

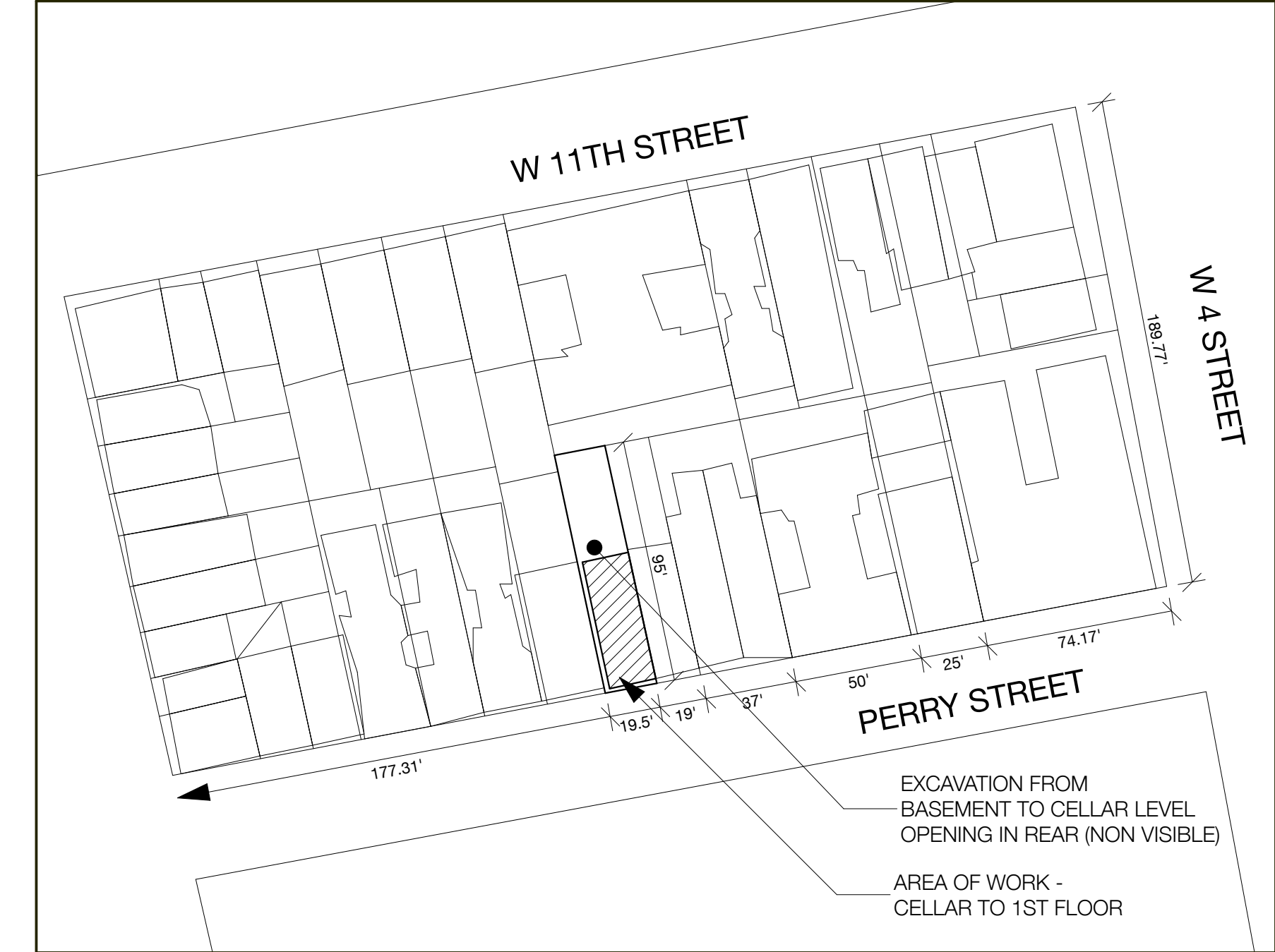
**GREENWICH VILLAGE HISTORIC DISTRICT**  
MANHATTAN

Numbered Areas relate to the text of the Commission's Designation Report.

For convenience in writing this Report, and solely for this purpose, the Greenwich Village Historic District has been arbitrarily divided into nine contiguous areas. This division into areas has no significance historically, architecturally or otherwise, and has been introduced only for convenience in organizing the material for this Report.



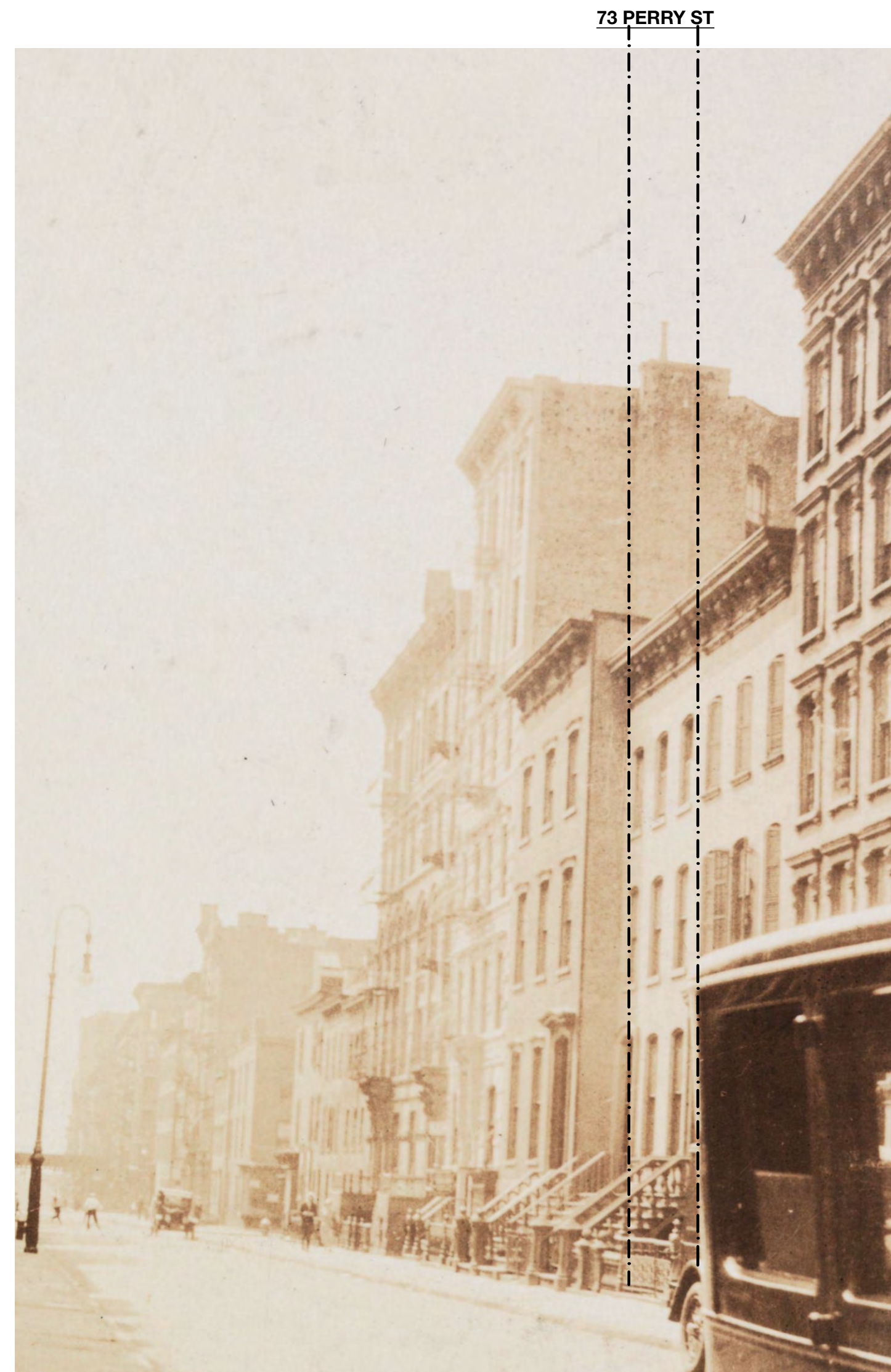
4 73 Perry St: (1924, Aerial Photo)  
SCALE: 1:1.15



5 Greenwich Village Historic District Boundary Map  
SCALE: 1:1.49



3 Perry St: (1937, After Renovation)  
SCALE: 1:0.67



2 Perry St: (1925, Before Renovation)  
SCALE: 1:0.67

GV-HD AREA 7  
PERRY STREET North Side (Betw. Bleeker & West Fourth Sts.)

#83 & 85 cont. full third story. No. 85 was Italianized with round-arched areaway railings, bracketed roof cornice and window sash with central vertical muntins. No. 83 now has squat second floor windows and very tall third floor windows with a simple wrought iron balcony in front of them, obviously a remodeling of the Twentieth Century. These two houses were among the nine built in 1817 and 1818 for Aaron Henry (discussed under Nos. 385-387 Bleeker Street). He was a retired clothier who overexpanded his real estate investments despite several sales in 1820. Under a court judgment to satisfy his creditors, these two houses were sold at a public auction at the Tontine Coffee House in 1821.

#79 & 81 This pair of five-story apartment houses was built in 1895 by Schneider & Herter, owner and architect. Despite its late date, this apartment house retains much of the best of the Romanesque Revival, as may be seen in the round-arched windows of the third floor and by the sphinx brackets supporting the cornice slab above the entrance door. The stoop, approached from the side, displays some handsome ironwork at the handrailings.

#77 Designed by George F. Pelham (mentioned also for No. 65), and built in 1901-02 for Lowenfeld and Frager, this is a six-story brick apartment house with stores in the basement. The first floor with central entrance door displays horizontal stone band courses and a doorway flanked by stone pilasters, approached by a high stoop. The top two floors are signalized by having the two center windows set between brick pilasters producing a vertical emphasis below the bracketed, sheetmetal cornice.

#75 The interesting feature of this 26-foot wide house is the handsome wrought iron areaway railing. Three stories high of brick, this house was built in 1854 by Garret Bamore (mentioned below) for his own home. He was a manufacturer of pianofortes on Bleeker Street. This house retains the paired roof brackets so popular in mid-century. Its brownstone basement and segmental-arched lintels have been smooth-stuccoed, probably when the house was altered to provide a basement entrance.

#71 & 73 Originally, a pair of houses three stories high, these two "brownstones" were designed in the French Second Empire style by William Naugle, and built in 1868 for Francis S. Smith and Garret Bamore (whose home adjoined at No. 75). Both retain their segmental-arched window heads, bracketed roof cornices and rusticated basements. No. 71, the prototype, has a handsome Italianate entrance with a steep stoop and cast iron balustrades. The entrance has paneled doors, and crowning the doorway, a segmental-arched stone cornice with shoulders. No. 73 has been converted for a basement entrance at which time a triple bay window built in the English half-timbered medieval style was added.

#67 & 69 These two interesting "French Flats" were erected in 1878 by Cunningham McBurnie, builder, for himself, from designs by Lamb & Wheeler. They are brownstones, five stories high, with a Neo-Grec bracketed cornice from which drops an unusual continuous motif that has an inverse crenelated effect. Their paired entrances have pilasters and brackets supporting a wide cornice slab with wrought iron balcony railing. Their low flight of steps has cast iron handrailings, with an unusual motif reminiscent of water lily pads. The angular bay of No. 67 projects to the street line of No. 65, though built long before its neighbor.

#65 (#63-65) George F. Pelham designed this six-story brick apartment house for Samuel Parness. It was built in 1902 and displays all the typical features of turn of the century architecture. The first floor is of rusticated stonework with corbels supporting "swell front" bays at each end. These shallow bays have two windows each, framed with terra cotta. The windows at the second floor are given special emphasis by being crowned with arched pediments.

1 Historic District Designation Report  
SCALE: 1:1.25

**DESIGNATION REPORT FOR 73 PERRY STREET:**

In the Greenwich Village Historical Report, 73 Perry Street is designated as a landmarked building in conjunction with 71 Perry Street. According to the Greenwich Village Historic District Designation Report, "Originally, a pair of houses three stories high, these two brown-stones were designed in the French Second Empire Style by William Naugle, and built in 1868 for Francis S. Smith and Garret Bamore (whose home adjoined at No. 75). Both retain their segmental-arched window heads, bracketed roof cornices and rusticated basements. No. 71, the prototype, has a handsome Italianate entrance with a steep stoop and cast iron balustrades. The entrance has paneled doors, and crowning the doorway, a segmental-arched stone cornice with shoulder". Before 1936, "No. 73 has been converted for a basement entrance at which time a triple bay window built in the English Half-Timbered Medieval Style was added".

**PROPOSED SCOPE OF WORK:**

We are proposing for 73 Perry Street to be restored to its original landmarked design of the building created by William Naugle back in 1868. We request to restore the previous stoop location, decorative door surround, window and sill details, and excavate the rear yard from basement to cellar level.

**DRAWING INDEX:**

NAME	ID
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Seal:

Title:  
Cover Sheet & Historic  
References

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

**L-01.00**

73 PERRY ST



1 73 Perry St: Existing Photo  
SCALE: 1:2.70

73 PERRY ST



2 Perry St: (1925, Before Renovation)  
SCALE: 1:0.33

TNB  
ARCHITECTURE

TNB Architecture & Design P.C.  
www.tnbarchitecture.com  
info@tnbarchitecture.com

PRRY

Property Owner:  
Caroline Vik & Thomas Bailey  
73 Perry Street  
New York, NY 10014

BLOCK: 622  
LOT: 63  
ZONING MAP: 12a  
DISTRICT: R6

Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Architect.

The General Contractor is responsible for confirming and correcting dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

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8/4/22	Issue for CB/LPC	01
DATE	ISSUE	REV

Drawn By:  
Checked By:

Seal:

Title:  
Historic Photo & Current  
Photo of Front Facade

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

L-02.00

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**PRRY**

Property Owner:  
Caroline Vik & Thomas Bailey  
73 Perry Street  
New York, NY 10014

BLOCK: 622  
LOT: 63  
ZONING MAP: 12a  
DISTRICT: R6

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8/4/22	Issue for CB/LPC	01
DATE	ISSUE	REV

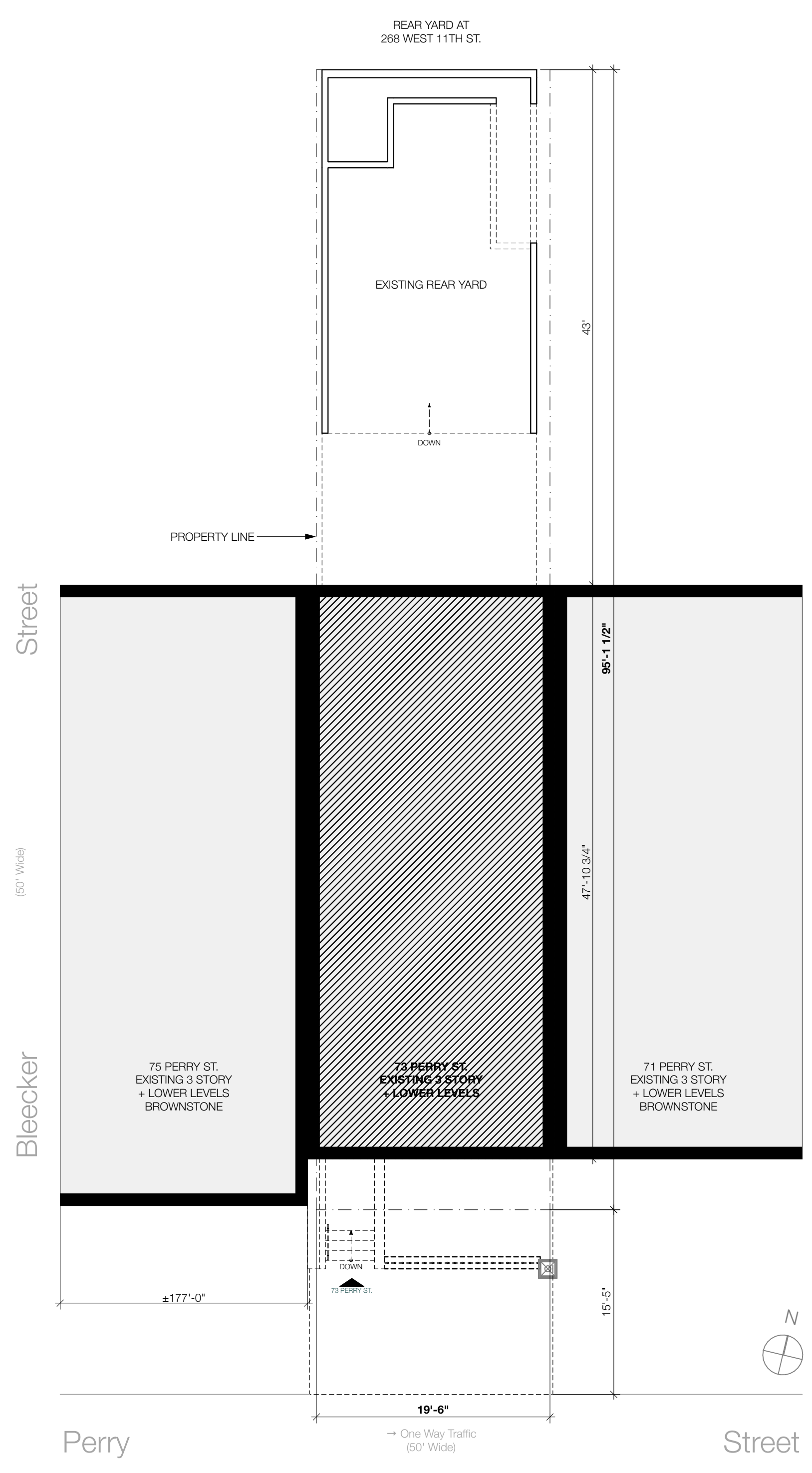
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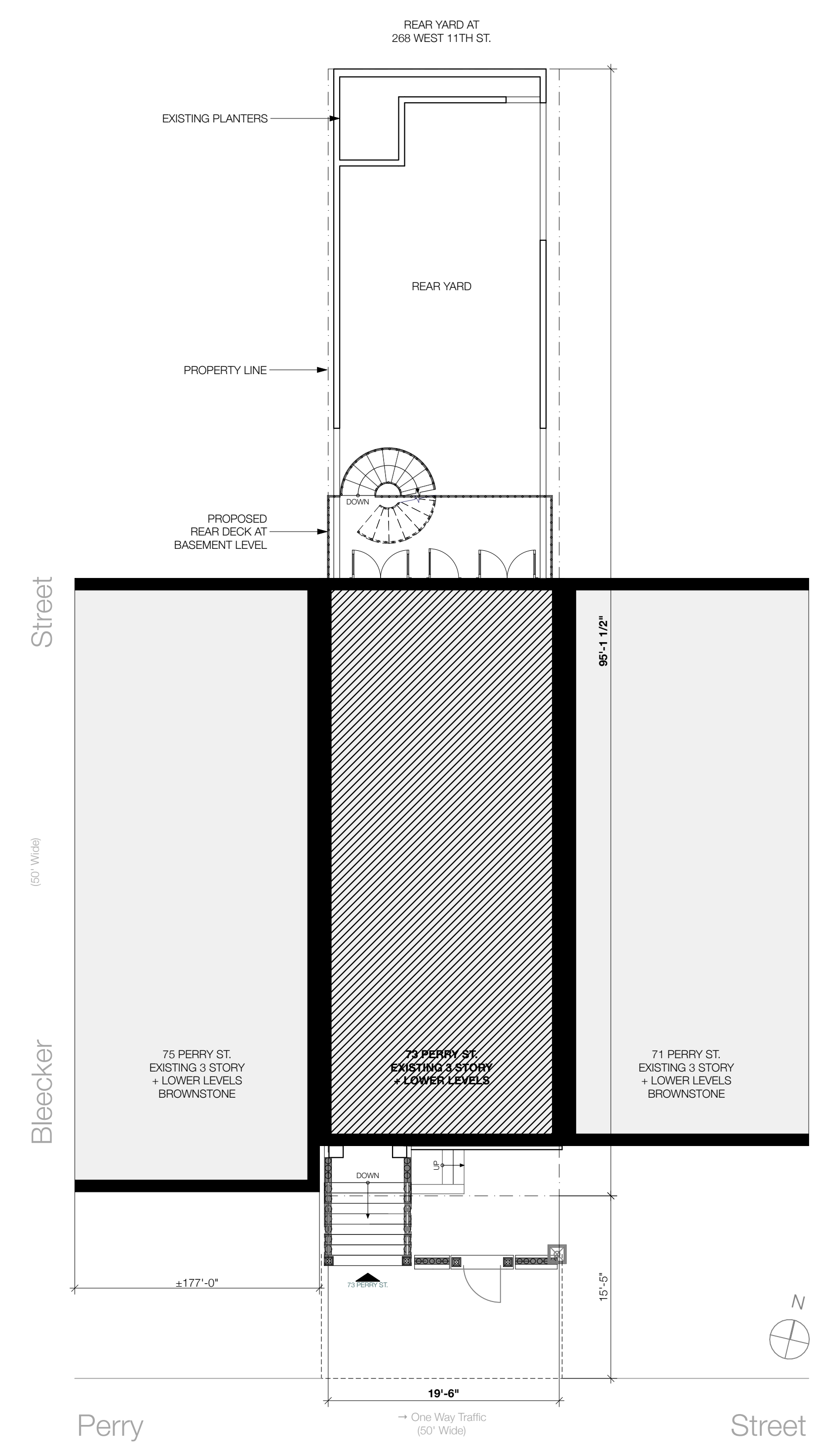
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Survey & Plot Plans

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

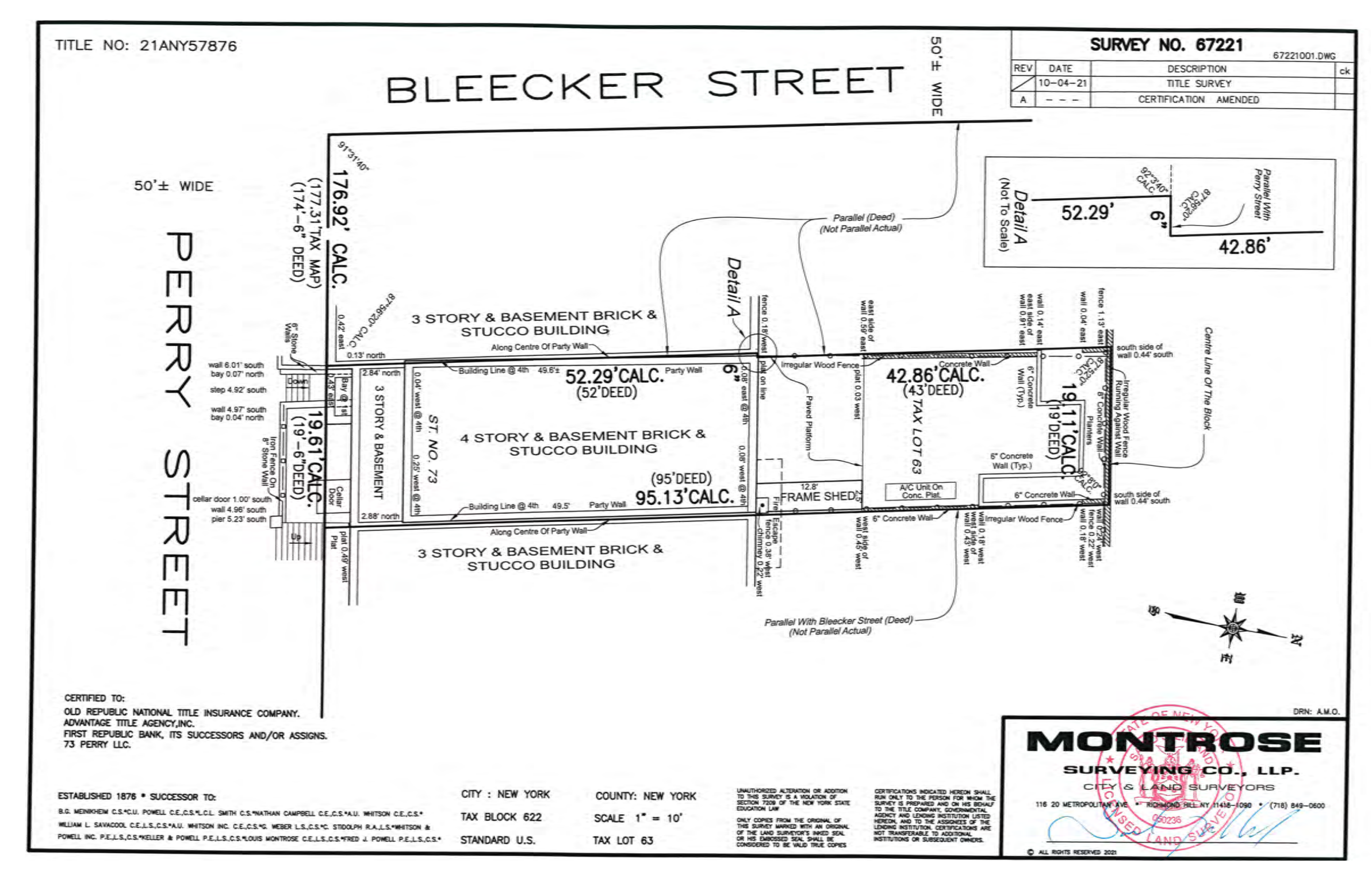
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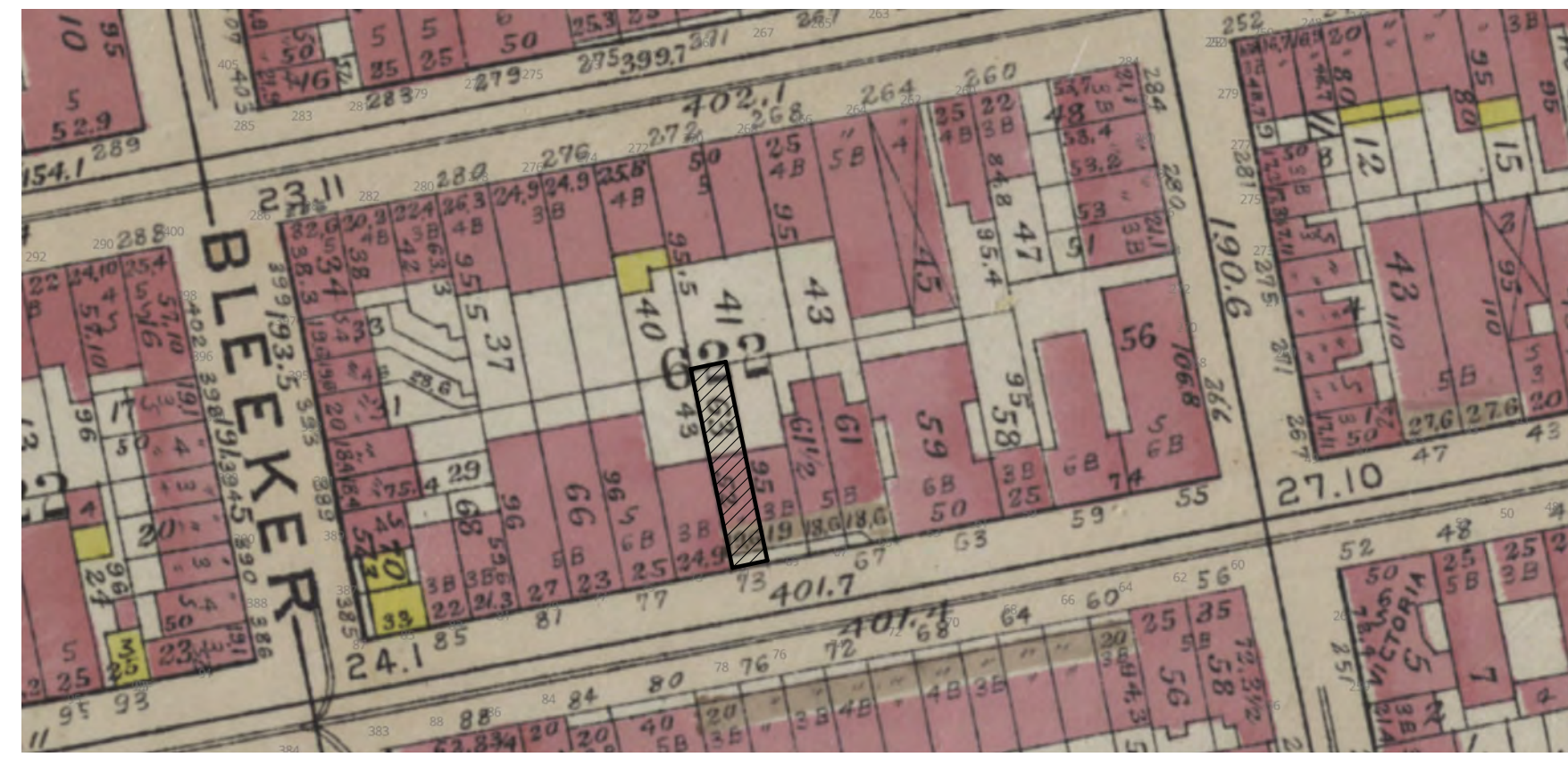
**3** Existing Plot Plan  
SCALE: 1/8" = 1'-0"



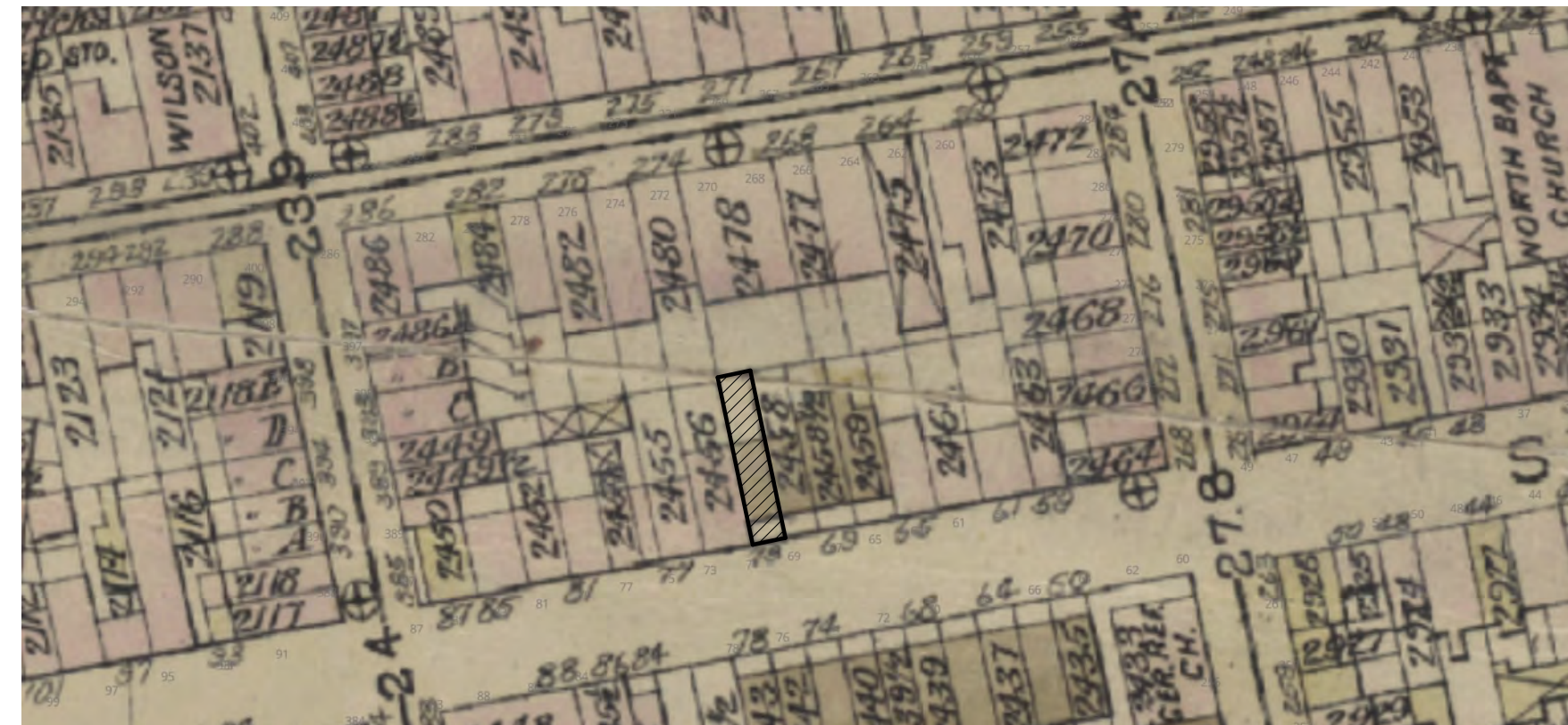
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SCALE: 1/8" = 1'-0"



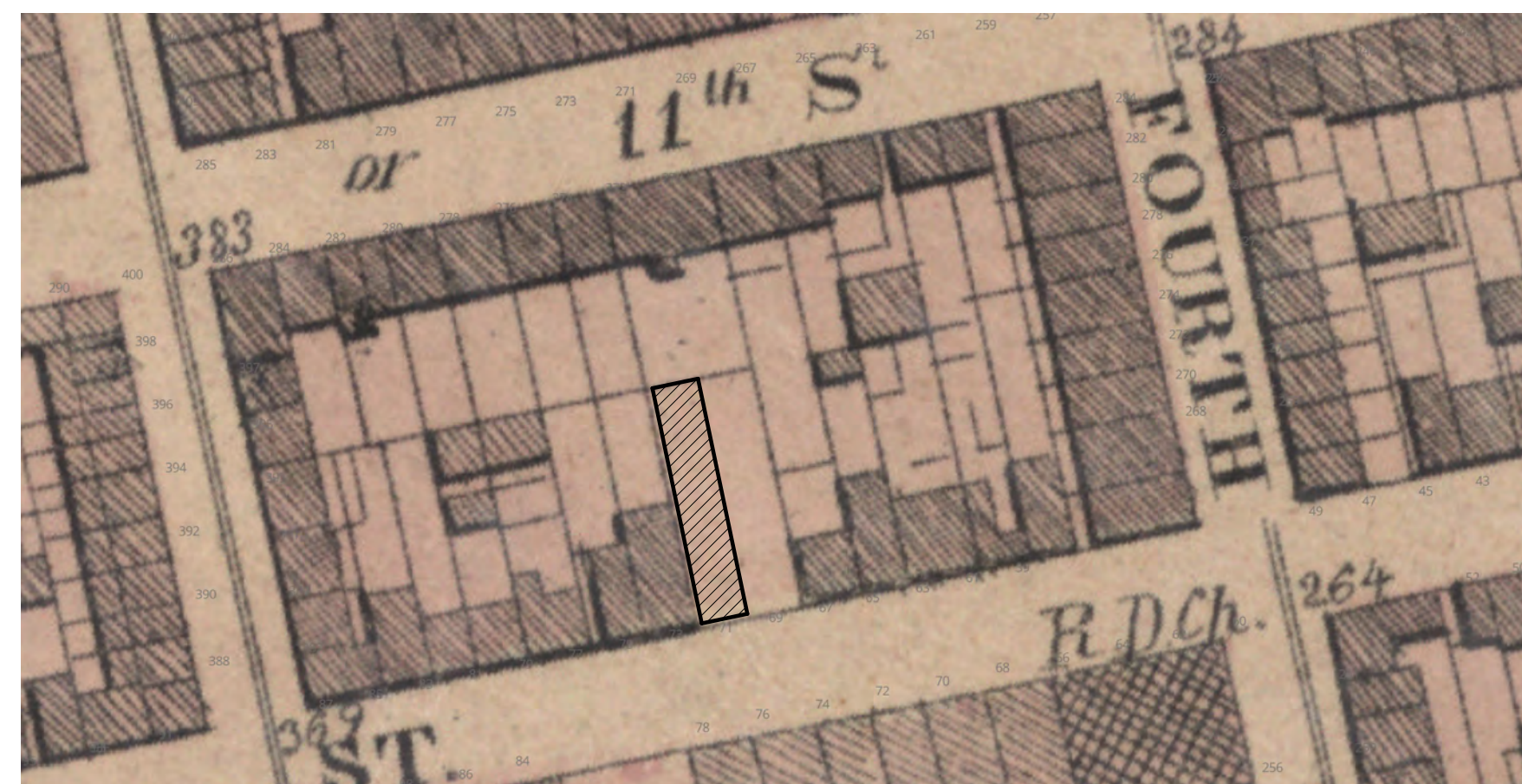
**1** 73 Perry St: Property Survey  
SCALE: 1:1.33



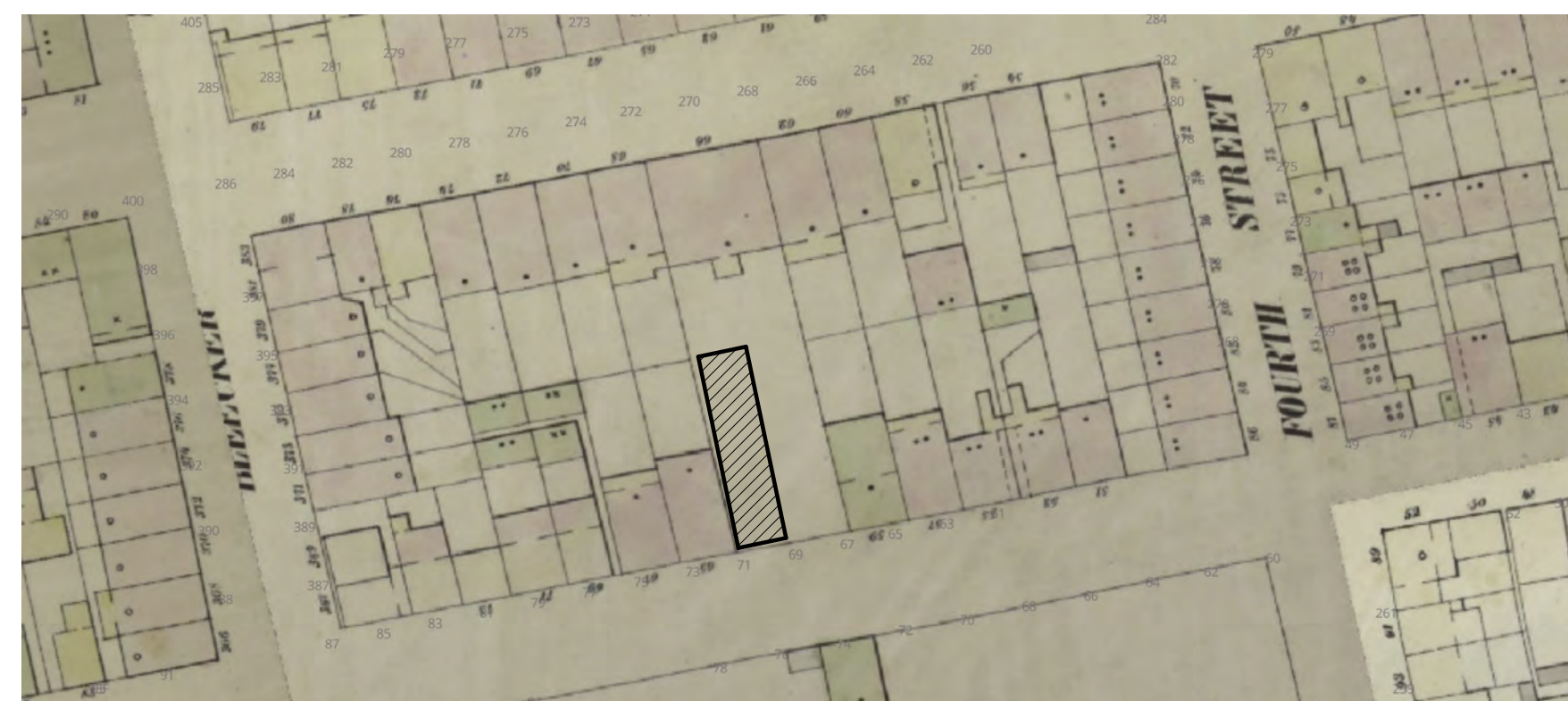
2 1911 Bromley Historic Map  
SCALE: 6" = 1'-0"



3 1885 Robison Historic Map  
SCALE: 6" = 1'-0"



4 1867 Dripps Historic Map  
SCALE: 6" = 1'-0"

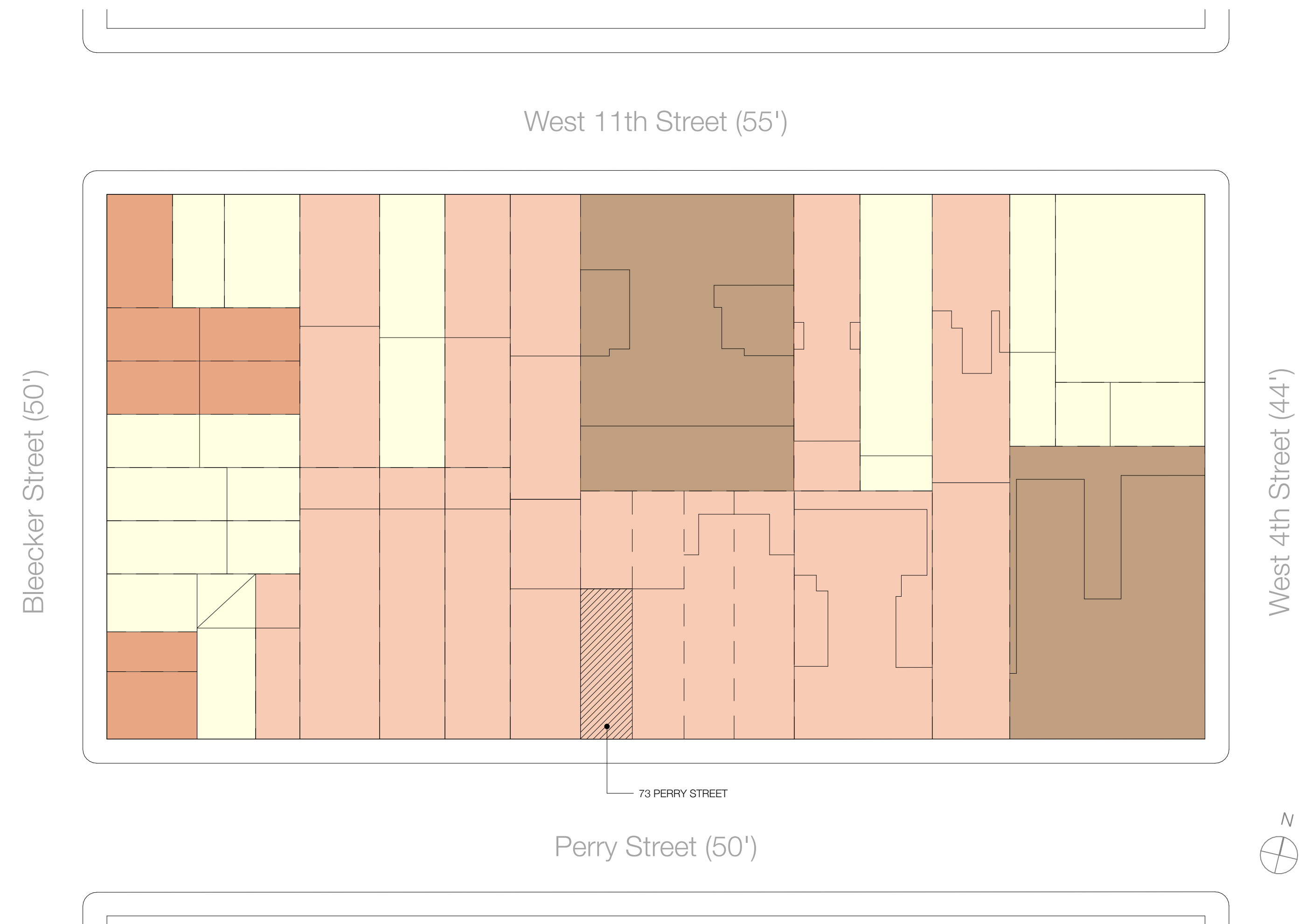


5 1854 Perris Historic Map  
SCALE: 6" = 1'-0"

Zoning Land Use Colors

- One & Two Family Buildings
- Multi-Family Walk-Up Buildings
- Multi-Family Elevator Buildings
- Mixed Residential & Commercial Buildings
- Subject Site

1 Proposed Block Plan  
SCALE: 1/32" = 1'-0"



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**PRRY**

Property Owner:  
Caroline Vik & Thomas Bailey  
73 Perry Street  
New York, NY 10014

BLOCK: 622  
LOT: 63  
ZONING MAP: 12a  
DISTRICT: R6

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8/4/22	Issue for CB/LPC	01
DATE	ISSUE	REV

Drawn By:  
Checked By:

Seal:

Title:  
Block Plan & Historic Maps

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:  
**L-04.00**

8/4/22	Issue for CB/LPC	01
DATE	ISSUE	REV

Drawn By:  
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Seal:

Title:  
Existing Front Facade  
Photos

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

**L-05.00**

75 PERRY ST

73 PERRY ST

71 PERRY ST

69 PERRY ST



5 Existing 71 Perry St Stoop  
SCALE: 1:6.25

4 Existing 73 Perry St Sidewalk  
SCALE: 1:2.86



3 Existing 73 Perry St Areaway  
SCALE: 1:6.67

2 Existing 71 Perry St Areaway  
SCALE: 1:6.45

1 Existing Conditions: 75 Perry to 69 Perry  
SCALE: 3" = 1'-0"

DATE	ISSUE	REV
8/4/22	Issue for CB/LPC	01

Drawn By:  
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Seal:

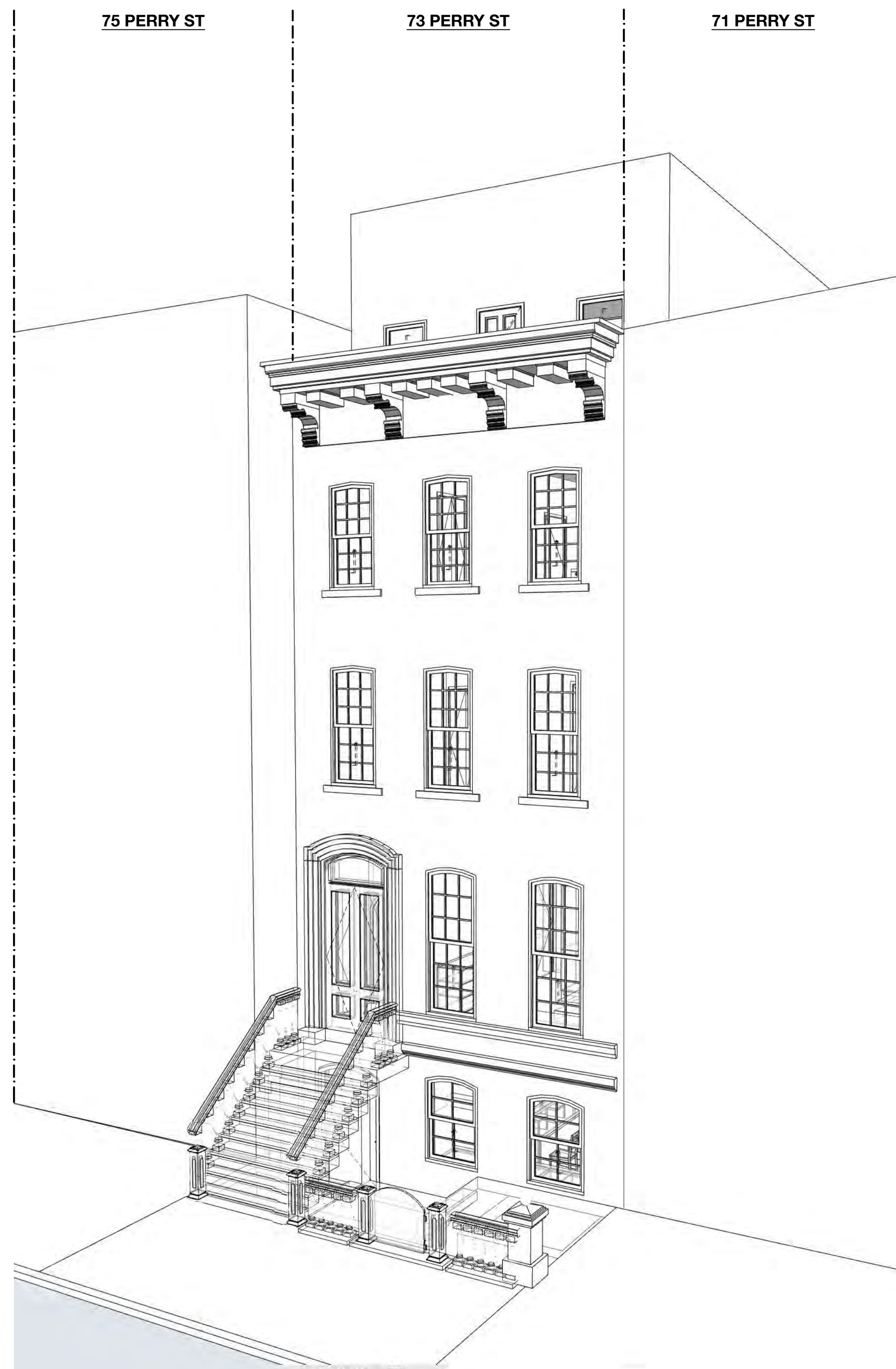
Title:  
**Proposed Front Facade  
Axonometric & 3D View**

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

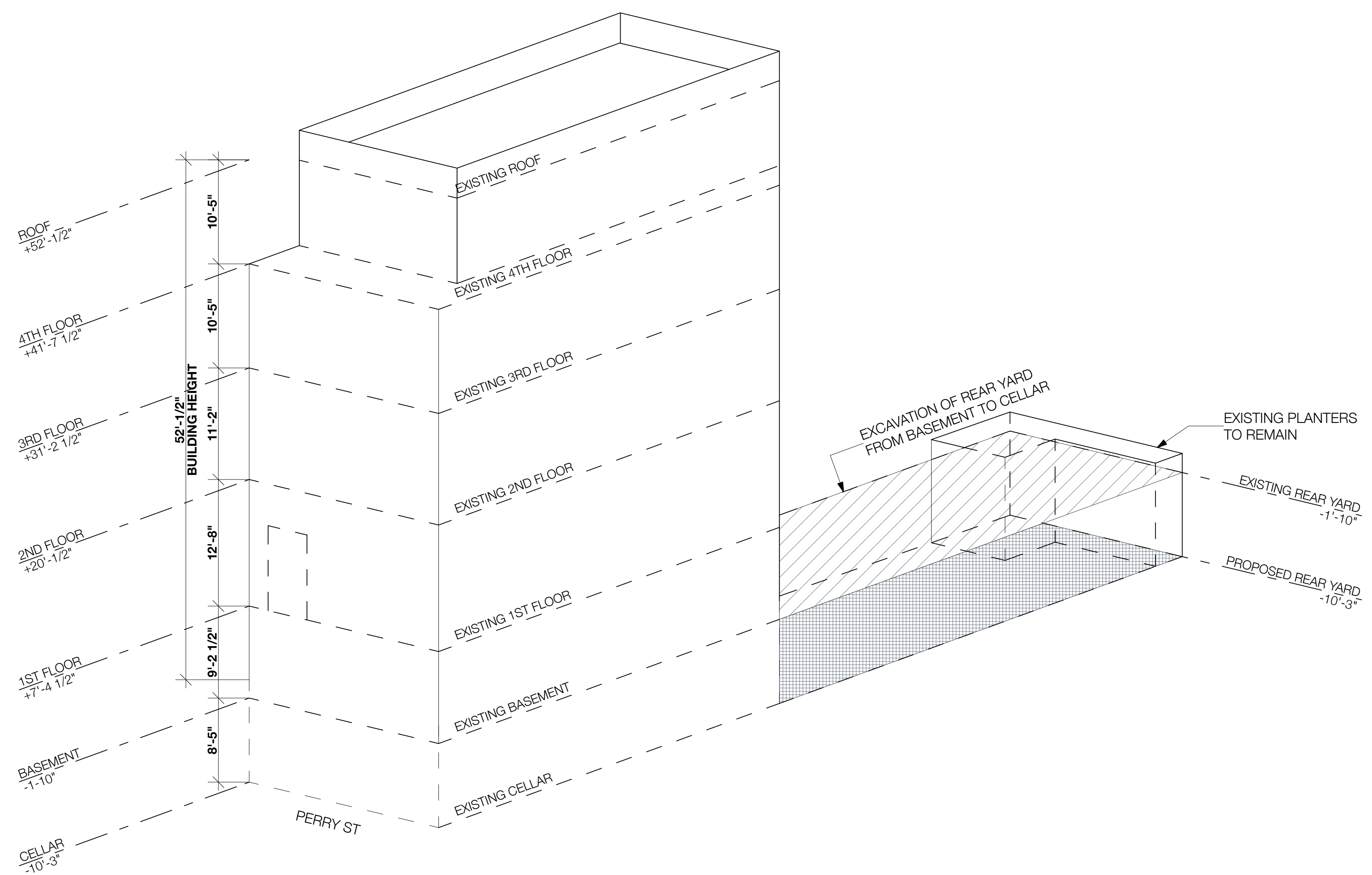
**L-06.00**

**NOTE:**  
ALL MATERIALS ON FRONT  
FACADE REQUIRE  
RECOGNIZED APPROVALS  
FROM APPROVED  
AGENCIES

Symbols Legend  
 [Solid Line] Existing to Remain  
 [Hatched] Existing to be Demolished  
 [Dotted] Proposed  
 [Dashed] Property Line



**2** Proposed Front Facade 3D View  
SCALE: 6" = 1'-0"



**1** Proposed Front Facade Axonometric  
SCALE: 1/8" = 1'-0"

**NOTE:**  
ALL MATERIALS ON FRONT  
FACADE REQUIRE  
RECOGNIZED APPROVALS  
FROM APPROVED  
AGENCIES

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8/4/22	Issue for CB/LPC	01
DATE	ISSUE	REV

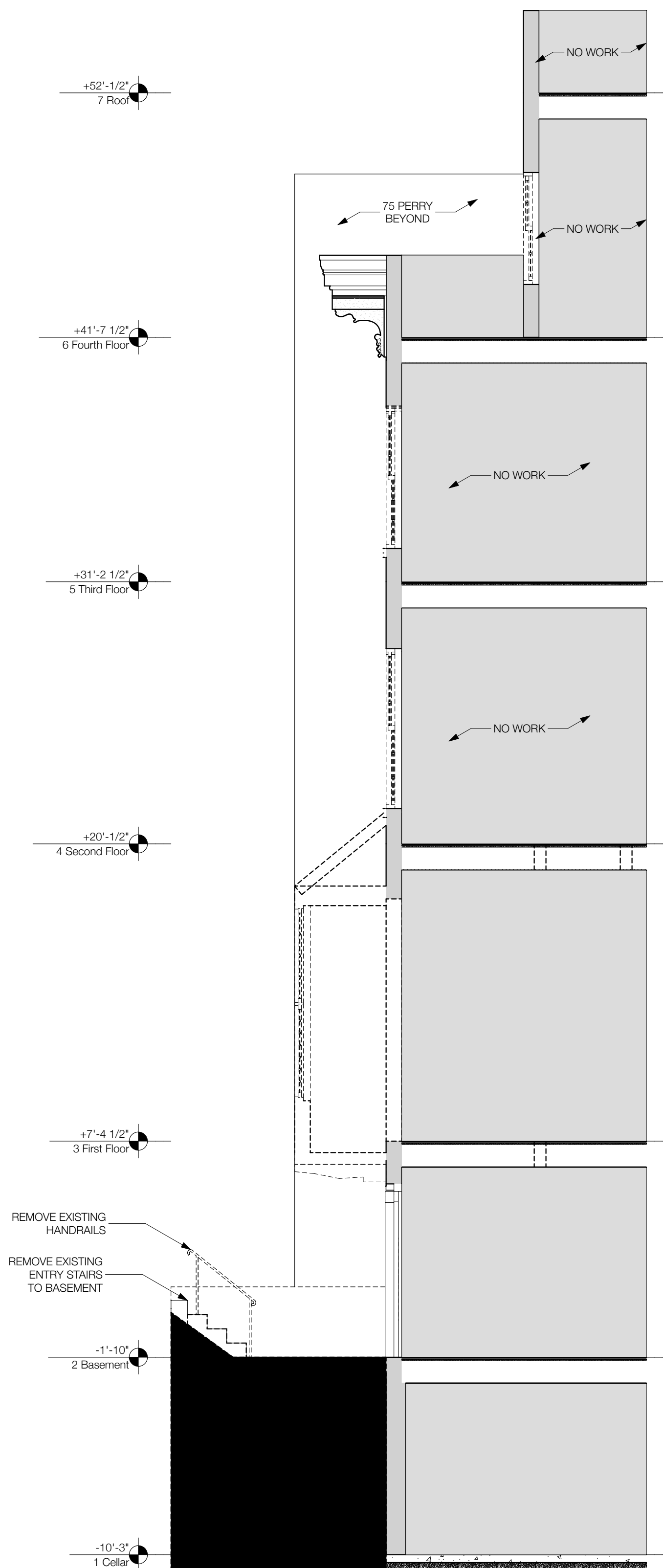
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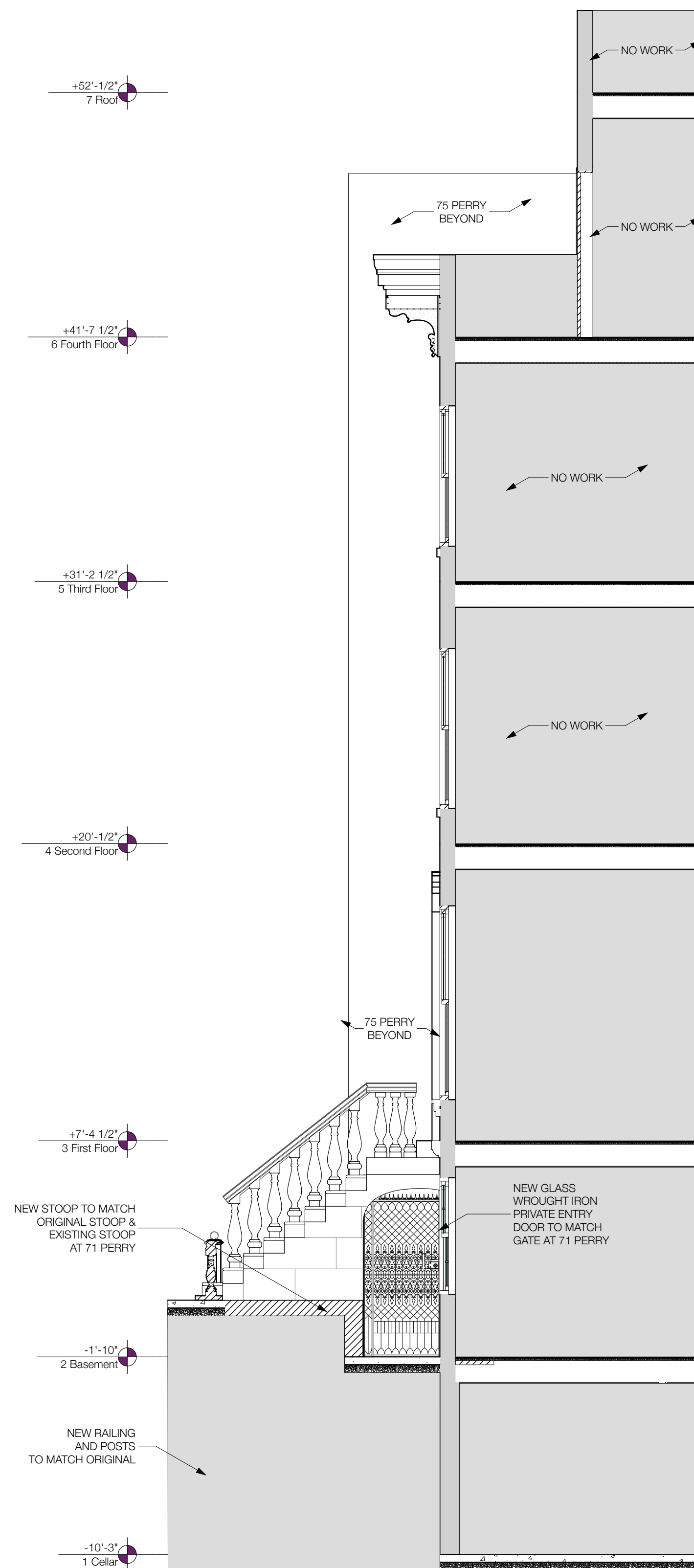
Title:  
**Demolition & Proposed  
Front Elevation & Stoop  
Section**

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

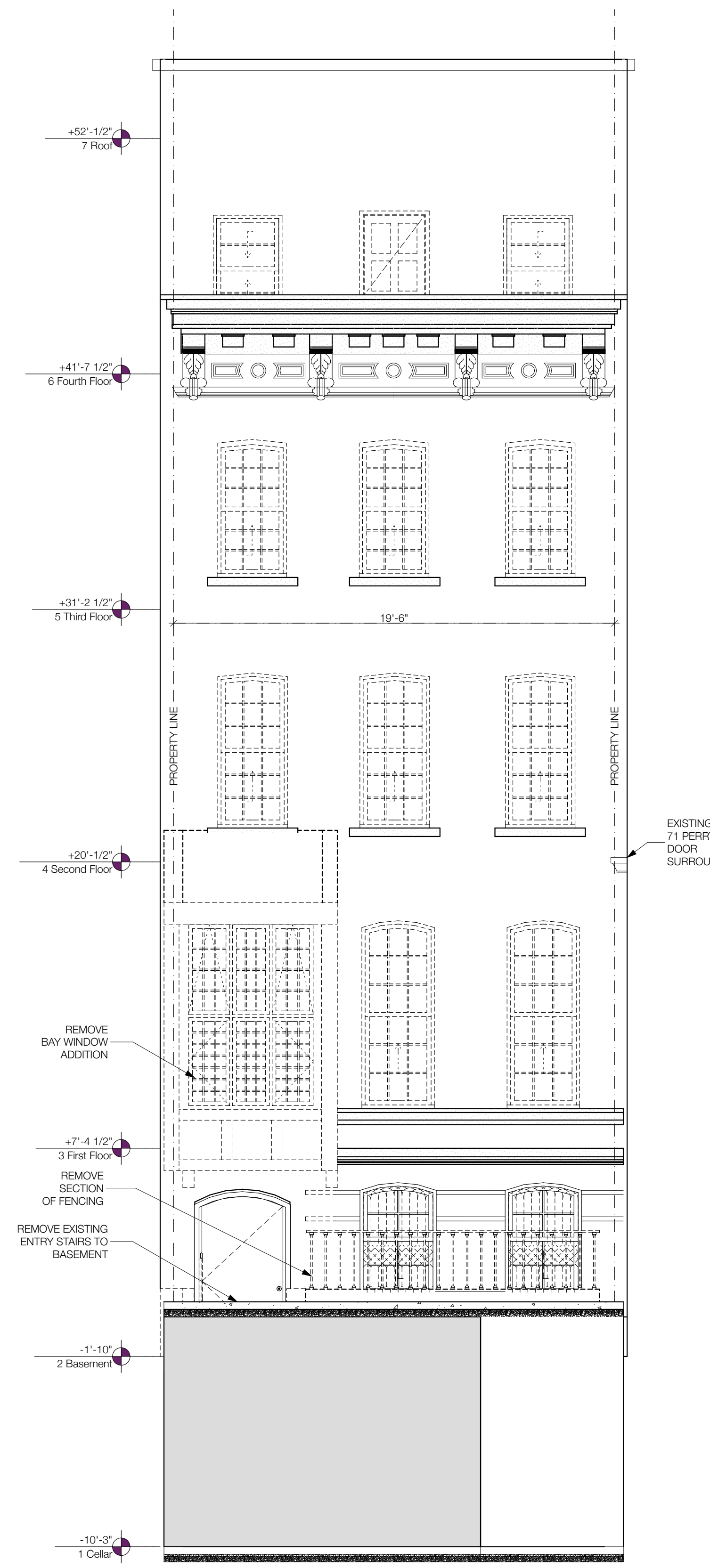
**L-07.00**



**4** Demolition Stoop Section  
SCALE: 1/4" = 1'-0"



**3** Proposed Stoop Detail Section  
SCALE: 1/4" = 1'-0"



**2** Demolition Front Elevation  
SCALE: 1/4" = 1'-0"



**1** Proposed Front Elevation  
SCALE: 1/4" = 1'-0"



4 B: Ironwork Detail  
SCALE: 1:6.67



3 A: Window Lintel and Sill Details  
SCALE: 1" = 1'-0"



5 C: Door Surround Details  
SCALE: 1:6.67



2 71 Perry St: Existing Stoop Details - Key Image  
SCALE: 1:5



1 73 Perry St: (1925, Before Renovation) - Key Image  
SCALE: 1:0.33

DATE	ISSUE	REV
8/4/22	Issue for CB/LPC	01

Drawn By:  
Checked By:

Seal:

Title:  
Proposed Architectural  
Detail References

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

L-08.00



DATE	ISSUE	REV
8/4/22	Issue for CB/LPC	01

Drawn By:  
Checked By:

Seal:

Title:  
Front Facade Window  
Details

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

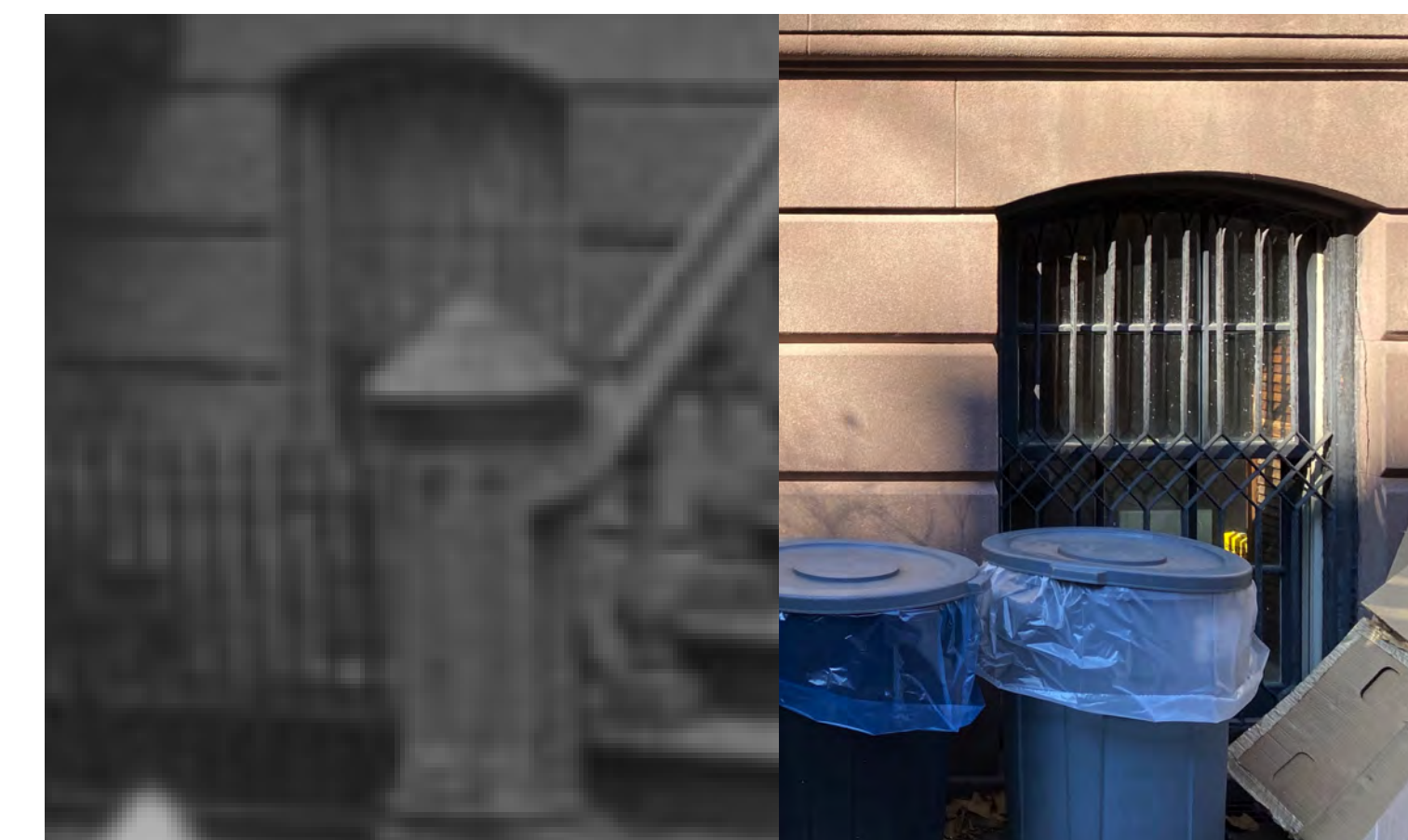
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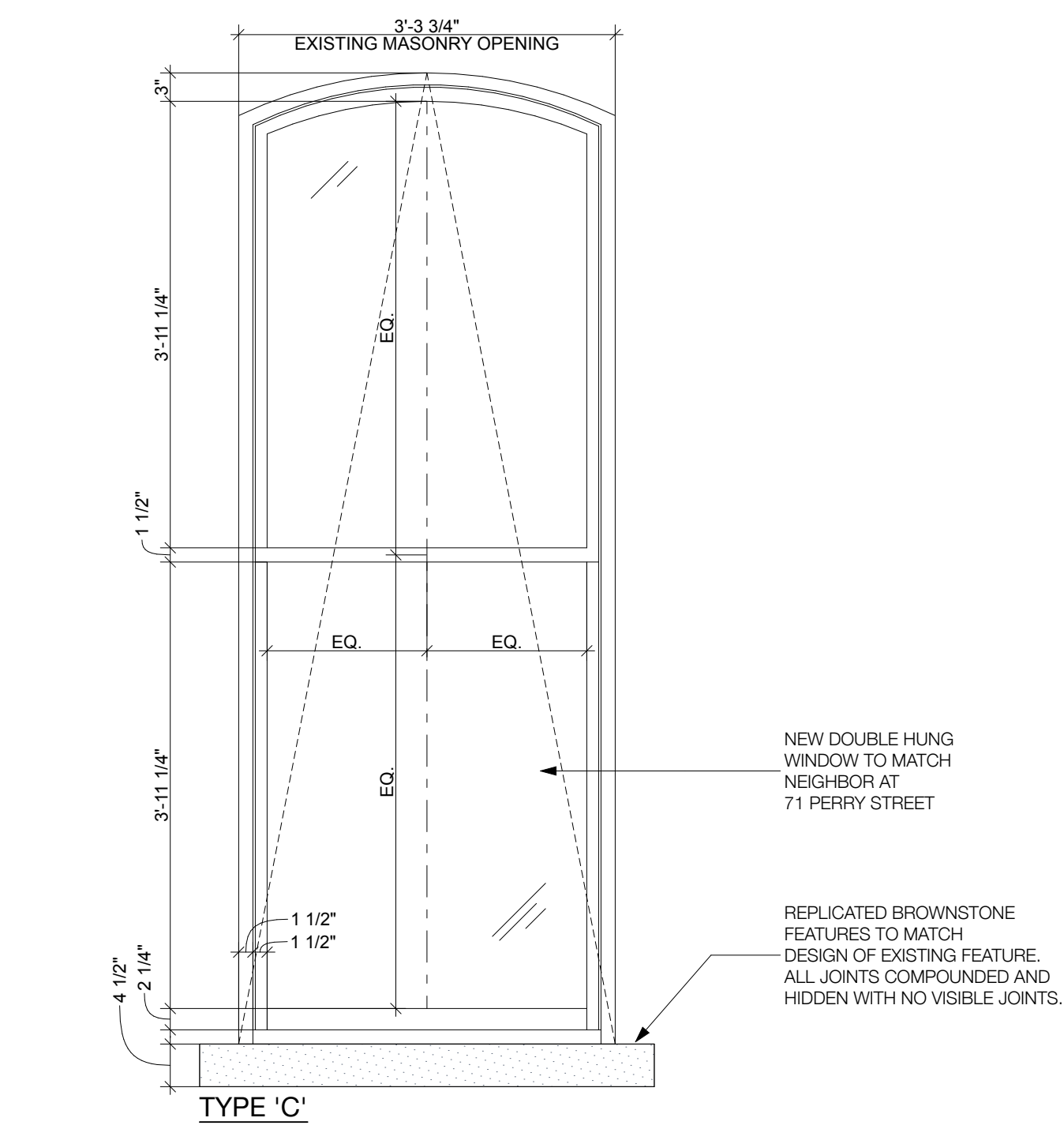
3 Upper Floor Windows (Before & After Renovation)  
SCALE: 1:0.17



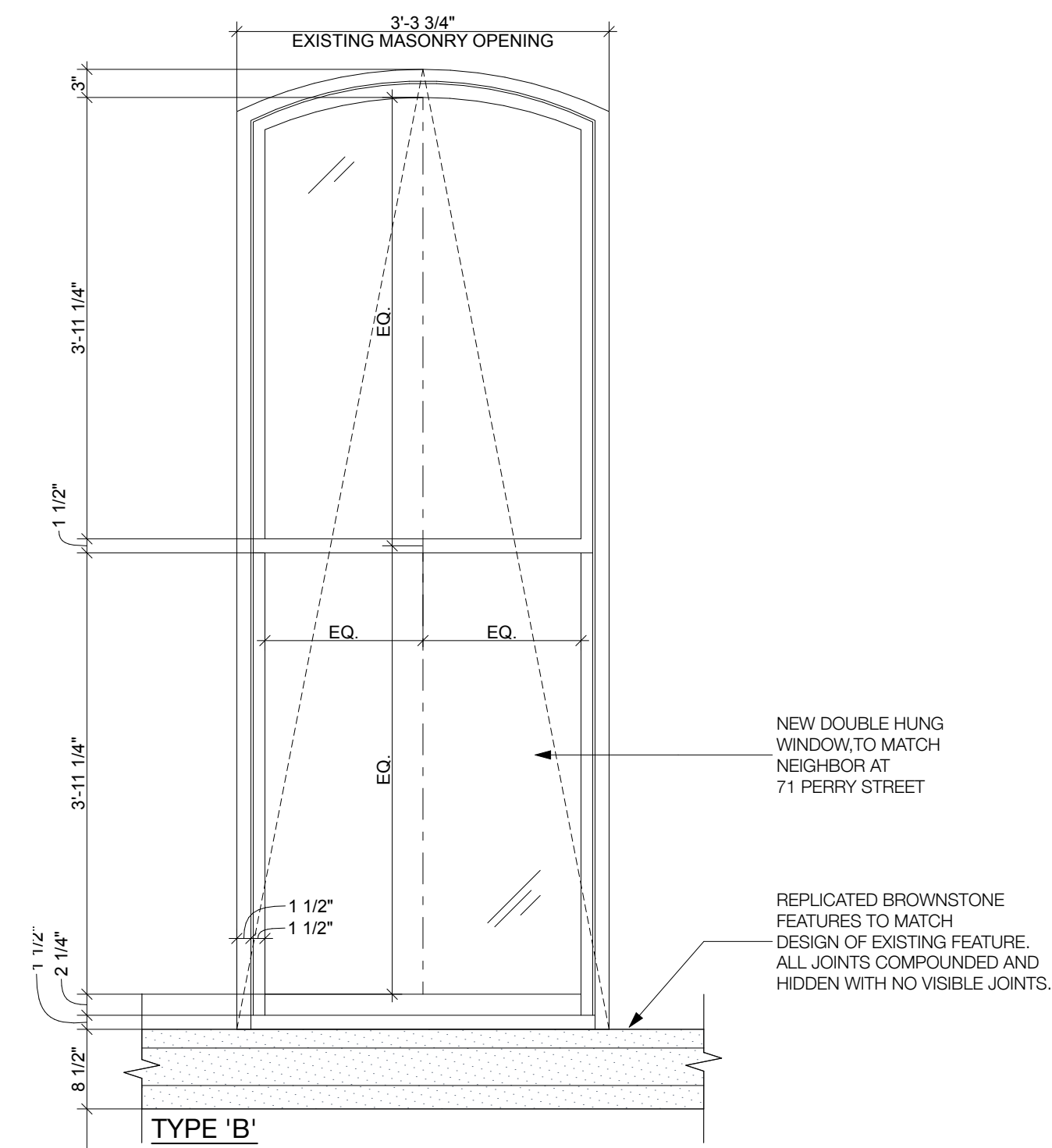
2 1st Floor Windows (Before & After Renovation)  
SCALE: 1:0.17



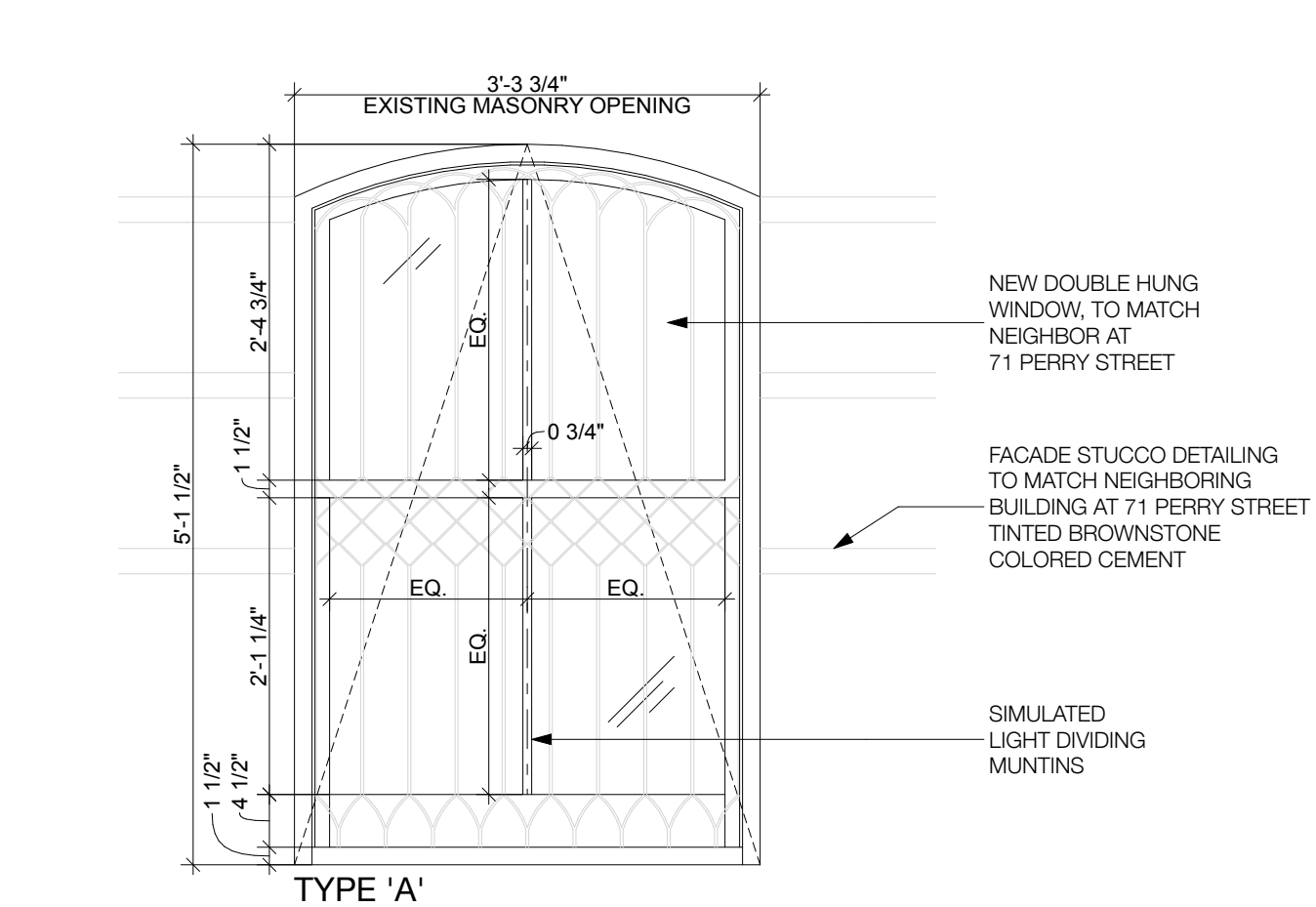
1 Basement Floor Windows (Before & After Renovation)  
SCALE: 1:0.25



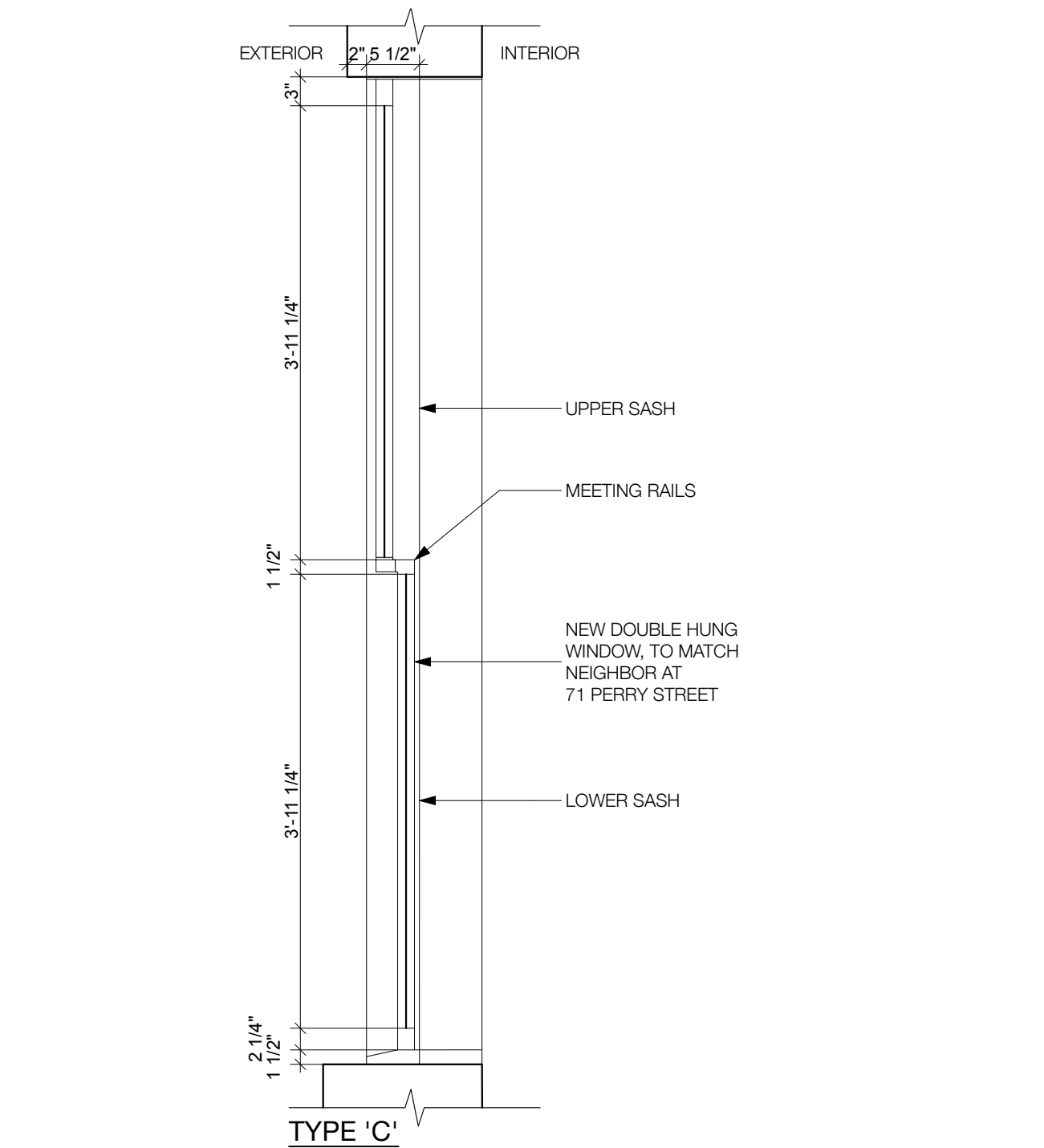
6 Proposed Upper Floor Window Elevation  
SCALE: 3/4" = 1'-0"



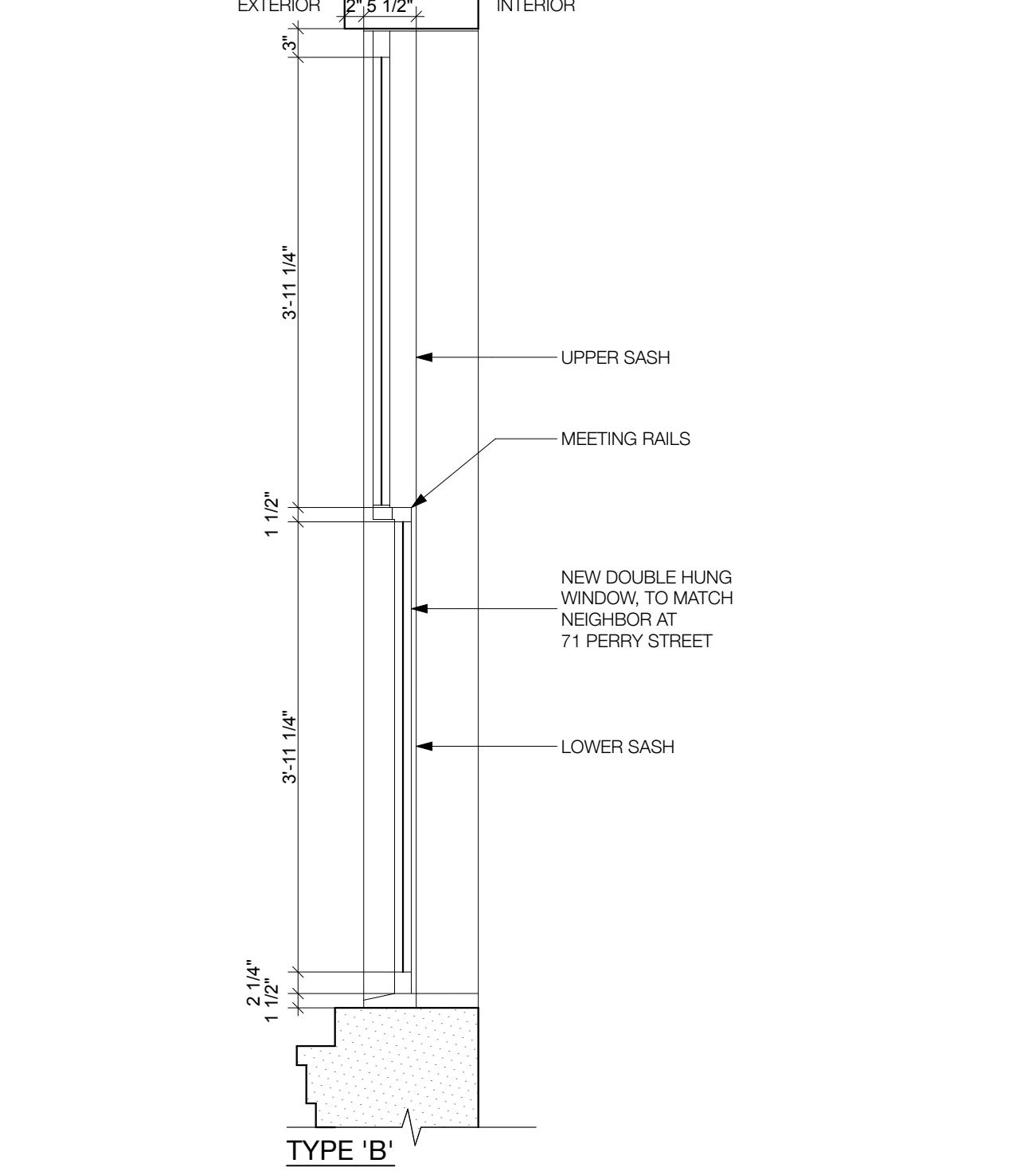
5 Proposed 1st Floor Window Elevation  
SCALE: 3/4" = 1'-0"



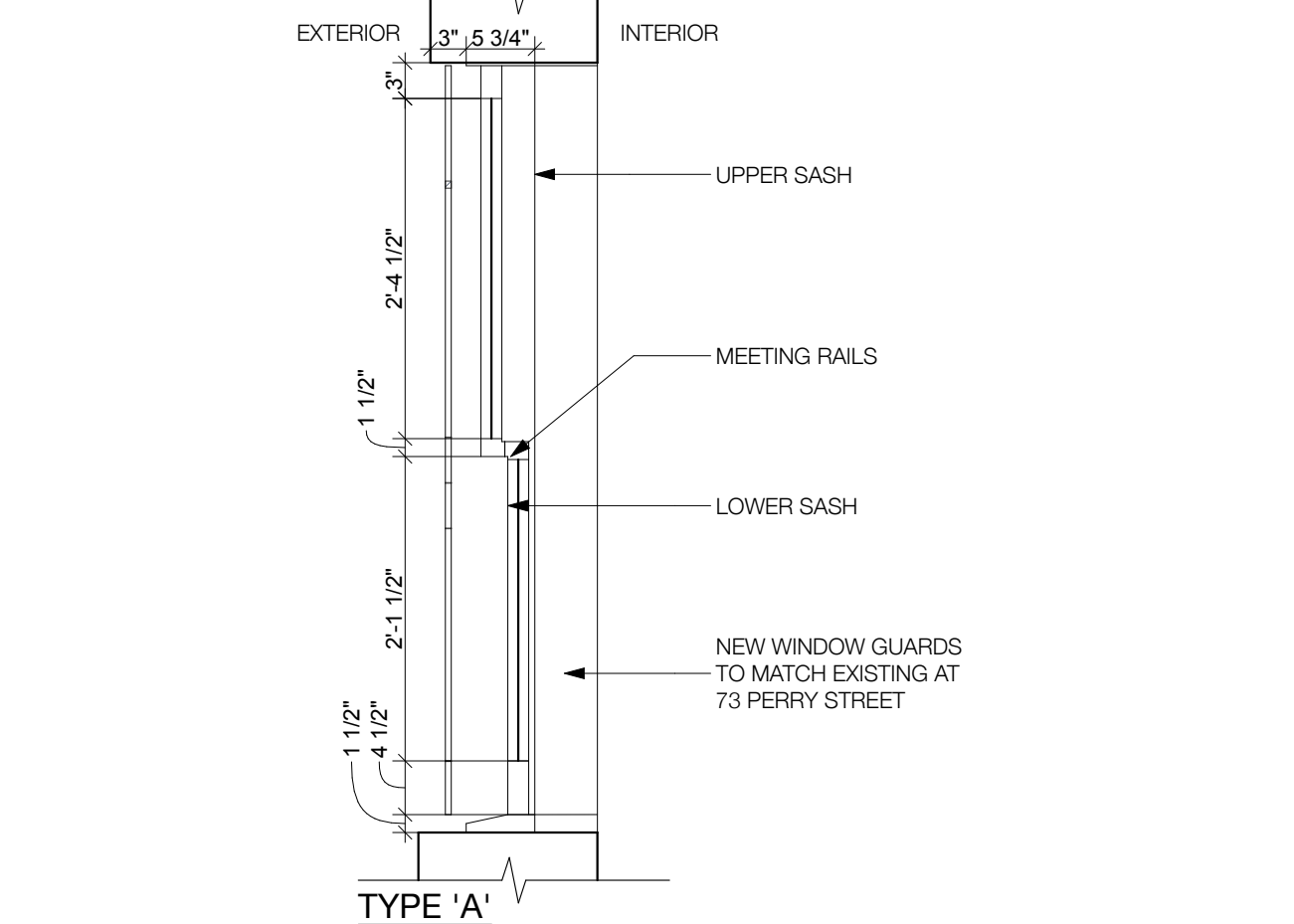
4 Proposed Basement Window Elevation  
SCALE: 3/4" = 1'-0"



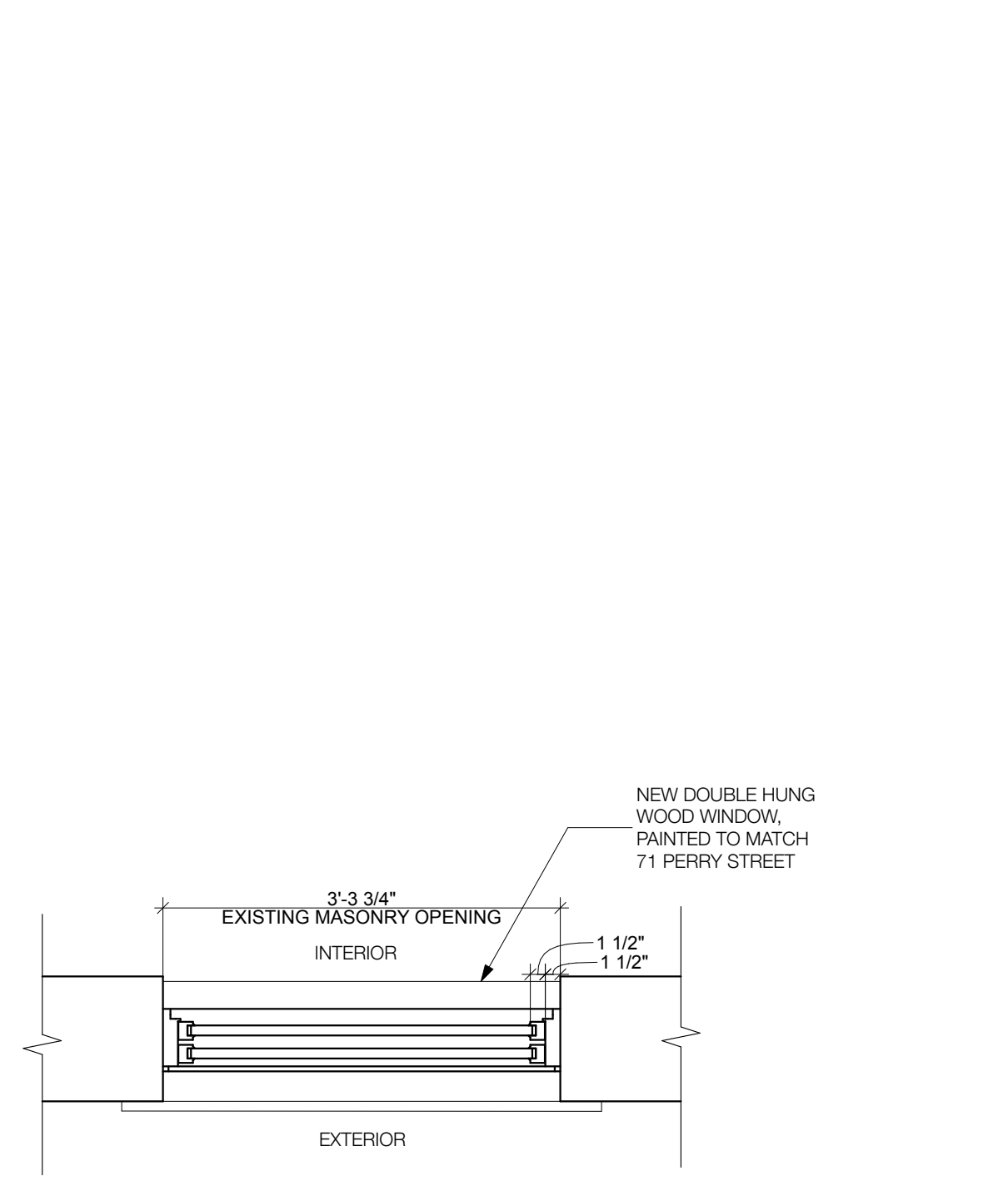
9 Proposed Upper Floors Window Section  
SCALE: 3/4" = 1'-0"



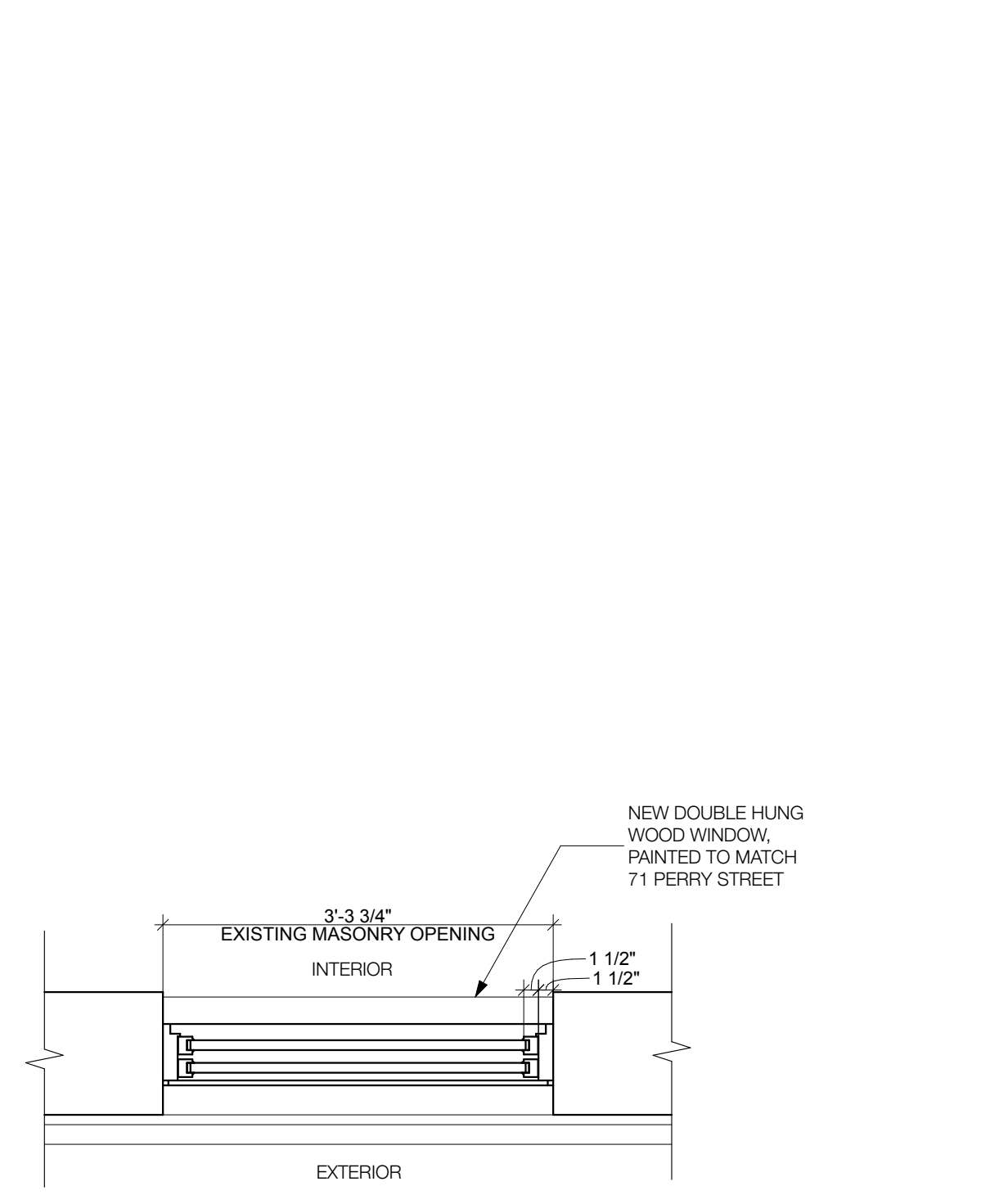
8 Proposed 1st Floor Window Section  
SCALE: 3/4" = 1'-0"



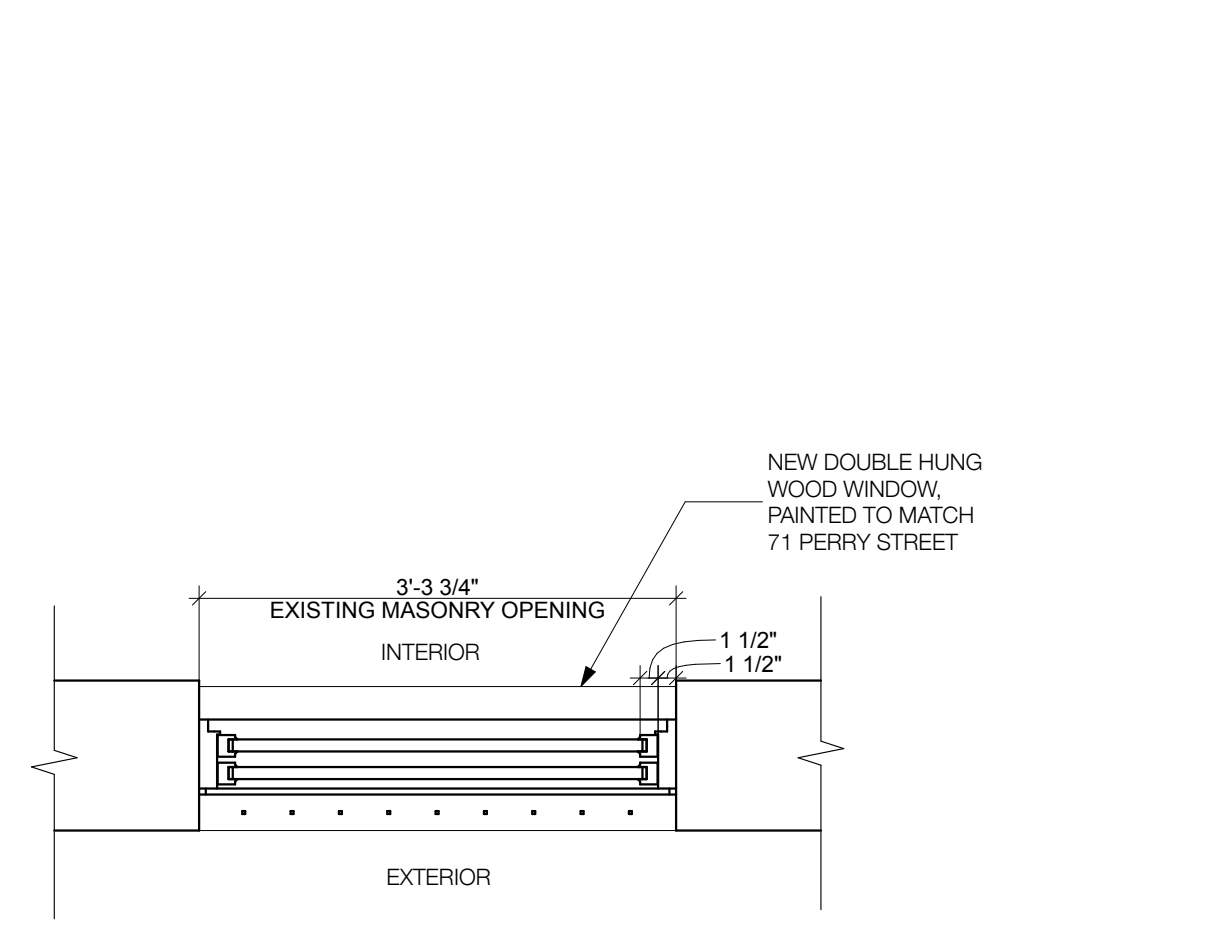
7 Proposed Basement Window Section  
SCALE: 3/4" = 1'-0"



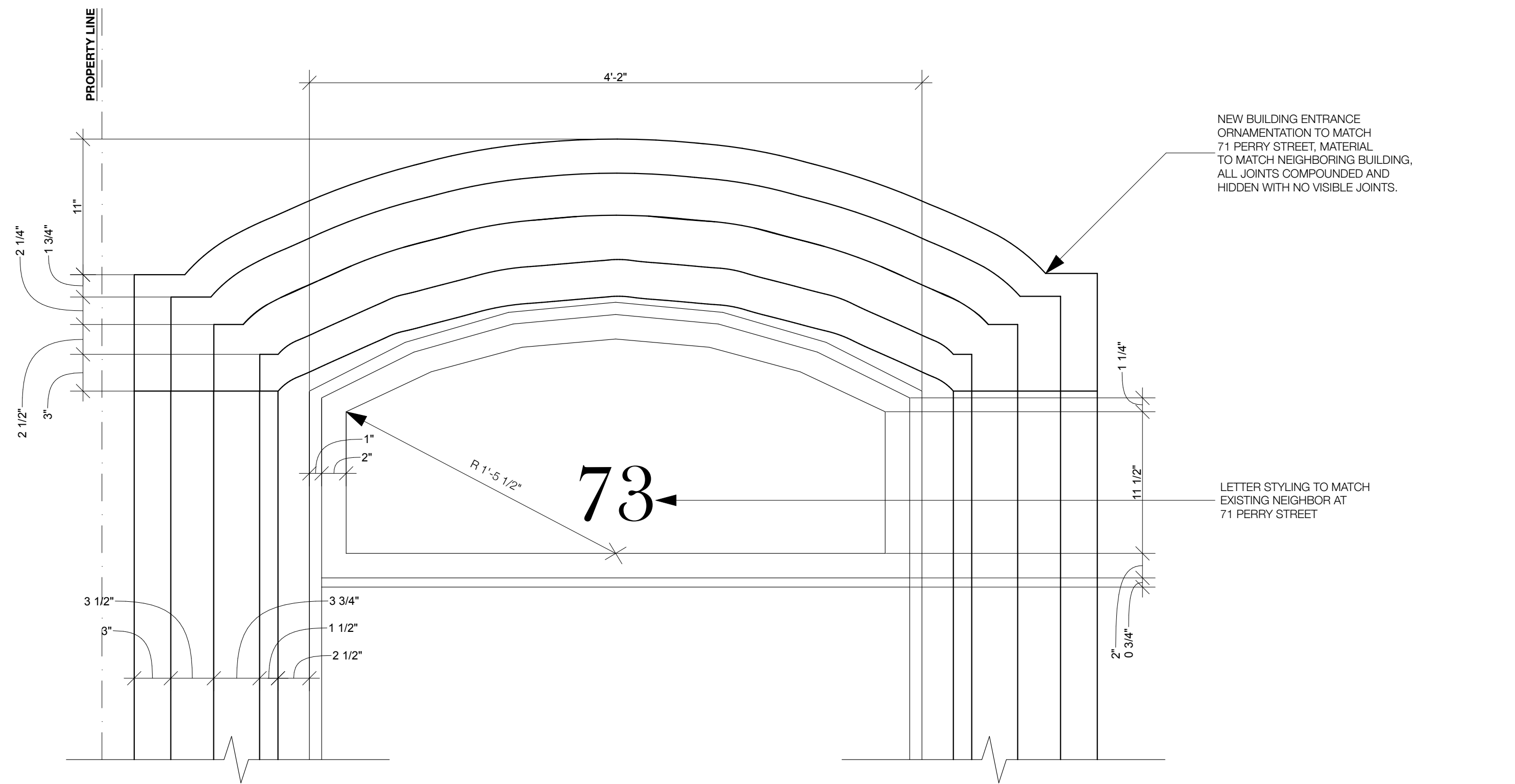
12 Proposed Upper Floors Window Plan  
SCALE: 3/4" = 1'-0"



11 Proposed 1st Floor Window Plan  
SCALE: 3/4" = 1'-0"



10 Proposed Basement Window Plan  
SCALE: 3/4" = 1'-0"



**NOTE:**

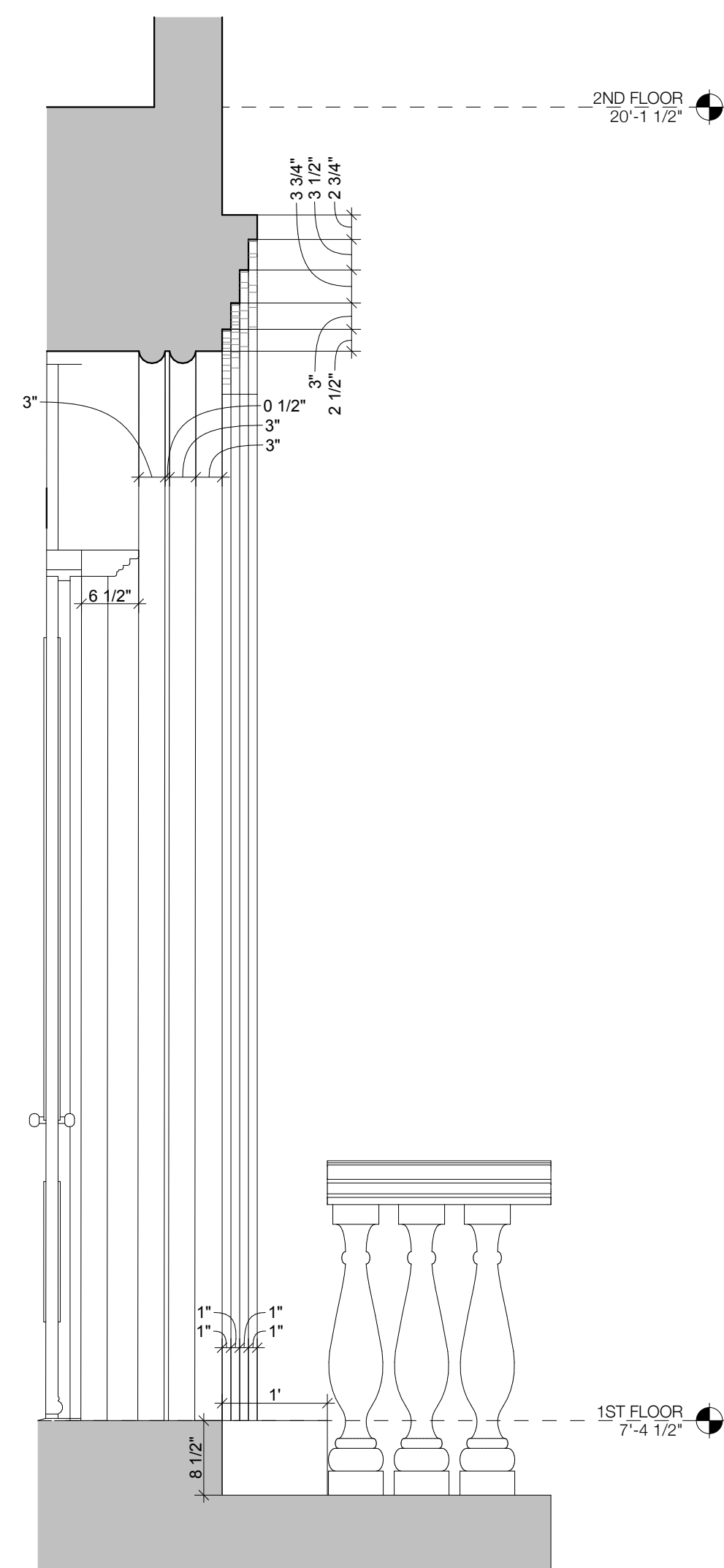
BROWNSTONE FEATURES OVER WINDOWS AND DOORWAYS TO BE LITE CAST GLASS FIBER REINFORCED CONCRETE TO MATCH ORIGINAL DESIGN. ALL JOINTS COMPOUNDED AND HIDDEN WITH NO VISIBLE JOINTS.

EXISTING WINDOWS TO BE REMOVED. TO BE REPLACED WITH DOUBLE HUNG WOOD WINDOWS. TO MATCH 71 PERRY STREET (NEIGHBOR).

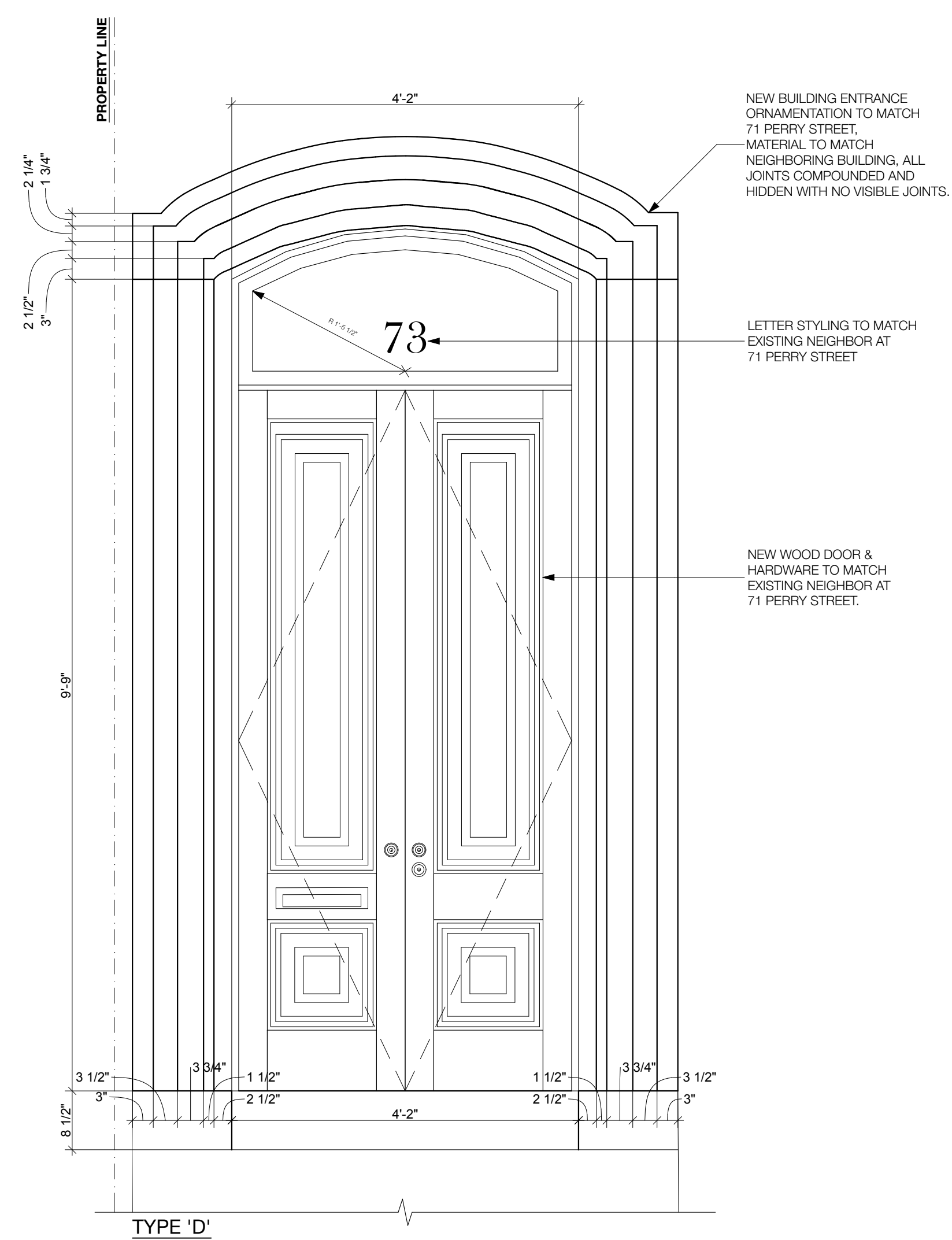
EXISTING RAILING TO BE REMOVED. NEW IRON WAILING TO MATCH PATTERN/COLOR OF RAILING AT 71 PERRY STREET (NEIGHBOR).

DOORWAY DESCRIBED IN GREENWICH VILLAGE HISTORIC DISTRICT DESIGNATION REPORT TO BE RECONSTRUCTED IN PREVIOUS LOCATION.

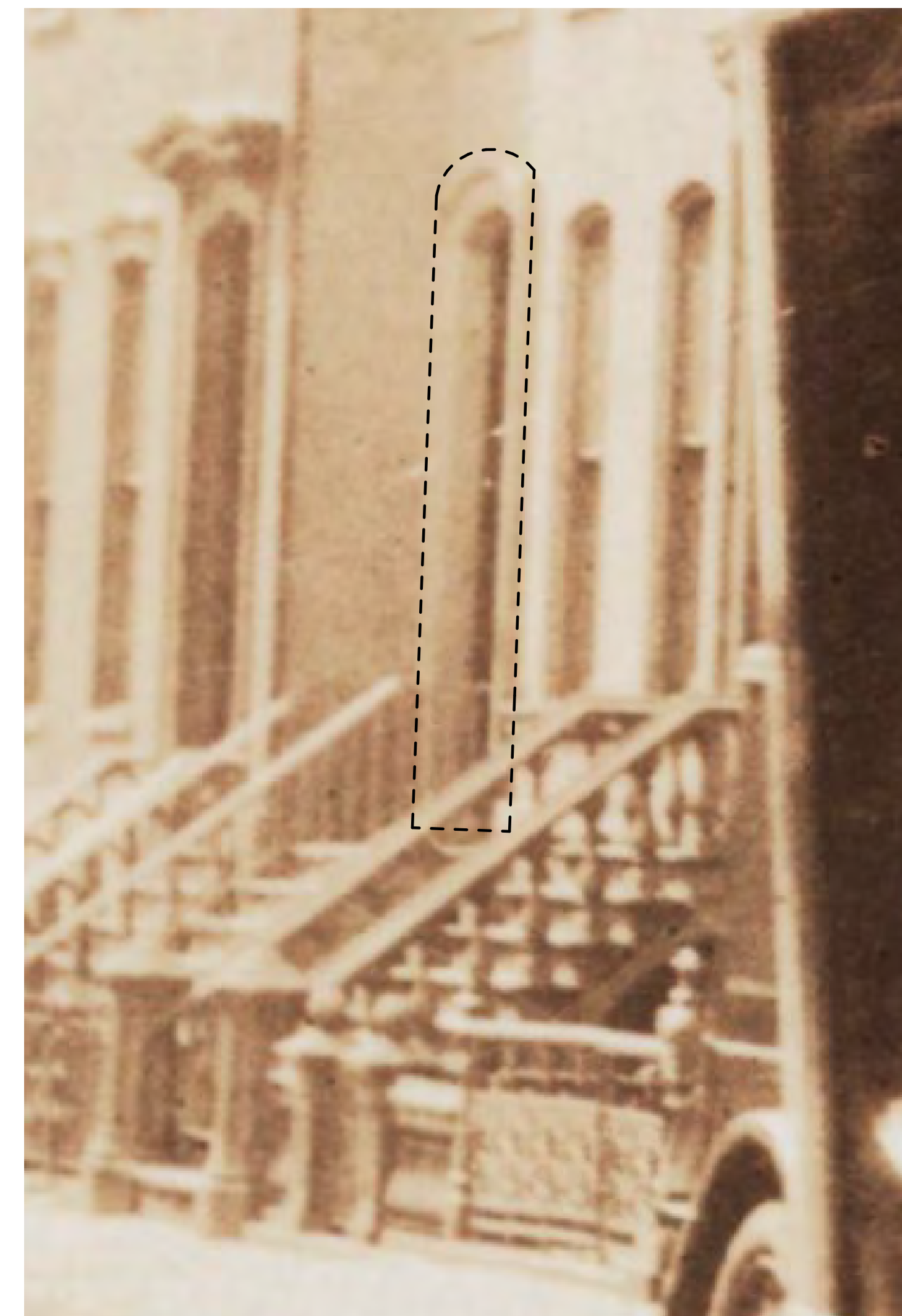
**3 Proposed Front Door Ornamental Detail**  
SCALE: 1 1/2" = 1'-0"



**4 Proposed Front Door Section**  
SCALE: 3/4" = 1'-0"



**2 Proposed Front Door Elevation**  
SCALE: 3/4" = 1'-0"



**1 73 Perry St Doorway: (1925, Before Renovation)**  
SCALE: 1:0.17

DATE	ISSUE	REV
8/4/22	Issue for CB/LPC	01

Drawn By:  
Checked By:

Seal:

Title:  
Door Surround Details

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

**L-10.00**

DATE	ISSUE	REV
8/4/22	Issue for CB/LPC	01

Drawn By:  
Checked By:

Seal:

Title:  
Proposed Stoop Details

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

L-11.00

NOTE:

BROWNSTONE FEATURES OVER WINDOWS AND DOORWAYS TO BE LITE CAST GLASS FIBER REINFORCED CONCRETE TO MATCH ORIGINAL DESIGN. ALL JOINTS COMPOUNDED AND HIDDEN WITH NO VISIBLE JOINTS.

EXISTING WINDOWS TO BE REMOVED. TO BE REPLACED WITH DOUBLE HUNG WOOD WINDOWS. TO MATCH 71 PERRY STREET (NEIGHBOR).

EXISTING RAILING TO BE REMOVED. NEW IRON WAILING TO MATCH PATTERN/COLOR OF RAILING AT 71 PERRY STREET (NEIGHBOR).

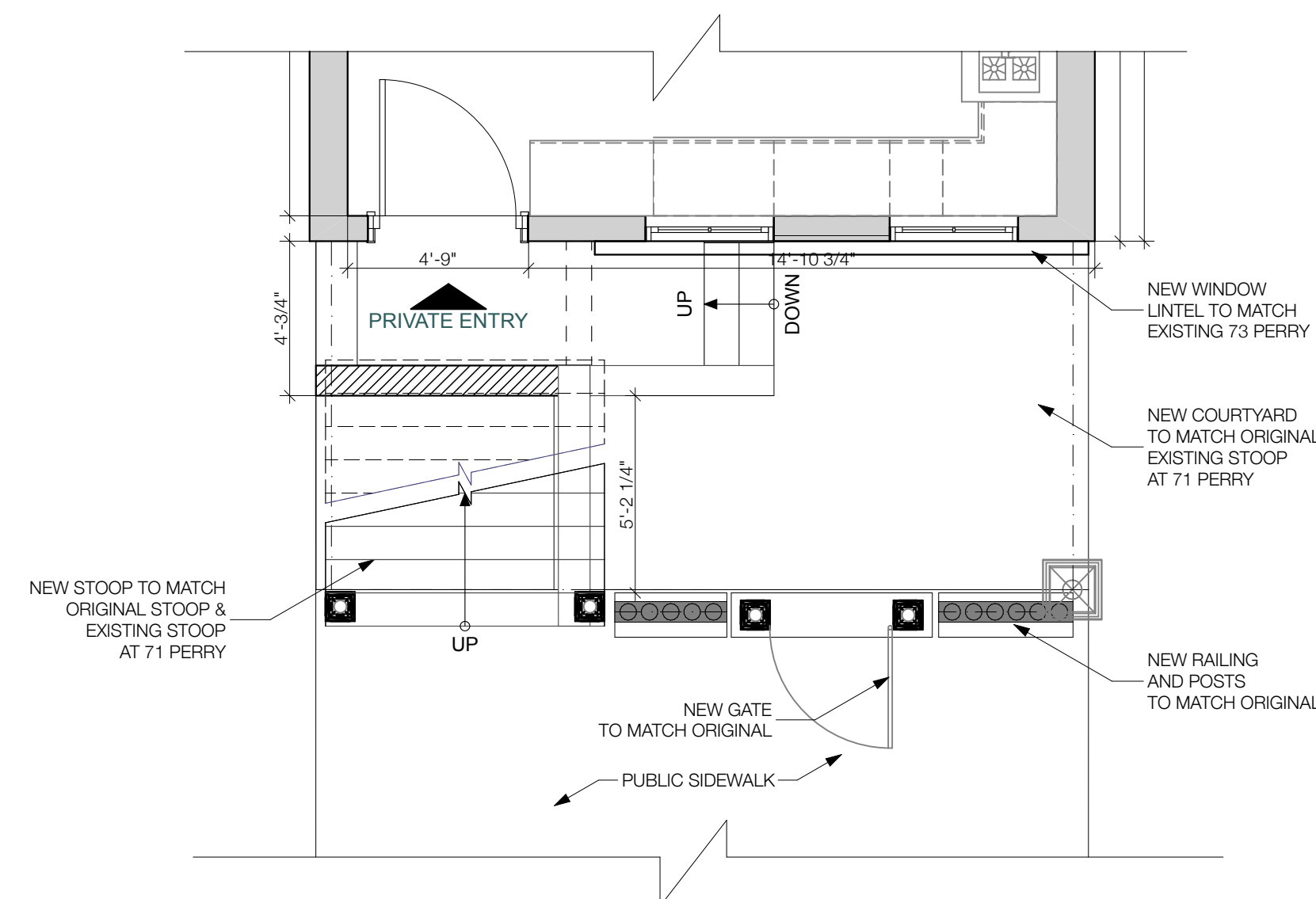
DOORWAY DESCRIBED IN GREENWICH VILLAGE HISTORIC DISTRICT DESIGNATION REPORT TO BE RECONSTRUCTED IN PREVIOUS LOCATION.



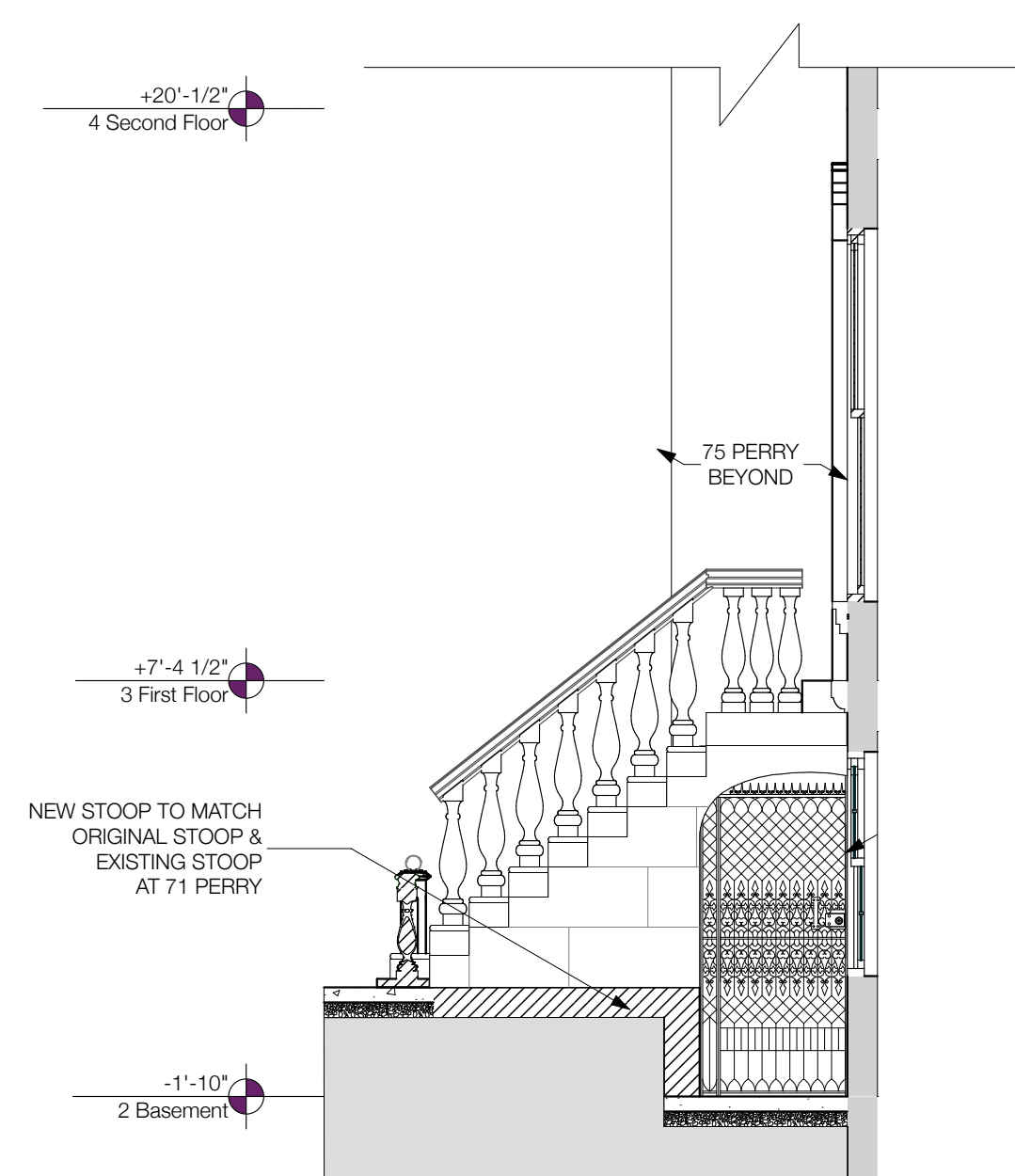
3 Proposed Basement Areaway Section  
SCALE: 1/4" = 1'-0"



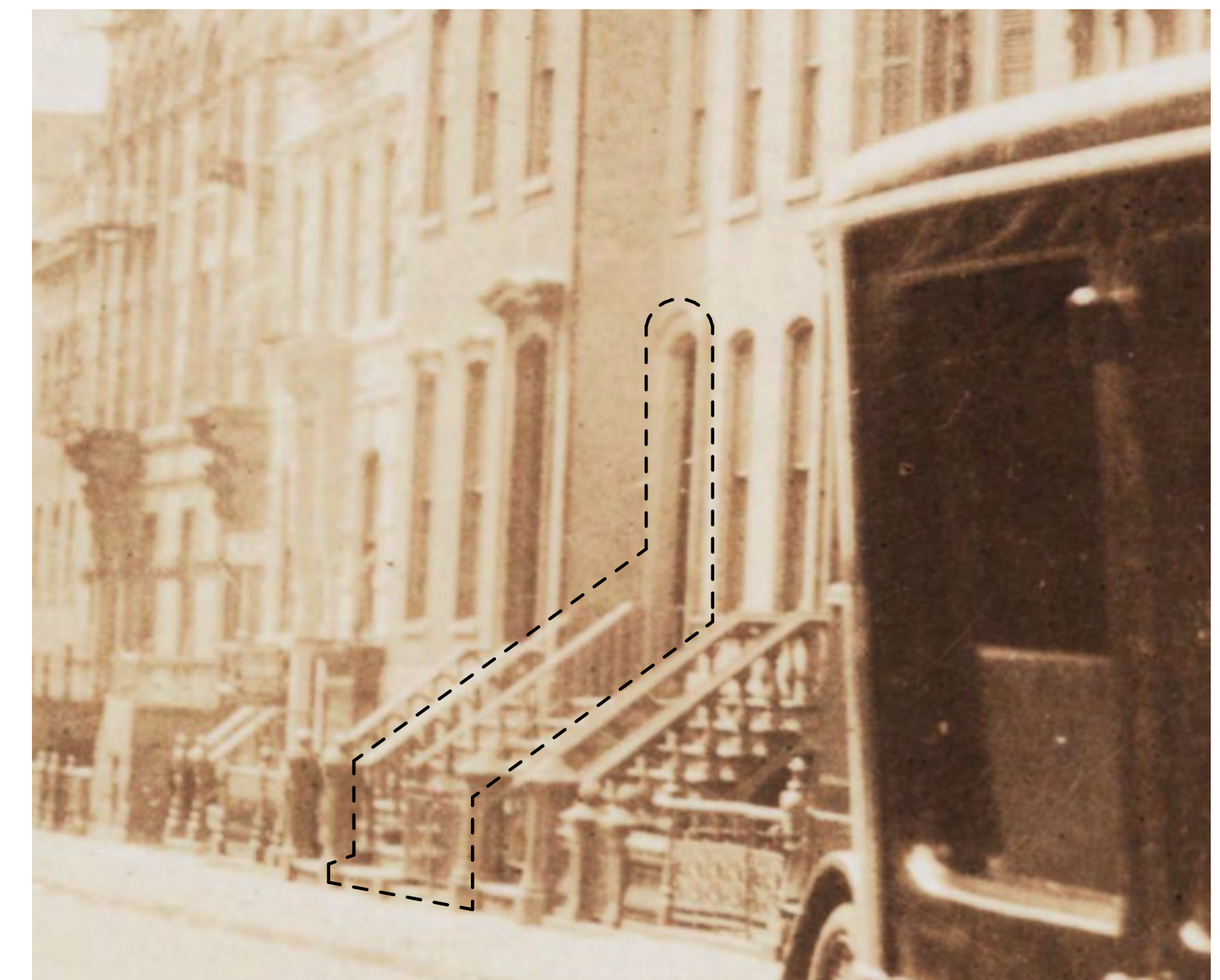
5 71 Perry St Stoop: (Existing)  
SCALE: 1:8.25



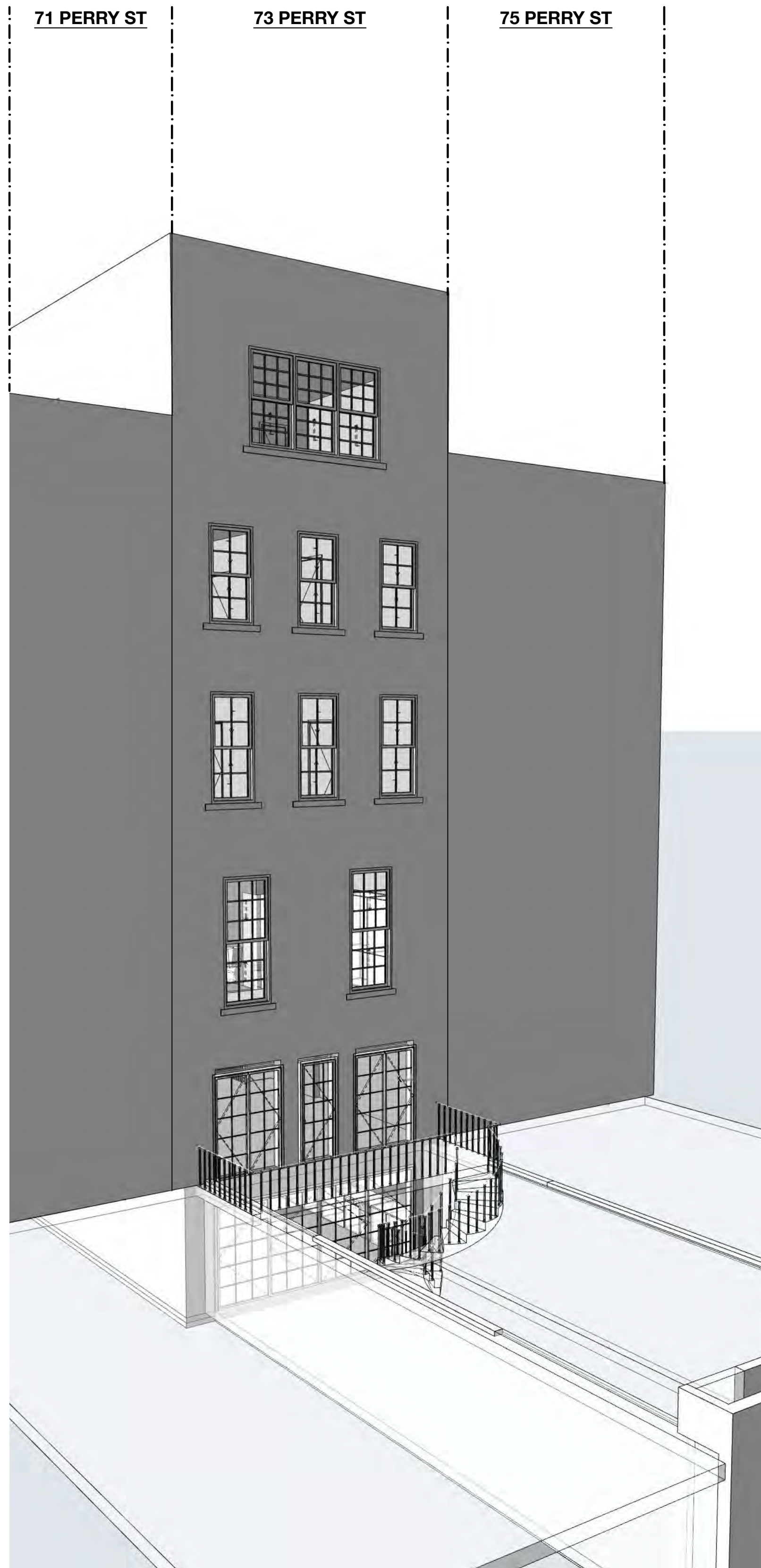
5 Proposed Basement Areaway  
SCALE: 1/4" = 1'-0"



4 Proposed Side Detail Elevation  
SCALE: 1/4" = 1'-0"



1 73 Perry St Stoop: (1925, Before Renovation)  
SCALE: 1:0.33



4 Rear Facade Model 3D View  
SCALE: 6" = 1'-0"



3 Demolition Rear Elevation  
SCALE: 1/4" = 1'-0"



2 Proposed Rear Elevation  
SCALE: 1/4" = 1'-0"



1 Existing Rear Yard Photo  
SCALE: 1:5

**NOTE:**  
EXISTING TINTED STUCCO TOP LAYER TO BE REPAIRED AS REQUIRED, SMOOTHED AND REPAINTED, COLOR TO BE DECIDED.  
EXISTING WINDOWS AND DOORS TO BE REMOVED AND REPLACED.

DATE	ISSUE	REV
8/4/22	Issue for CB/LPC	01

Drawn By:  
Checked By:

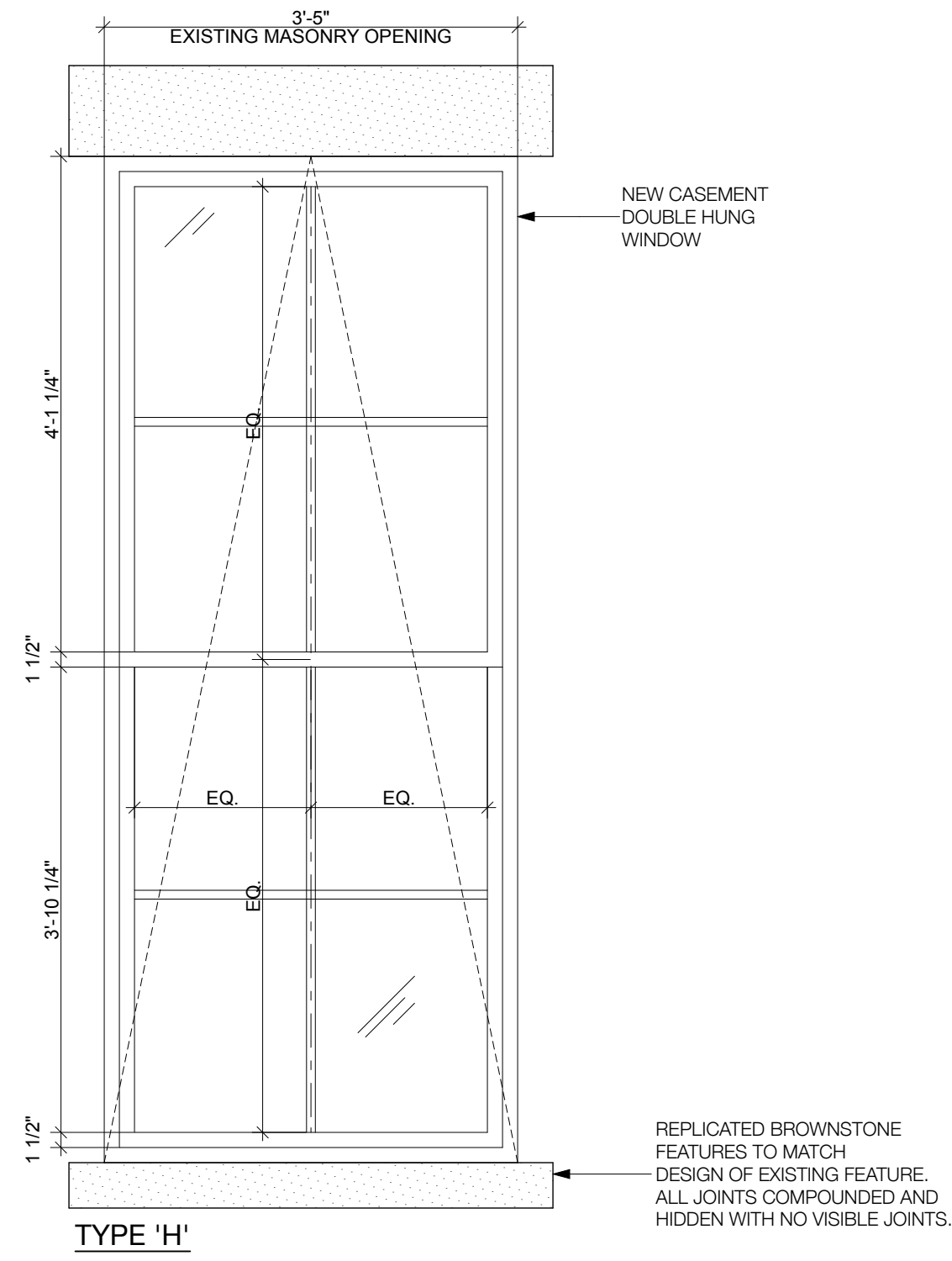
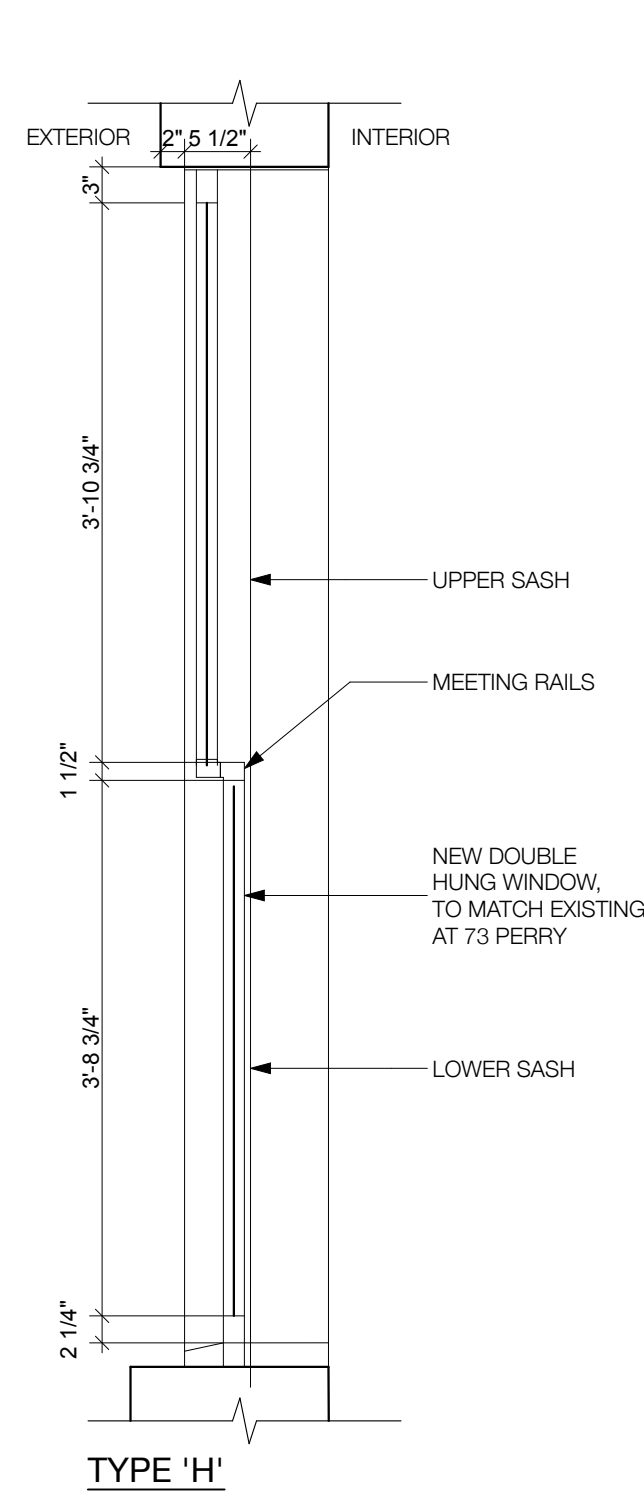
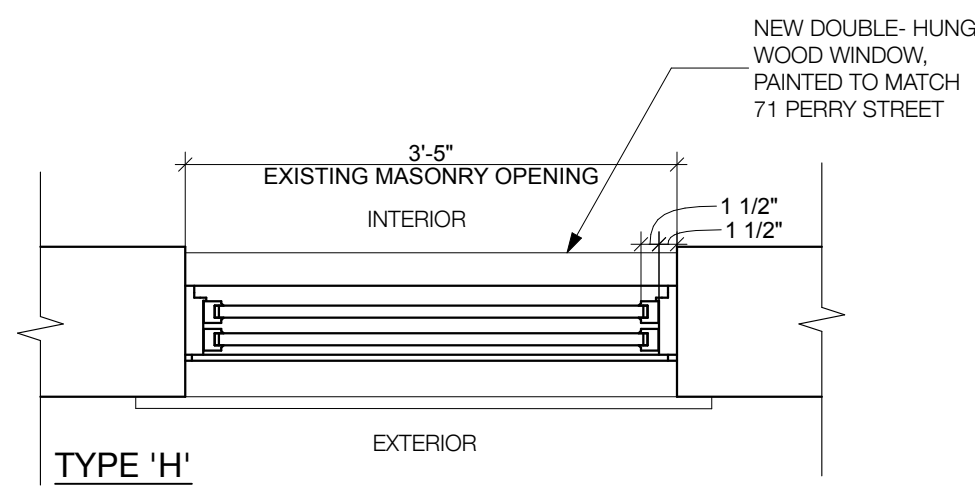
Seal:

Title:  
Rear Yard Exterior  
Elevations & 3D View

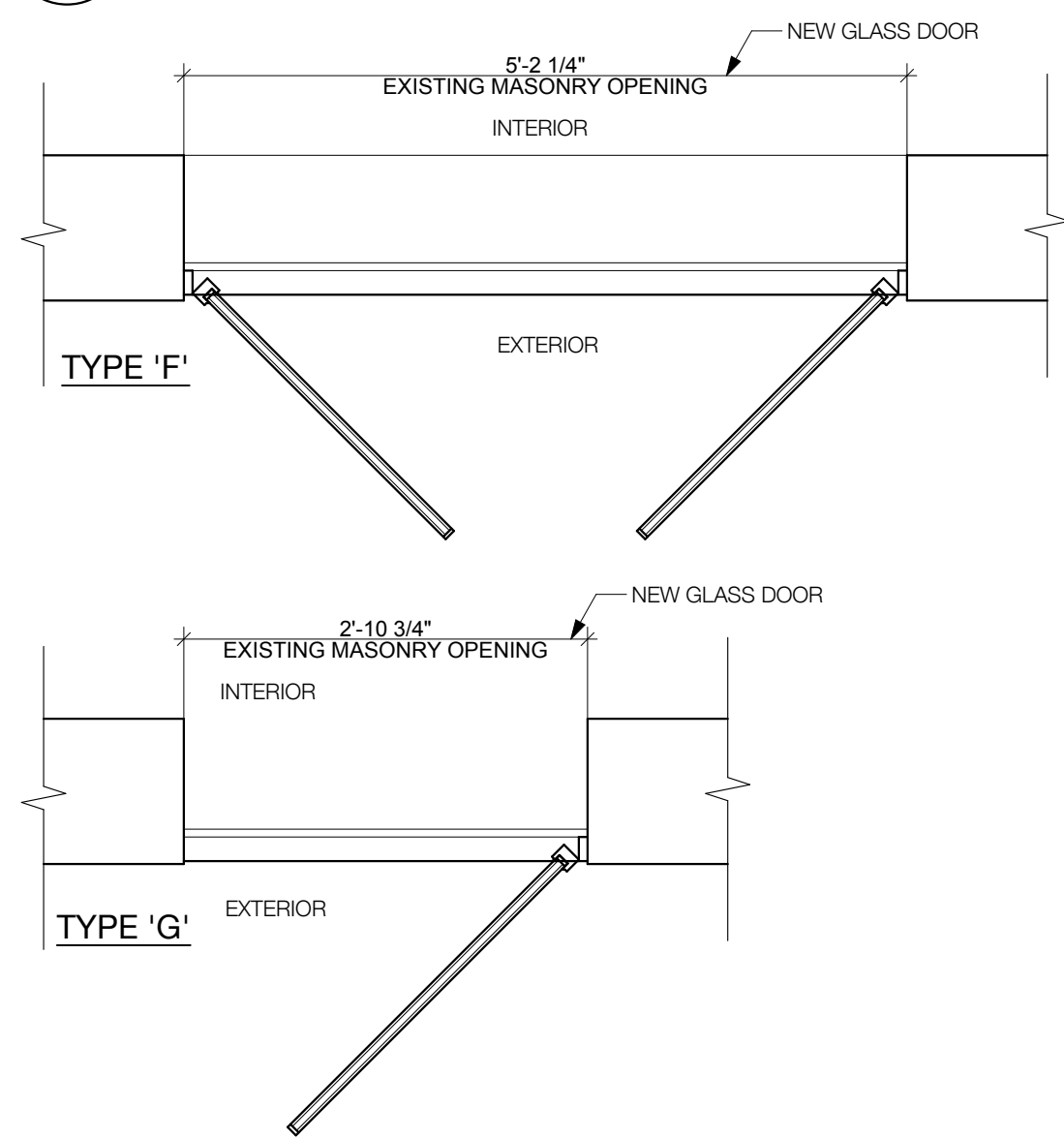
Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

L-12.00

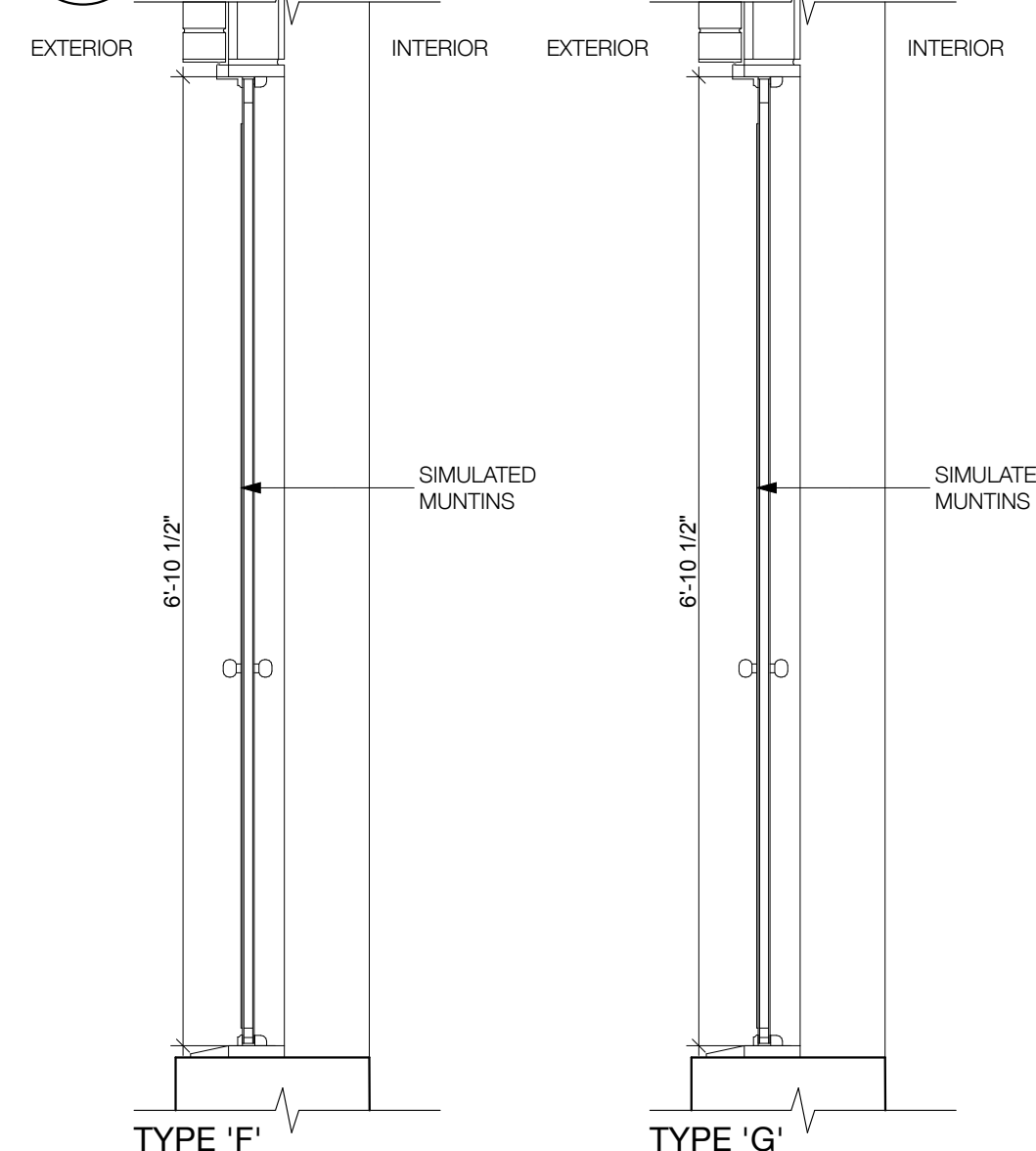
**NOTE:**  
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 EXISTING WINDOWS AND DOORS TO BE REMOVED AND REPLACED.



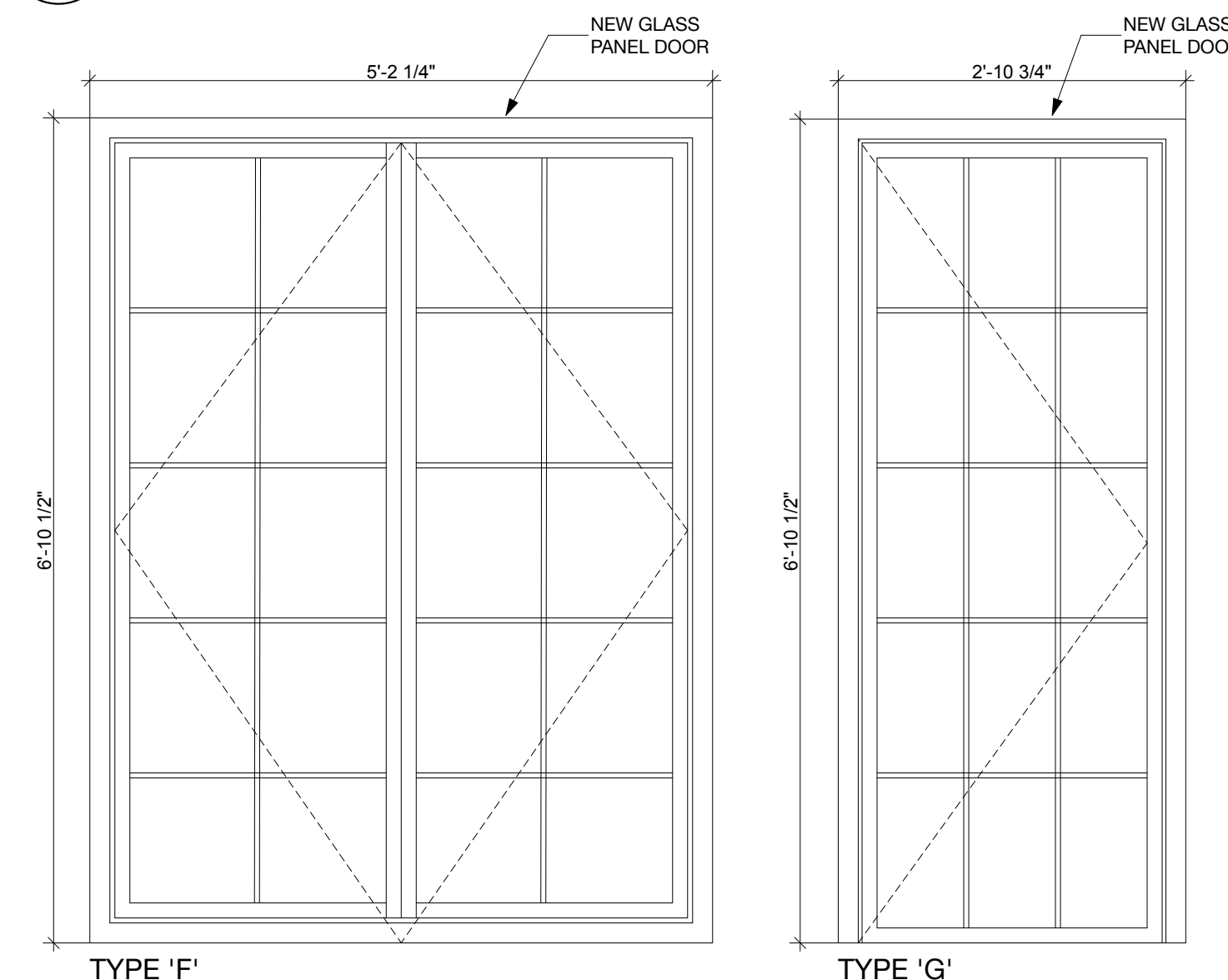
11 Proposed 1st Floor Window Plan  
 SCALE: 3/4" = 1'-0"



8 Proposed 1st Floor Window Elevation  
 SCALE: 3/4" = 1'-0"



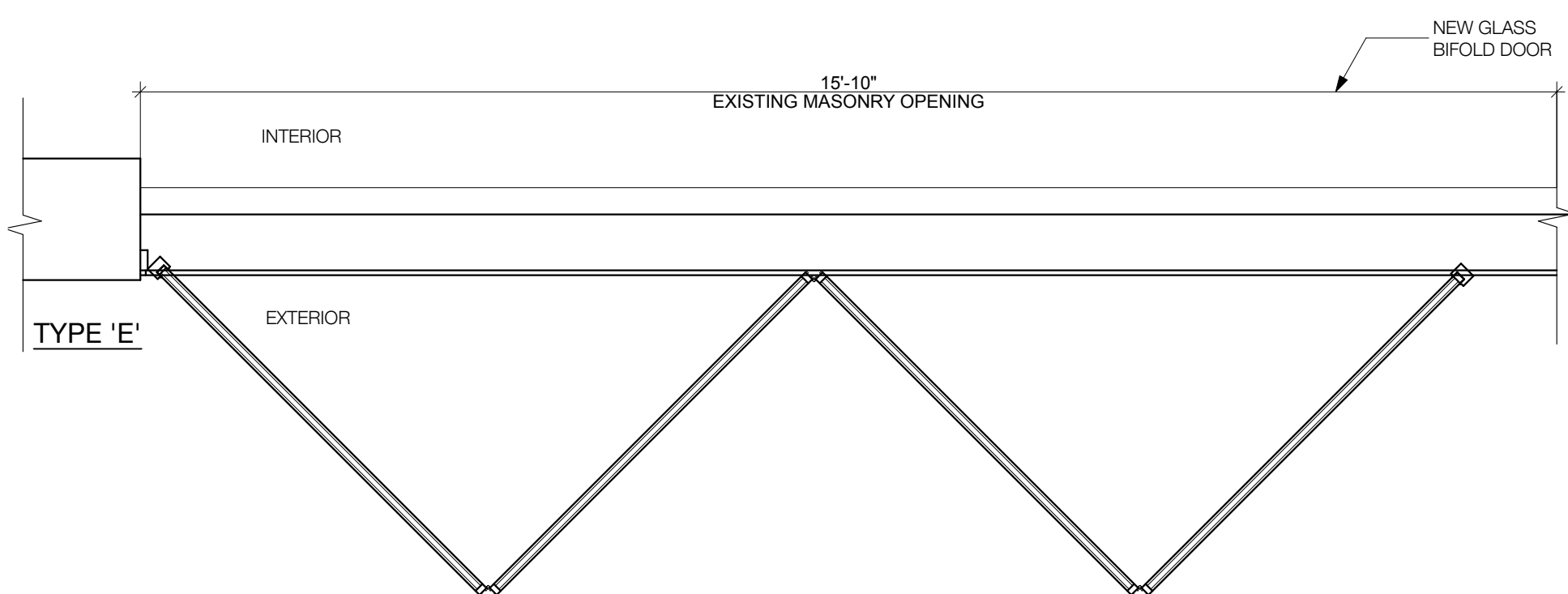
4 Proposed 1st Floor Window Elevation  
 SCALE: 3/4" = 1'-0"



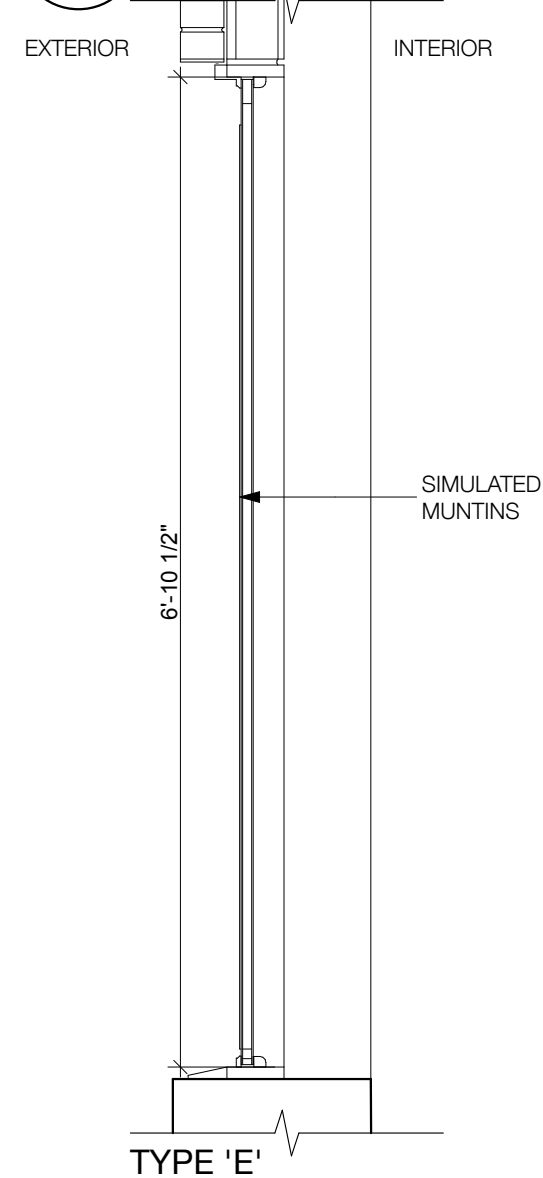
3 Existing 1st Floor Window  
 SCALE: 1:0.87



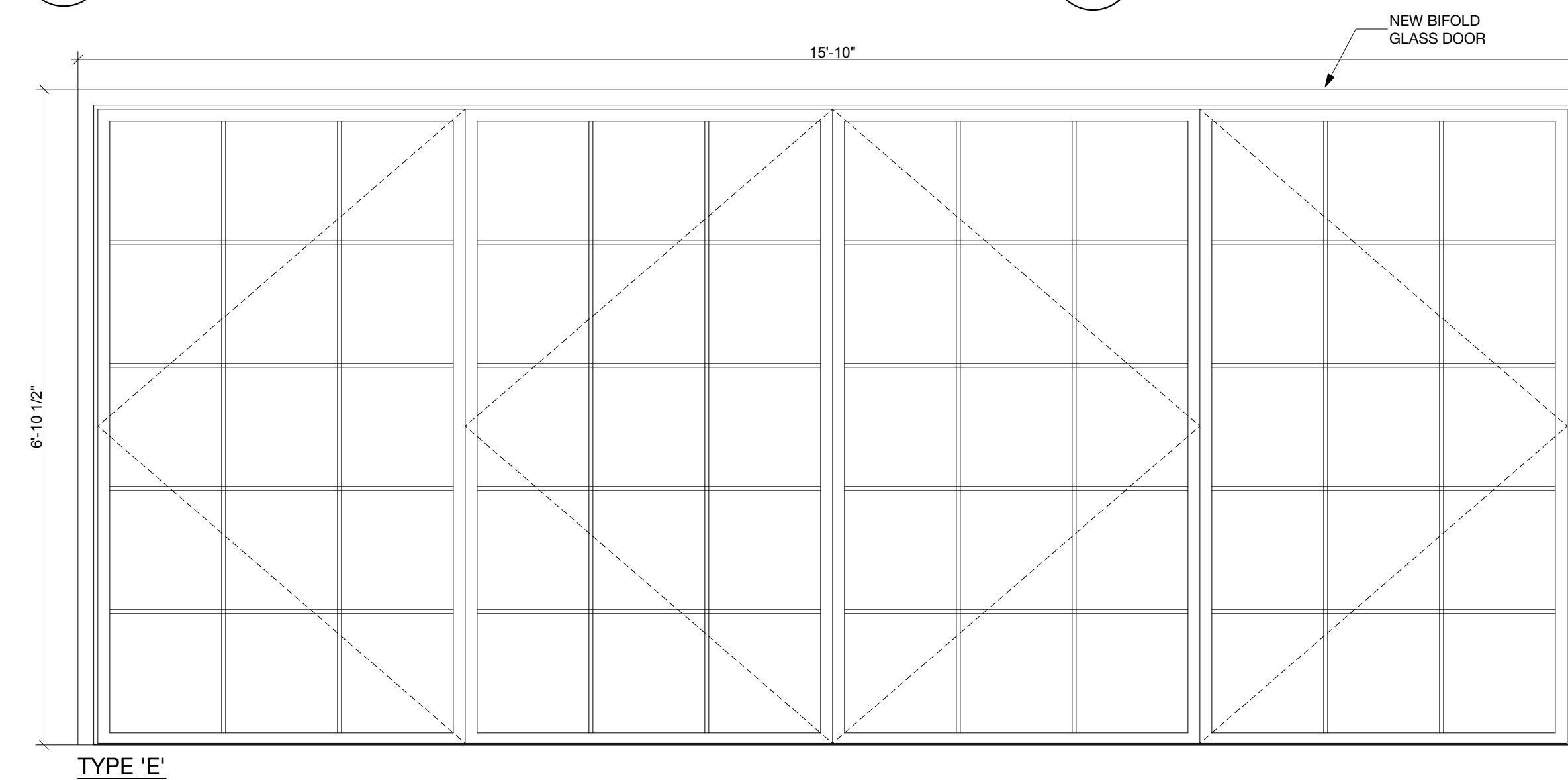
10 Proposed Basement Window Plans  
 SCALE: 3/4" = 1'-0"



7 Proposed Basement Window Elevations  
 SCALE: 3/4" = 1'-0"



5 Proposed Basement Window Elevations  
 SCALE: 3/4" = 1'-0"



2 Existing Basement Floor Windows  
 SCALE: 1:6.87

9 Proposed Cellar Window Plan  
 SCALE: 3/4" = 1'-0"

6 Proposed Cellar Window Section  
 SCALE: 3/4" = 1'-0"

1 Proposed Cellar Window Elevation  
 SCALE: 3/4" = 1'-0"

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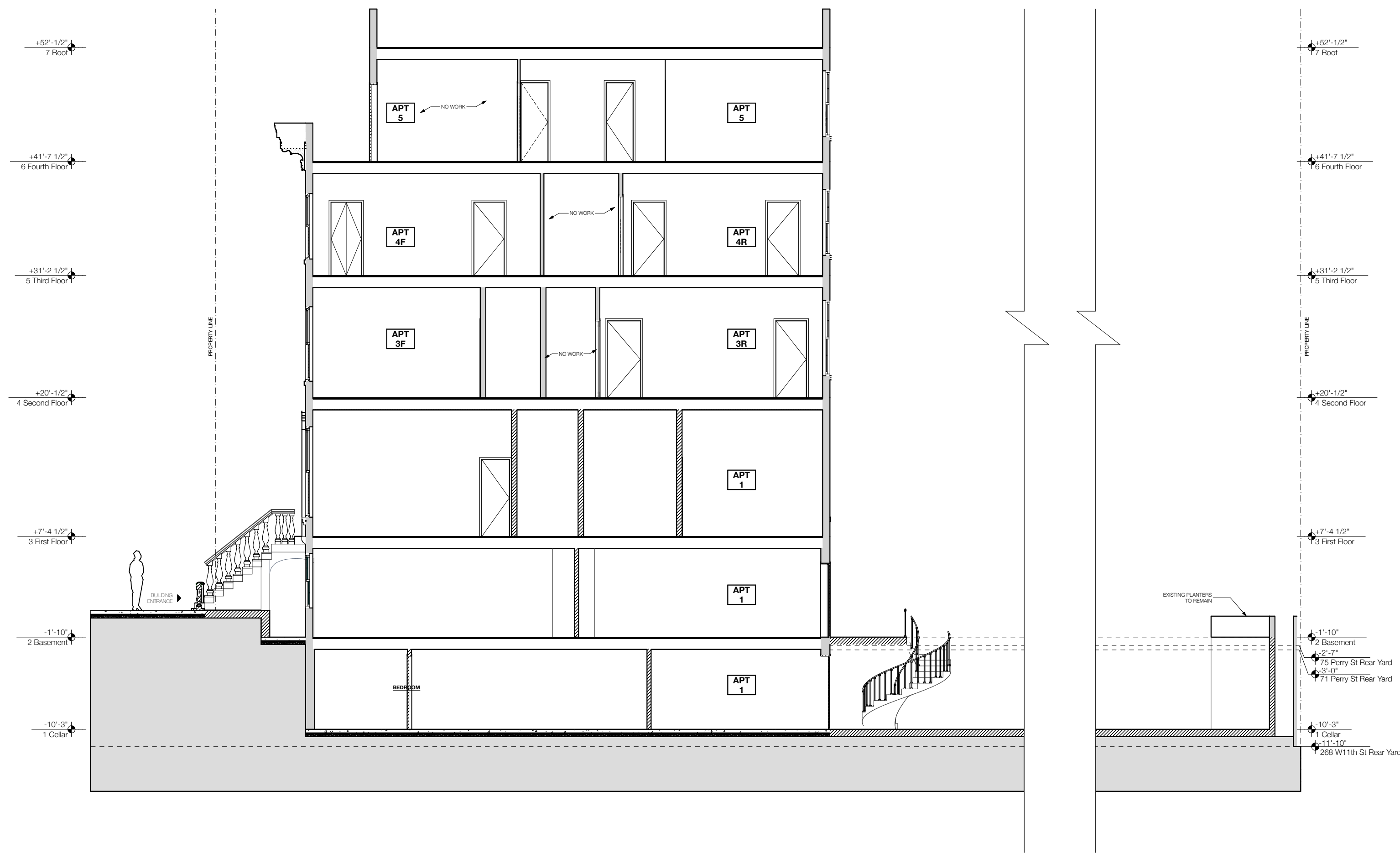
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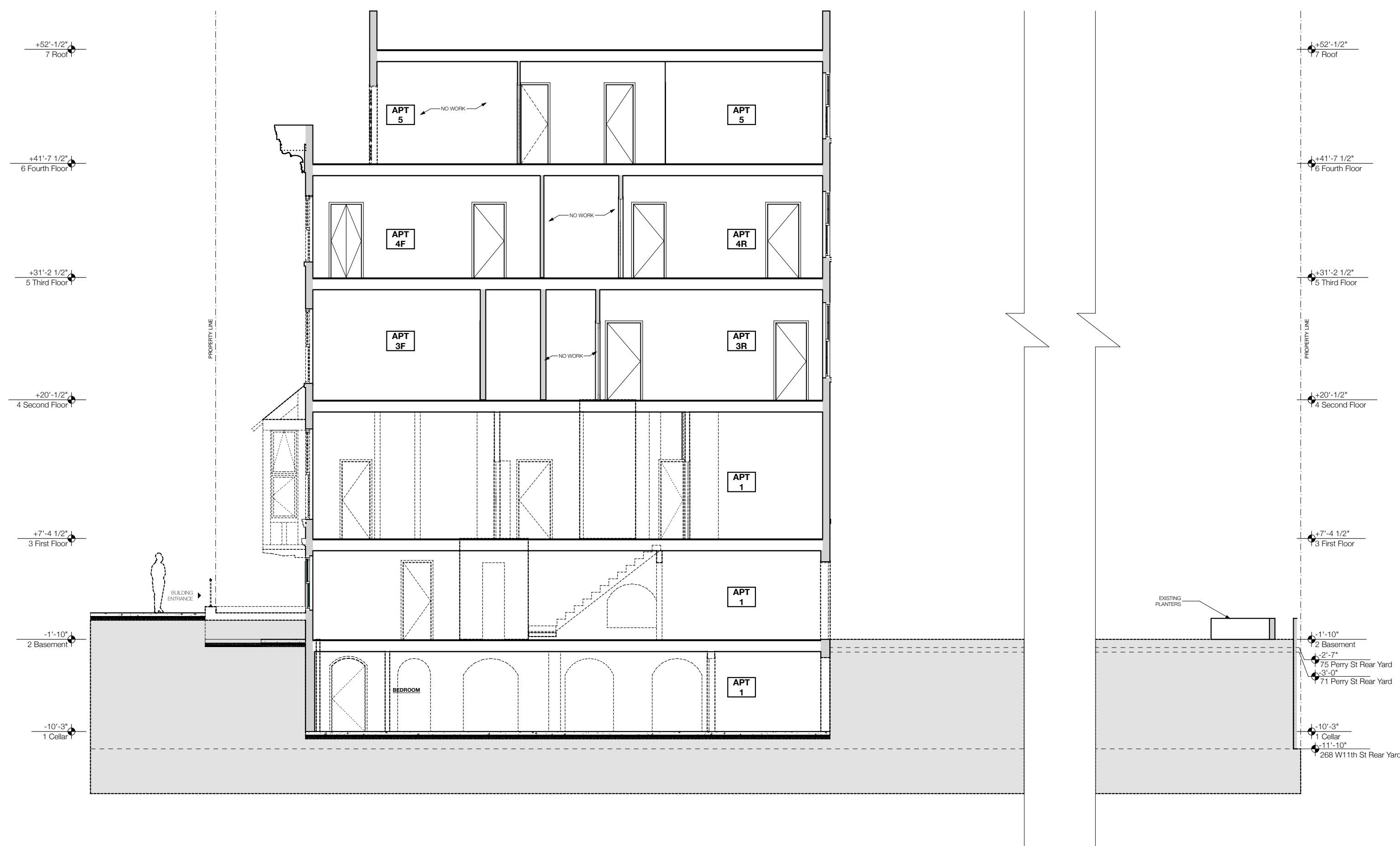
Title:  
 Rear Facade Window &  
 Door Details

Date: 8/4/22  
 Scale: AS NOTED  
 Project #: PRRY  
 Drawing #:

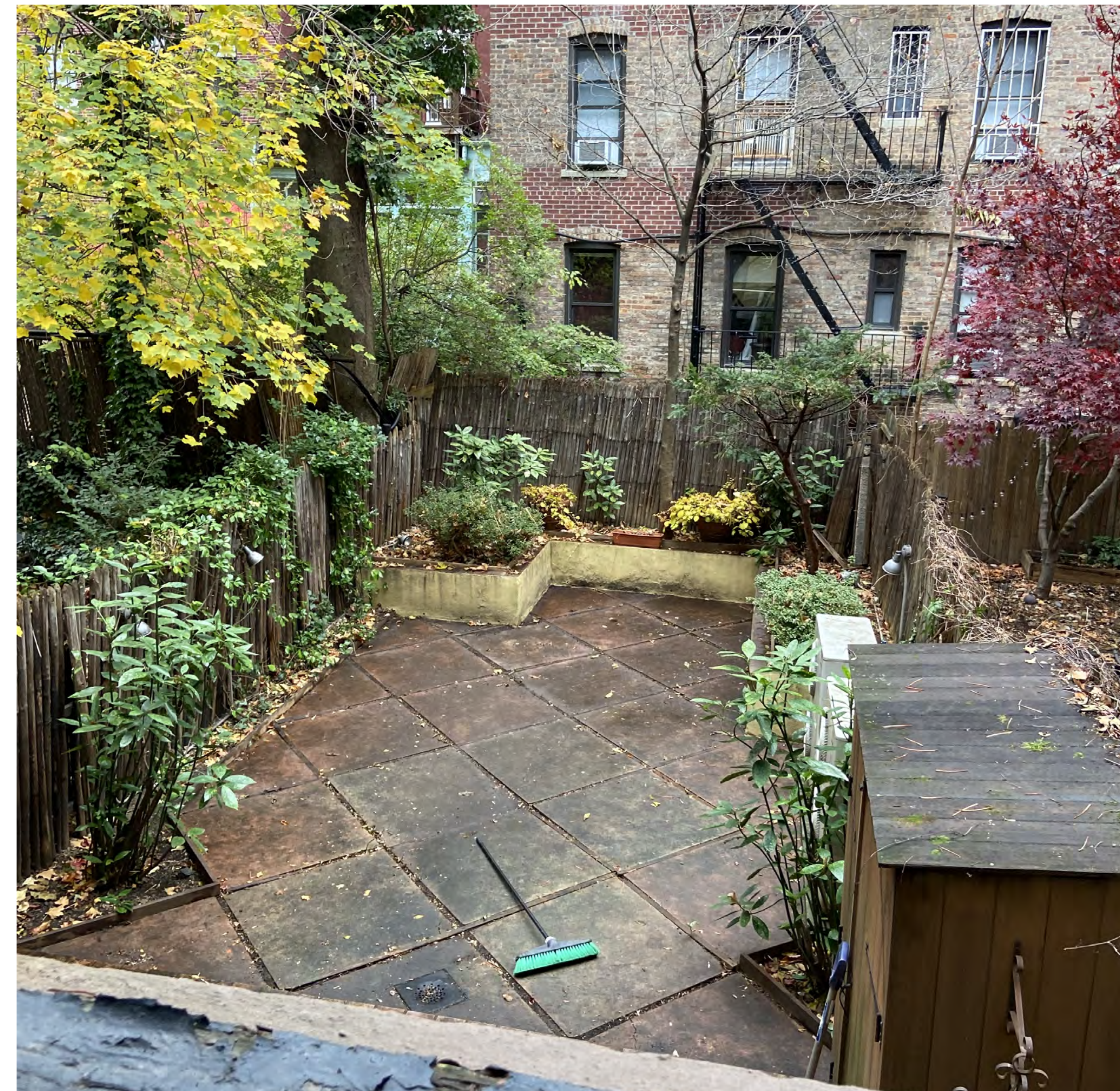
L-13.00



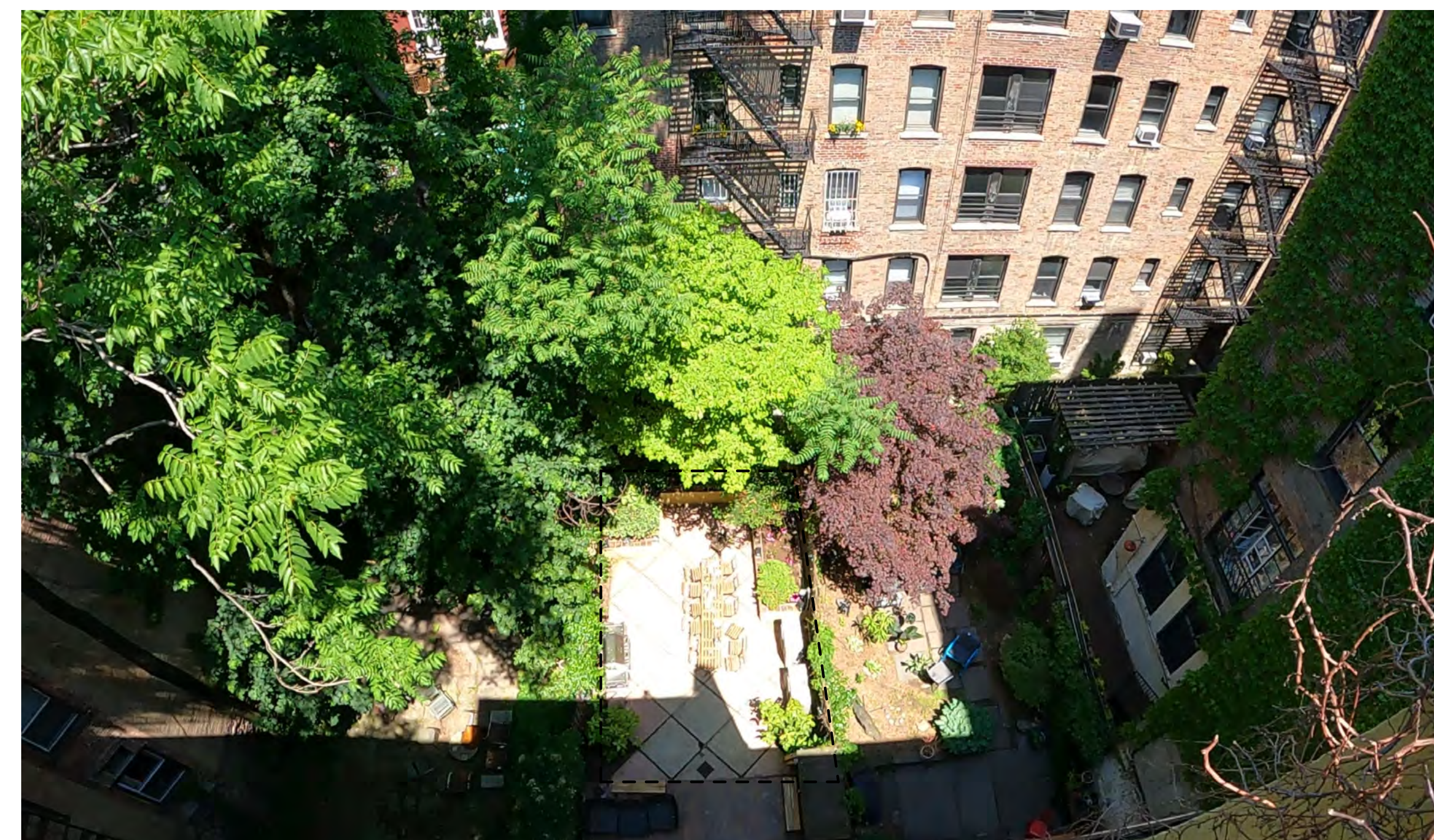
**4 Proposed Section Facing West**  
SCALE: 1/8" = 1'-0"



**3 Existing Section Facing West**  
SCALE: 1/8" = 1'-0"



**2 Existing Rear Yard from 1st Floor**  
SCALE: 1:3.33



**1 Existing Rear Yard View from Roof**  
SCALE: 6" = 1'-0"

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Drawn By:  
Checked By:

Seal:

Title:  
Rear Yard Existing &  
Proposed Photos &  
Sections

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

**L-14.00**

**NOTE:**  
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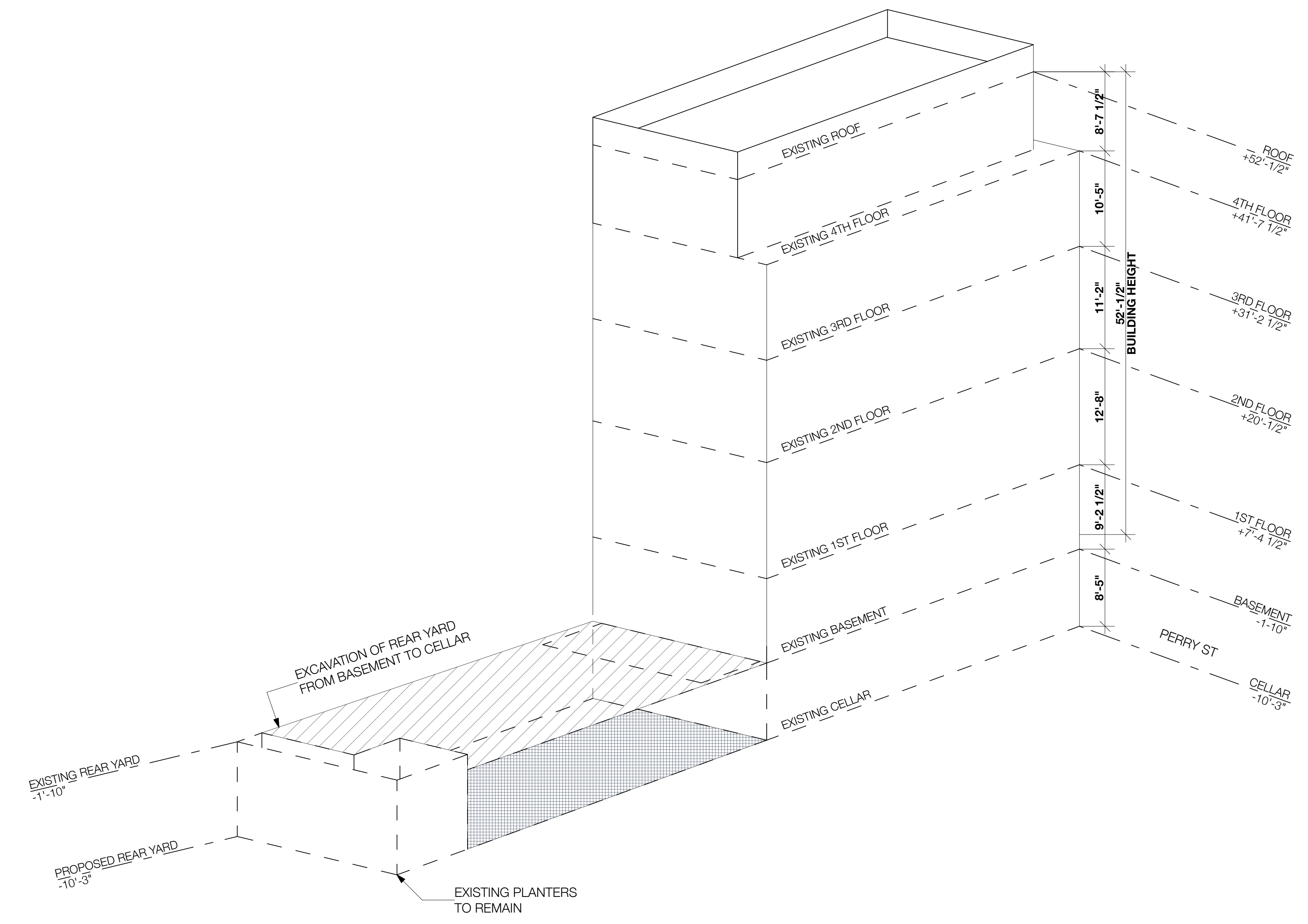
Drawn By:  
 Checked By:

Seal:

Title:  
**Proposed Rear Yard  
 Axonometric &  
 Specifications**

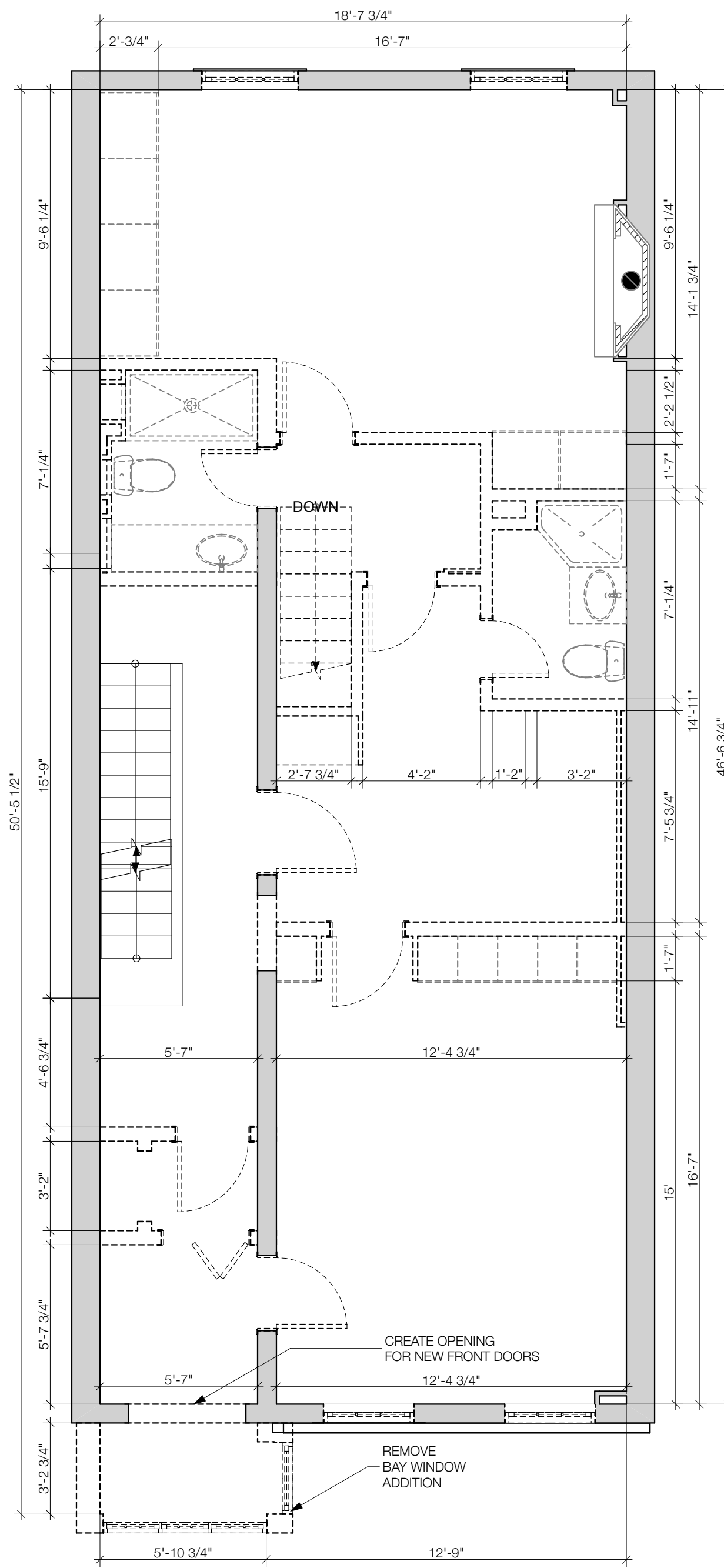
Date: 8/4/22  
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 Drawing #:

**L-15.00**

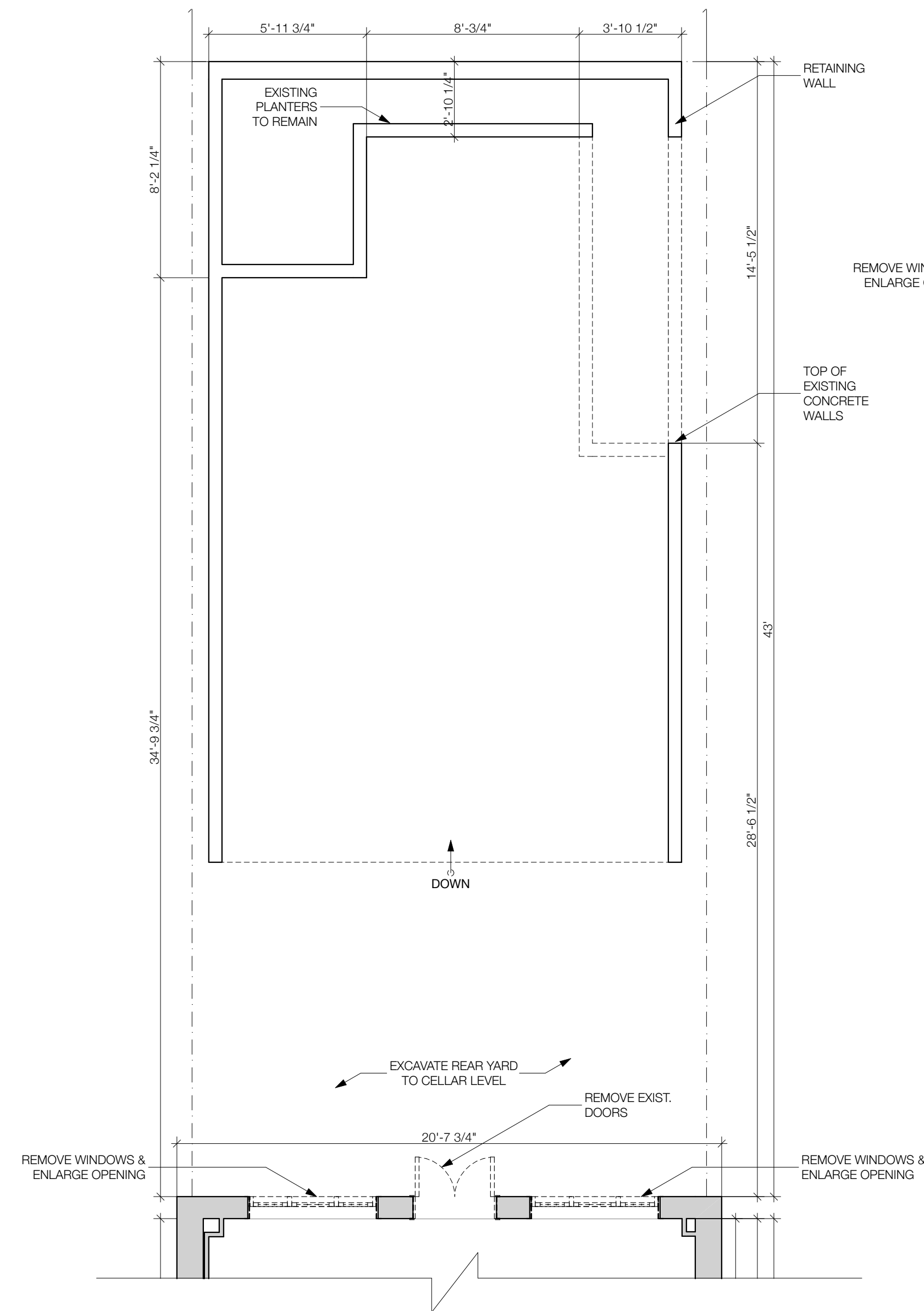


**2** Rear Yard Planter Details  
 SCALE: 6" = 1'-0"

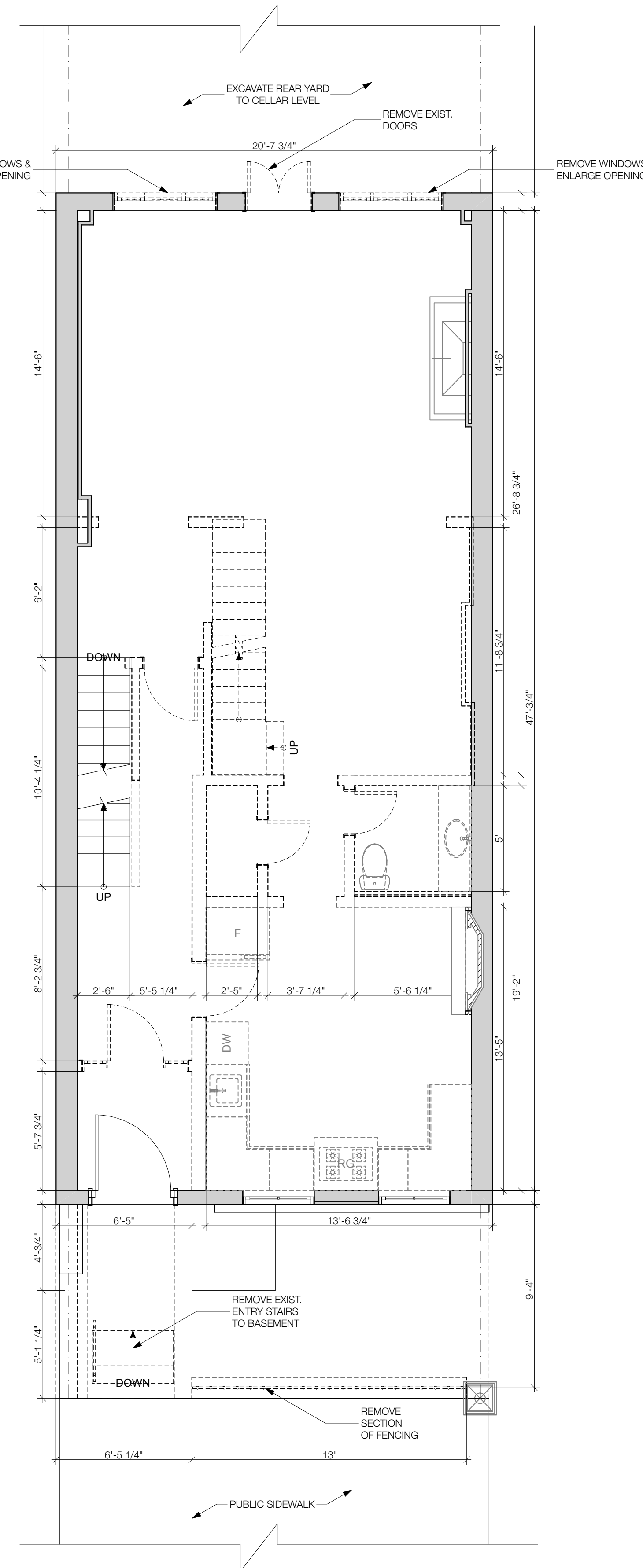
**1** Proposed Rear Yard Axonometric  
 SCALE: 1/8" = 1'-0"



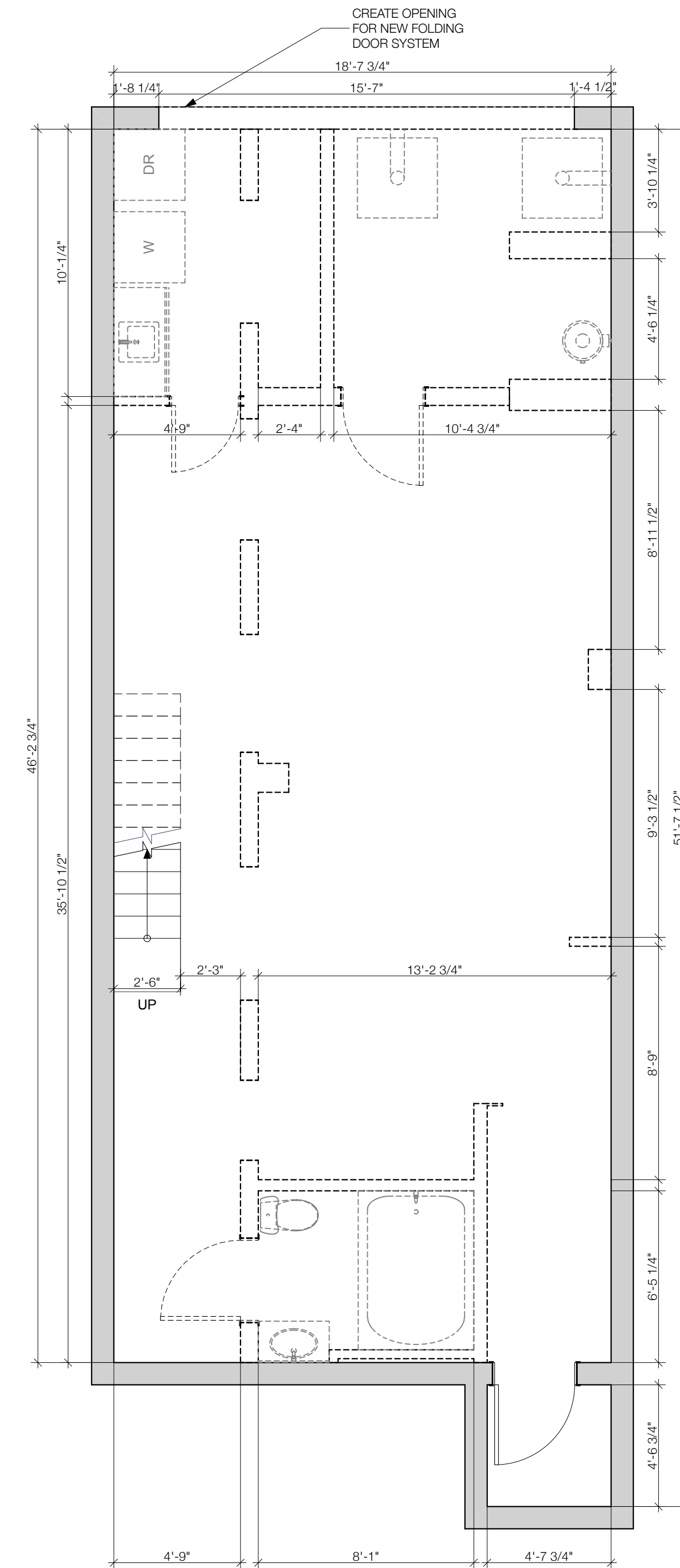
4 1st Floor  
SCALE: 1/4" = 1'-0"



3 Rear Yard at Basement Level  
SCALE: 1/4" = 1'-0"



2 Basement  
SCALE: 1/4" = 1'-0"



1 Cellar  
SCALE: 1/4" = 1'-0"

SYMBOLS LEGEND

- Existing Partition to Remain
- Partitions & Items to be Demolished
- New Partitions
- Partition Tag
- Hard-Wired, Interconnected Combination Smoke/Carbon Monoxide Detector
- Electrical Panel
- No Work Area
- Property Line

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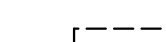






Title:  
Cellar, Basement & 1st  
Floor Demolition Plans

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

DM-101.00



SYMBOLS LEGEND

-  Existing Partition to Remain
-  Partitions & Items to be Demolished
-  New Partitions
-  Partition Tag
-  Hard-Wired, Interconnected Combination Smoke/Carbon Monoxide Detector
-  Electrical Panel
-  No Work Area
-  Property Line

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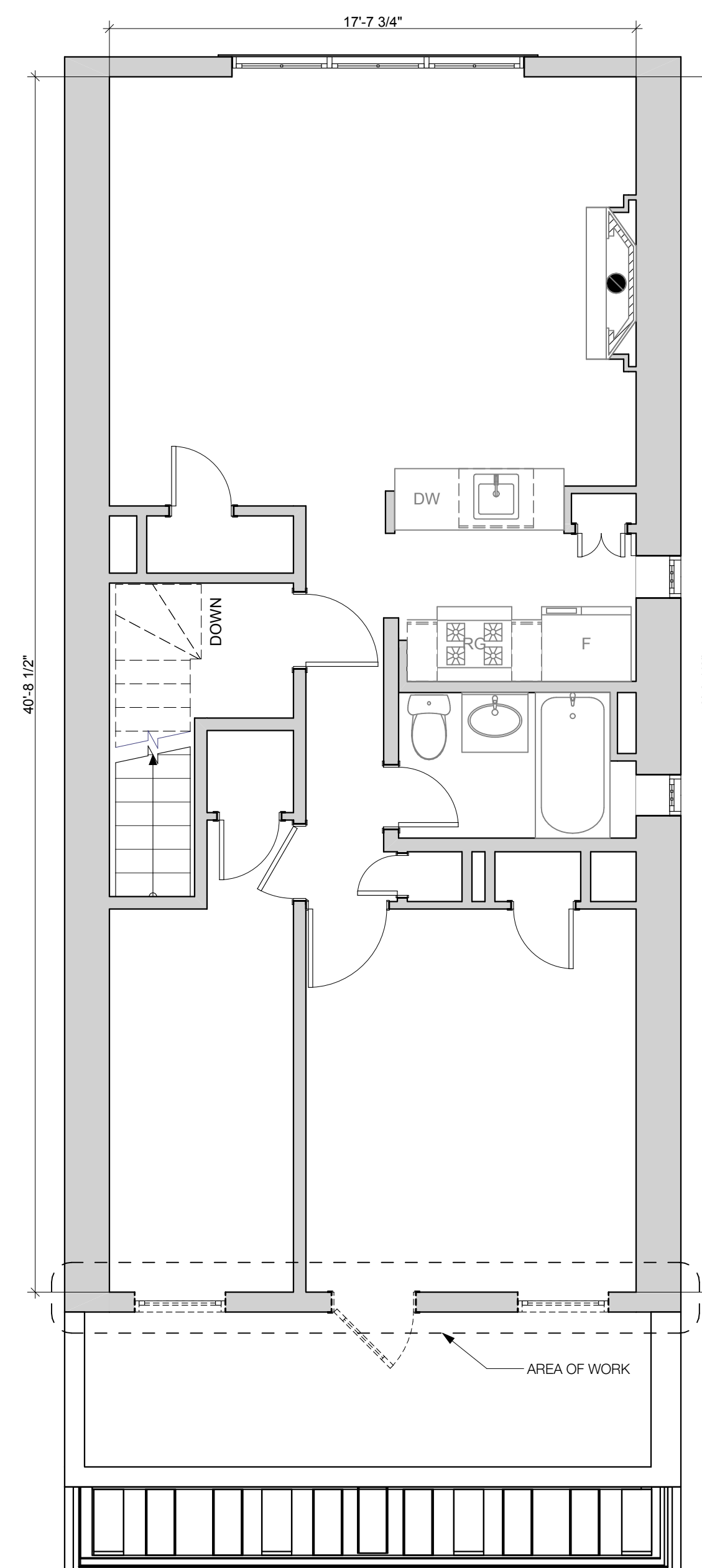
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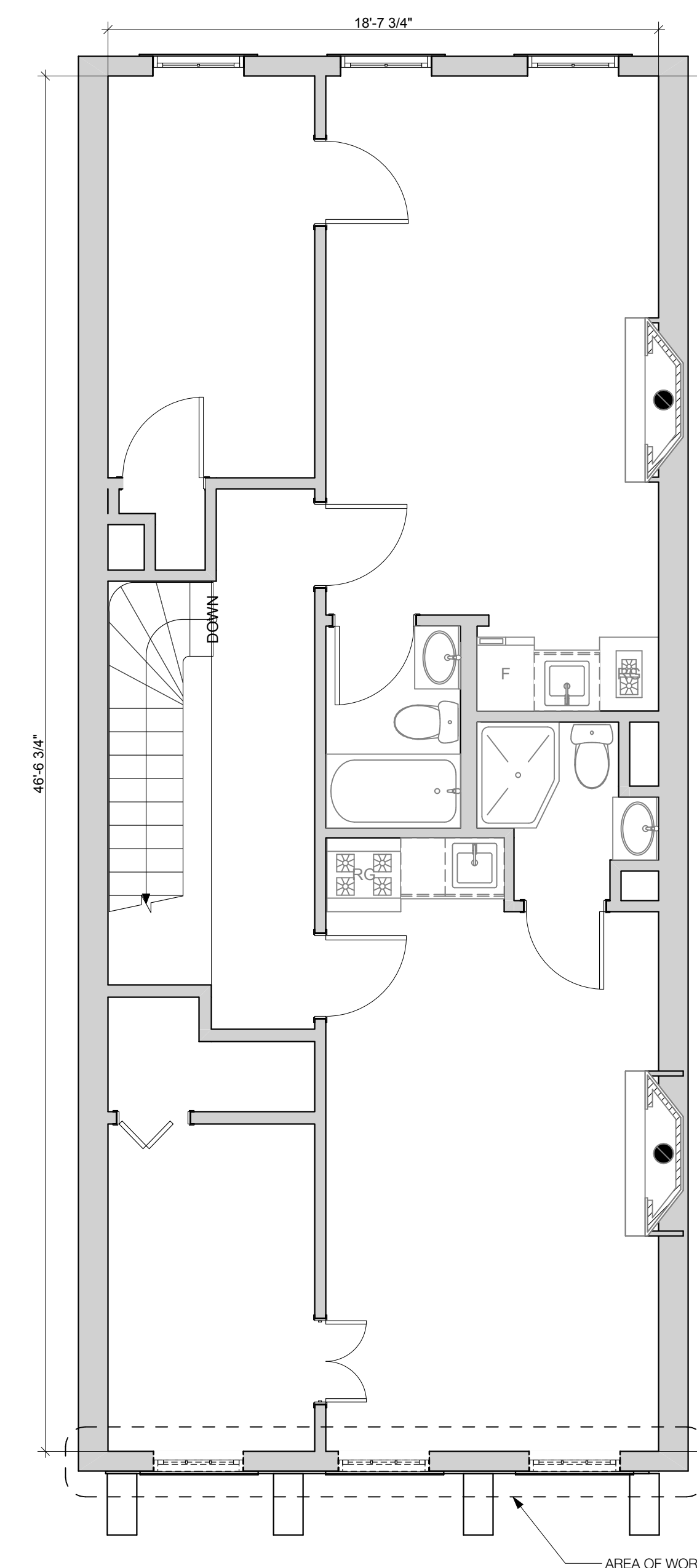
Title:  
2nd, 3rd & 4th Floor  
Demolition Plans

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

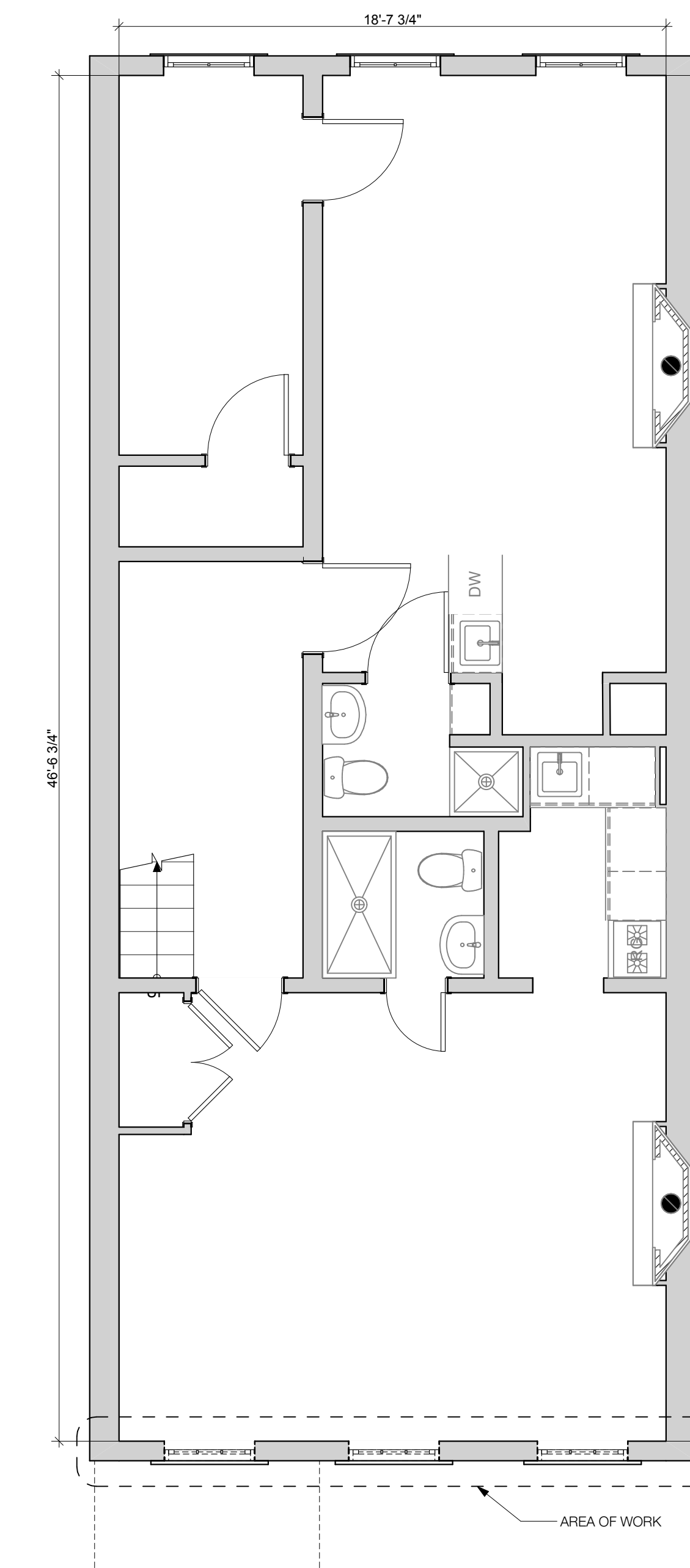
DM-102.00



3 4th Floor  
SCALE: 1/4" = 1'-0"



2 3rd Floor  
SCALE: 1/4" = 1'-0"



1 2nd Floor  
SCALE: 1/4" = 1'-0"

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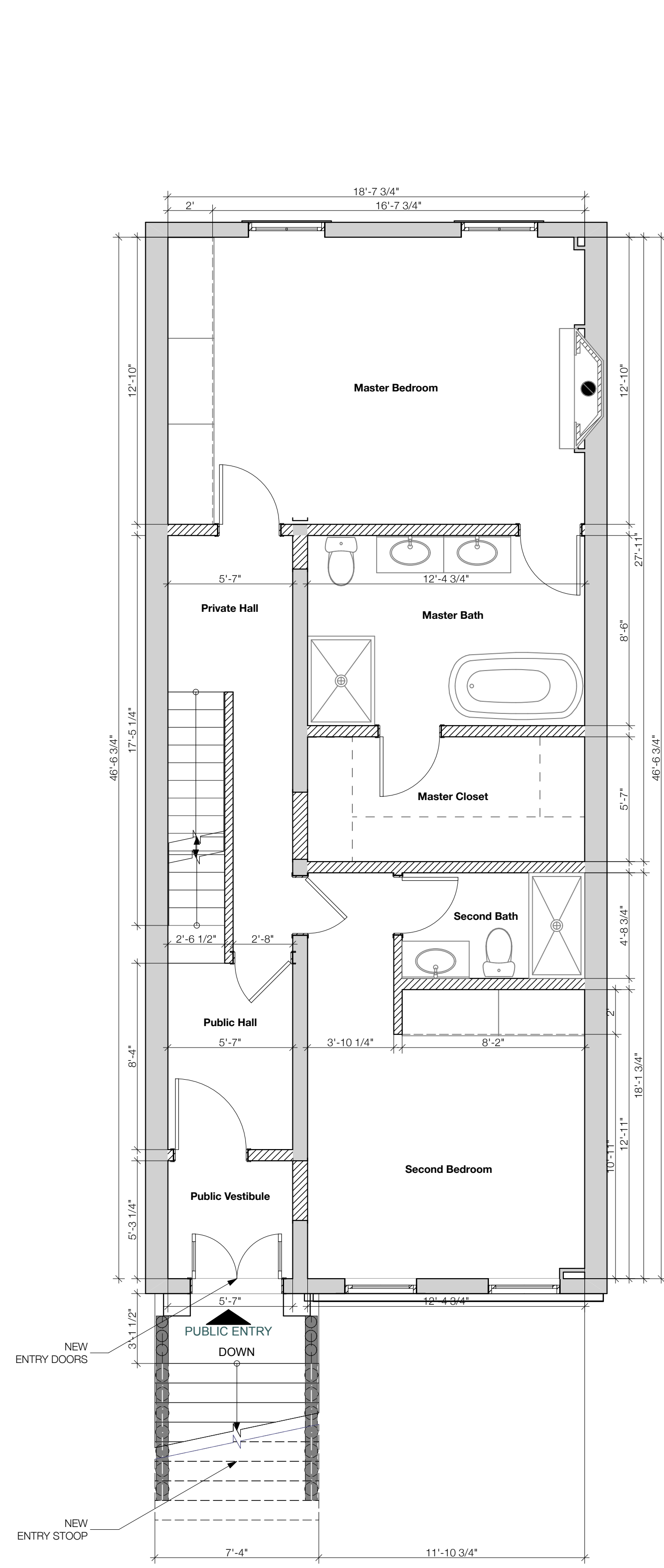
Title:  
Cellar, Basement, and 1st Floor Construction Plans

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

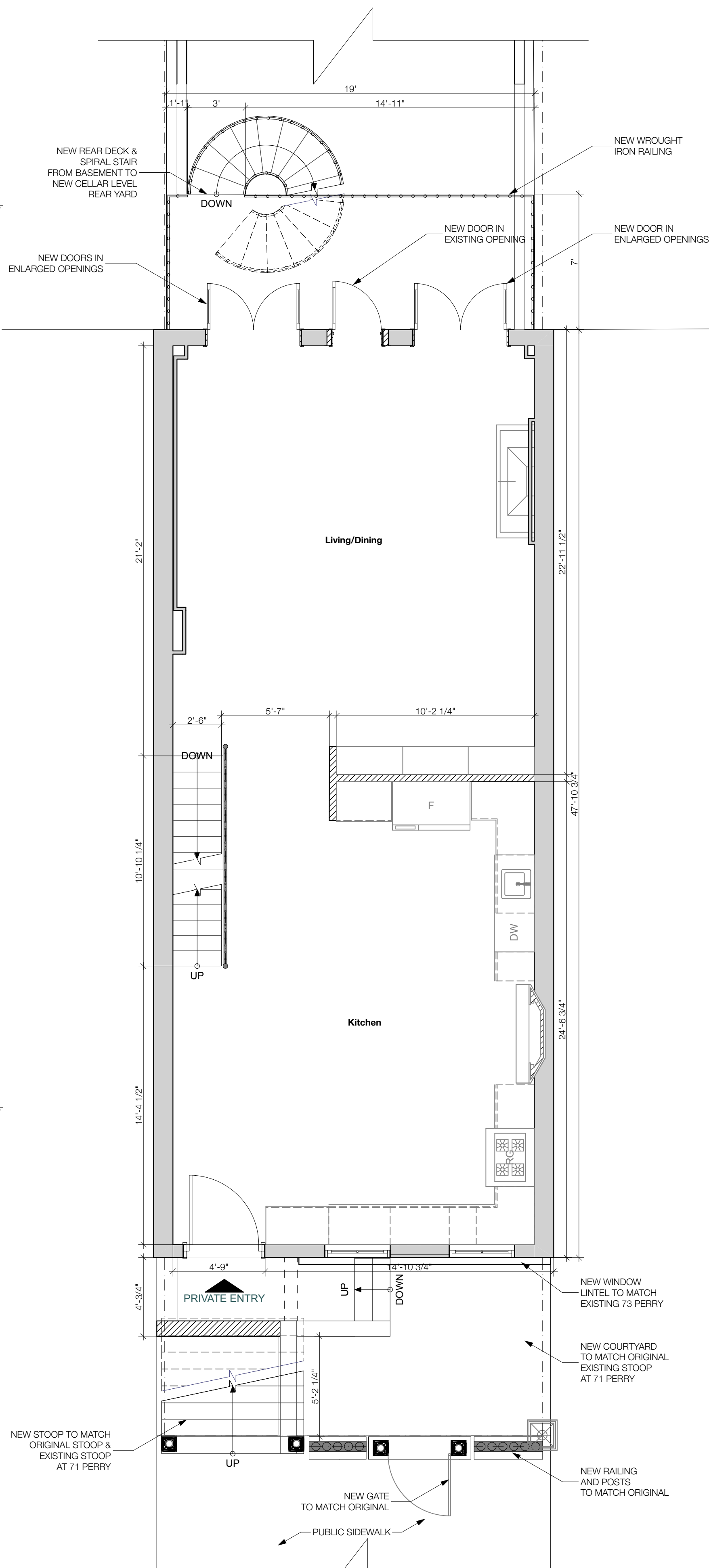
A-101.00

SYMBOLS LEGEND

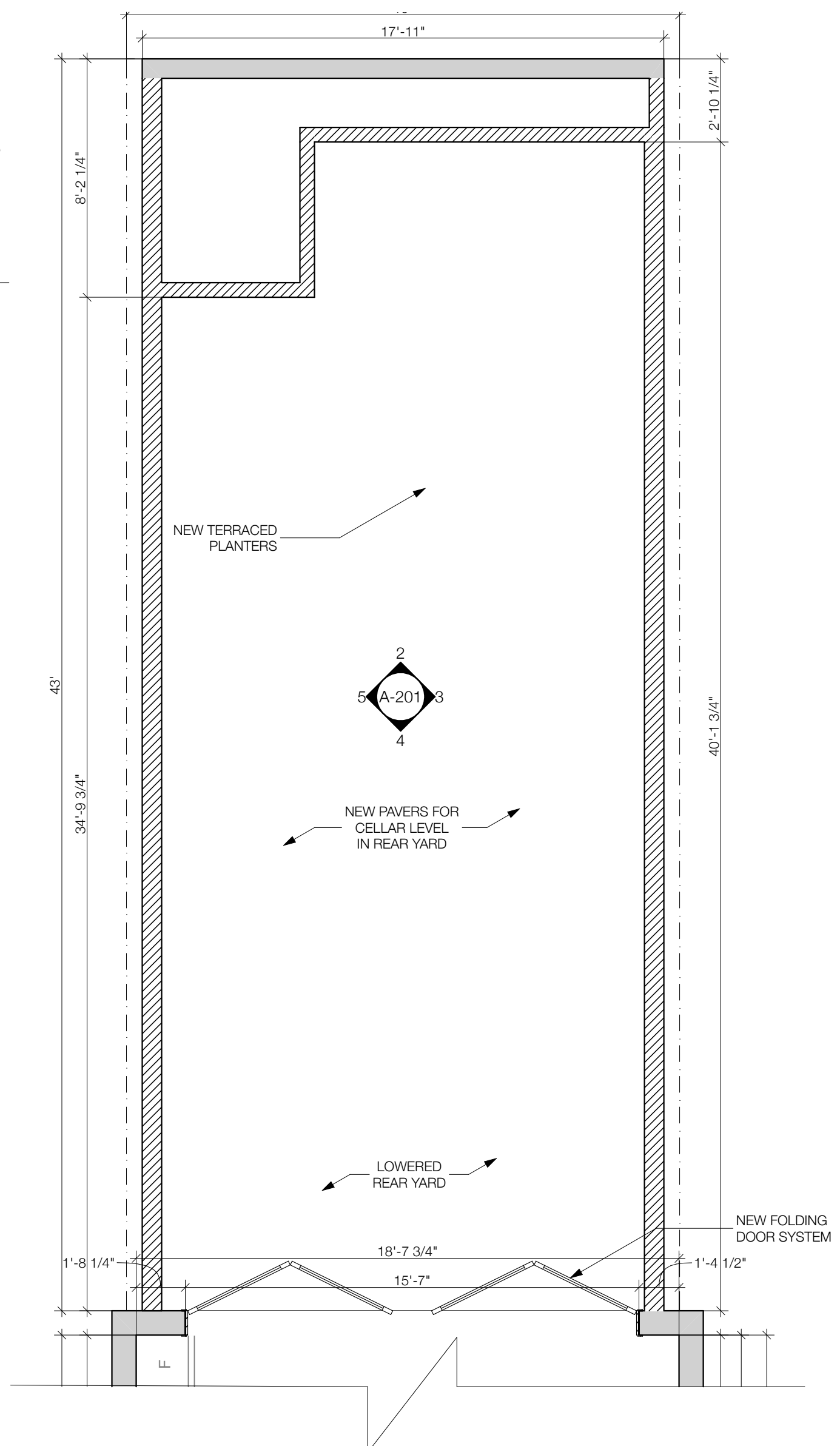
- Existing Partition to Remain
- Partitions & Items to be Demolished
- New Partitions
- Partition Tag
- Hard-Wired, Interconnected Combination Smoke/Carbon Monoxide Detector
- Electrical Panel
- No Work Area
- Property Line



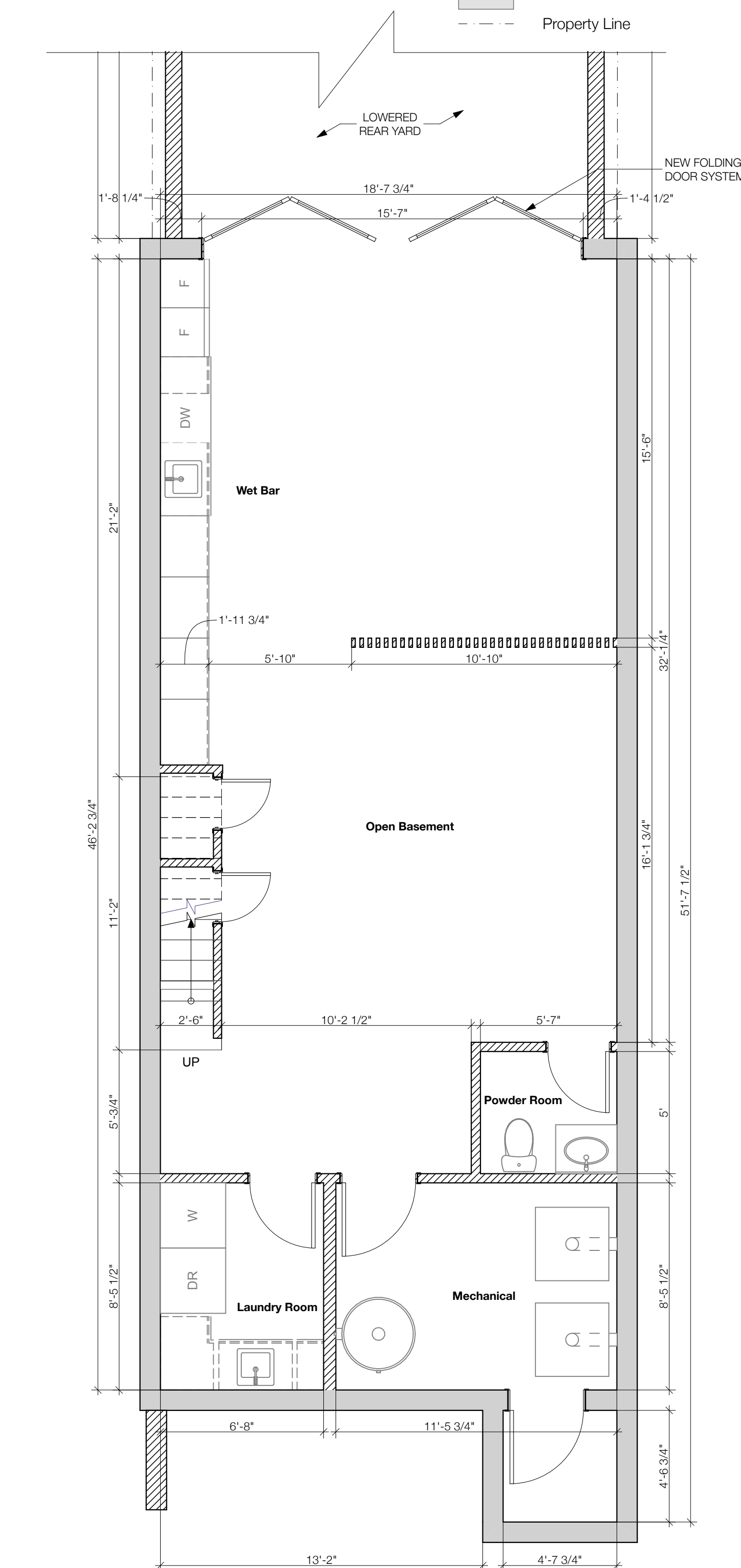
4 1st Floor  
SCALE: 1/4" = 1'-0"



3 Basement  
SCALE: 1/4" = 1'-0"



2 Rear Yard at Cellar Level  
SCALE: 1/4" = 1'-0"



1 Cellar  
SCALE: 1/4" = 1'-0"

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






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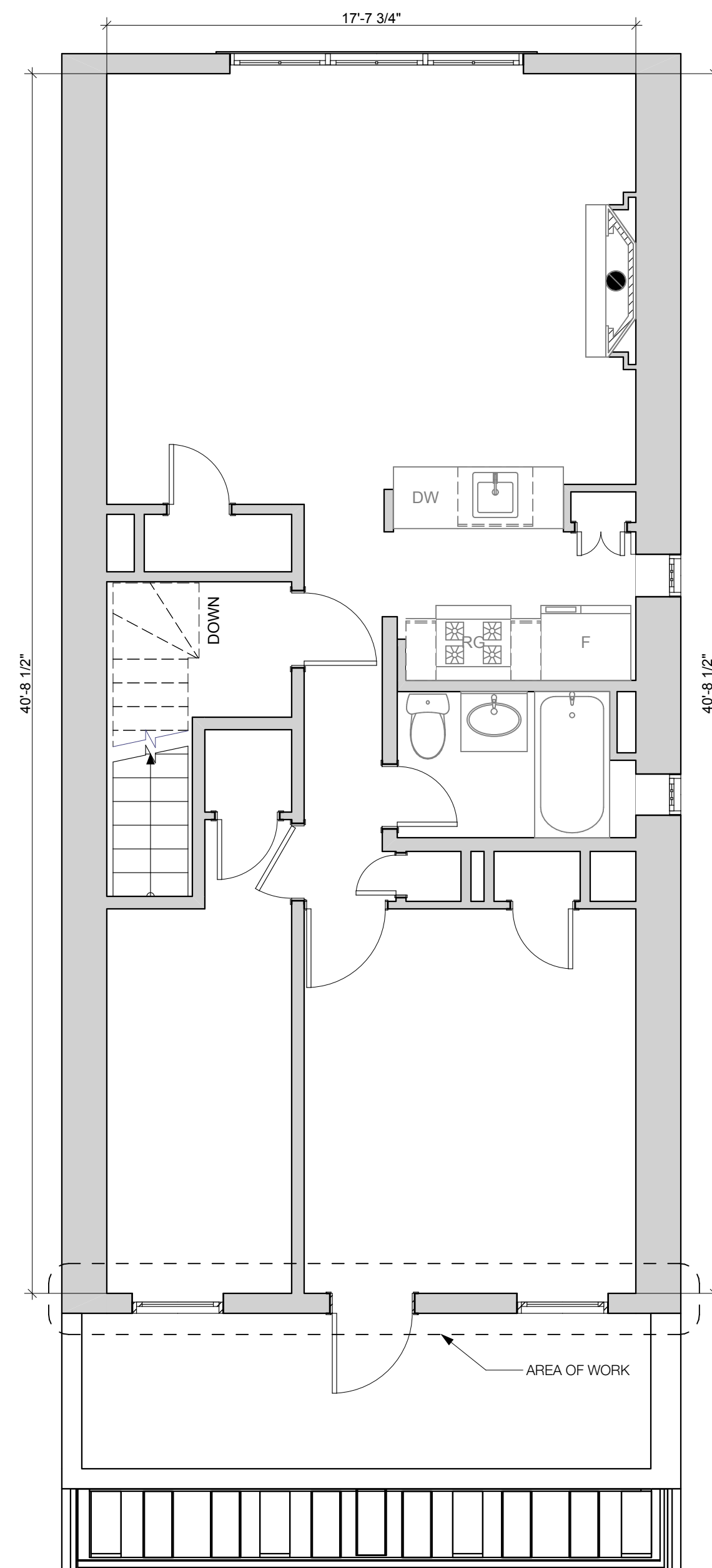
Title:  
2nd, 3rd & 4th Floor  
Construction Plans

Date: 8/4/22  
Scale: AS NOTED  
Project #: PRRY  
Drawing #:

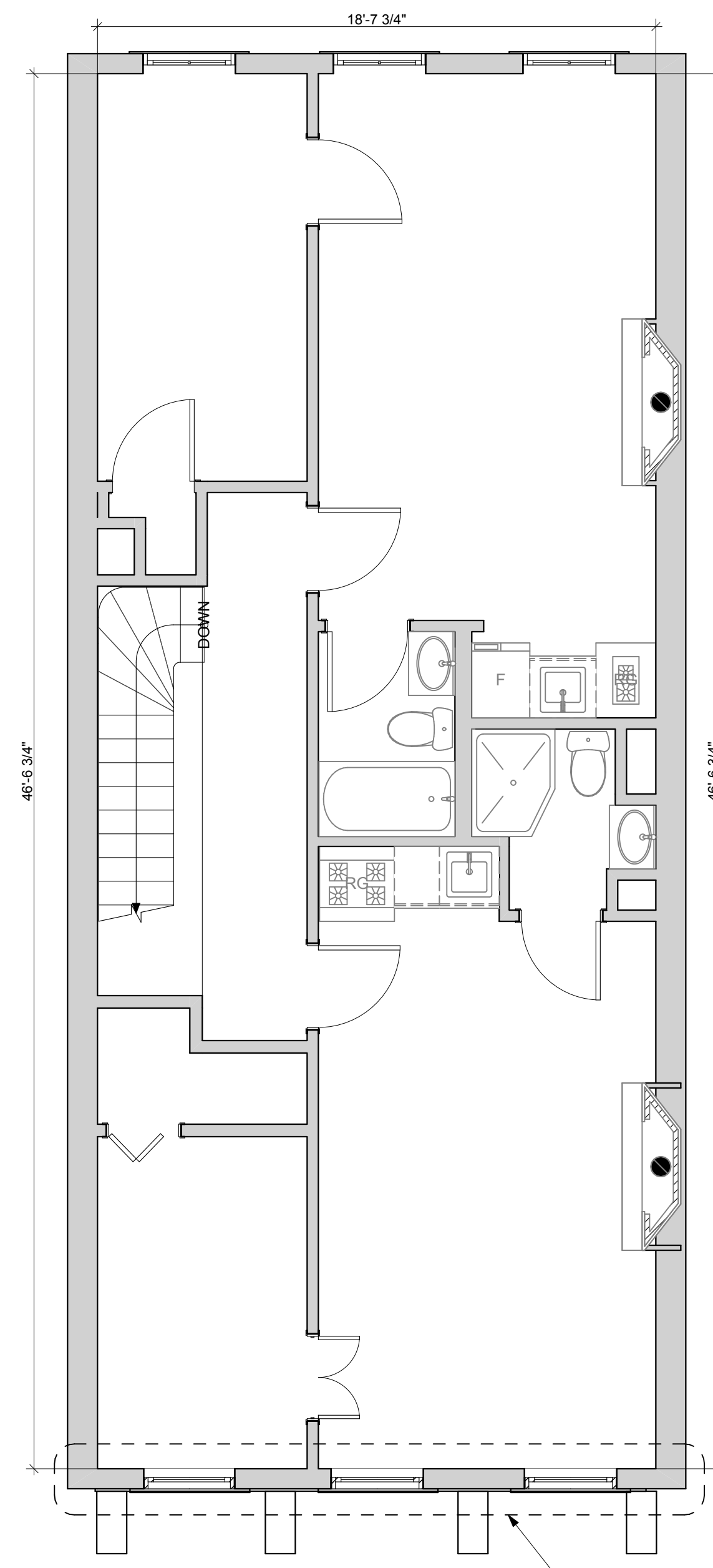
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SYMBOLS LEGEND

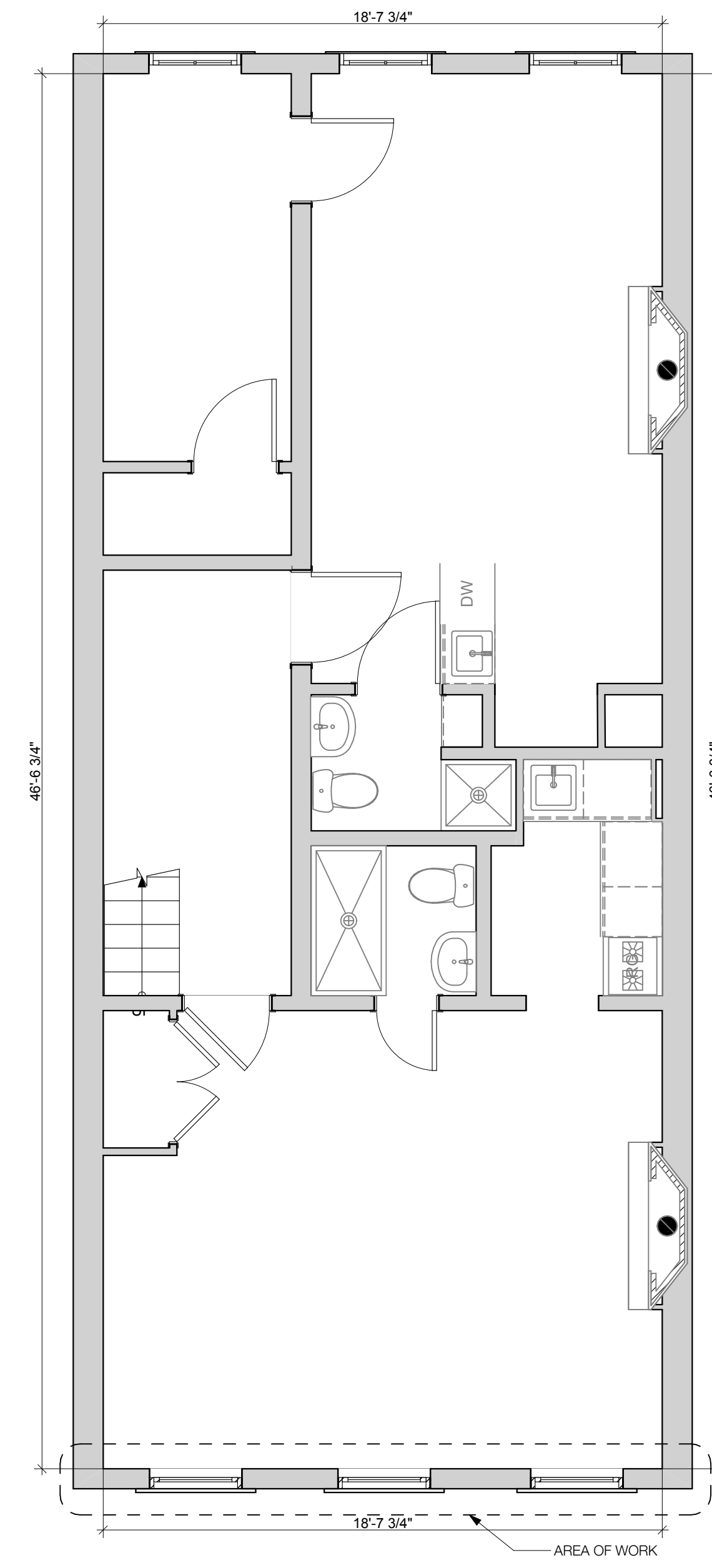
-  Existing Partition to Remain
-  Partitions & Items to be Demolished
-  New Partitions
-  Partition Tag
-  Hard-Wired, Interconnected Combination Smoke/Carbon Monoxide Detector
-  Electrical Panel
-  No Work Area
-  Property Line



4 4th Floor  
SCALE: 1/4" = 1'-0"



3 3rd Floor  
SCALE: 1/4" = 1'-0"



2 2nd Floor  
SCALE: 1/4" = 1'-0"