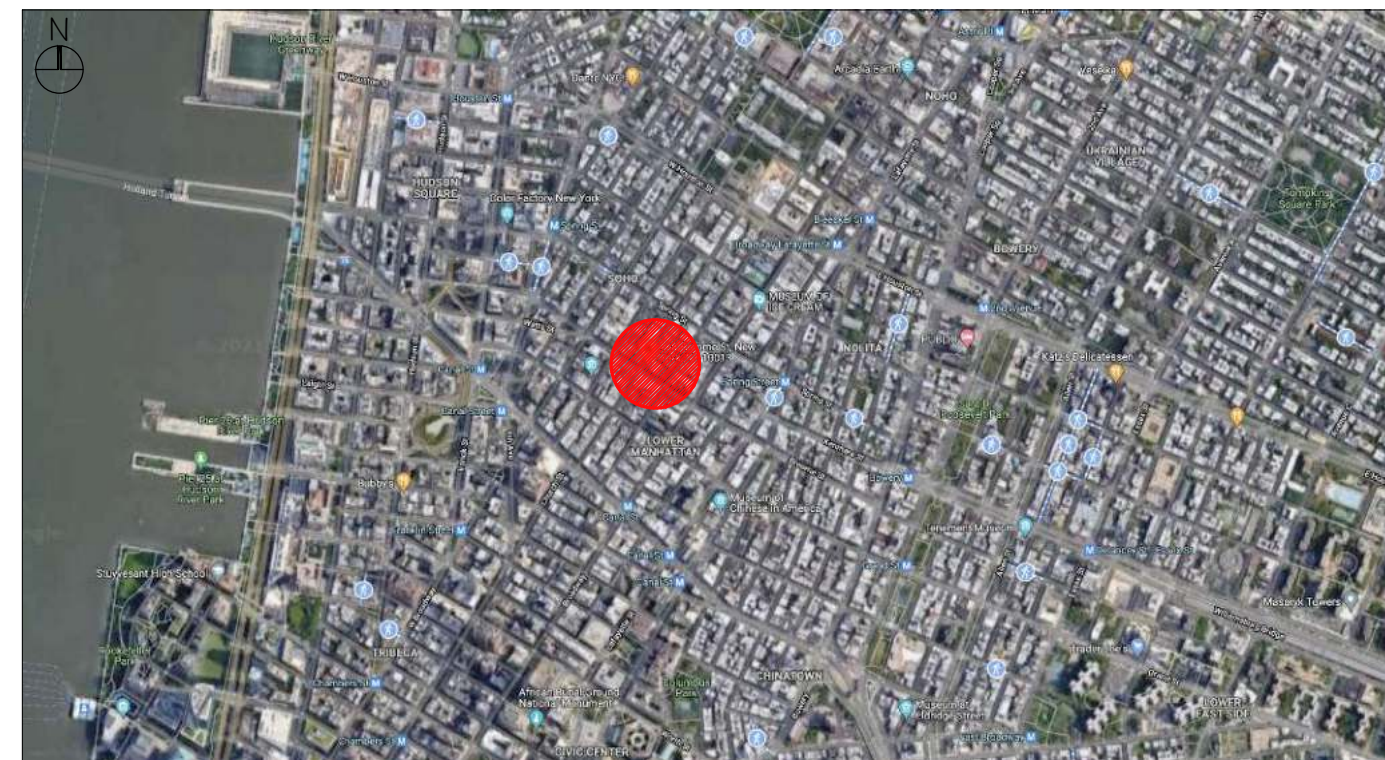


VICINITY MAP



PLOT PLAN



PROJECT DIRECTORY

ARCHITECT: **ANASTASIO ARCHITECTS**
ALBERTO ANASTASIO
177 N 10th Street - Suite 1A
Brooklyn, NY 11211
Phone: (646) 434-9864
email: alberto@wboxgroup.com

TENANT: **GOLDEN GOOSE USA, Inc.**
CLÉMENT POPELIN
Head of Store Development USA
120 Broadway 33rd Floor
New York, NY 10271
Phone: (646) 527-5058

MATERIALS HATCH KEY

STEEL		GLASS	
BRICK		GYPSUM DRYWALL	
CONCRETE		PLYWOOD	
CONCRETE MASONRY UNIT		BATT INSULATION	
FINISH WOOD		OR	

STANDARD SYMBOLS

SECTION		DETAIL NUMBER	DRAWING NUMBER	ELEVATION MARKER		DESCRIPTION	EL +1'-0"
EXTERIOR ELEVATION		DETAIL NUMBER	DRAWING NUMBER	ROOM NAME		ROOM NUMBER	
INTERIOR ELEVATION		DETAIL NUMBER		REVISION NUMBER			
DETAIL		DETAIL NUMBER	DRAWING NUMBER	WALL TYPE		(see ratings in code notes, see locations on plans, see details for each type.)	
				NORTH SYMBOL			

GENERAL NOTES

- CONTRACTOR SHALL NOT SCALE DWGS. TO OBTAIN DIMENSIONS BUT SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE AND SHALL ADVISE THE ARCHITECT OF ANY DISCREPANCIES.
- ALL DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE UNLESS OTHERWISE NOTED OR SHOWN.
- CONTRACTOR SHALL MAINTAIN A COMPLETE AND PLACED SET OF WORKING DRAWINGS, CONSTRUCTION SKETCHES, AND SUB-CONTRACTOR SHOP DWGS AT THE JOB SITE AT ALL TIMES.
- WHERE THE ALTERATIONS OCCUR, OR NEW AND OLD WORK JOIN, THE IMMEDIATE ADJACENT SURFACES, CEILING, WALLS, AND FINISH TRIM SHALL BE CUT, REMOVED, PATCHED, REPAIRED, OR REFURBISHED AND LEFT IN AS GOOD A CONDITION AS EXISTED PRIOR TO THE COMMENCEMENT OF WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, YET NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK, SHALL BE INCLUDED IN THE WORK AND THE AGREED COST OF THE WORK AS IF THEY WERE INCLUDED IN THE DRAWINGS.
- CONSTRUCTION OPERATION WILL NOT BLOCK ANY MEANS OF EGRESS FOR ADJACENT BUILDINGS. CONSTRUCTION SHALL BE CONFINED TO NORMAL WORKING HOURS: 9AM TO 4PM, MONDAYS THROUGH FRIDAYS EXCEPT LEGAL HOLIDAYS AND DAYS REQUIRED BY THE MANAGEMENT AGENT.
- THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS AND PROVIDE SUITABLE WASTE CONTAINERS AT THE WORK SITE. ALL REFUSE SHALL BE IMMEDIATELY PLACED IN THESE CONTAINERS AND PROPERLY REMOVED IN ACCORDANCE WITH THE BUILDING REQUIREMENTS AND APPLICABLE LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL SECURE ALL BUILDING MATERIALS AND FIXTURES DURING THE CONSTRUCTION PERIOD, KEEP ALL PUBLIC AND SERVICE CORRIDORS CLEAN AND CLEAR, AND KEEP ALL FIRE EXITS UNOBSTRUCTED.
- ALL PRECAUTIONS SHALL BE TAKEN TO MAINTAIN FIRE SAFETY AND SECURITY FROM UNAUTHORIZED PERSONS ENTERING THE BUILDING.
- THE STRUCTURAL INTEGRITY OF THE BUILDING IS TO BE MAINTAINED AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS.

- CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- ALL WORK SHALL CONFORM TO THE N.Y.C. BUILDING DEPARTMENT REQUIREMENTS AND ALL OTHER APPLICABLE LAWS AND LEGAL REQUIREMENTS.
- LOCATE AND TEST SHUT OFF VALVES PRIOR TO BEGINNING ANY WORK.
- THE CONTRACTOR IS TO FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE THE WORK AS DESIGNATED BY DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVALS AS REQUIRED BY STATE AND LOCAL LAWS, AND THE BUILDING PRIOR TO THE START OF WORK.
- ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE A.S.T.M. SPECIFICATIONS APPLICABLE AND IN CONFORMITY TO THE STANDARDS OF THE VARIOUS ORGANIZATIONS (A.C.T., A.I.S.C., ETC.). ALL MATERIALS SHALL BE NEW.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY BRACING AND PROTECTING ALL WORK AGAINST DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE SUB-CONTRACTORS

- AND ALL TRADES INVOLVED WITH THE JOB TO INSURE SMOOTH AND CONTINUOUS ACCOMPLISHMENT OF THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR SUPPLYING CERTIFICATE OF INSURANCE SATISFACTORY N.Y.C. DEPT OF BLDGS, THE PROPERTY OWNER, AND THE MANAGEMENT BOARD. THE ARCHITECT SHALL BE COVERED BY THE CONTRACTORS' POLICY FOR THE DURATION OF THE JOB. THE CONTRACTOR SHALL ACCORDINGLY SUPPLY THE ARCHITECT AND THE MANAGEMENT BOARD WITH CERTIFICATE OF INSURANCE.
- ALL NEW WORK SHALL BE FIRE RETARDANT TREATED AS PER CODE
- CONTRACTOR PRIOR TO START THE JOB SHALL VERIFY THE EXISTING ELECTRICAL PANEL CAPACITY AND NOTIFY THE ARCHITECT IN CASE OF THE REQUIRED LOAD EXCESS THE EXG PANEL CAPACITY. IN SUCH CASE THE REQUIRED LOAD WILL BE ADJUSTED IN ACCORDANCE WITH THE CURRENTLY ALLOWED LOAD. NO UPGRADE THE EXISTING POWER SUPPLY IS ALLOWED.
- CONTRACTOR SHALL OBTAIN A SEPERATE PERMIT FROM THE N.Y.C. DEPT. OF HIGHWAYS FOR ANY WORK OUTSIDE OF THE BUILDING LINE.
- CONTRACTOR IS TO PROVIDE OWNER WITH ALL WARRANTIES, AND THE MANUALS FOR THE MAINTENANCE

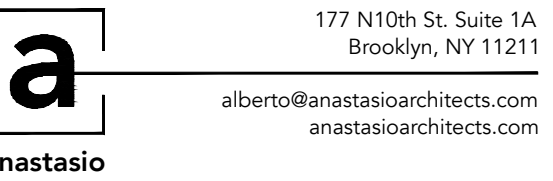
- OF INSTALLED EQUIPMENTS.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP IN THE CONSTRUCTION FOR A PERIOD OF 1 YEAR FOLLOWING ITS SUBSTANTIAL COMPLETION AND SHALL REMEDY ANY DEFECTS IN SUCH WORK WHICH OCCURS DURING THAT PERIOD AT NO COST TO THE OWNER.
- SHOP DRAWING SHALL BE PROVIDED FOR THE APPROVAL OF THE ARCHITECT. FABRICATION SHALL BE BASED ONLY ON THE SHOP DRAWINGS APPROVED BY THE ARCHITECT.
- KITCHENS ARE TO HAVE CERAMIC TILE FLOORS AND A MIN. OF 6" OF CERAMIC TILE AT THE PERIMETER OF THE FLOOR. WR. GWB BACKING USA NO. 436-39SM AS PER SECTION 78 OF M.O.L. TO BE USED THROUGHOUT.
- BUILDING DEPT. NOTES
- ALL NEW WORK SHALL COMPLY WITH LOCAL LAW 58/87 REGARDING THE REQUIREMENTS FOR ACCESS FOR THE HANDICAPPED.

DRAWING INDEX

Issued for LPC A	Issued for DoB B	Issued for Building C	Issued for Construction D
A	B	C	D
A-001.00	COVER PAGE	<input type="checkbox"/>	<input type="checkbox"/>
A-501.00	EXG STOREFRONT PLANS & ELEVATIONS	<input type="checkbox"/>	<input type="checkbox"/>
A-502.00	PROPOSED STOREFRONT PLANS & ELEVATIONS	<input type="checkbox"/>	<input type="checkbox"/>
A-503.00	PROPOSED STOREFRONT SECTION	<input type="checkbox"/>	<input type="checkbox"/>
A-504.00	EXG & PROPOSED STOREFRONT PHOTOS	<input type="checkbox"/>	<input type="checkbox"/>
A-505.00	PHOTOS OF EXG STOREFRONTS - SOHO DISTRICT	<input type="checkbox"/>	<input type="checkbox"/>
A-506.00	PHOTOS OF EXG STOREFRONTS - SOHO DISTRICT	<input type="checkbox"/>	<input type="checkbox"/>

Phase/Revision	Date
Issued for LPC	04.27.2022
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---

ARCHITECT:



177 N10th St. Suite 1A
Brooklyn, NY 11211
alberto@anastasioarchitects.com
anastasioarchitects.com

BUILDING DATA

BLOCK:	485
LOT:	40
NUMBER OF FLOORS:	5
LAND USE:	COMMERCIAL & OFFICE BUILDINGS
ZONING:	M1-5A
ZONING MAP:	12A
LANDMARK DISTRICT:	SOHO-CAST IRON HISTORIC DISTRICT

SCOPE OF WORK

RENOVATION OF STOREFRONT OF THE EXISTING BUILDING AT 468-466 BROOME STREET, NEW YORK, NY. THE PROPOSED CONSTRUCTION WORK SHALL HAVE NEW FINISH. NO STRUCTURAL ALTERATIONS ARE PROPOSED.

NOTES:

- NO CHANGE IN USE, EGRESS OR OCCUPANCY

CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT I AM A REGISTERED ARCHITECT IN THE STATE OF NEW YORK. THESE DRAWINGS WERE PREPARED OR CAUSED TO BE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, COMPLY WITH THE APPLICABLE RULES, REGULATIONS AND STANDARDS SET FORTH WITHIN THE LATEST INTERPRETED NEW YORK CITY BUILDING CODES.

ARCHITECT: ALBERTO ANASTASIO, Architect
177 N 10th Street - Suite 1A
Brooklyn, NY 11211
Phone: (646) 434-9864

PROFESSIONAL STATEMENT

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE NEW YORK CITY ENERGY CONSERVATION CODE 2020.

FLOOD HAZARD NOTE:

- THE AREA IS OUTSIDE THE BOUNDARIES OF THE FLOOD HAZARD ZONE AS PER FLOOD INSURANCE RATE MAP 2007

G.C. NOTES

- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE METHODS & MEANS OF SECURING, BRACING & SHORING ALL PORTIONS OF THE EXISTING BUILDING DURING CONSTRUCTION.
- GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS. GENERAL CONTRACTOR SHALL CLEARLY MARK & PROTECT ALL UTILITIES SERVICING THE FLOORS ABOVE. THESE SERVICES SHALL NOT BE DISTURBED.
- ALL CONTRACTORS MUST SUBMIT A CERTIFICATE OF INSURANCE TO THE BUILDING MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR TO OBTAIN A COPY OF THE RULES AND REGULATIONS FOR COMPLIANCE DURING CONSTRUCTION, IF AVAILABLE.
- G.C. SHALL PATCH, REPAIR & FLASH ALL WALL PENETRATIONS, INCLUDING EXISTING OPENINGS.
- G.C. SHALL PROVIDE FIRE STOPPING AND FIRE SAFING AT ALL PENETRATIONS THROUGH RATED ENCLOSURES.
- G.C. TO PROVIDE MEANS AND METHODS TO MAINTAIN FIRE RATINGS AT EXISTING DEMISING WALLS.

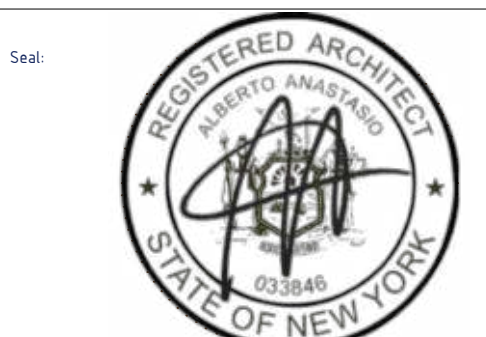
FIRE SAFETY NOTES

STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION OPERATIONS, INCLUDING THOSE IN UNDERGROUND LOCATIONS, SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND THIS CHAPTER. 2006 NFPA 1.

FIRE SAFETY DURING ALTERATION:

- 16.4.4.1 WHERE THE BUILDING IS PROTECTED BY FIRE PROTECTION SYSTEMS, SUCH SYSTEMS SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES DURING ALTERATION.
- 16.4.4.2 WHERE ALTERATION REQUIRES MODIFICATION OF A PORTION OF THE FIRE PROTECTION SYSTEM, THE REMAINDER OF THE SYSTEM SHALL BE KEPT IN SERVICE AND THE FIRE DEPARTMENT SHALL BE NOTIFIED.
- 16.4.4.3 WHEN IT IS NECESSARY TO SHUT DOWN THE SYSTEM, THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE ALTERNATE MEASURES OF PROTECTION UNTIL THE SYSTEM IS RETURNED TO SERVICE.

GC IS RESPONSIBLE FOR ALL SHUTDOWNS REQUIRED DURING THE CONSTRUCTION PROCESS UNTIL FINAL COMPLETION AND TURNOVER.



DWG TITLE:

COVER PAGE

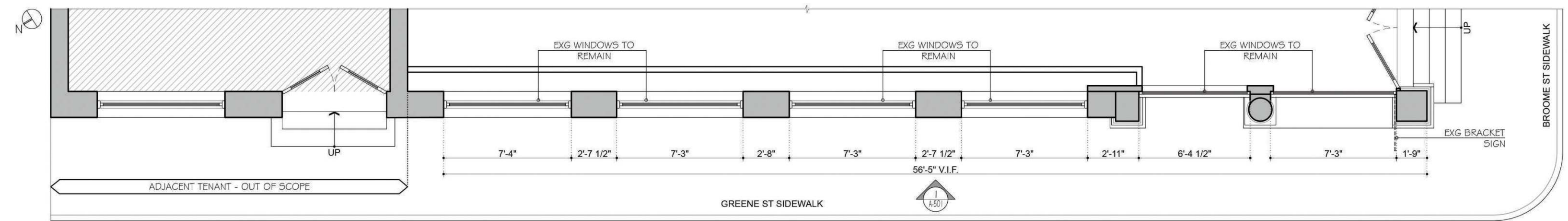
Phase:	cd	Project No:	P2105
Scale:	as noted	Date:	11.24.2021

Dwg. # :

A-001.00



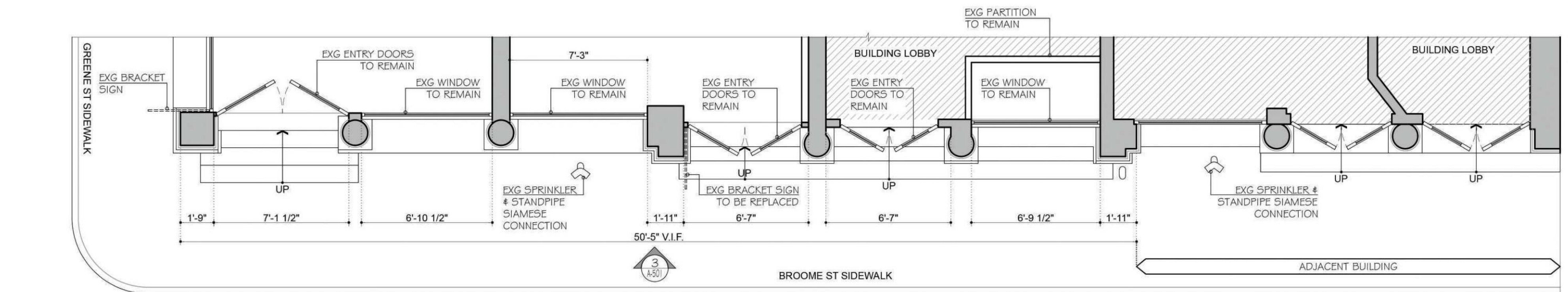
1 EXG STOREFRONT ELEVATION (GREENE ST)
Scale: 1/4"=1'-0"



2 EXG STOREFRONT PLAN (GREENE ST)
Scale: 1/4"=1'-0"



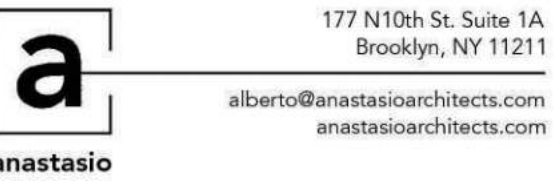
3 EXG STOREFRONT ELEVATION (BROOME ST)
Scale: 1/4"=1'-0"



4 EXG STOREFRONT PLAN (BROOME ST)
Scale: 1/4"=1'-0"

Phase/Revision	Date
Issued for LPC	04-27-2022
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---

ARCHITECT:



177 N10th St. Suite 1A
Brooklyn, NY 11211
alberto@anastasioarchitects.com
anastasioarchitects.com



DWG TITLE:

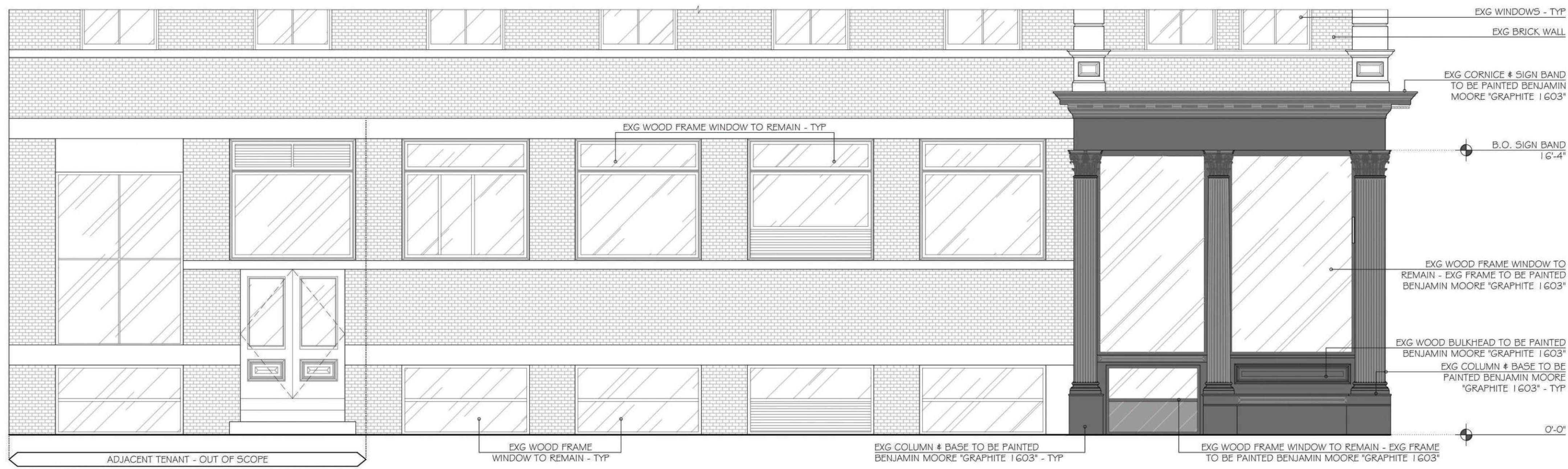
EXG STOREFRONT
PLANS & ELEVATIONS

Phase: cd Project No: P2105
Scale: as noted Date: 11.24.2021

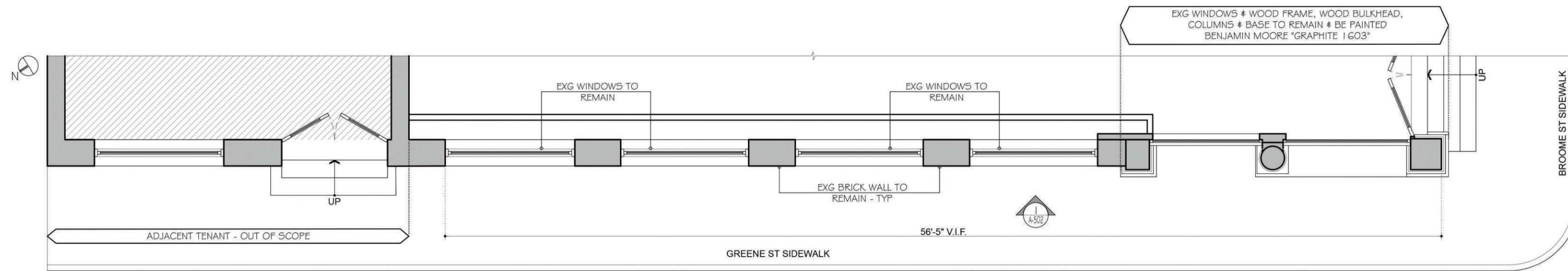
Dwg. #:

A-501.00

File: P2105 GG Sides - LPC Ext. Sheet 02 of 05



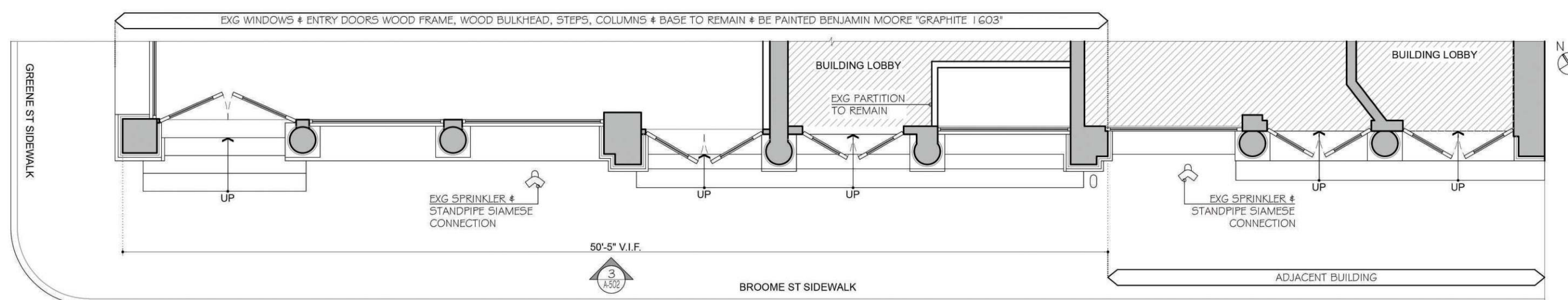
1 PROPOSED STOREFRONT ELEVATION (GREENE ST)
Scale: 1/4"=1'-0"



2 PROPOSED STOREFRONT PLAN (GREENE ST)
Scale: 1/4"=1'-0"



3 PROPOSED STOREFRONT ELEVATION (BROOME ST)
Scale: 1/4"=1'-0"



4 PROPOSED STOREFRONT PLAN (BROOME ST)
Scale: 1/4"=1'-0"

Phase/Revision	Date
Issued for LPC	04.27.2022
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---

ARCHITECT:

177 N10th St. Suite 1A
Brooklyn, NY 11211
alberto@anastasioarchitects.com
anastasioarchitects.com

a
anastasio



DWG TITLE:

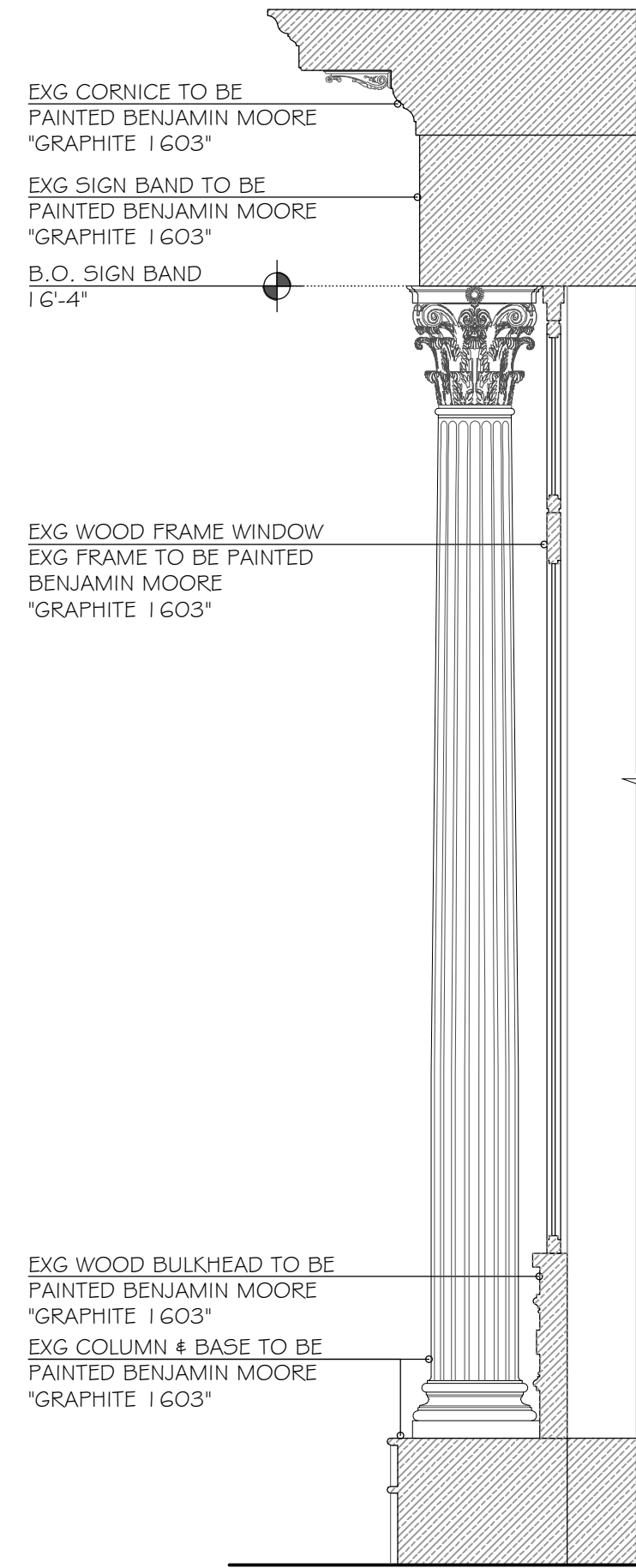
PROPOSED STOREFRONT
PLANS & ELEVATIONS

Phase: cd Project No: P2105
Scale: as noted Date: 11.24.2021

Dwg. # :

A-502.00

File: P2105-GG-Soho-LPC-Ext.dwg Sheet 03 of 05



1 PROPOSED STOREFRONT SECTION
 Scale: 1/2"=1'-0"



COLOR REFERENCE
 BENJAMIN MOORE
 GRAPHITE 1603

Phase/Revision	Date
Issued for LPC	04.27.2022
--	--
--	--
--	--
--	--
--	--
--	--
--	--
--	--

ARCHITECT:

a 177 N10th St. Suite 1A
 Brooklyn, NY 11211
 alberto@anastasioarchitects.com
 anastasioarchitects.com
anastasio



DWG TITLE:

PROPOSED STOREFRONT SECTION

Phase: cd Project No: P2105
 Scale: as noted Date: 11.24.2021

Dwg. #:

A-503.00



1 EXG STOREFRONT (BROOME ST)
Scale: NTS



3 PROPOSED STOREFRONT (BROOME ST)
Scale: NTS



2 EXG STOREFRONT (GREENE ST)
Scale: NTS



4 PROPOSED STOREFRONT (GREENE ST)
Scale: NTS

Phase/Revision	Date
Issued for LPC	04.27.2022
---	---
---	---
---	---
---	---
---	---
---	---
---	---

ARCHITECT:

a 177 N10th St. Suite 1A
Brooklyn, NY 11211
alberto@anastasioarchitects.com
anastasioarchitects.com
anastasio



DWG TITLE:
EXG & PROPOSED
STOREFRONT PHOTOS

Phase: cd Project No: P2105
Scale: as noted Date: 11.24.2021

Dwg. #:

A-504.00



1 12 MERCER STREET
Scale: NTS



2 29 MERCER STREET
Scale: NTS



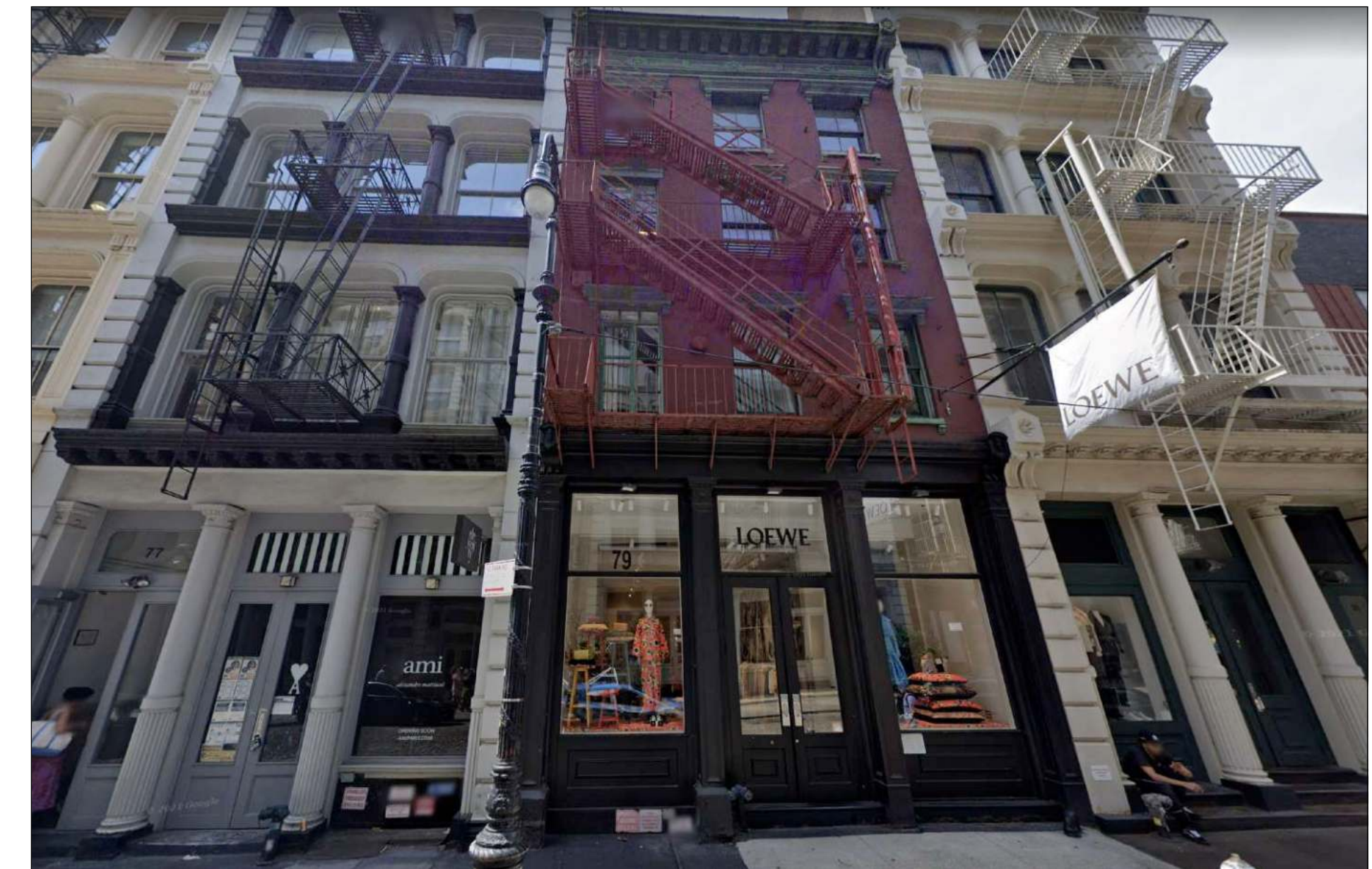
3 47 GREENE STREET
Scale: NTS



4 65 MERCER STREET
Scale: NTS



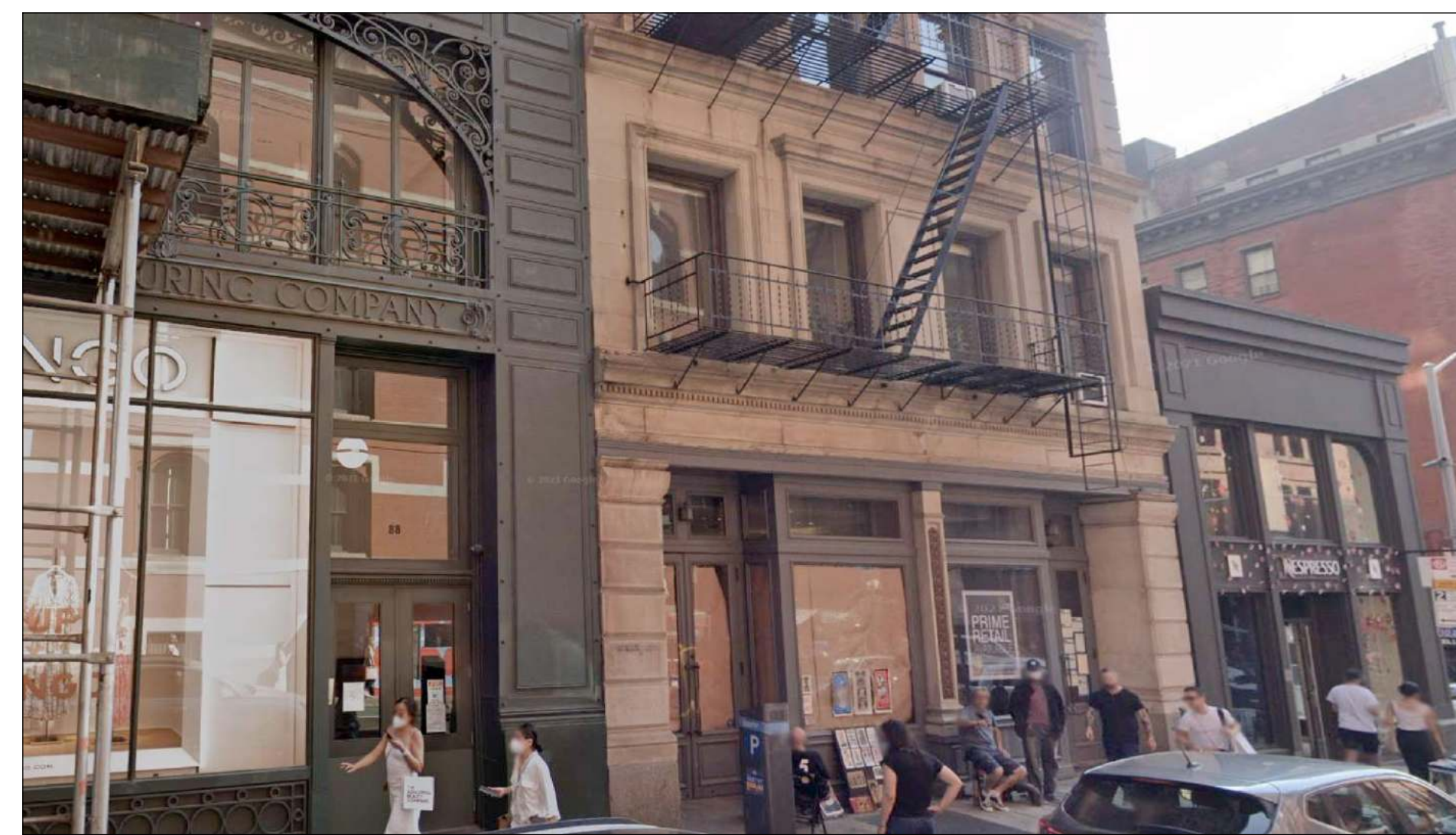
5 65 MERCER STREET
Scale: NTS



6 79 GREENE STREET
Scale: NTS



7 89 GREENE STREET
Scale: NTS



8 90 PRINCE STREET
Scale: NTS



9 99 WOOSTER STREET
Scale: NTS

Phase/Revision	Date
Issued for LPC	04.27.2022
--	--
--	--
--	--
--	--
--	--
--	--
--	--
--	--

ARCHITECT:

a 177 N10th St. Suite 1A
Brooklyn, NY 11211
alberto@anastasioarchitects.com
anastasioarchitects.com
anastasio



DWG TITLE:
PHOTOS OF
EXG STOREFRONTS
SOHO DISTRICT

Phase:	cd	Project No:	P2105
Scale:	as noted	Date:	11.24.2021

Dwg. #: A-505.00



10 100 WOOSTER STREET
Scale: NTS



11 113 GREENE STREET
Scale: NTS



12 116 PRINCE STREET
Scale: NTS



13 117 PRINCE STREET
Scale: NTS



14 121 SPRING STREET
Scale: NTS



15 122 GREENE STREET
Scale: NTS



16 558 BROADWAY
Scale: NTS



17 123 MERCER STREET
Scale: NTS



18 131 SPRING STREET
Scale: NTS



19 133 GREENE STREET
Scale: NTS



20 139 SPRING STREET
Scale: NTS

Phase/Revision	Date
Issued for LPC	04.27.2022
--	--
--	--
--	--
--	--
--	--
--	--
--	--
--	--

ARCHITECT:

a 177 N10th St. Suite 1A
Brooklyn, NY 11211
alberto@anastasioarchitects.com
anastasioarchitects.com
anastasio



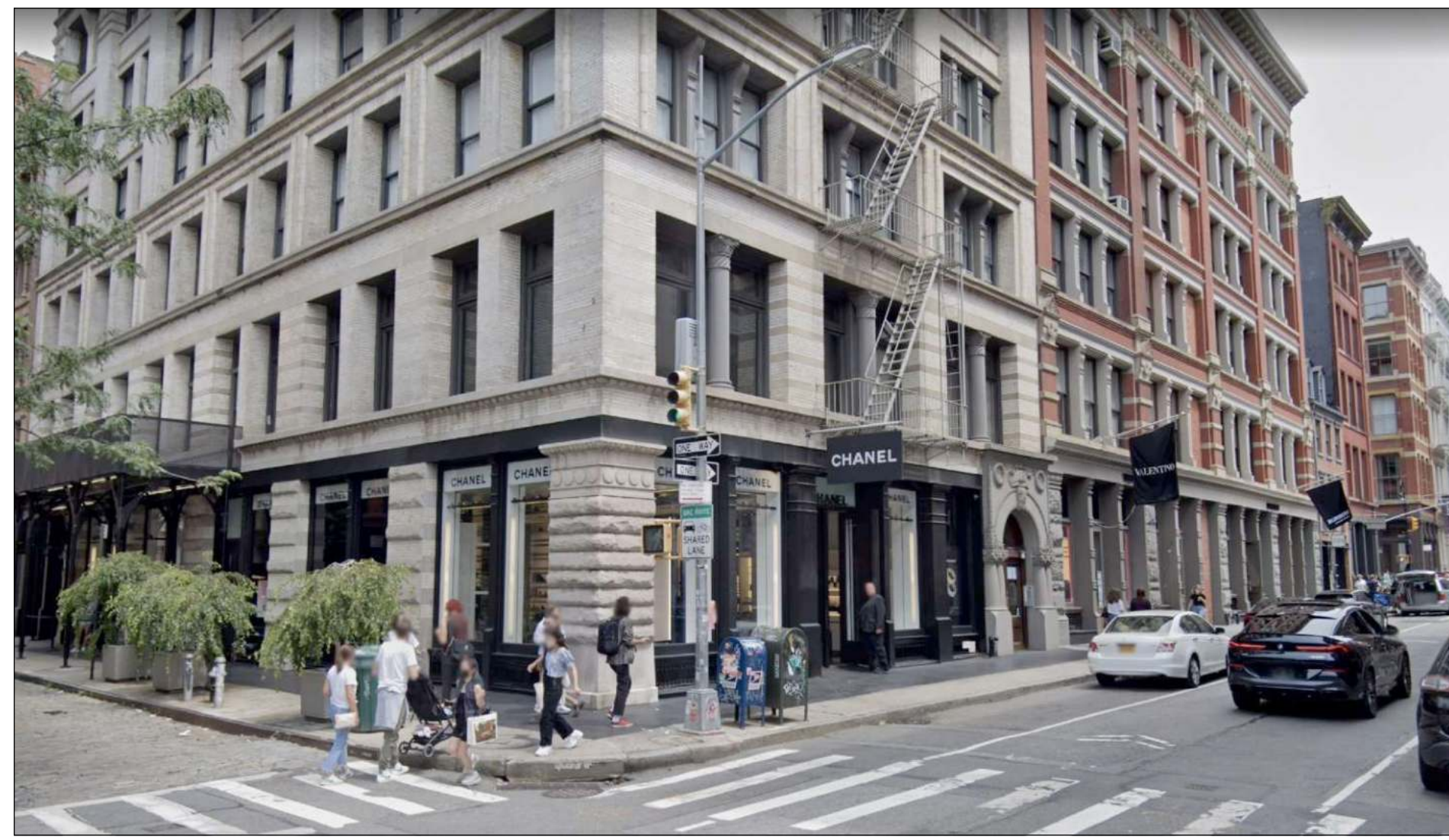
DWG TITLE:

PHOTOS OF
EXG STOREFRONTS
SOHO DISTRICT

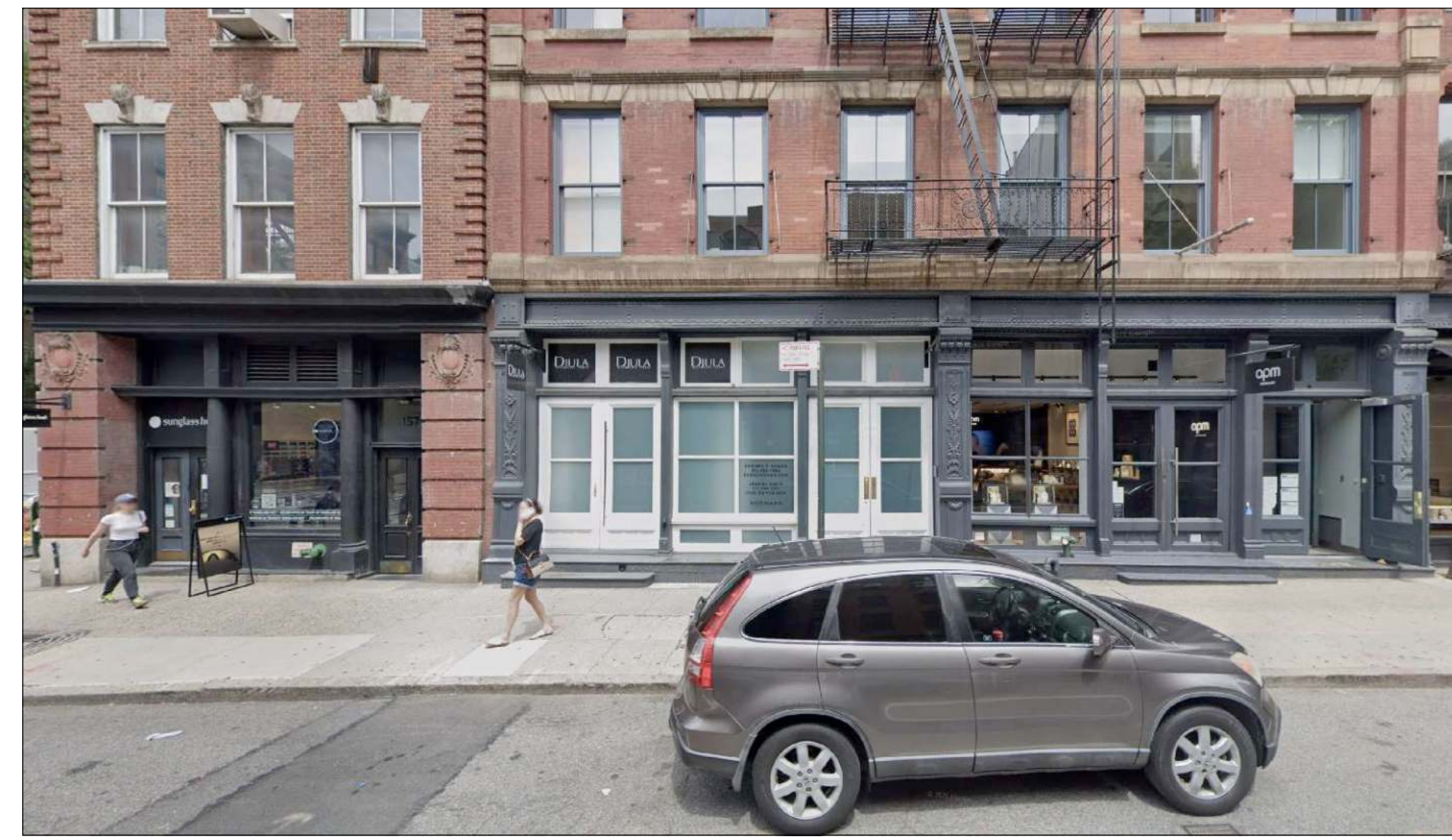
Phase:	cd	Project No:	P2105
Scale:	as noted	Date:	11.24.2021

Dwg. # :

A-506.00



21 139 SPRING STREET
Scale: NTS



22 155 SPRING STREET
Scale: NTS



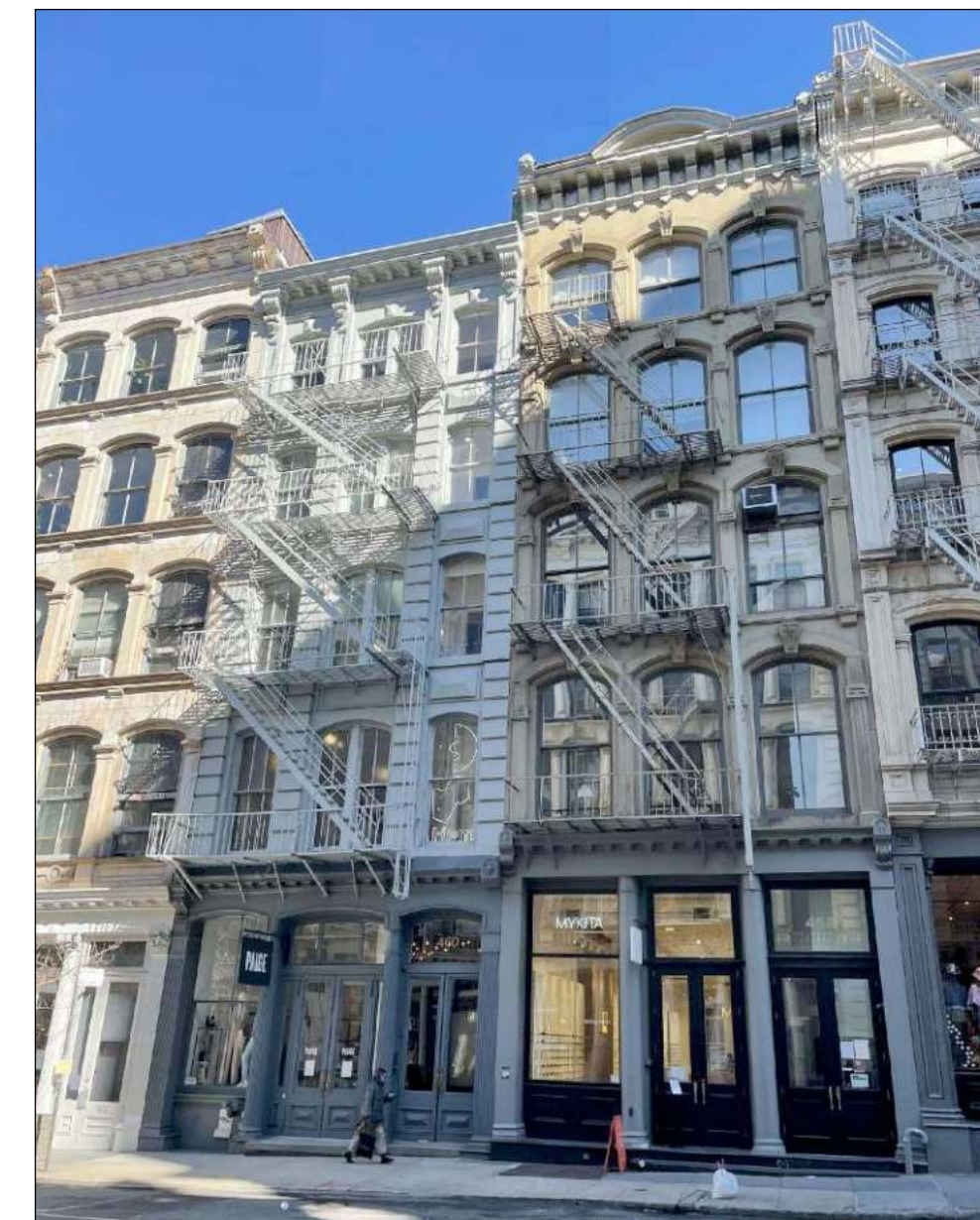
23 504 BROADWAY
Scale: NTS



24 454-460 BROOME STREET
Scale: NTS



25 454 BROOME STREET
Scale: NTS



26 458-460 BROOME STREET
Scale: NTS



27 470 BROOME STREET
Scale: NTS



28 508 BROADWAY
Scale: NTS



29 577 BROADWAY
Scale: NTS

Phase/Revision	Date
Issued for LPC	04.27.2022
--	--
--	--
--	--
--	--
--	--
--	--
--	--
--	--

ARCHITECT:

a
anastasio

177 N10th St. Suite 1A
Brooklyn, NY 11211
alberto@anastasioarchitects.com
anastasioarchitects.com



DWG TITLE:

PHOTOS OF
EXG STOREFRONTS
SOHO DISTRICT

Phase:	cd	Project No:	P2105
Scale:	as noted	Date:	11.24.2021

Dwg. # :

A-507.00