DRAWING A-101.00 FOR DEMOLITION NOTES

REFERENCE SYMBOLS

ROOM #	ROOM #		
XX'X"	CEILING HEIGHT	-FINISH SYMBOL	
XXX	FLOOR FINISH		
	WALL FINISH		
	CEILING FINISH		

1 CONSTRUCTION PLAN -DRAWING TITLE
 SCALE:

⊕ -PLAN NORTH

— — — -PROPERTY LINE

5'-0" -DIMENSION LINE

DRAWING LEGEND

EX	-EXIST. WALL TO REMAIN
---	-EXIST. WALL TO BE REMOVED
◆	-NEW WALL TYPE
SC	-HARD WIRE SMOKE/CARBON MONOXIDE DETECTOR
⊗	-EXIT SIGN
FPSC	-FIRE PROOF SELF CLOSING
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Drawn By: RC / JW
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Location:
 526 Hudson Street
 New York, NY 10021

Title:
 2ND & 3RD FLOOR
 DEMOLITION PLANS

Date: 07.19.2022
 Scale: As Noted
 Project #: 2022 - 26
 Drawing No.:

DM-102.00

DOB Job#:

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Seal:



Location :

**526 Hudson Street
 New York, NY 10021**

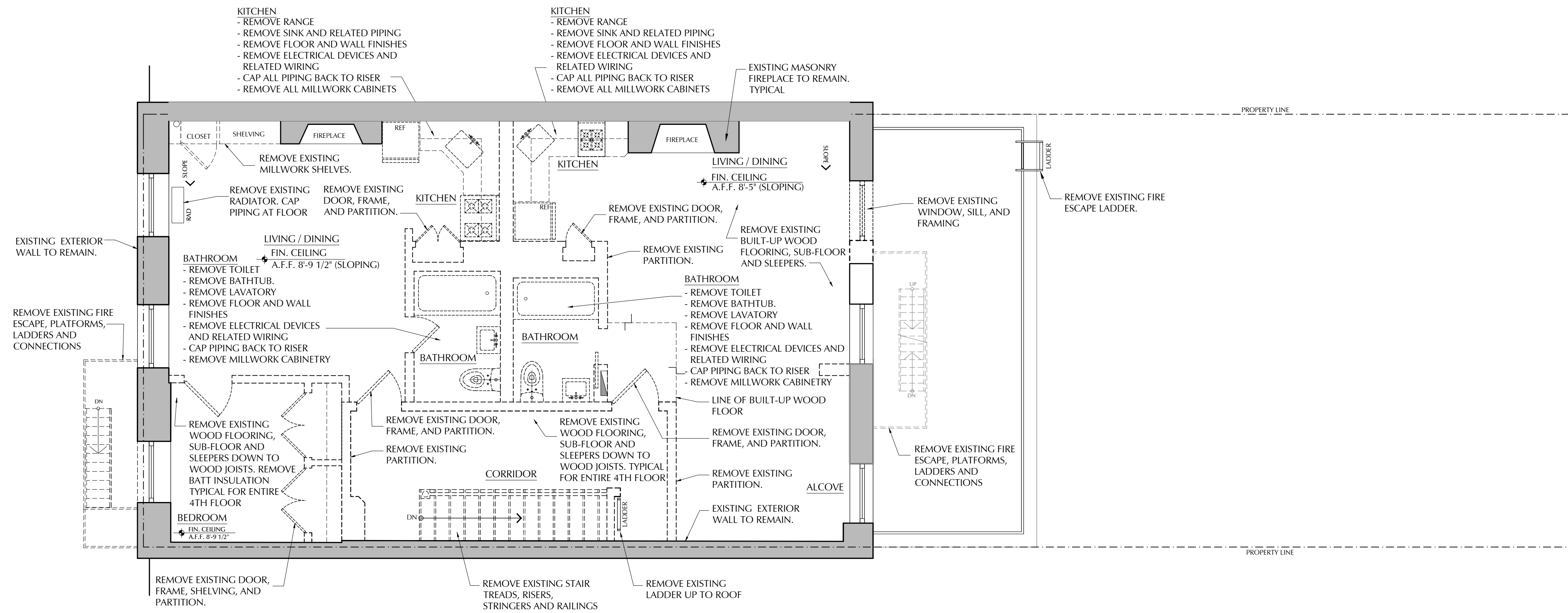
Title:

**4TH FLOOR & ROOF
 DEMOLITION PLANS**

Date: 07.19.2022
 Scale: As Noted
 Project #: 2022 - 26
 Drawing No.:

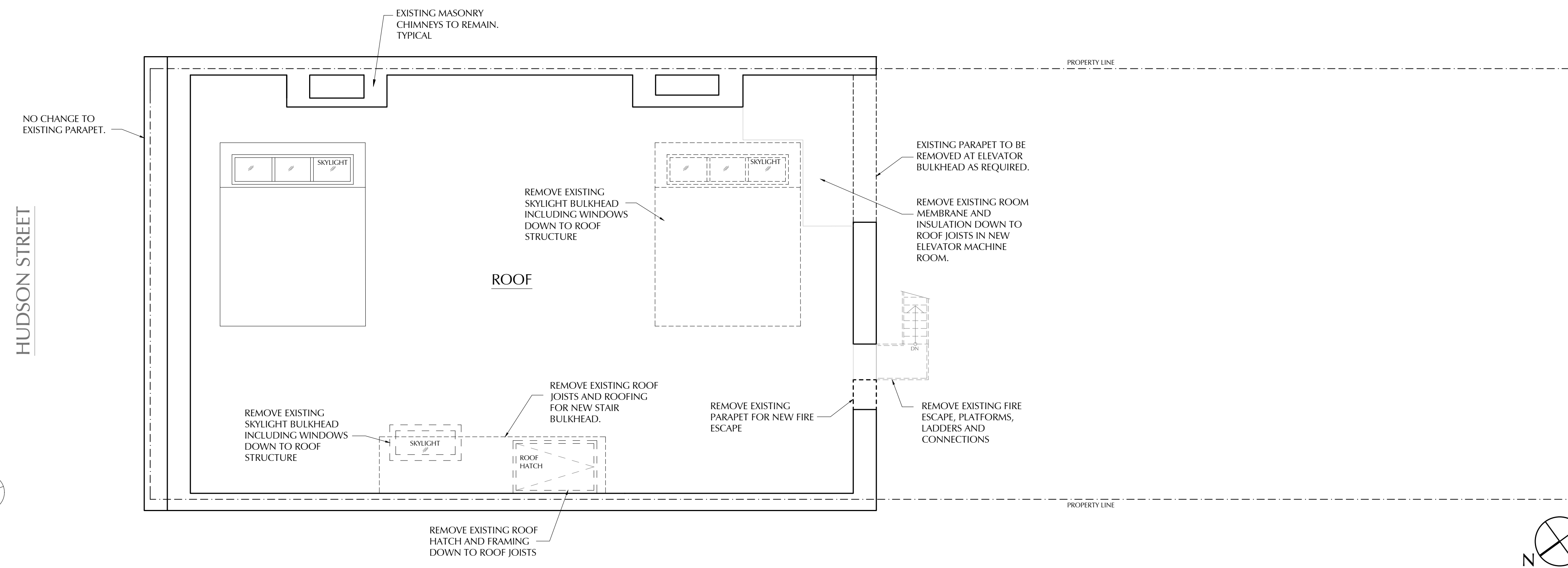
DM-103.00

DOB Job#:



SEE DRAWING A-101.00 FOR DEMOLITION NOTES

1 4TH FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"



2 ROOF DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

REFERENCE SYMBOLS

ROOM NAME	ROOM #	CEILING HEIGHT	FLOOR FINISH	WALL FINISH	CEILING FINISH
XXX	ROOM #	X'X"	---	-FINISH SYMBOL	---
XXX	---	---	---	---	---

1 CONSTRUCTION PLAN
 SCALE: 1/4" = 1'-0"

⊕	-PLAN NORTH
---	-PROPERTY LINE
---	-DIMENSION LINE

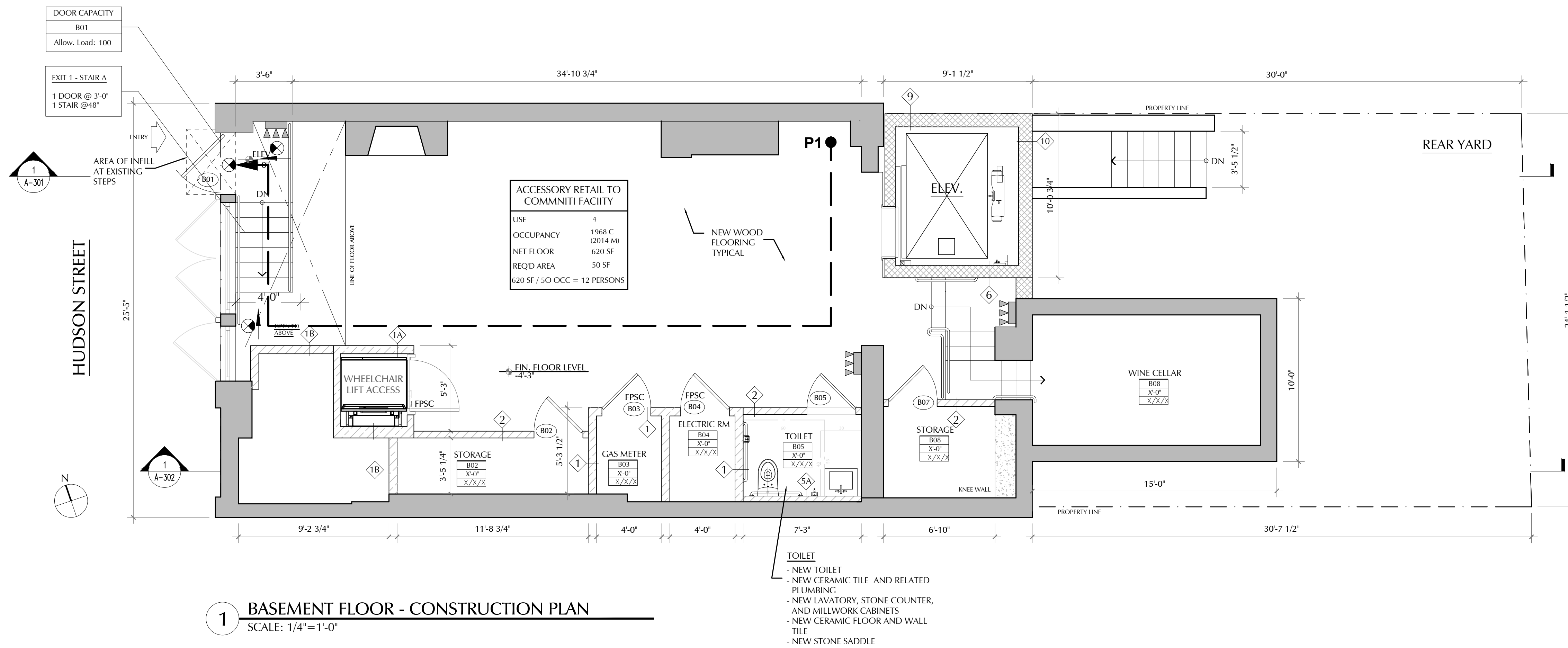
DRAWING LEGEND

EX	-EXIST. WALL TO REMAIN
---	-EXIST. WALL TO BE REMOVED
---	-NEW WALL TYPE
SC	-HARD WIRE SMOKE/CARBON MONOXIDE DETECTOR
⊗	-EXIT SIGN
FPSC	-FIRE PROOF SELF CLOSING
---	-NOT IN CONTRACT

5'-0"

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Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.29.2022



1 BASEMENT FLOOR - CONSTRUCTION PLAN
 SCALE: 1/4" = 1'-0"

- TOILET
 - NEW TOILET
 - NEW CERAMIC TILE AND RELATED PLUMBING
 - NEW LAVATORY, STONE COUNTER, AND MILLWORK CABINETS
 - NEW CERAMIC FLOOR AND WALL TILE
 - NEW STONE SADDLE

FLOOR	ROOM NAME	ROOM NET AREA	OCC. NET AREA	OCC. (ALLOW)	OCC. (ACTUAL)	COMPLIANCE
BASEMENT	RETAIL	620 SF	50	12	12	COMPLIES
TOTAL				12	12	COMPLIES

LOCATION	TRAVEL DISTANCE	PROPOSED DISTANCE	MAX. ALLOWED	PROPOSED < ALLOWED	COMPLIANCE
BASEMENT	PRIMARY TRAVEL	50'-0"	< 200'-0"	50'-0" < 200'-0"	COMPLIES

EXIT #	STAIR	EXIT DOOR WIDTH	DOOR CAPACITY PER UNIT OF WIDTH	NUMBER OF EXIT UNITS	TOTAL CAPACITY DOOR WIDTH	EXIT STAIR WIDTH	STAIR CAPACITY PER UNIT OF WIDTH	NUMBER OF EXIT UNITS	TOTAL CAPACITY STAIR WIDTH
1	A	(1) X 3'-0"	100 PERSONS	1	100	48"	60	1	60
TOTAL			100 PERSONS	1	100	48"	60	1	60

12 PERSON < 60 = COMPLIES

REQUIRED # OF TOILETS	PROVIDED # OF TOILETS	REQUIRED # OF LAVATORIES	PROVIDED # OF LAVATORIES	REQUIRED # OF SERVICE SINK	PROVIDED # OF SERVICE SINK	REQUIRED # OF DRINKING FOUNTAINS	PROVIDED # OF DRINKING FOUNTAINS
1 PER 500 PERSON (1 REQ'D)	1	1 PER 750 PERSON (1 REQ'D)	1	1 SERVICE SINK REQ'D (1)	1	0 IF OCCUPANT LOAD < 15 PERSONS (0 REQ'D)	0
	COMPLIES		COMPLIES		COMPLIES		COMPLIES

LEGEND

- INDICATES EXISTING WALLS
- INDICATES TO BE DEMOLISHED
- INDICATES NEW WALLS
- INDICATES NEW WALLS
- 2 HOUR RATED PARTITION DEFINING SAFE AREA
- PRIMARY TRAVEL DISTANCE
- 3 BULB EMERGENCY LIGHT FIXTURE
- DIRECTIONAL EXIT SIGN

Drawn By: RC / JW
 Checked By: RC / JW

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS ARE TO BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

Seal:



Location:

526 Hudson Street
 New York, NY 10021

Title:

BASEMENT FLOOR
 CONSTRUCTION PLAN

Date: 07.29.2022

Scale: As Noted

Project #: 2022 - 26

Drawing No.:

A-101.00

DOB Job#:

M00776650-11

CLIENT:
 C/o Our Neighborhood Place
 526 Hudson Street
 New York, NY 1001

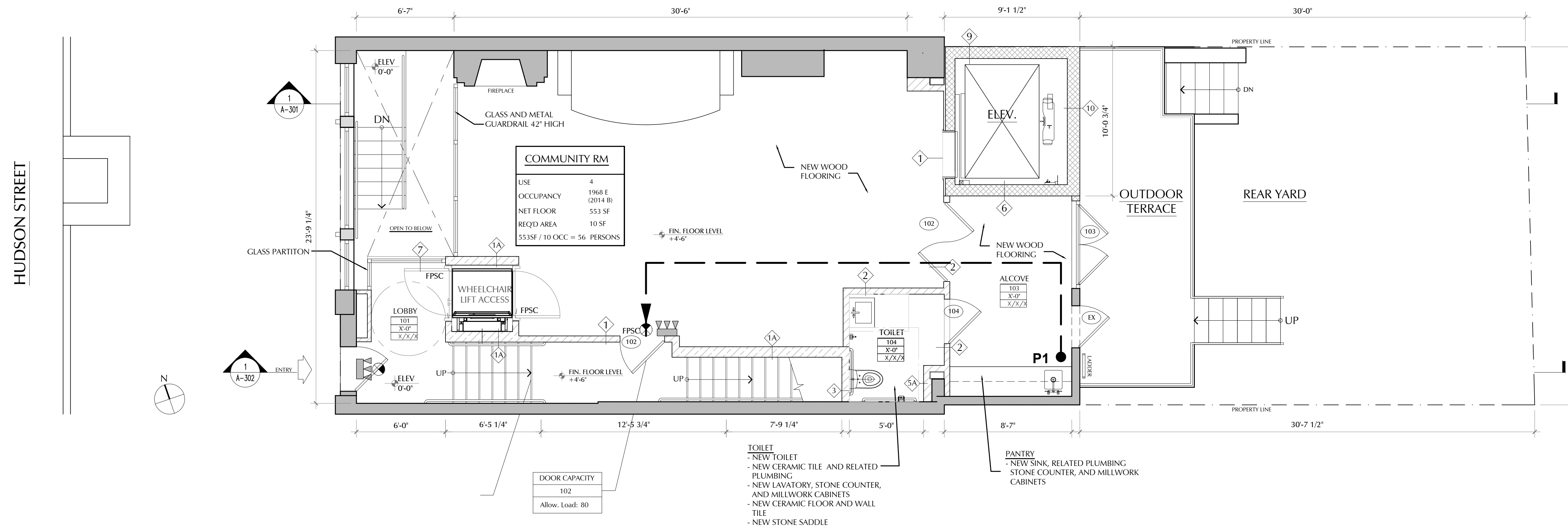
MEP ENGINEER:
 HH Design
 Consulting, LTD.
 1751 Second Avenue, 201
 New York, NY 10128

STRUCTURAL ENGINEER:
 Old Structures
 90 Broad St, 15th Floor
 New York, NY 10004

ELEVATOR COMPANY:
 Metropolitan Elevator
 330 West 38th Street, Suite 903
 New York, NY 10018

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Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.29.2022



1 FIRST FLOOR - CONSTRUCTION PLAN
 SCALE: 1/4" = 1'-0"

FLOOR	ROOM NAME	ROOM NET AREA	OCC. NET AREA	OCC. (ALLOW)	OCC. (ACTUAL)	COMPLIANCE
1ST FLOOR	COMMUNITY ROOM	553 SF	10	56	56	COMPLIES
TOTAL				56	56	COMPLIES

LOCATION	TRAVEL DISTANCE	PROPOSED DISTANCE	MAX. ALLOWED	PROPOSED < ALLOWED	COMPLIANCE
1ST FLOOR	PRIMARY TRAVEL	39'-2"	< 200'-0"	39'-2" < 200'-0"	COMPLIES

EXIT #	STAIR	EXIT DOOR WIDTH	DOOR CAPACITY PER UNIT OF WIDTH	NUMBER OF EXIT UNITS	TOTAL CAPACITY DOOR WIDTH	EXIT STAIR WIDTH	STAIR CAPACITY PER UNIT OF WIDTH	NUMBER OF EXIT UNITS	TOTAL CAPACITY STAIR WIDTH
1	A	(1) X 3'-0"	80 PERSONS	1	80	48"	60	1	60
TOTAL			80 PERSONS	1	80	48"	60	1	60

56 PERSON < 60 = COMPLIES

REQUIRED # OF TOILETS	PROVIDED # OF TOILETS	REQUIRED # OF LAVATORIES	PROVIDED # OF LAVATORIES	REQUIRED # OF SERVICE SINK	PROVIDED # OF SERVICE SINK	REQUIRED # OF DRINKING FOUNTAINS	PROVIDED # OF DRINKING FOUNTAINS
1 PER 70M/35F (1 REQ'D)	1	1 PER 200 PERSON (1 REQ'D)	1	1 SERVICE SINK REQ'D (1)	1	1 PER 500 PERSON (1 REQ'D)	1
	COMPLIES		COMPLIES		COMPLIES		COMPLIES

- LEGEND**
- INDICATES EXISTING WALLS
 - INDICATES TO BE DEMOLISHED
 - INDICATES NEW WALLS
 - INDICATES NEW WALLS
 - 2 HOUR RATED PARTITION DEFINING SAFE AREA
 - PRIMARY TRAVEL DISTANCE
 - 3 BULB EMERGENCY LIGHT FIXTURE
 - DIRECTIONAL EXIT SIGN

Drawn By: RC / JW
 Checked By: RC / JW

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Seal:



Location:

526 Hudson Street
 New York, NY 10021

Title:

FIRST FLOOR
 CONSTRUCTION PLAN

Date: 07.29.2022
 Scale: As Noted
 Project #: 2022 - 26
 Drawing No.:

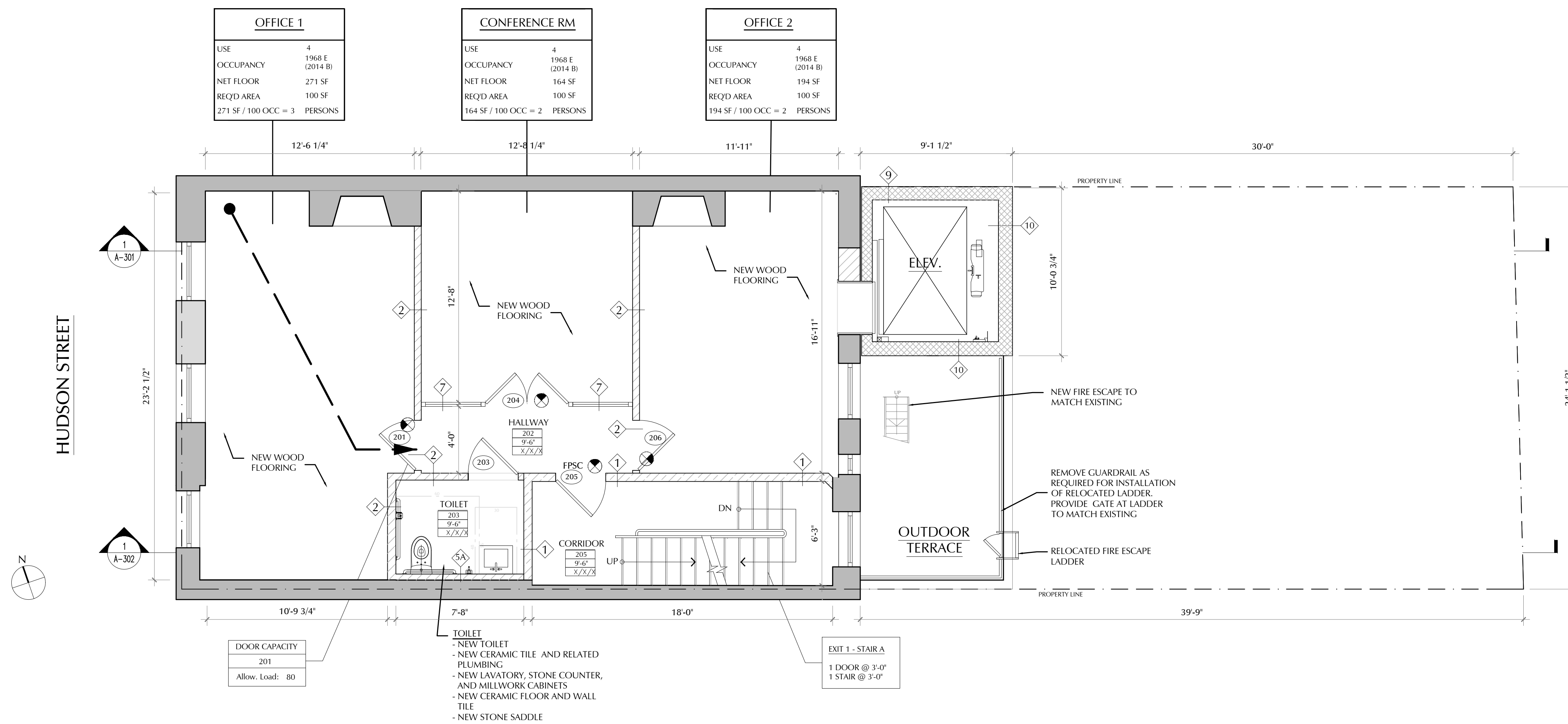
A-102.00

DOB Job#:

M00776650-11

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Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.29.2022



1 SECOND FLOOR - CONSTRUCTION PLAN
 SCALE: 1/4" = 1'-0"

FLOOR	ROOM NAME	ROOM NET AREA	OCC. NET AREA	OCC. (ALLOW)	OCC. (ACTUAL)	COMPLIANCE
2ND FLOOR	OFFICE 1	271 SF	100	3	3	COMPLIES
2ND FLOOR	CONFERENCE ROOM	164 SF	100	2	2	COMPLIES
2ND FLOOR	OFFICE 2	194 SF	100	2	2	COMPLIES
TOTAL				7	7	COMPLIES

LOCATION	TRAVEL DISTANCE	PROPOSED DISTANCE	MAX. ALLOWED	PROPOSED < ALLOWED	COMPLIANCE
2ND FLOOR	PRIMARY TRAVEL	19'-11"	< 300'-0"	19'-11" < 300'-0"	COMPLIES

EXIT #	STAIR	EXIT DOOR WIDTH	DOOR CAPACITY PER UNIT OF WIDTH	NUMBER OF EXIT UNITS	TOTAL CAPACITY DOOR WIDTH	EXIT STAIR WIDTH	STAIR CAPACITY PER UNIT OF WIDTH	NUMBER OF EXIT UNITS	TOTAL CAPACITY STAIR WIDTH
1	A	(1) X 3'-0"	80 PERSONS	1	80	48"	60	1	60
TOTAL			80 PERSONS	1	80	48"	60	1	60

7 PERSON < 60 = COMPLIES

REQUIRED # OF TOILETS	PROVIDED # OF TOILETS	REQUIRED # OF LAVATORIES	PROVIDED # OF LAVATORIES	REQUIRED # OF SERVICE SINK	PROVIDED # OF SERVICE SINK	REQUIRED # OF DRINKING FOUNTAINS	PROVIDED # OF DRINKING FOUNTAINS
1 PER 20 PERSON (1 REQ'D)	1	1 PER 25 PERSON (2 REQ'D)	1	1 SERVICE SINK REQ'D (1)	0	0 IF OCCUPANT LOAD < 15 PERSONS (0 REQ'D)	0
	COMPLIES		COMPLIES		COMPLIES		COMPLIES

LEGEND

- INDICATES EXISTING WALLS
- INDICATES TO BE DEMOLISHED
- INDICATES NEW WALLS
- INDICATES NEW WALLS
- 2 HOUR RATED PARTITION DEFINING SAFE AREA
- PRIMARY TRAVEL DISTANCE
- 3 BULB EMERGENCY LIGHT FIXTURE
- DIRECTIONAL EXIT SIGN

Drawn By: RC / JW
 Checked By: RC / JW

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Seal:



Location:

526 Hudson Street
 New York, NY 10021

Title:

SECOND FLOOR
 CONSTRUCTION PLAN

Date: 07.29.2022
 Scale: As Noted
 Project #: 2022 - 26
 Drawing No.:

A-103.00

DOB Job#:

M00776650-11

CLIENT:
 C/o Our Neighborhood Place
 526 Hudson Street
 New York, NY 1001

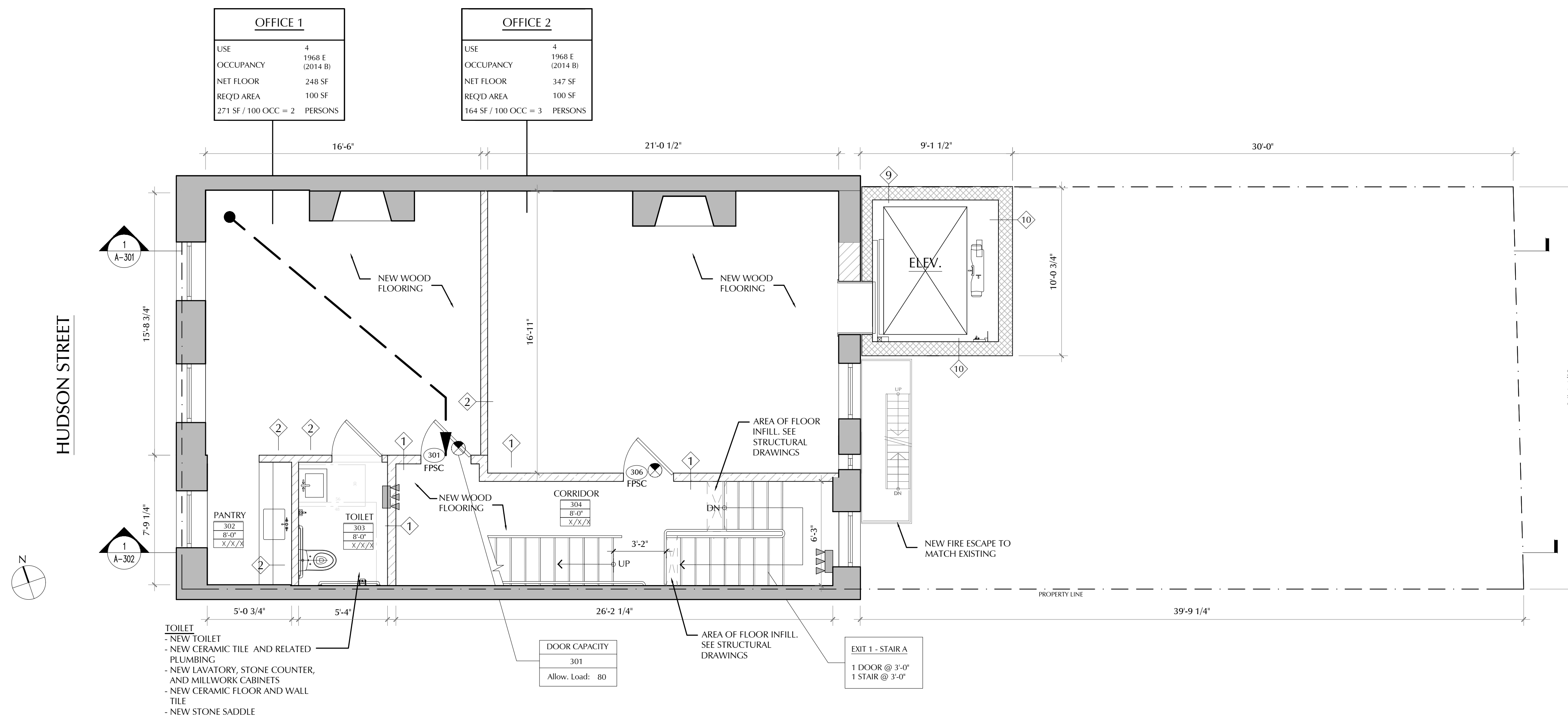
MEP ENGINEER:
 HH Design
 Consulting, LTD.
 1751 Second Avenue, 201
 New York, NY 10128

STRUCTURAL ENGINEER:
 Old Structures
 90 Broad St, 15th Floor
 New York, NY 10004

ELEVATOR COMPANY:
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 New York, NY 10018

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Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.29.2022



1 THIRD FLOOR - CONSTRUCTION PLAN
 SCALE: 1/4" = 1'-0"

FLOOR	ROOM NAME	ROOM NET AREA	OCC. NET AREA	OCC. (ALLOW)	OCC. (ACTUAL)	COMPLIANCE
3RD FLOOR	OFFICE 1	248 SF	100	2	2	COMPLIES
3RD FLOOR	OFFICE 2	347 SF	100	3	3	COMPLIES
TOTAL				5	5	COMPLIES

LOCATION	TRAVEL DISTANCE	PROPOSED DISTANCE	MAX. ALLOWED	PROPOSED < ALLOWED	COMPLIANCE
3RD FLOOR	PRIMARY TRAVEL	20'-4"	< 300'-0"	20'-4" < 300'-0"	COMPLIES

EXIT #	STAIR	EXIT DOOR WIDTH	DOOR CAPACITY PER UNIT OF WIDTH	NUMBER OF EXIT UNITS	TOTAL CAPACITY DOOR WIDTH	EXIT STAIR WIDTH	STAIR CAPACITY PER UNIT OF WIDTH	NUMBER OF EXIT UNITS	TOTAL CAPACITY STAIR WIDTH
1	A	(1) X 3'-0"	80 PERSONS	1	80	36'	60	1	60
TOTAL			80 PERSONS	1	80	36'	60	1	60

REQUIRED # OF TOILETS	PROVIDED # OF TOILETS	REQUIRED # OF LAVATORIES	PROVIDED # OF LAVATORIES	REQUIRED # OF SERVICE SINK	PROVIDED # OF SERVICE SINK	REQUIRED # OF DRINKING FOUNTAINS	PROVIDED # OF DRINKING FOUNTAINS
1 PER 20 PERSON (1 REQ'D)	1	1 PER 25 PERSON (2 REQ'D)	1	1 SERVICE SINK REQ'D (1)	0	0 IF OCCUPANT LOAD < 15 PERSONS (0 REQ'D)	0
	COMPLIES		COMPLIES		COMPLIES		COMPLIES

LEGEND

- INDICATES EXISTING WALLS
- INDICATES TO BE DEMOLISHED
- INDICATES NEW WALLS
- INDICATES NEW WALLS
- 2 HOUR RATED PARTITION DEFINING SAFE AREA
- PRIMARY TRAVEL DISTANCE
- 3 BULB EMERGENCY LIGHT FIXTURE
- DIRECTIONAL EXIT SIGN

Drawn By: RC / JW
 Checked By: RC / JW

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Seal:



Location:

526 Hudson Street
 New York, NY 10021

Title:

THIRD FLOOR
 CONSTRUCTION PLAN

Date: 07.29.2022
 Scale: As Noted
 Project #: 2022 - 26
 Drawing No.:

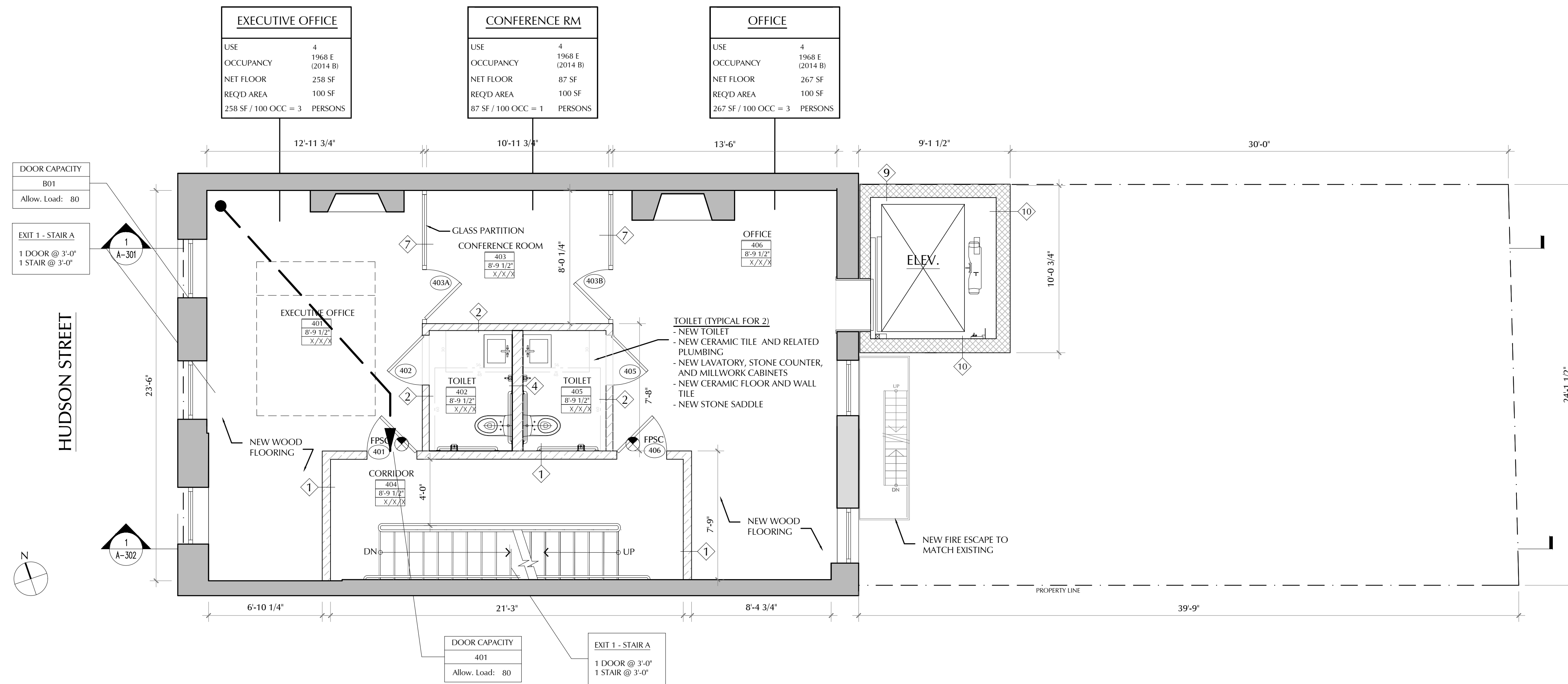
A-104.00

DOB Job#:

M00776650-11

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Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.29.2022



1 FOURTH FLOOR - CONSTRUCTION PLAN
 SCALE: 1/4"=1'-0"

FLOOR	ROOM NAME	ROOM NET AREA	OCC. NET AREA	OCC. (ALLOW)	OCC. (ACTUAL)	COMPLIANCE
4RD FLOOR	OFFICE 1	271 SF	100	3	3	COMPLIES
4RD FLOOR	CONFERENCE ROOM	164 SF	100	1	1	COMPLIES
4RD FLOOR	OFFICE 2	194 SF	100	3	3	COMPLIES
TOTAL				7	7	COMPLIES

LOCATION	TRAVEL DISTANCE	PROPOSED DISTANCE	MAX. ALLOWED	PROPOSED < ALLOWED	COMPLIANCE
4RD FLOOR	PRIMARY TRAVEL	18'-8"	< 300'-0"	18'-8" < 300'-0"	COMPLIES

EXIT #	STAIR	EXIT DOOR WIDTH	DOOR CAPACITY PER UNIT OF WIDTH	NUMBER OF EXIT UNITS	TOTAL CAPACITY DOOR WIDTH	EXIT STAIR WIDTH	STAIR CAPACITY PER UNIT OF WIDTH	NUMBER OF EXIT UNITS	TOTAL CAPACITY STAIR WIDTH
1	A	(1) X 3'-0"	80 PERSONS	1	80	48"	60	1	60
TOTAL			80 PERSONS	1	80	48"	60	1	60

7 PERSON < 60 = COMPLIES

REQUIRED # OF TOILETS	PROVIDED # OF TOILETS	REQUIRED # OF LAVATORIES	PROVIDED # OF LAVATORIES	REQUIRED # OF SERVICE SINK	PROVIDED # OF SERVICE SINK	REQUIRED # OF DRINKING FOUNTAINS	PROVIDED # OF DRINKING FOUNTAINS
1 PER 20 PERSON (1 REQ'D)	1	1 PER 25 PERSON (2 REQ'D)	1	1 SERVICE SINK REQ'D (1)	0	0 IF OCCUPANT LOAD < 15 PERSONS (0 REQ'D)	0
	COMPLIES		COMPLIES		COMPLIES		COMPLIES

LEGEND

- INDICATES EXISTING WALLS
- INDICATES TO BE DEMOLISHED
- INDICATES NEW WALLS
- INDICATES NEW WALLS
- 2 HOUR RATED PARTITION DEFINING SAFE AREA
- PRIMARY TRAVEL DISTANCE
- 3 BULB EMERGENCY LIGHT FIXTURE
- DIRECTIONAL EXIT SIGN

Seal:



Location:

526 Hudson Street
 New York, NY 10021

Title:

FOURTH FLOOR
 CONSTRUCTION PLAN

Date: 07.29.2022

Scale: As Noted

Project #: 2022 - 26

Drawing No.:

A-105.00

DOB Job#:

M00776650-11

MICHAEL ZENREICH, PC
 ARCHITECT
 149 West 36th Street, 7 Fl.
 New York, N.Y. 10018
 Tel. (212) 242-7440

526 HUDSON STREET
NEW YORK, NY 10021
 BUILDING RENOVATION

CLIENT:
 C/o Our Neighborhood Place
 526 Hudson Street
 New York, NY 1001

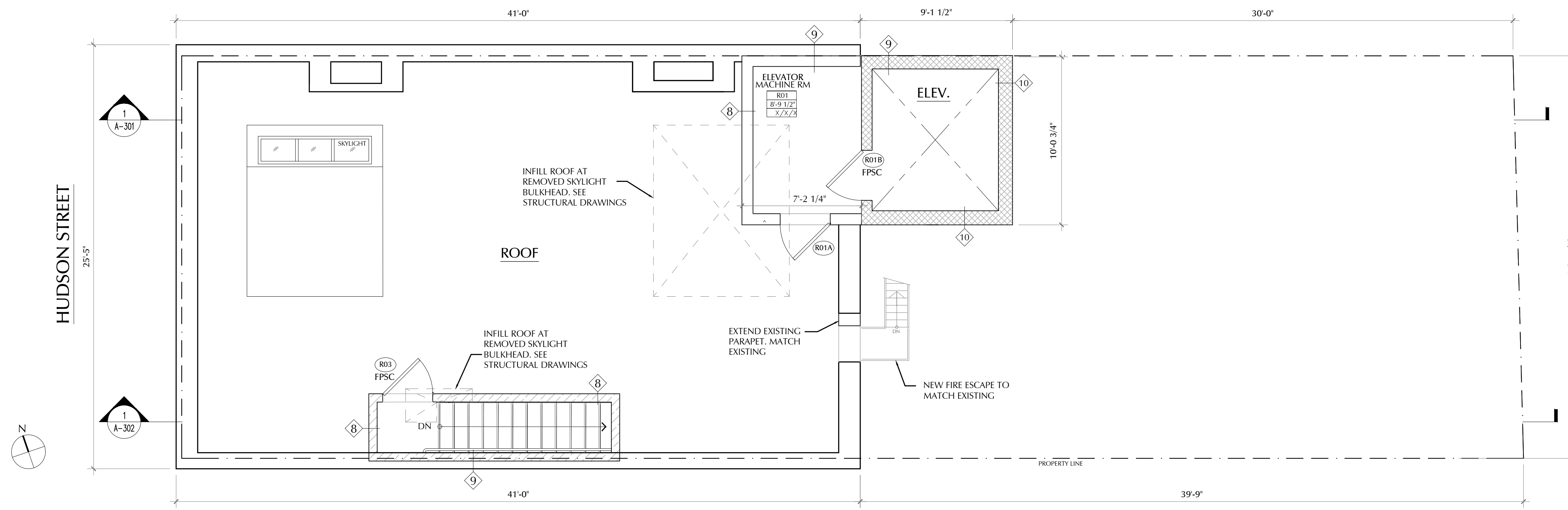
MEP ENGINEER:
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 1751 Second Avenue, 201
 New York, NY 10128

STRUCTURAL ENGINEER:
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Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.29.2022



1 ROOF - CONSTRUCTION PLAN
 SCALE: 1/4"=1'-0"

LEGEND

- INDICATES EXISTING WALLS
- INDICATES TO BE DEMOLISHED
- INDICATES NEW WALLS
- INDICATES NEW WALLS
- 2 HOUR RATED PARTITION DEFINING SAFE AREA
- PRIMARY TRAVEL DISTANCE
- 3 BULB EMERGENCY LIGHT FIXTURE
- DIRECTIONAL EXIT SIGN

Drawn By: RC / JW
 Checked By: RC / JW

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Seal:



Location :

526 Hudson Street
New York, NY 10021

Title:

ROOF
CONSTRUCTION PLAN

Date: **07.29.2022**
 Scale: **As Noted**
 Project #: 2022 - 26
 Drawing No.:

A-106.00

DOB Job#:
 M00776650-11

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Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.19.2022

Drawn By: RC / JW
 Checked By: RC / JW

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS ARE TO BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

Seal:

Location :

**526 Hudson Street
 New York, NY 10021**

Title:

FRONT ELEVATIONS

Date: 15.07.2022

Scale: As Noted

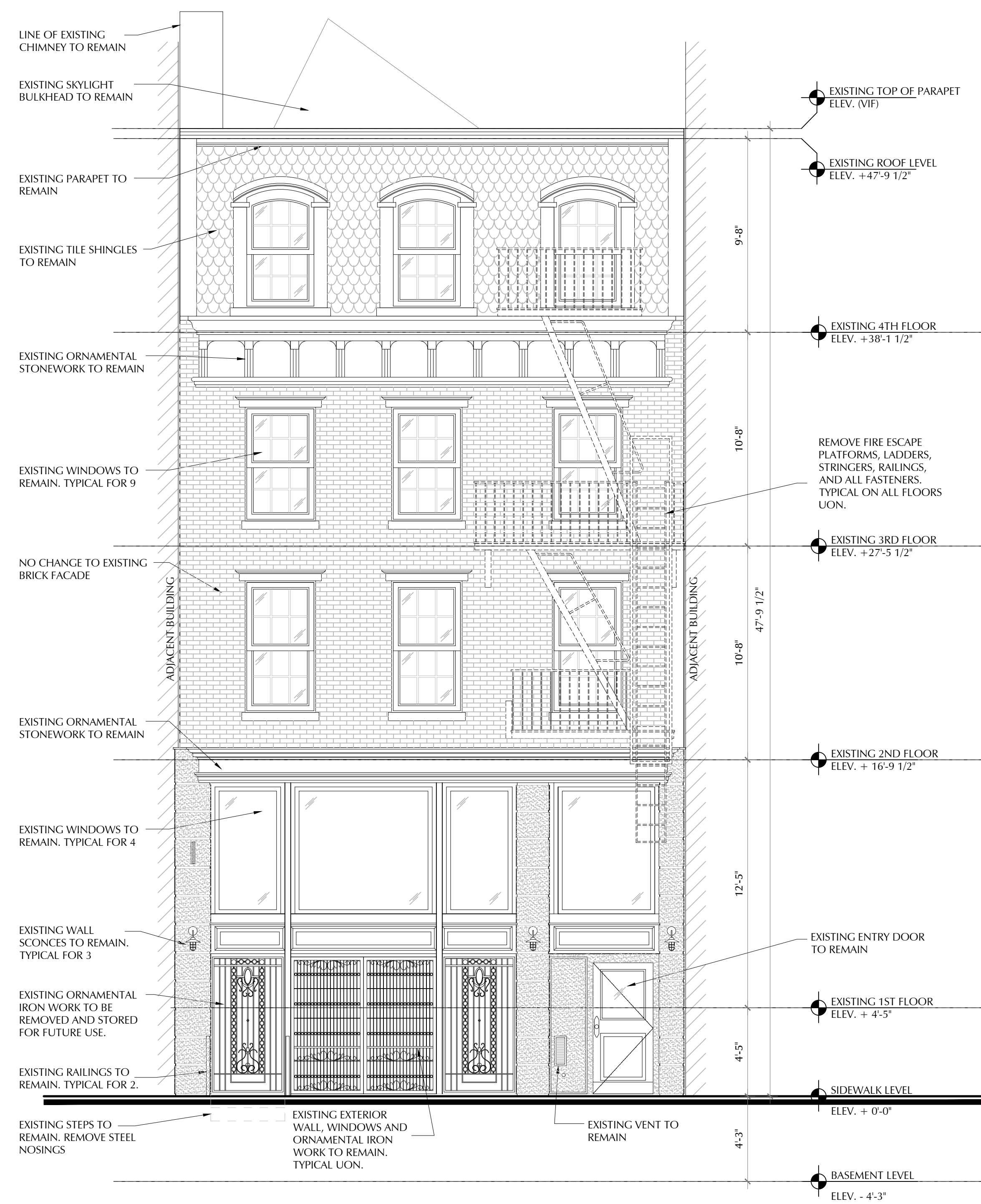
Project #: 2022 - 26

Drawing No.:

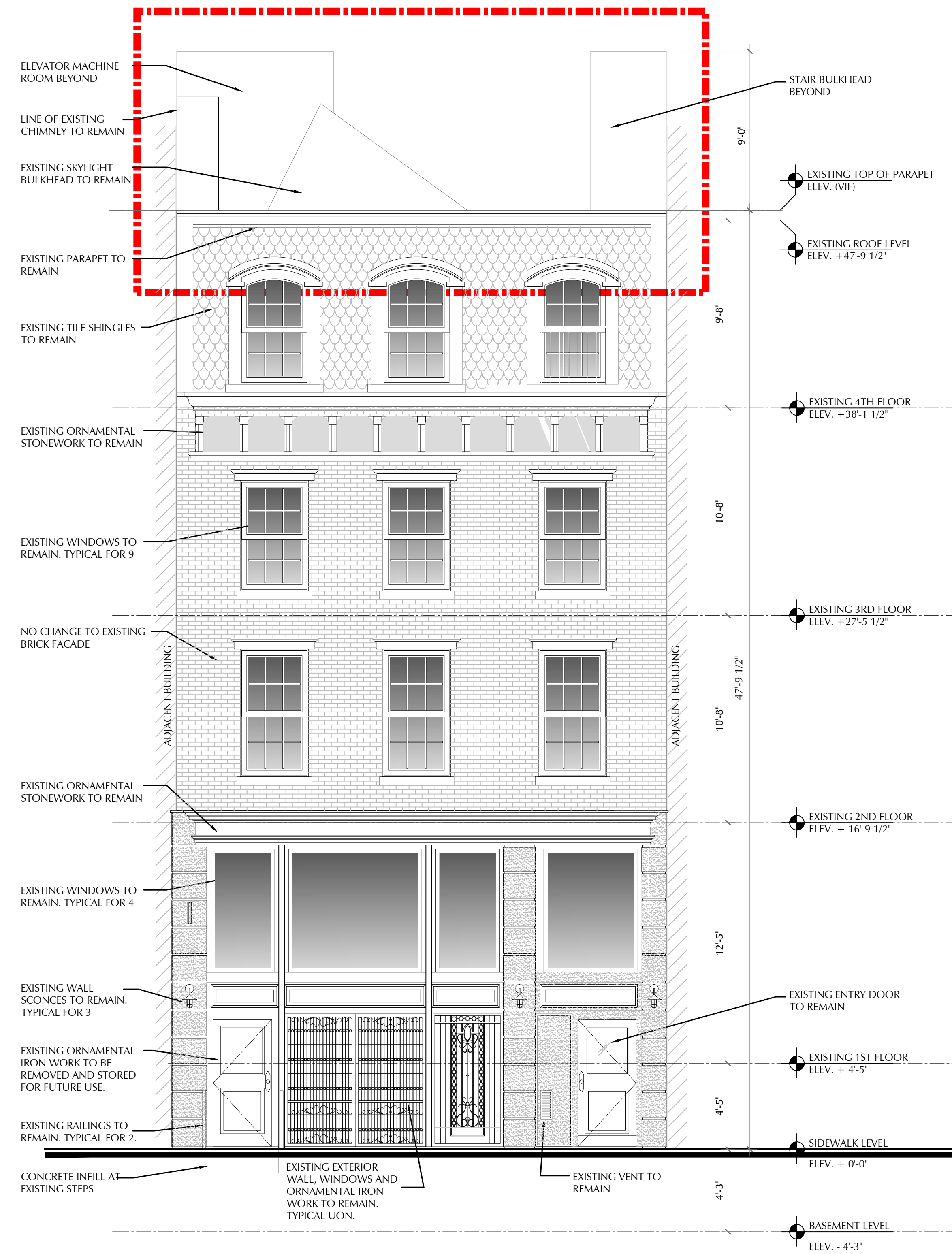
A-301.00

DOB Job#:

NEW CONSTRUCTION



1 FRONT FACADE - EXISTING & DEMO
 SCALE: 1/4"=1'-0"



2 FRONT FACADE - PROPOSED
 SCALE: 1/4"=1'-0"

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Issue Name	Issue Date
LPC Review Set	07.19.2022
DOB Review Set	07.19.2022

Drawn By: RC / JW
 Checked By: RC / JW

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DETAILS ARE TO BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

Seal:

Location :
**526 Hudson Street
 New York, NY 10021**

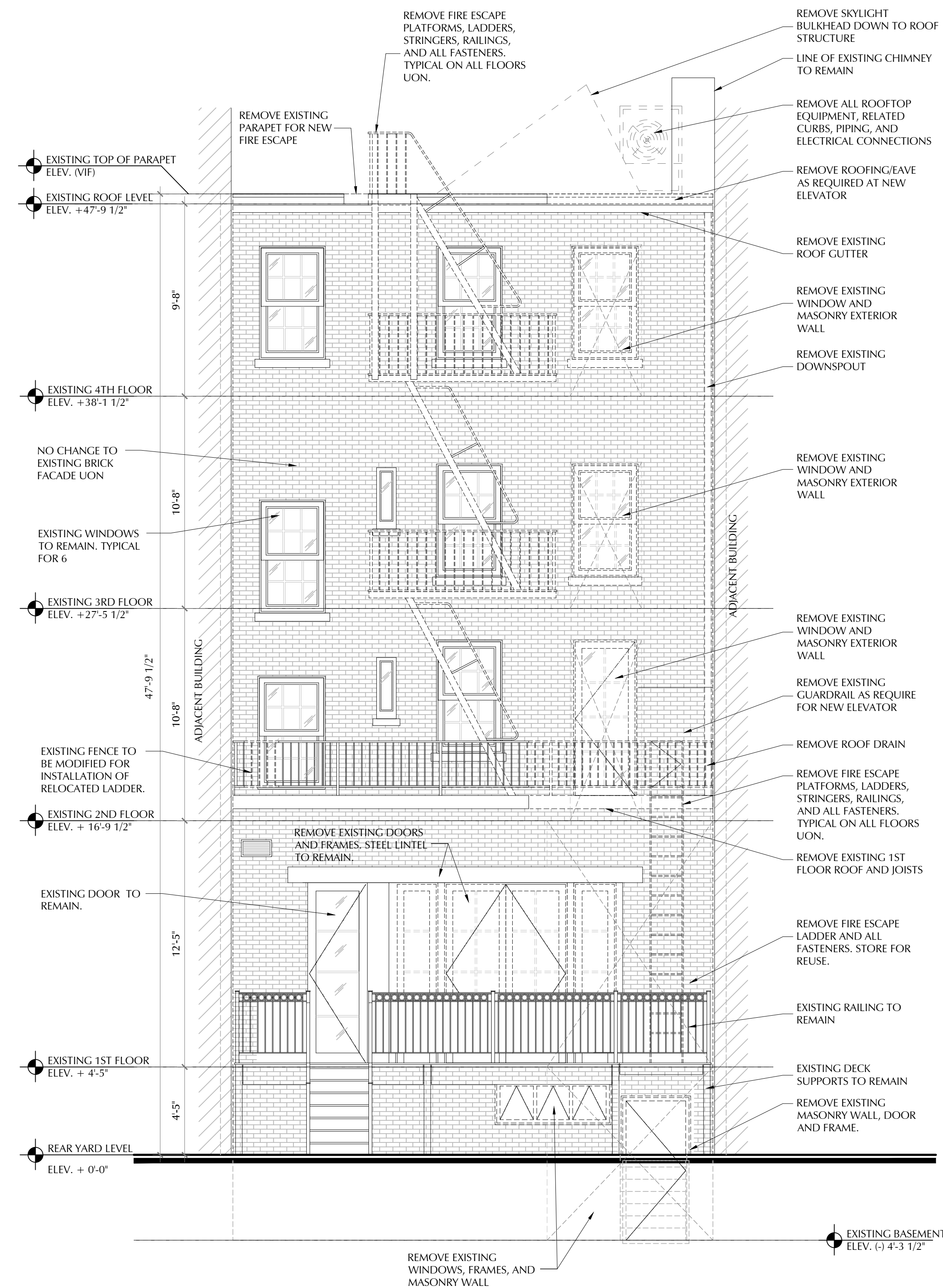
Title:
REAR ELEVATIONS

Date: 07.19.2022
 Scale: As Noted
 Project #: 2022 - 26
 Drawing No.:

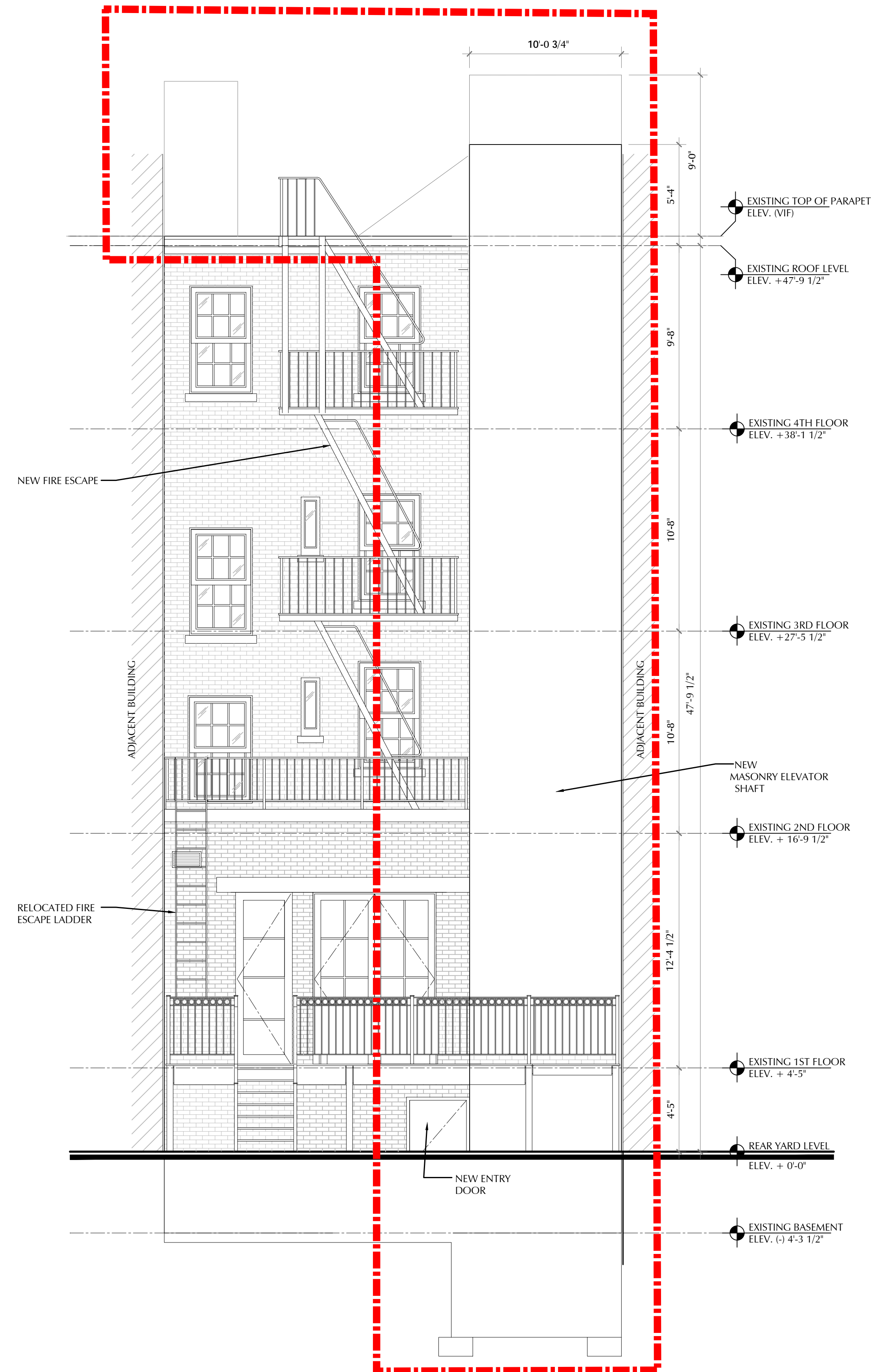
A-302.00

DOB Job#:

NEW CONSTRUCTION



1 REAR FACADE - EXISTING & DEMO
 SCALE: 1/4"=1'-0"



2 REAR FACADE - PROPOSED
 SCALE: 1/4"=1'-0"