

AO

Rattlestick Playwrights Theater
224 Waverly Place, St. Johns in the Village

Landmarks Preservation Commission Review
April 8, 2022

PROJECT GOALS

“Of the Historic Districts in New York City which have been designated or will be designated, Greenwich Village outranks all others. This supremacy comes from the quality of its architecture, the nature of the artistic life within its boundaries, and the feeling of history that permeates its streets.”

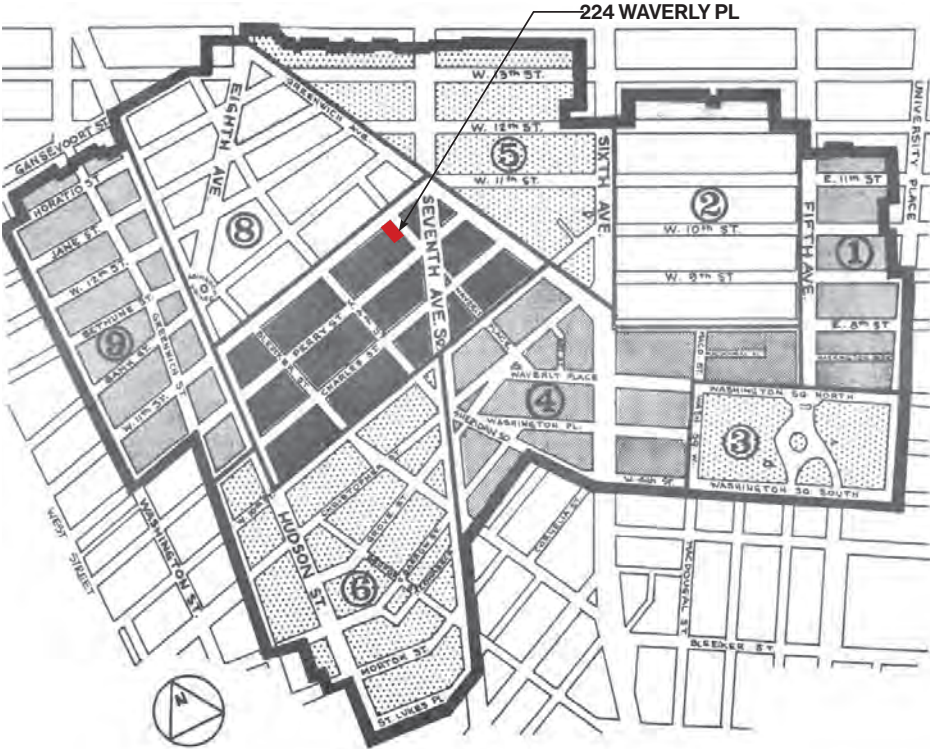
Greenwich Village Historic District Designation Report (1969)

Renovate the Parish House to make the theater and church spaces welcoming and fully accessible to the broad and diverse community.

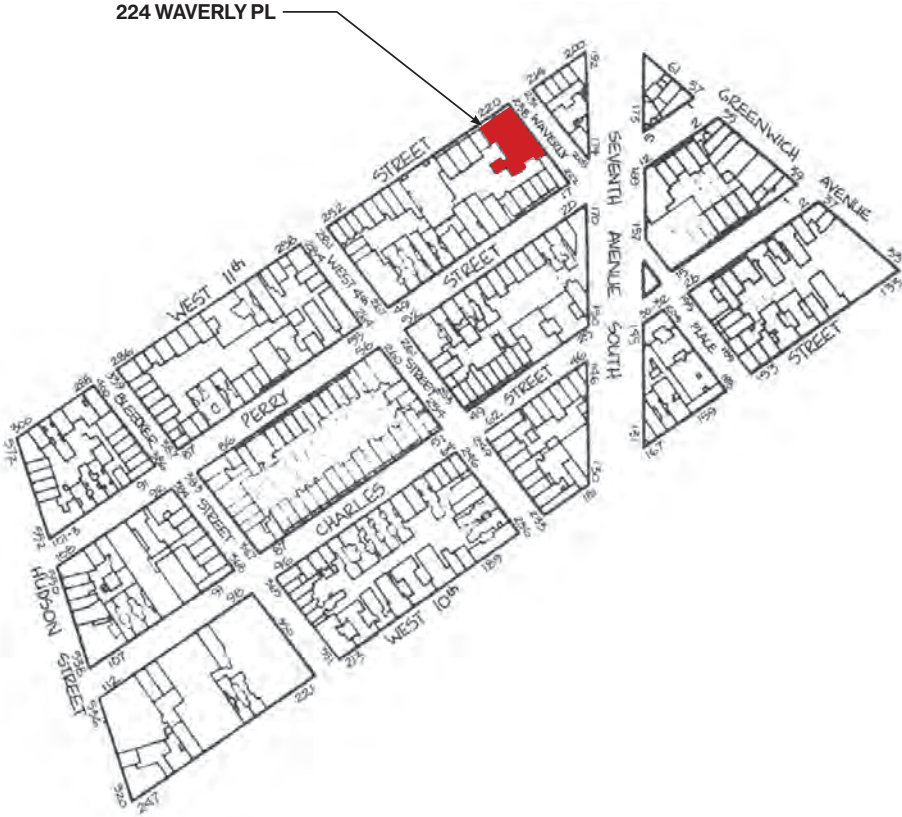
- **Create ADA-compliant building entries, theater spaces, and restrooms**
- **Modernize mechanical and fire protection systems to meet current code and energy efficiency standards**
- **Provide more flexibility and creative opportunities within the theater**
- **Improve the overall theater and church operations**

EXISTING CONDITIONS

LANDMARK DISTRICT MAPS



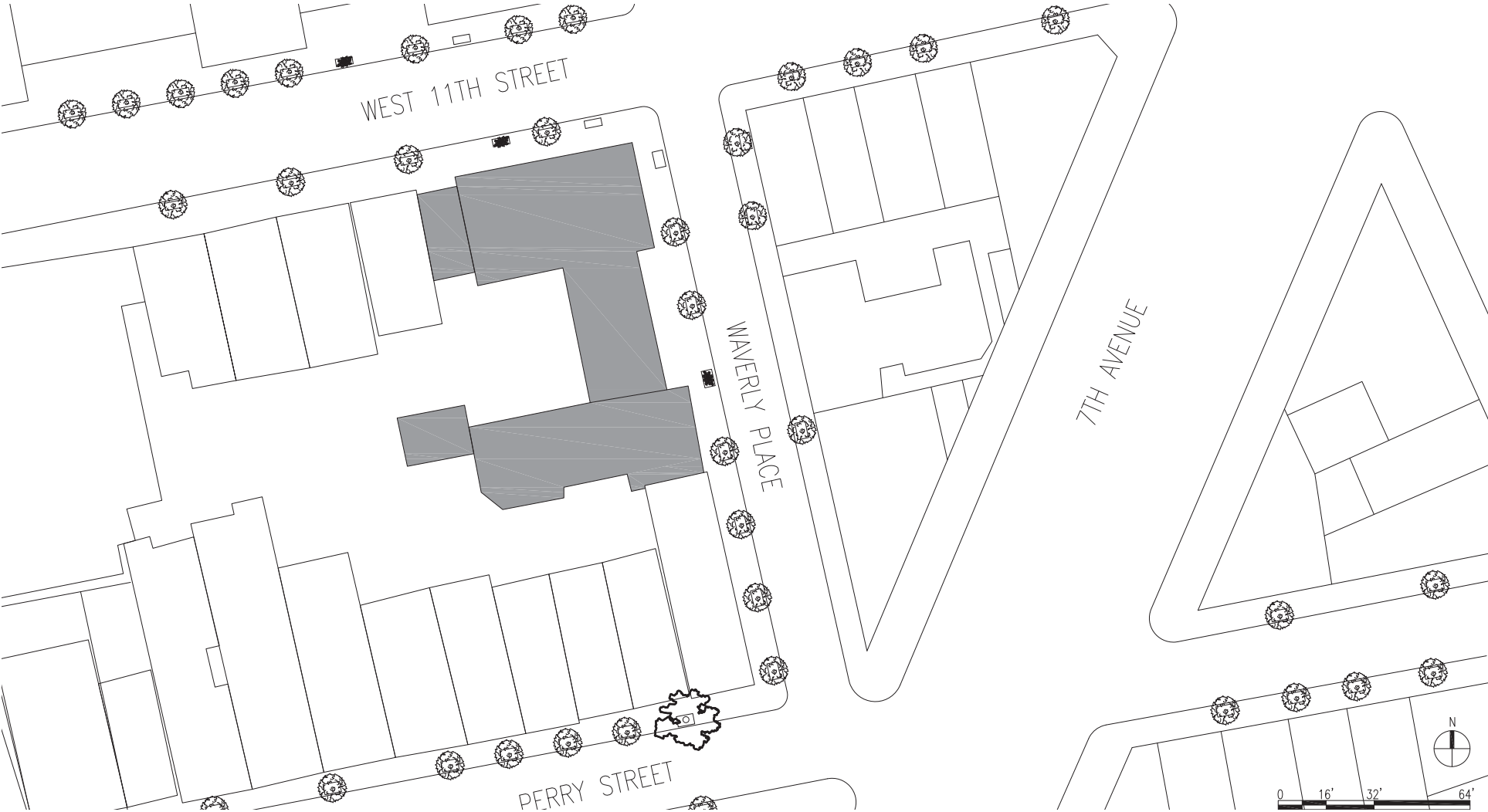
Greenwich Village Historic District
Manhattan



Greenwich Village Historic District
Area 7

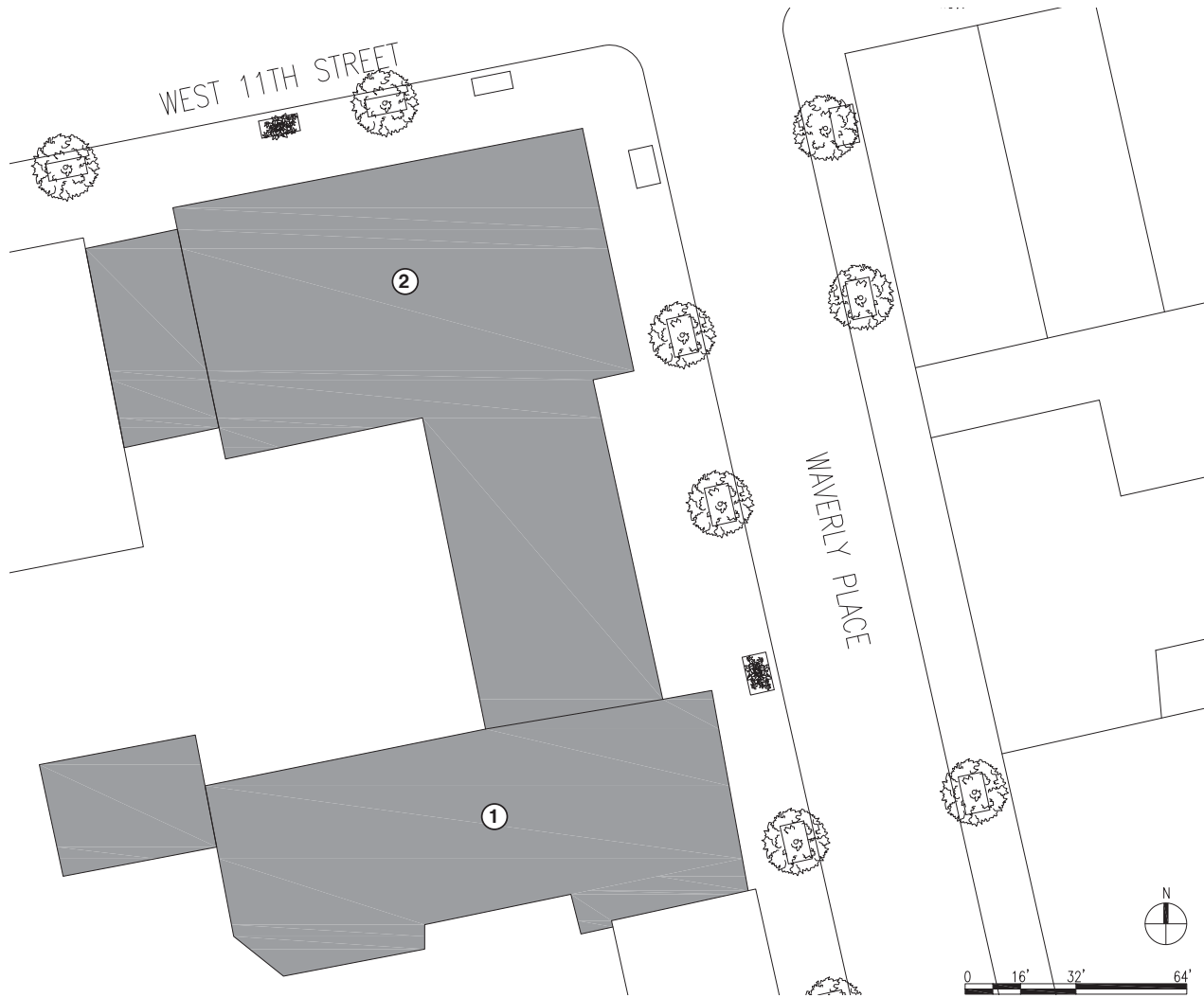
EXISTING CONDITIONS

SITE PLAN



EXISTING CONDITIONS

PLOT PLAN



NYC Department of Buildings
Property Profile Overview

224 WAVERLY PLACE		MANHATTAN 10014		BIN# 1080204	
WAVERLY PLACE	224 - 224	Health Area	6400	Tax Block	613
WEST 11 STREET	218 - 218	Census Tract	173	Tax Lot	23
		Community Board	102	Condo	NO
		Buildings on Lot	4	Vacant	NO

[View DCP Addresses...](#) [Browse Block](#)

[View Zoning Documents](#) [View Challenge Results](#) [Pre - BIS PA](#) [View Certificates of Occupancy](#)

Cross Street(s): PERRY STREET, WEST 11 STREET

DOB Special Place Name:

DOB Building Remarks:

Landmark Status:	L - LANDMARK	Special Status:	N/A
Local Law:	NO	Loft Law:	NO
SRD Restricted:	NO	TA Restricted:	NO
UB Restricted:	NO	Grandfathered Sign:	NO
Environmental Restrictions:	N/A	City Owned:	NO
Legal Adult Use:	NO		

Additional BINs for Building: NONE

HPD Multiple Dwelling: No

Special District: UNKNOWN

This property is not located in an area that may be affected by Tidal Wetlands, Freshwater Wetlands, Coastal Erosion Hazard Area, or Special Flood Hazard Area. [Click here for more information](#)

Department of Finance Building Classification: M9-CHURCH SYNAGOGUE

Please Note: This Department of Finance's building classification information shows a building's tax status, which may not be the same as the legal use of the structure. To determine the legal use of a structure, research the records of the Department of Buildings.

- ① PARISH HALL (RATTLESTICK PLAYWRIGHTS THEATER)
- ② ST. JOHN'S IN THE VILLAGE (CHURCH)

EXISTING CONDITIONS

STREET ELEVATION

Significant Dates:

1969 - Building included in designation of Greenwich Village Historic District

March 7, 1971 - Fire destroyed original church building, current Parish Hall remains

Previous LPC Approvals:

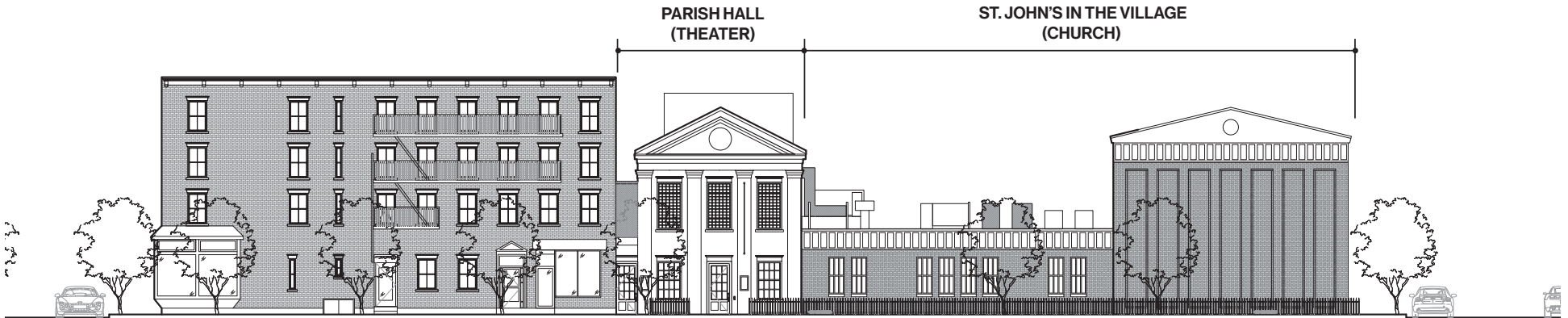
Certificate of Appropriateness 235 issued on August 14, 1972 for constructing a new church-and-office buildings designed by Edgar Tafel at 220 West 11th Street (aka 226-238 Waverly Place) following a fire at the St. John's-in-the-Village Episcopal Church complex; [Point to church and office wing]

Permit for Minor Work 98-3572 issued on January 13, 1998 for replacing the existing wood windows and frames at all facades, including multi-pane, double-hung sash, multi-pane casement sash, and one leaded-glass sash, including replicating the leaded glass window in kind; [where is the leaded glass window?]

Permit for Minor Work 99-4424 issued on February 22, 1999 for installing a new standing-seam copper roof, skylights, and related flashing at the main roof of the church; installing new roofing membrane at the flat roof of the office wing, among other work;

Permit for Minor Work 01-0342 issued on July 19, 2000 for removing a non-historic wood door with a wrought-iron panel insert at the ground floor level passageway to the rear garden, and installing a new wrought-iron gate, which incorporates the wrought-iron panel; [do you know where this would be?]

Certificate of No Effect 15-9195 issued on June 20, 2014 for replacing select brownstone sills and lintels with pre-cast concrete units; restoring the wood cornice at the West 11th Street (east) facade; restoring, reglazing, and making operable select wood windows; and replacing roofing and flashing at the porch extension on the south facade;



STREET ELEVATION – PROPOSED
SCALE: 1/16" = 1'-0"



EXISTING CONDITIONS

HISTORIC IMAGES



St. Johns in the Village
11th Street & Waverly Place
c. 1930



Parish House
Waverly Place
c. 1940



Parish House
Waverly Place
c. 1980

EXISTING CONDITIONS

STREET VIEWS



Parish House
Waverly Place



St. Johns in the Village
11th Street & Waverly Place

EXISTING CONDITIONS

STREET VIEWS



Parish House
Waverly Place



EXISTING CONDITIONS

STREET VIEWS



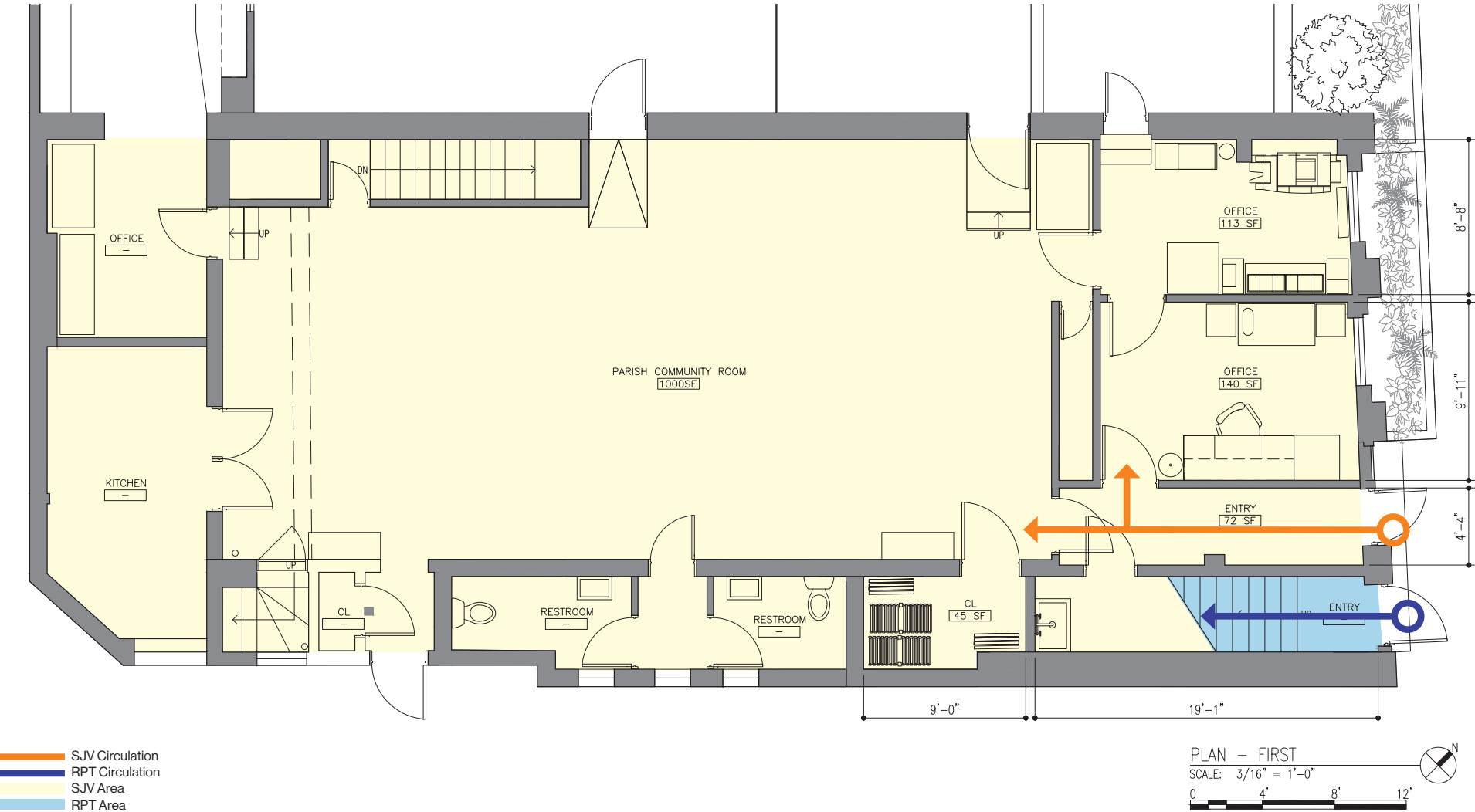
EXISTING CONDITIONS

STREET VIEWS



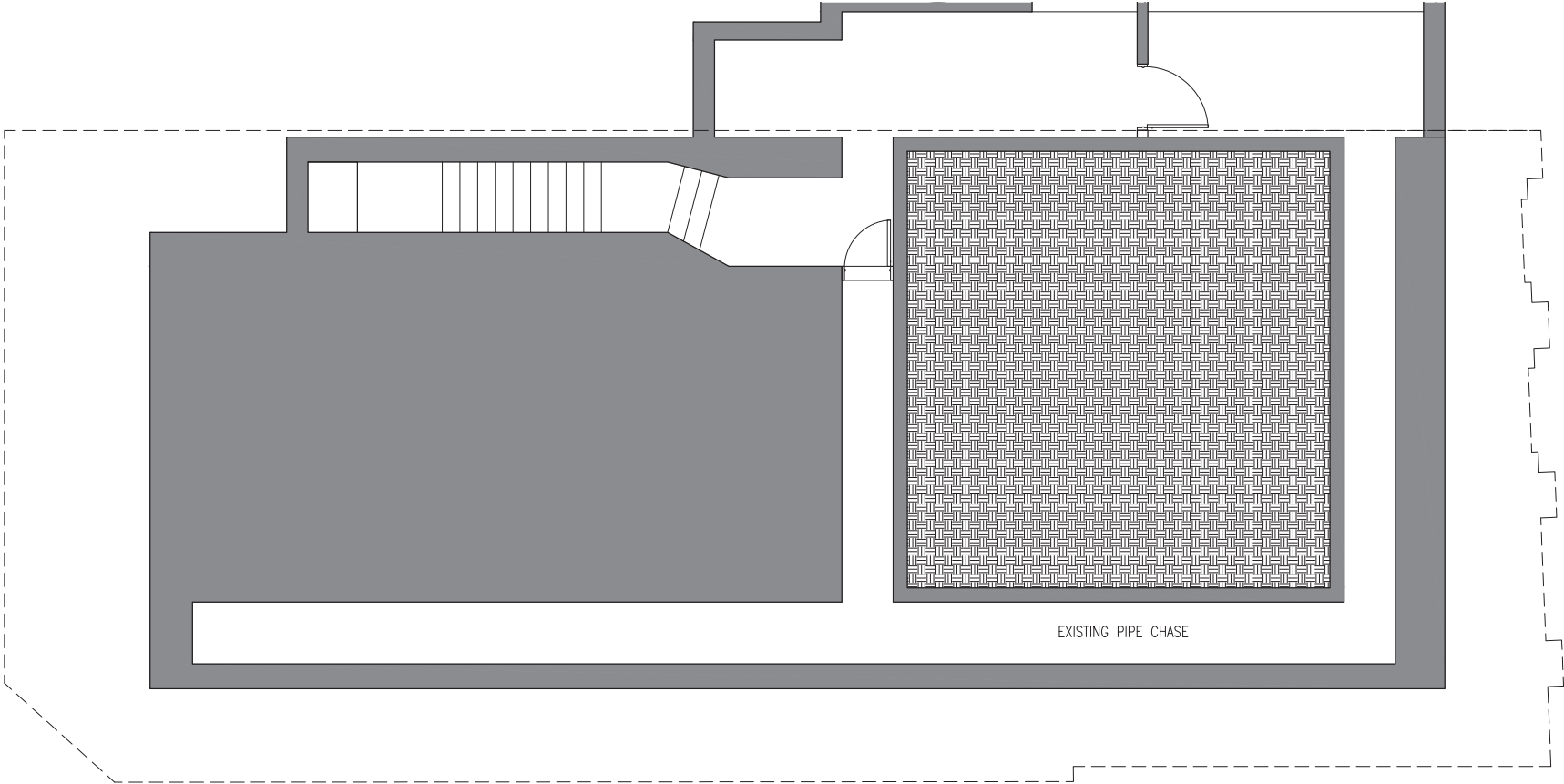
EXISTING CONDITIONS

SCHEMATIC DRAWING



EXISTING CONDITIONS

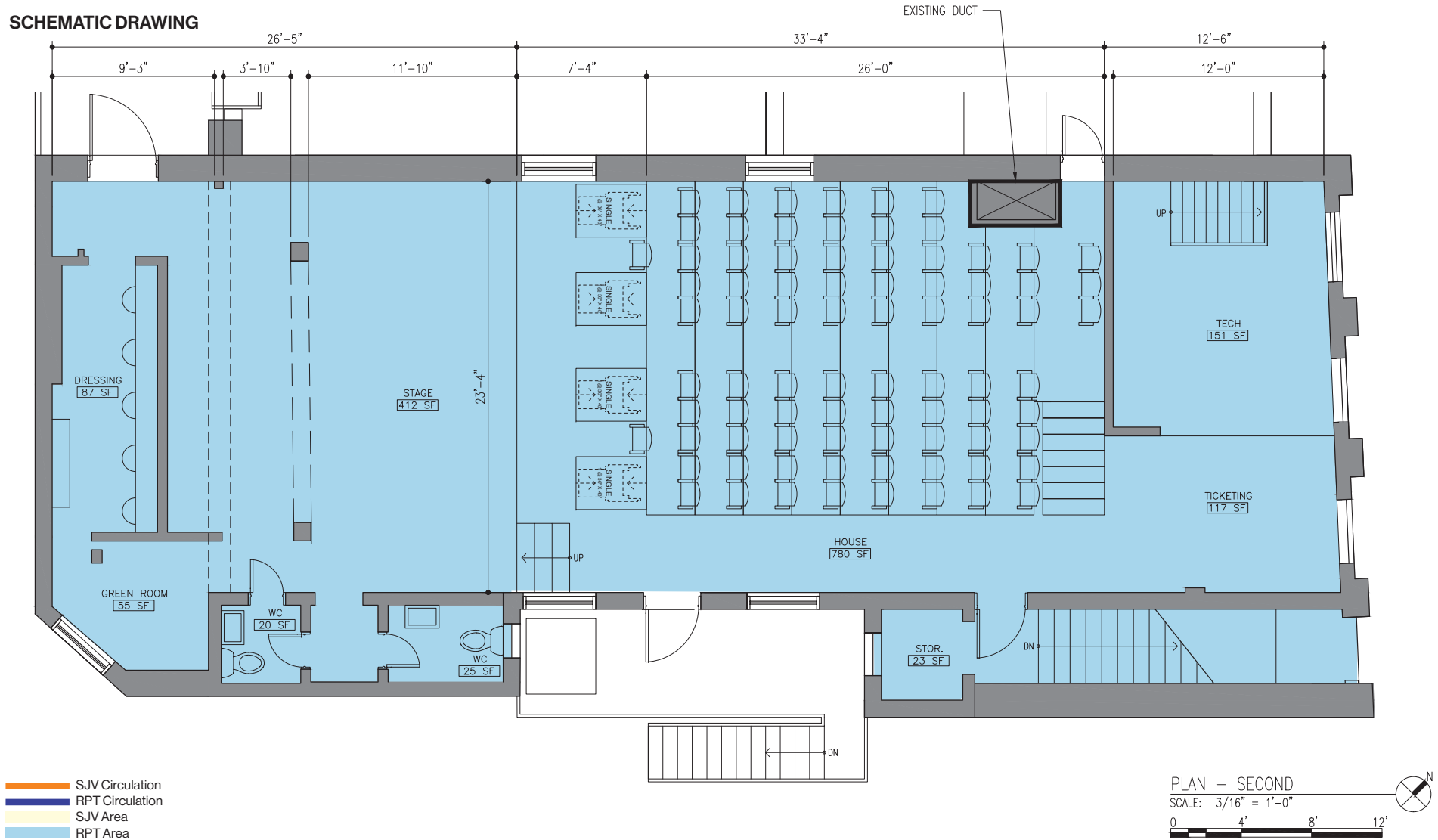
SCHEMATIC DRAWING



- SJV Circulation
- RPT Circulation
- SJV Area
- RPT Area

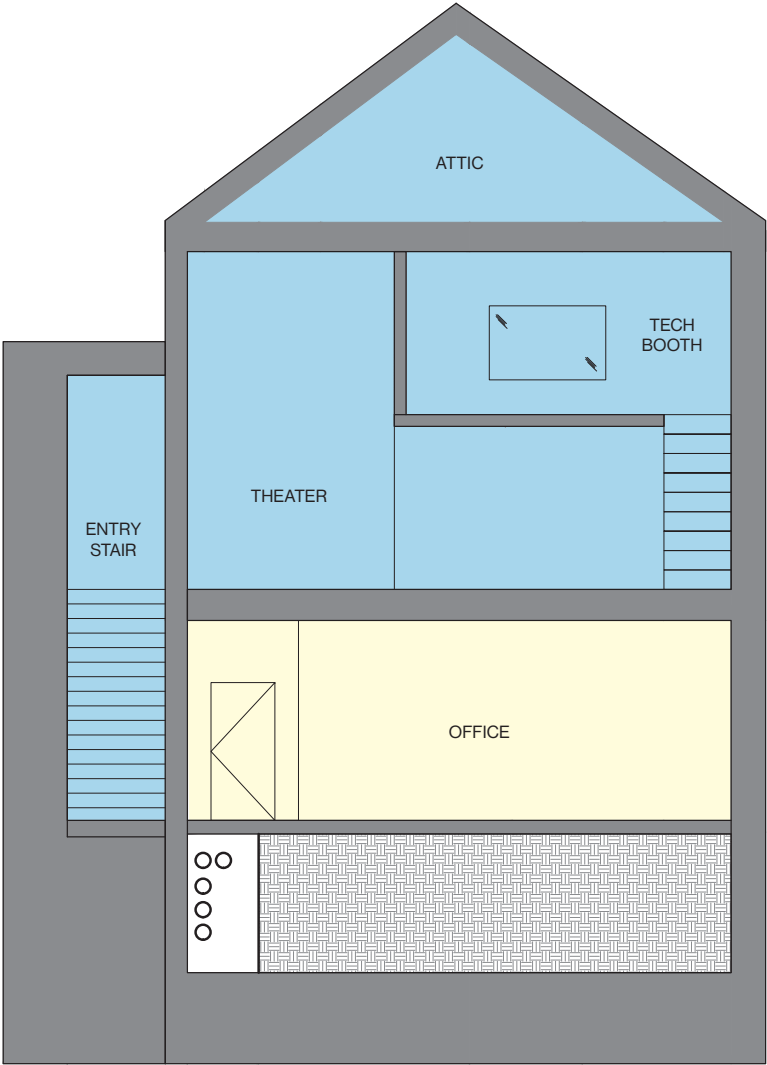
PLAN - CELLAR
SCALE: 3/16" = 1'-0"
0 4' 8' 12'

EXISTING CONDITIONS



EXISTING CONDITIONS

SCHEMATIC DRAWING

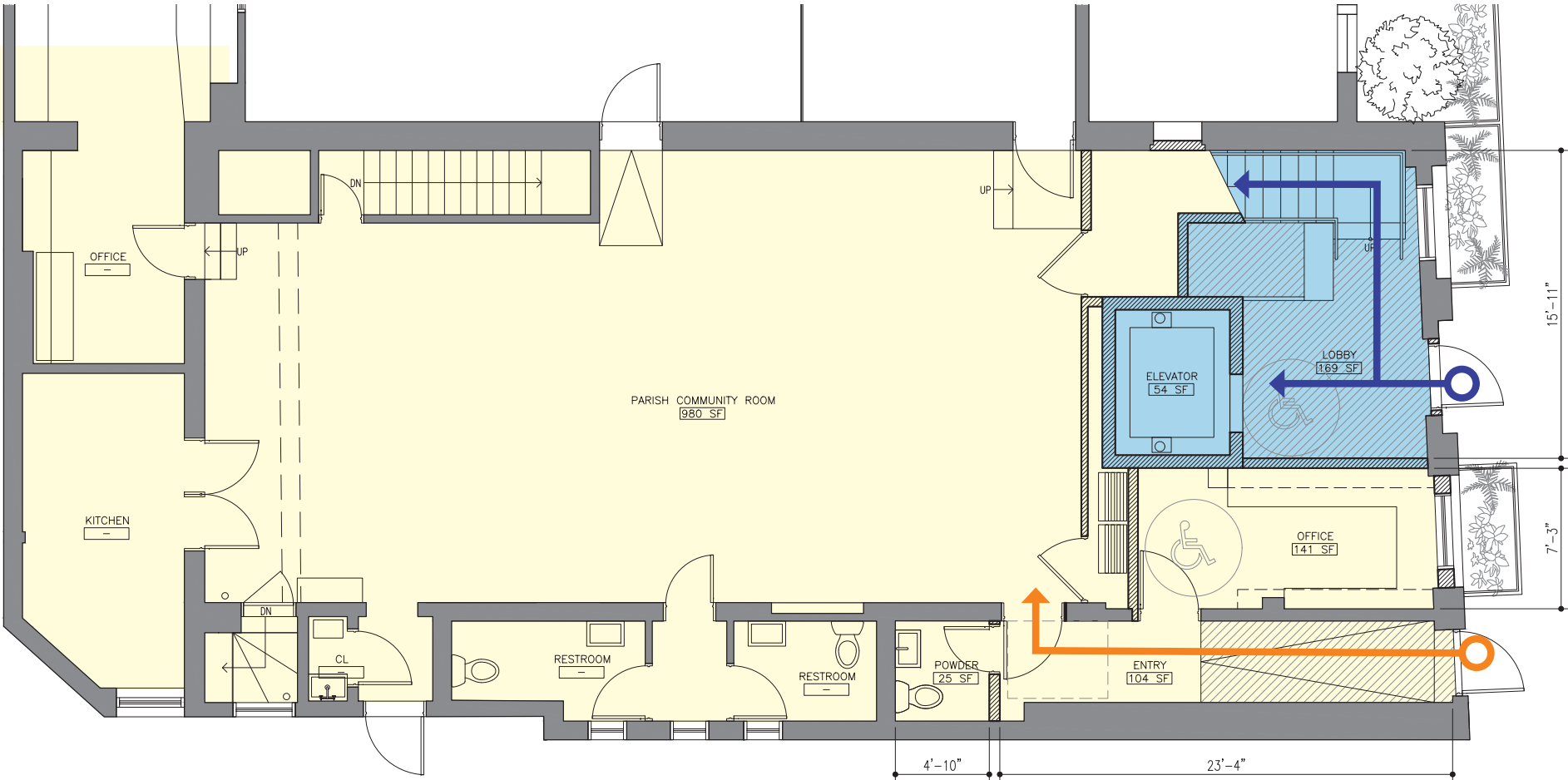


- SJV Circulation
- RPT Circulation
- SJV Area
- RPT Area

SECTION
SCALE: 3/16" = 1'-0"
0 4' 8' 12'

PROPOSED

SCHEMATIC DRAWING

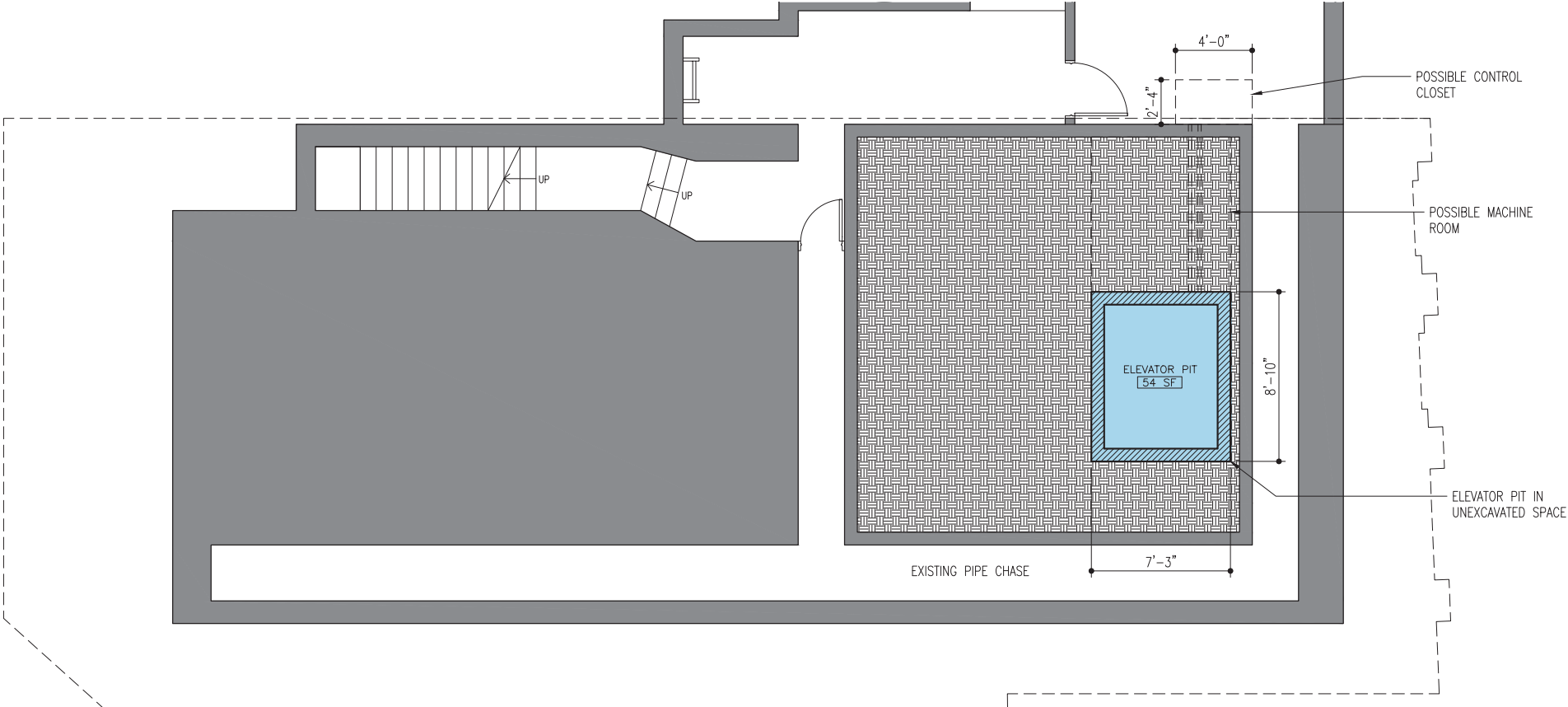


- SJV Circulation
- RPT Circulation
- SJV Area
- RPT Area

PLAN - FIRST
 SCALE: 3/16" = 1'-0"
 0 4' 8' 12'

PROPOSED

SCHEMATIC DRAWING

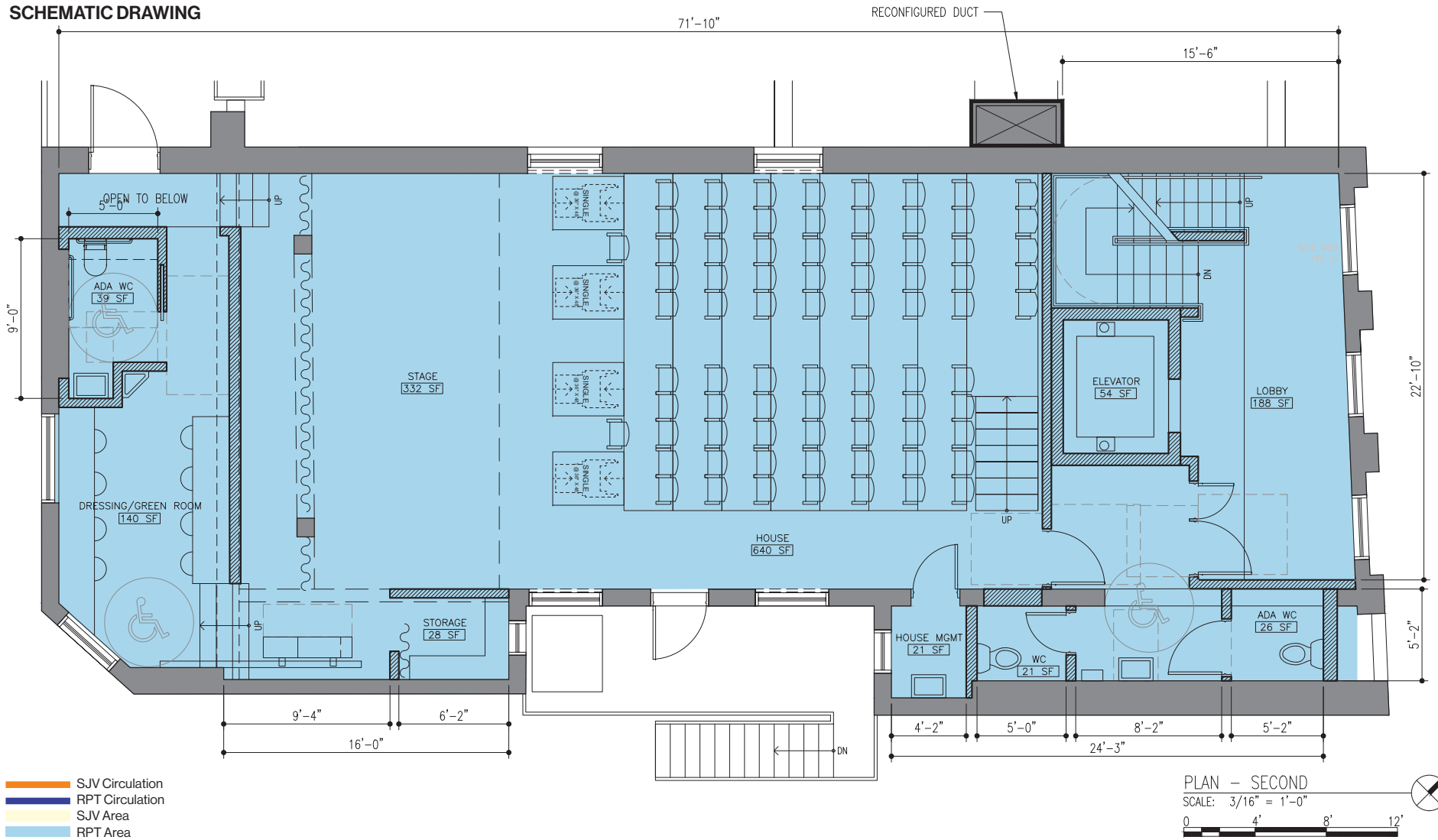


- SJV Circulation
- RPT Circulation
- SJV Area
- RPT Area

PLAN - CELLAR
SCALE: 3/16" = 1'-0"
0 4' 8' 12'

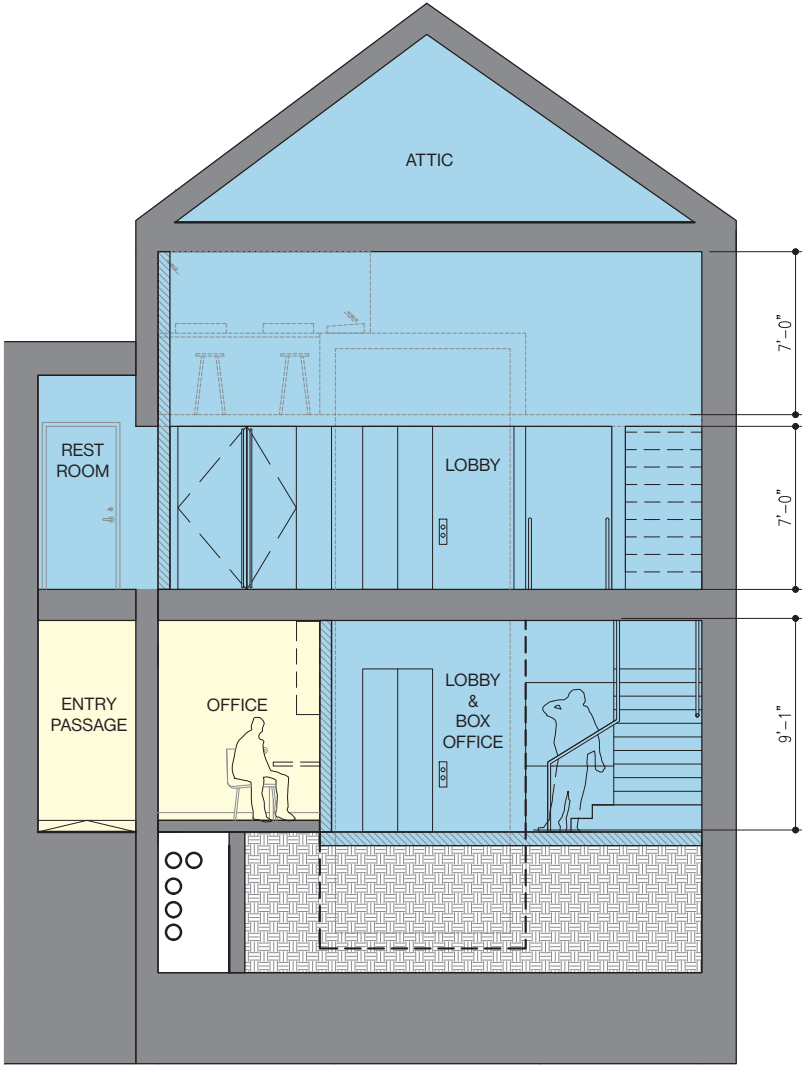
PROPOSED

SCHEMATIC DRAWING



PROPOSED

SCHEMATIC DRAWING



- SJV Circulation
- RPT Circulation
- SJV Area
- RPT Area

SECTION
SCALE: 3/16" = 1'-0"
0 4' 8' 12'

EXISTING CONDITIONS

FACADE PHOTOGRAPH



HISTORIC CONDITIONS

FACADE PHOTOGRAPH (OPENING ALIGNMENTS NOTED)



EXISTING CONDITIONS

FACADE RENDERING



PROPOSED

FACADE RENDERING



EXISTING CONDITIONS & PROPOSED



STREET ELEVATION – EXISTING

SCALE: 1/16" = 1'-0"



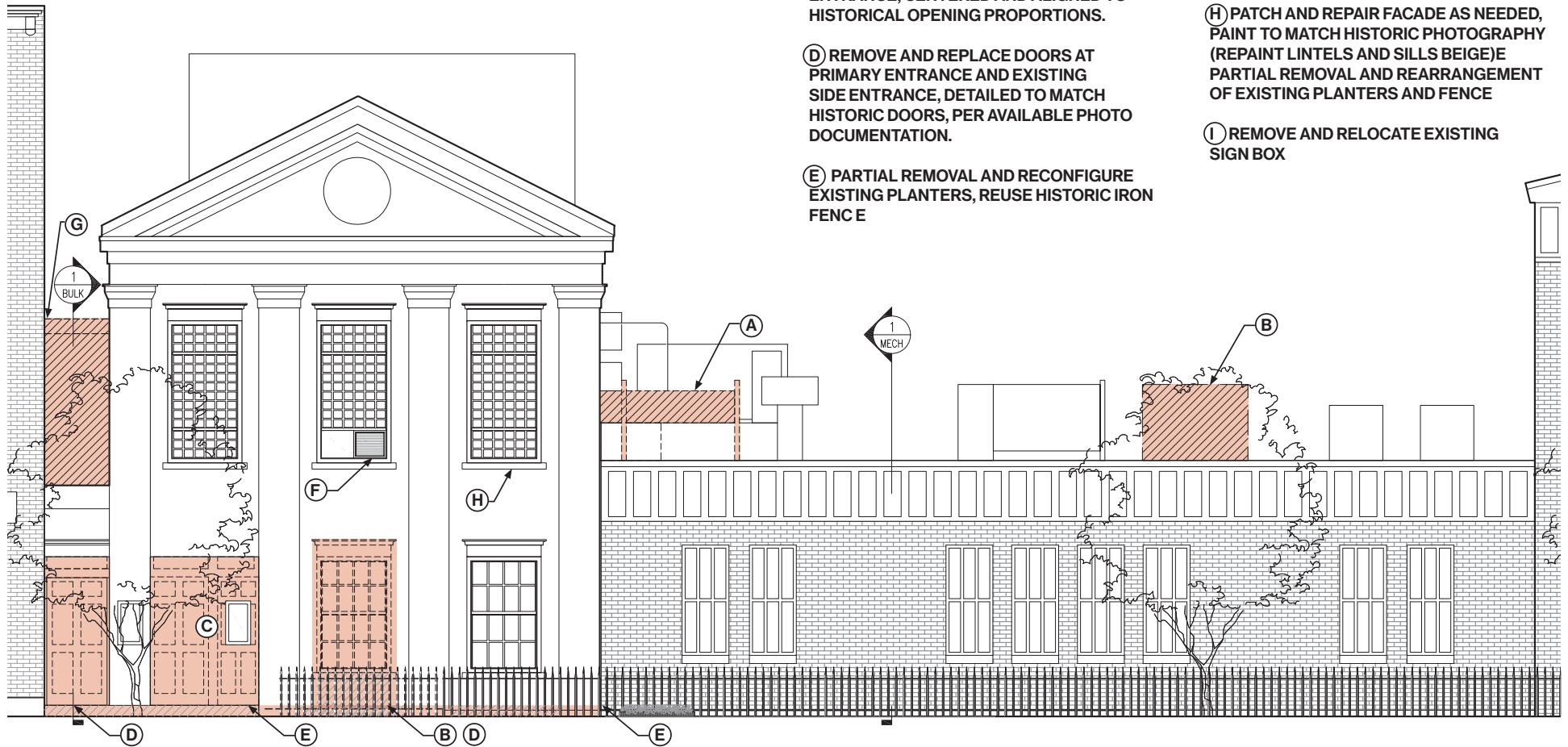
STREET ELEVATION – PROPOSED

SCALE: 1/16" = 1'-0"



EXISTING CONDITIONS

SCOPE OF MODIFICATIONS



(A) RELOCATE DUCT. SHROUD PAINTED TO MATCH BUILDING MATERIAL

(B) REMOVE EXISTING MECHANICAL EQUIPMENT; DUNNAGE TO REMAIN

(C) RELOCATE OPENING AT PRIMARY ENTRANCE, CENTERED AND ALIGNED TO HISTORICAL OPENING PROPORTIONS.

(D) REMOVE AND REPLACE DOORS AT PRIMARY ENTRANCE AND EXISTING SIDE ENTRANCE, DETAILED TO MATCH HISTORIC DOORS, PER AVAILABLE PHOTO DOCUMENTATION.

(E) PARTIAL REMOVAL AND RECONFIGURE EXISTING PLANTERS, REUSE HISTORIC IRON FENCE

(F) REMOVE WINDOW-UNIT AIR CONDITIONING, REFURBISH EXISTING WINDOWS

(G) NEW ROOF AT STAIR BULKHEAD WITH STEEPER SLOPE, DARK GREY METAL TO MATCH BUILDING ROOF

(H) PATCH AND REPAIR FACADE AS NEEDED, PAINT TO MATCH HISTORIC PHOTOGRAPHY (REPAINT LINTELS AND SILLS BEIGE) PARTIAL REMOVAL AND REARRANGEMENT OF EXISTING PLANTERS AND FENCE

(I) REMOVE AND RELOCATE EXISTING SIGN BOX

BUILDING ELEVATION – EXISTING
SCALE: 3/16" = 1'-0"



EXISTING CONDITIONS

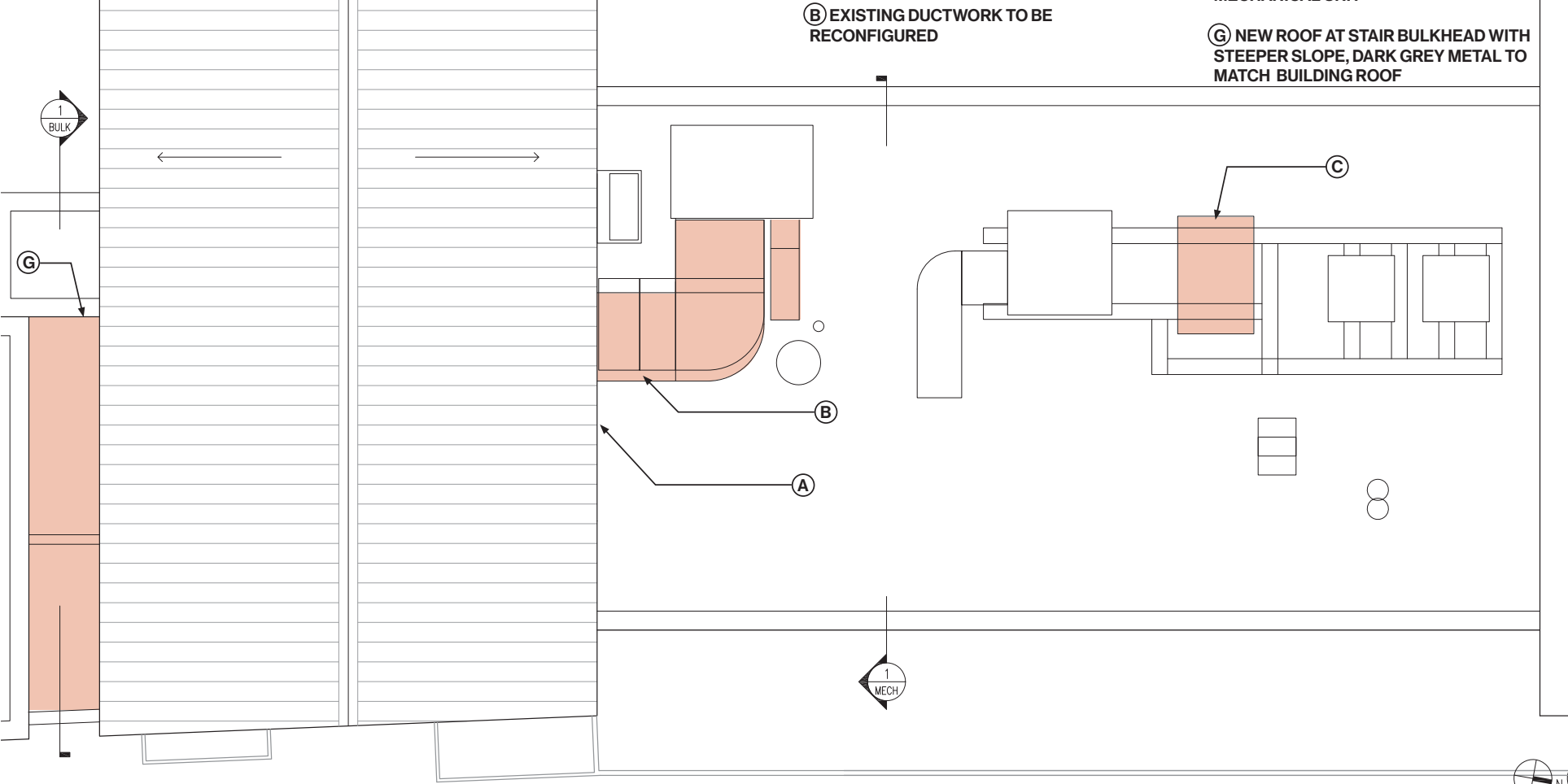
SCOPE OF MODIFICATIONS

(A) DEMOLISH EXISTING DOOR AND LOUVER

(C) DEMOLISH NON-FUNCTIONAL MECHANICAL UNIT

(B) EXISTING DUCTWORK TO BE RECONFIGURED

(G) NEW ROOF AT STAIR BULKHEAD WITH STEEPER SLOPE, DARK GREY METAL TO MATCH BUILDING ROOF



ROOF PLAN (EXISTING)
SCALE: 3/16" = 1'-0"

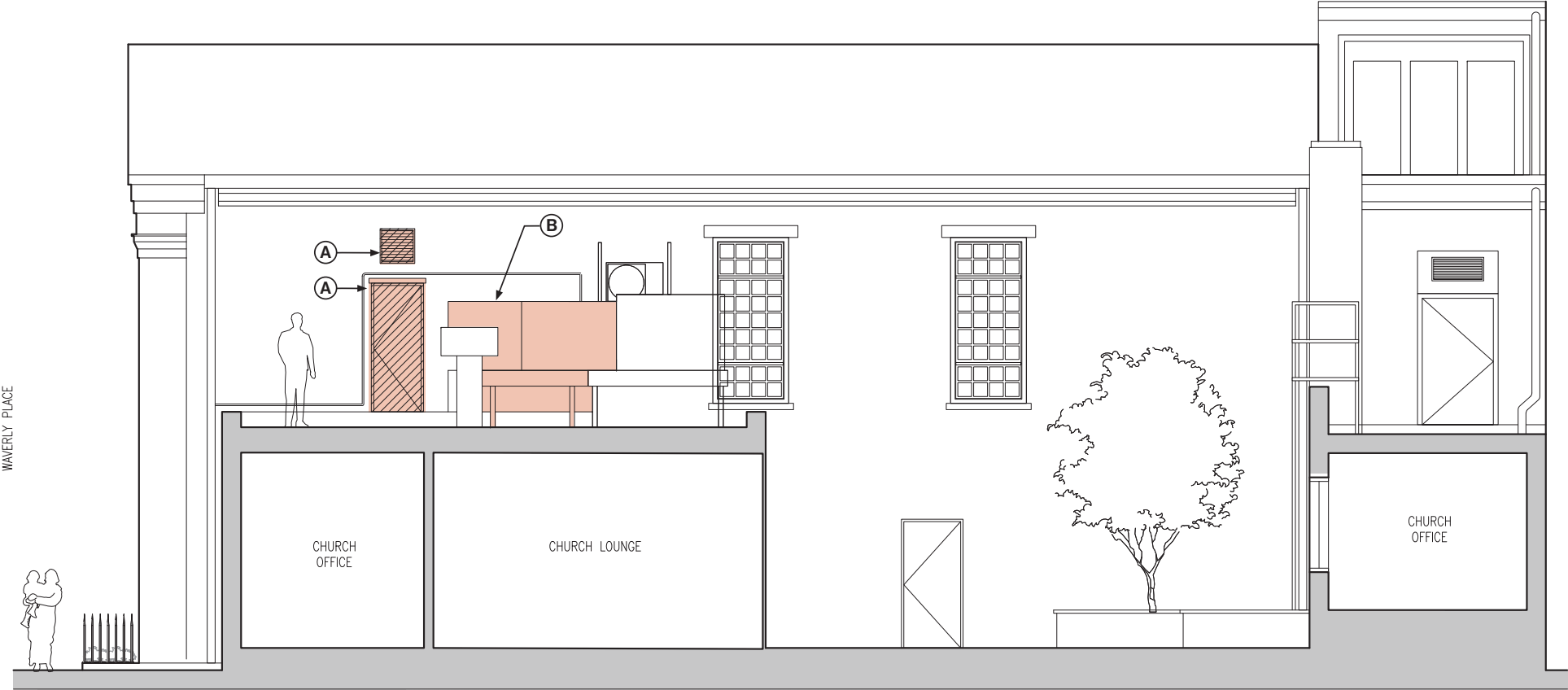


EXISTING CONDITIONS

SCOPE OF MODIFICATIONS

(A) DEMOLISH EXISTING DOOR AND LOUVER

(B) EXISTING DUCTWORK TO BE RECONFIGURED

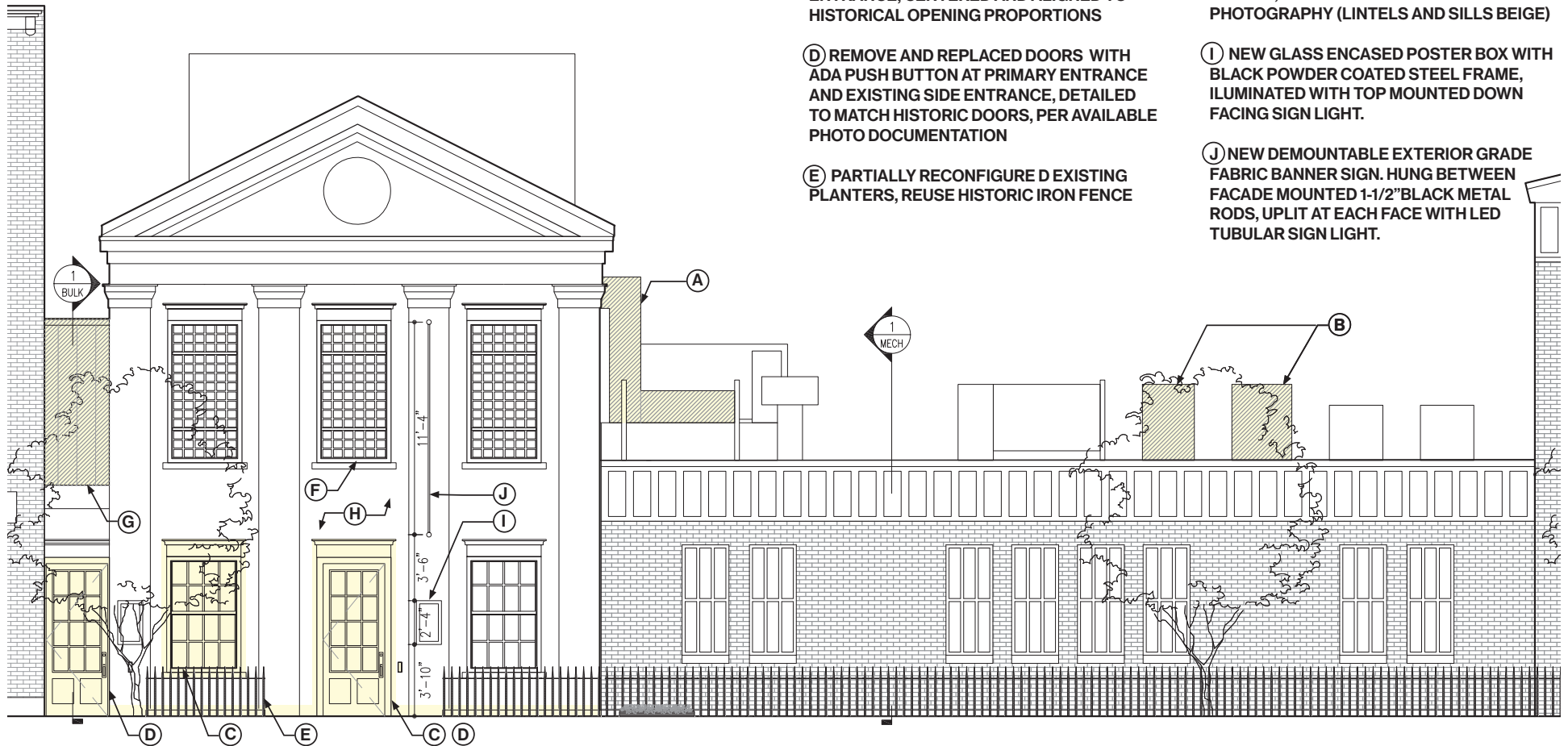


NORTH ELEVATION (EXISTING)

SCALE: 3/16" = 1'-0"

PROPOSED

SCOPE OF MODIFICATIONS



(A) RELOCATED DUCT. SHROUD PAINTED TO MATCH BUILDING MATERIAL

(B) NEW MECHANICAL UNITS ON EXISTING DUNNAGE

(C) RELOCATED OPENING AT PRIMARY ENTRANCE, CENTERED AND ALIGNED TO HISTORICAL OPENING PROPORTIONS

(D) REMOVE AND REPLACED DOORS WITH ADA PUSH BUTTON AT PRIMARY ENTRANCE AND EXISTING SIDE ENTRANCE, DETAILED TO MATCH HISTORIC DOORS, PER AVAILABLE PHOTO DOCUMENTATION

(E) PARTIALLY RECONFIGURE D EXISTING PLANTERS, REUSE HISTORIC IRON FENCE

(F) REFURBISH EXISTING WINDOWS

(G) NEW ROOF AT STAIR BULKHEAD WITH STEEPER SLOPE, DARK GREY METAL TO MATCH BUILDING ROOF

(H) PATCH AND REPAIR FACADE AS NEEDED, REFINISH TO MATCH HISTORIC PHOTOGRAPHY (LINTELS AND SILLS BEIGE)

(I) NEW GLASS ENCASED POSTER BOX WITH BLACK POWDER COATED STEEL FRAME, ILLUMINATED WITH TOP MOUNTED DOWN FACING SIGN LIGHT.

(J) NEW DEMOUNTABLE EXTERIOR GRADE FABRIC BANNER SIGN. HUNG BETWEEN FACADE MOUNTED 1-1/2" BLACK METAL RODS, UPLIFT AT EACH FACE WITH LED TUBULAR SIGN LIGHT.

BUILDING ELEVATION – PROPOSED
SCALE: 3/16" = 1'-0"



PROPOSED

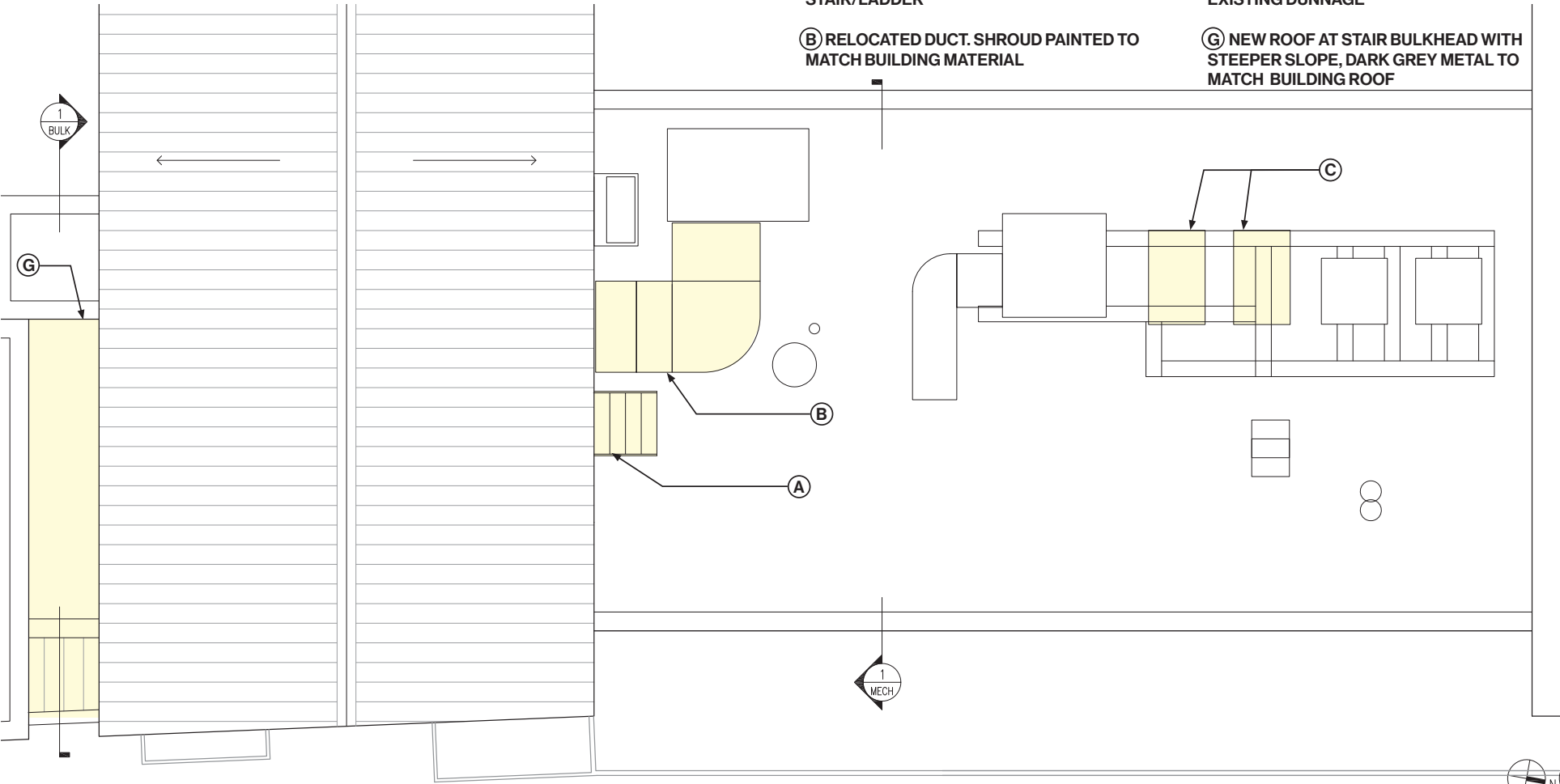
SCOPE OF MODIFICATIONS

(A) RELOCATED ROOF ACCESS DOOR AND STAIR/LADDER

(C) NEW MECHANICAL EQUIPMENT ON EXISTING DUNNAGE

(B) RELOCATED DUCT. SHROUD PAINTED TO MATCH BUILDING MATERIAL

(G) NEW ROOF AT STAIR BULKHEAD WITH STEEPER SLOPE, DARK GREY METAL TO MATCH BUILDING ROOF



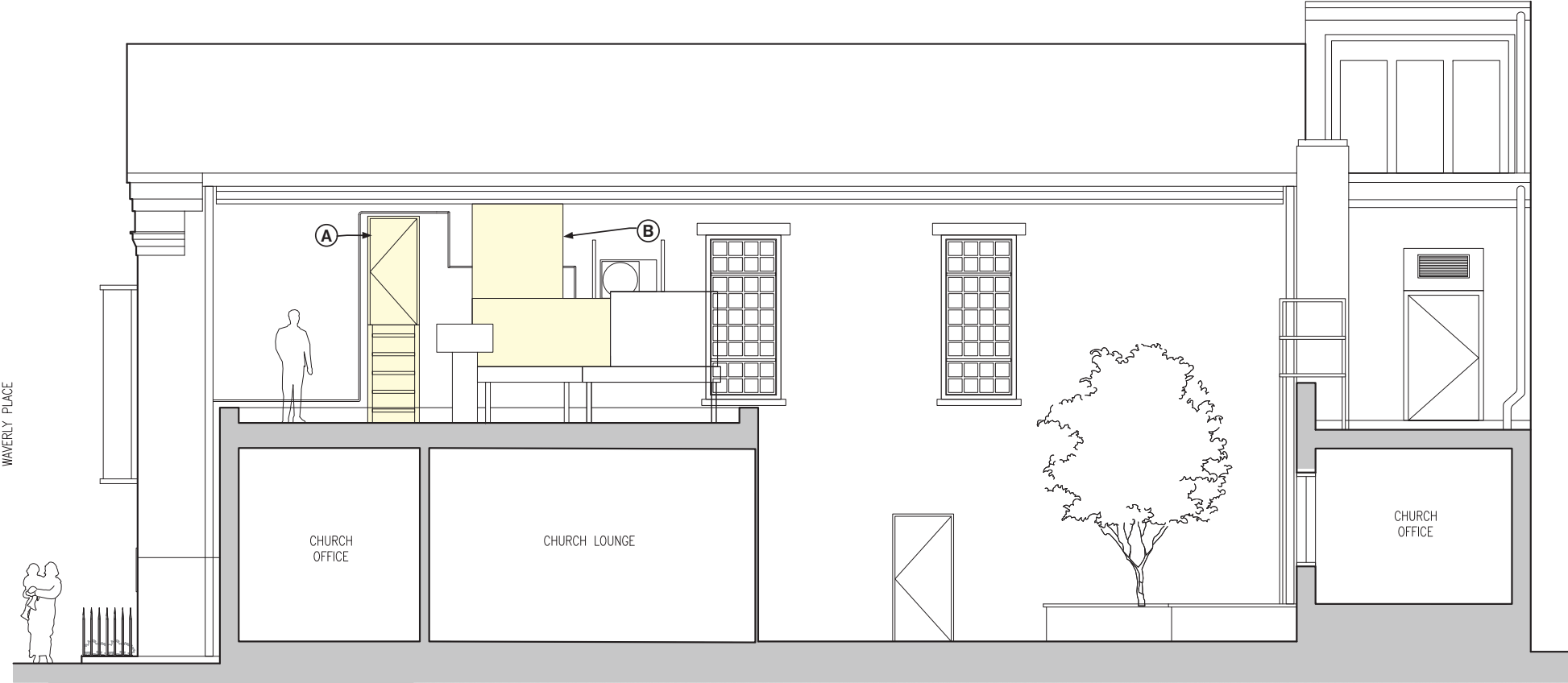
ROOF PLAN (PROPOSED)
SCALE: 3/16" = 1'-0"

PROPOSED

SCOPE OF MODIFICATIONS

(A) RELOCATED ROOF ACCESS DOOR AND STAIR/LADDER

(B) RELOCATED DUCT. SHROUD PAINTED TO MATCH BUILDING MATERIAL



NORTH ELEVATION (PROPOSED)

SCALE: 3/16" = 1'-0"



EXISTING CONDITIONS

STREET VIEW SHOWING ROOFTOP MECHANICAL EQUIPMENT & SIDE WALL OPENINGS



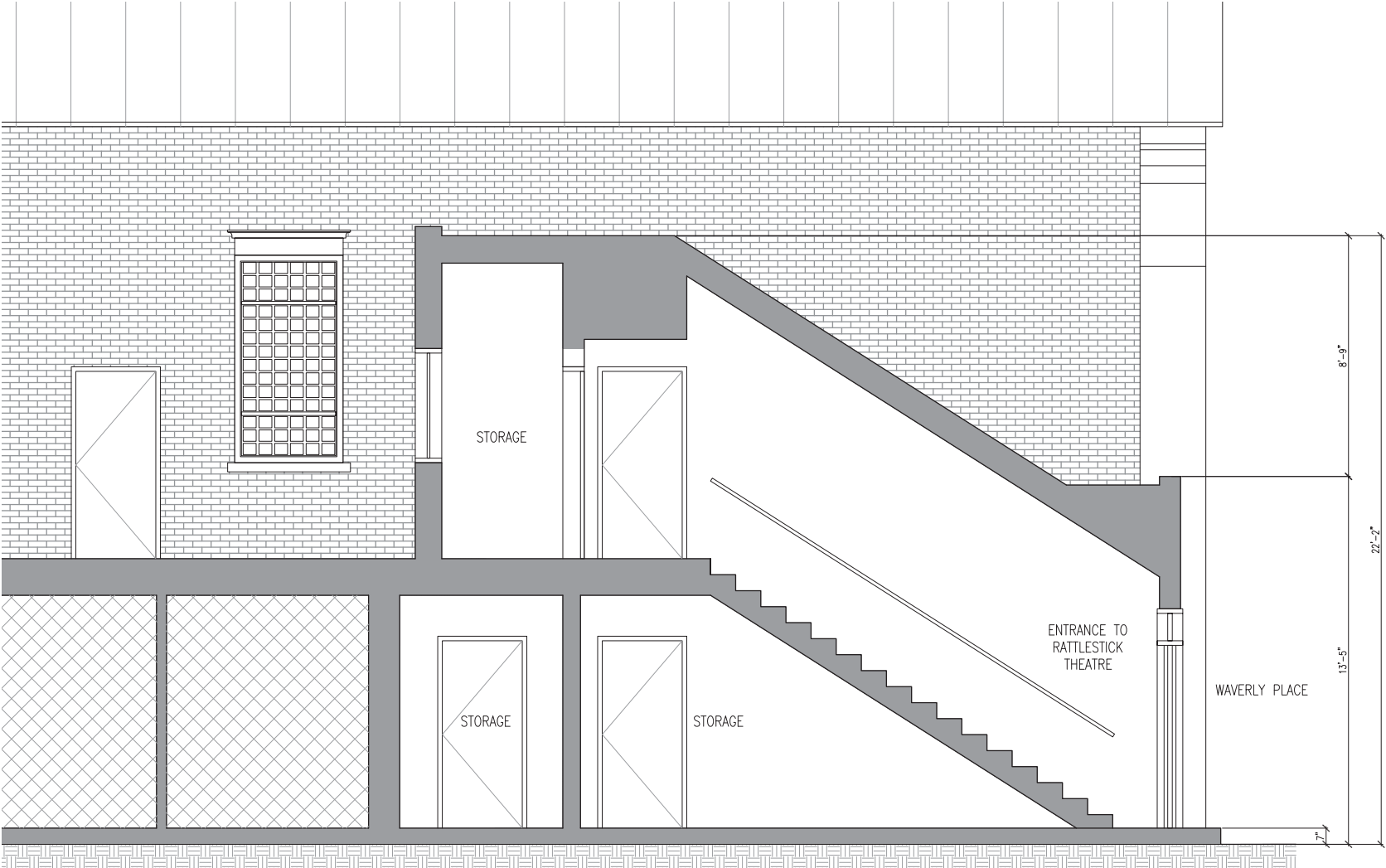
PROPOSED

STREET VIEW SHOWING ROOFTOP MECHANICAL EQUIPMENT & SIDE WALL OPENINGS



EXISTING CONDITIONS

SECTION THROUGH STAIR BULKHEAD



PROPOSED

SECTION THROUGH STAIR BULKHEAD



PROPOSED

RENDERED STREET VIEW



PROPOSED

RENDERED STREET VIEW



PROPOSED

RENDERED STREET VIEW



APPENDIX

EXISTING CONDITIONS

INTERIOR VIEWS



Parish House
Ground Level Community Room

EXISTING CONDITIONS

INTERIOR VIEWS



Parish House
Theater Entry



EXISTING CONDITIONS

INTERIOR VIEWS



Parish House
Second Floor Theater



Rattlestick Playwrights Theater

EXISTING CONDITIONS

EXTERIOR VIEWS



11th Street
Church buildings



11th Street
Gate to passageway to interior yard



Interior Yard
Passageway to 11th Street

EXISTING CONDITIONS

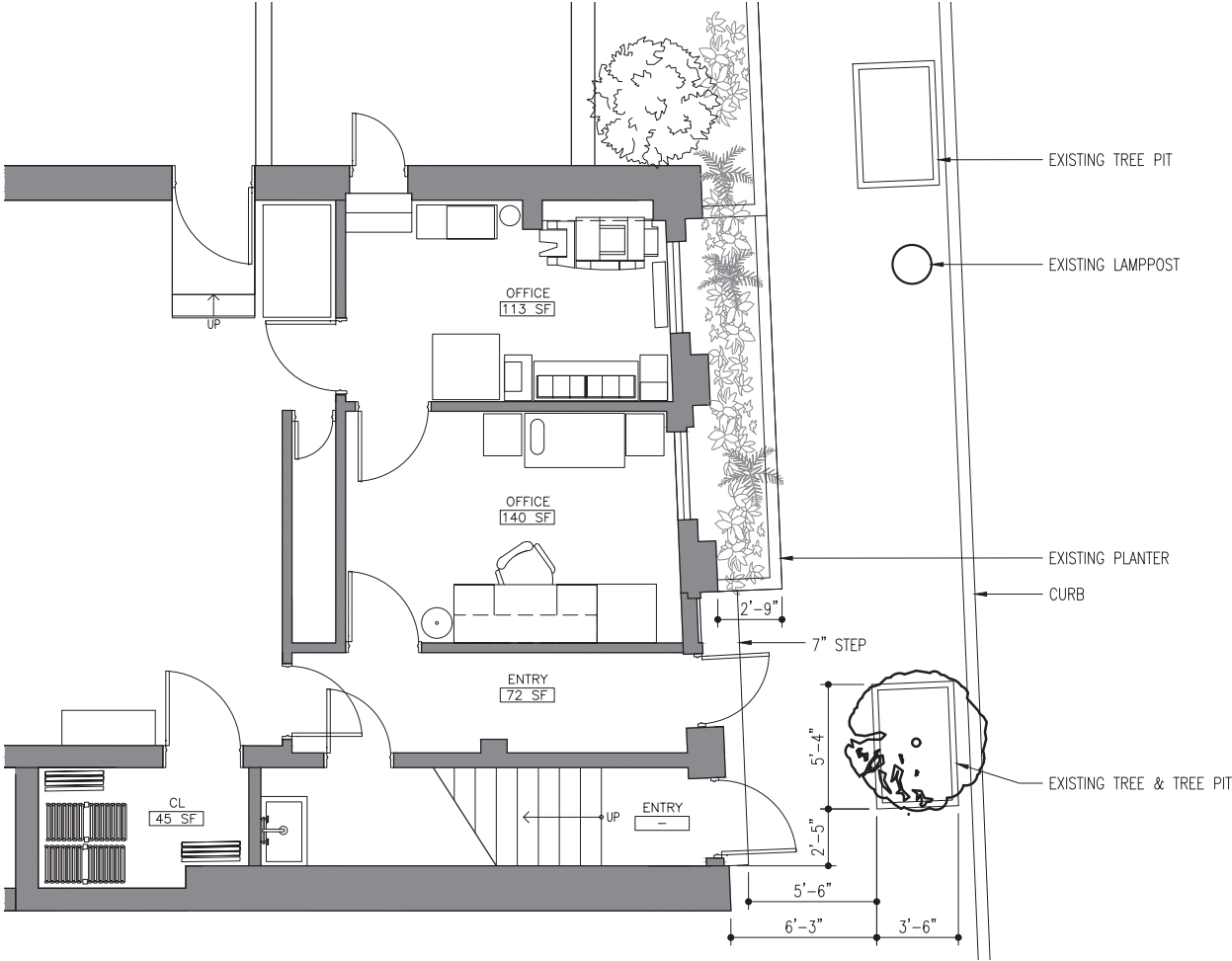
EXTERIOR VIEWS



Interior Yard
Church buildings adjacent to Parish Hall

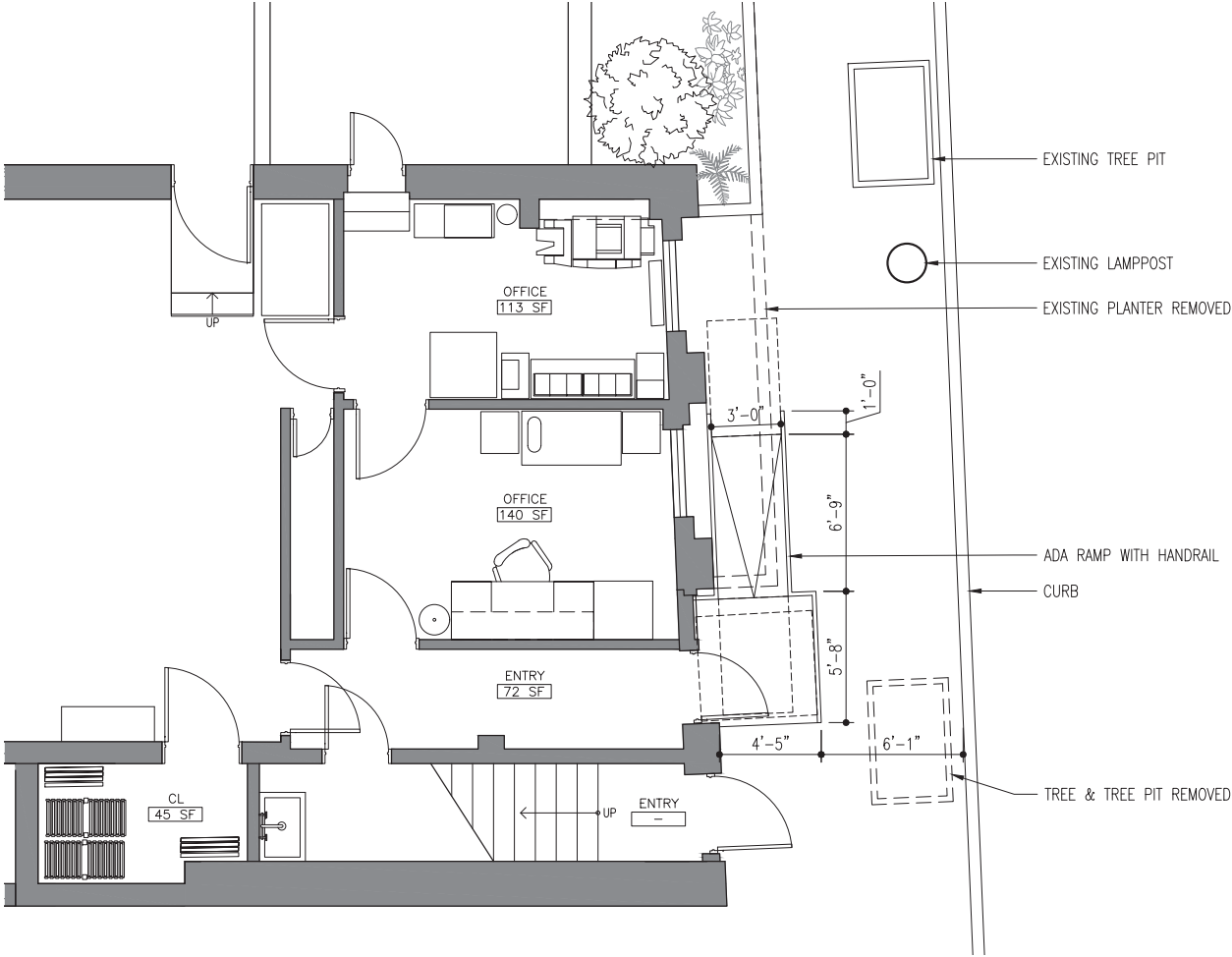
ACCESSIBILITY STUDIES

PLAN DETAIL - EXISTING NON-ACCESIBLE ENTRY



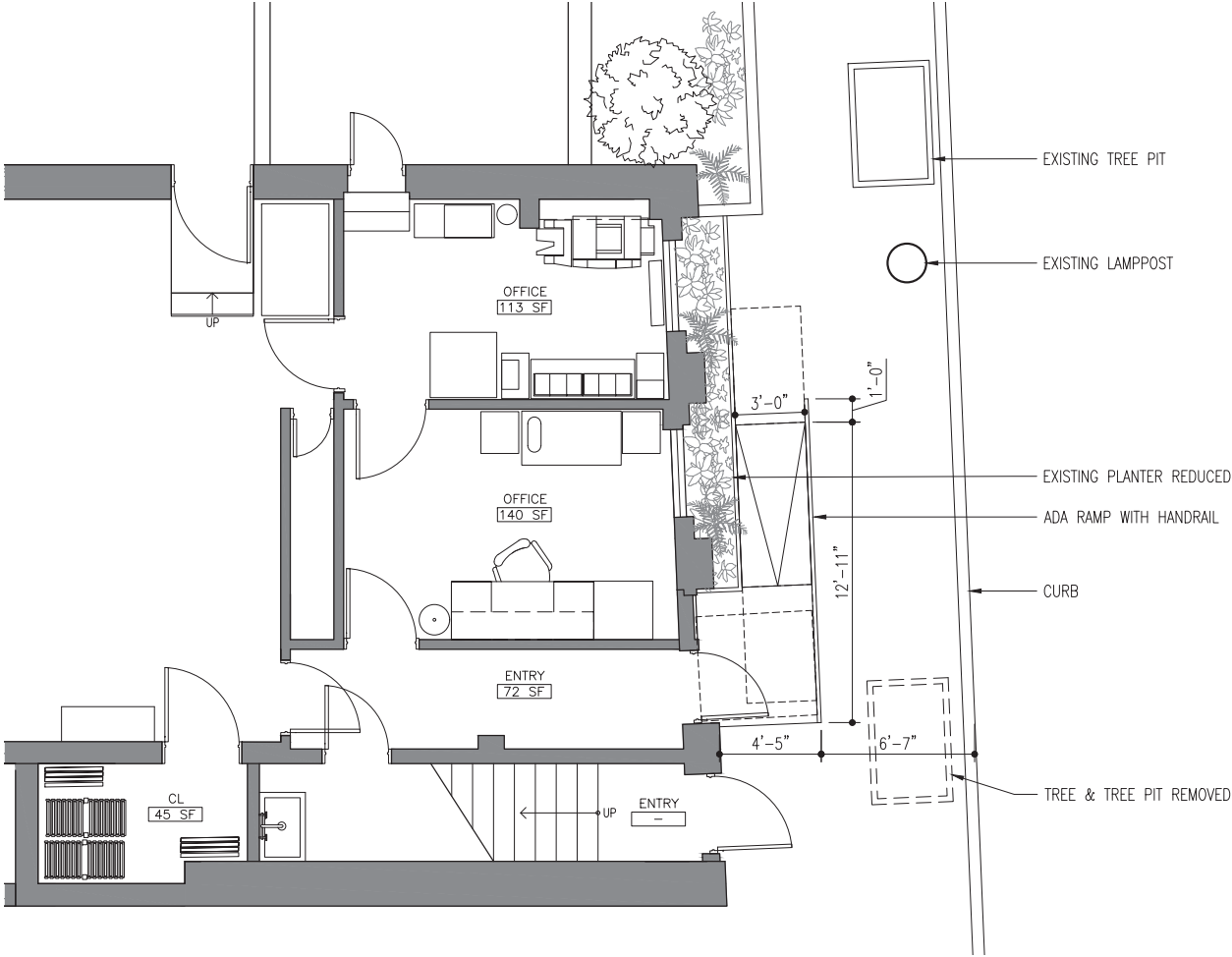
ACCESSIBILITY STUDIES

PLAN DETAIL - NEW EXTERIOR ENTRY RAMP (PLANTER & TREE REMOVED)



ACCESSIBILITY STUDIES

PLAN DETAIL - NEW EXTERIOR ENTRY RAMP (PLANTER MODIFIED & TREE REMOVED)



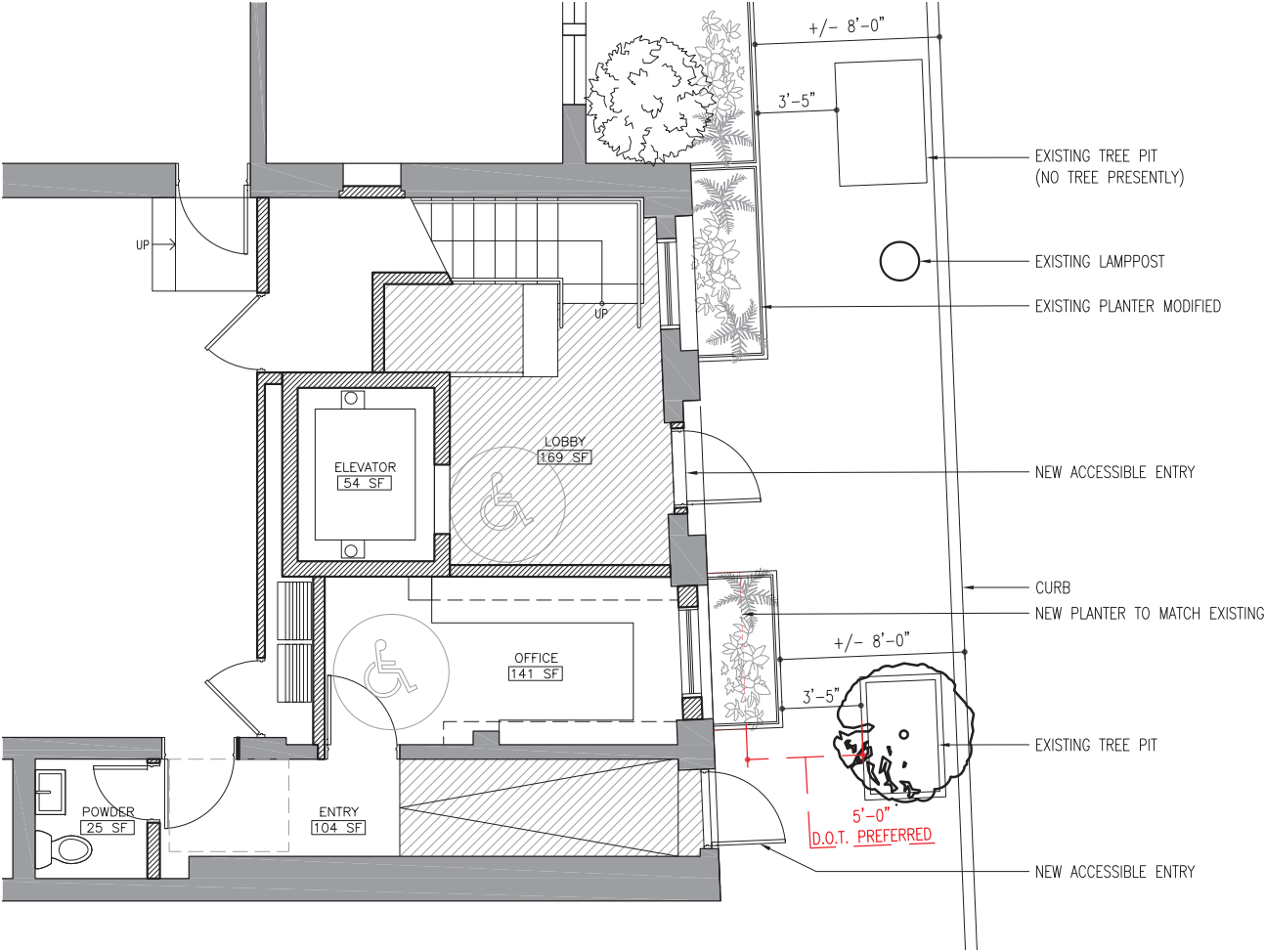
ACCESSIBILITY STUDIES

FACADE RENDERING - NEW EXTERIOR ENTRY RAMP (PLANTER MODIFIED & TREE REMOVED)



ACCESSIBILITY STUDIES

PLAN DETAIL - INTERIOR FLOORS LOWERED (PLANTER MODIFIED)



ACCESSIBILITY STUDIES

PROPOSED FACADE RENDERING - INTERIOR FLOORS LOWERED (PLANTER MODIFIED)

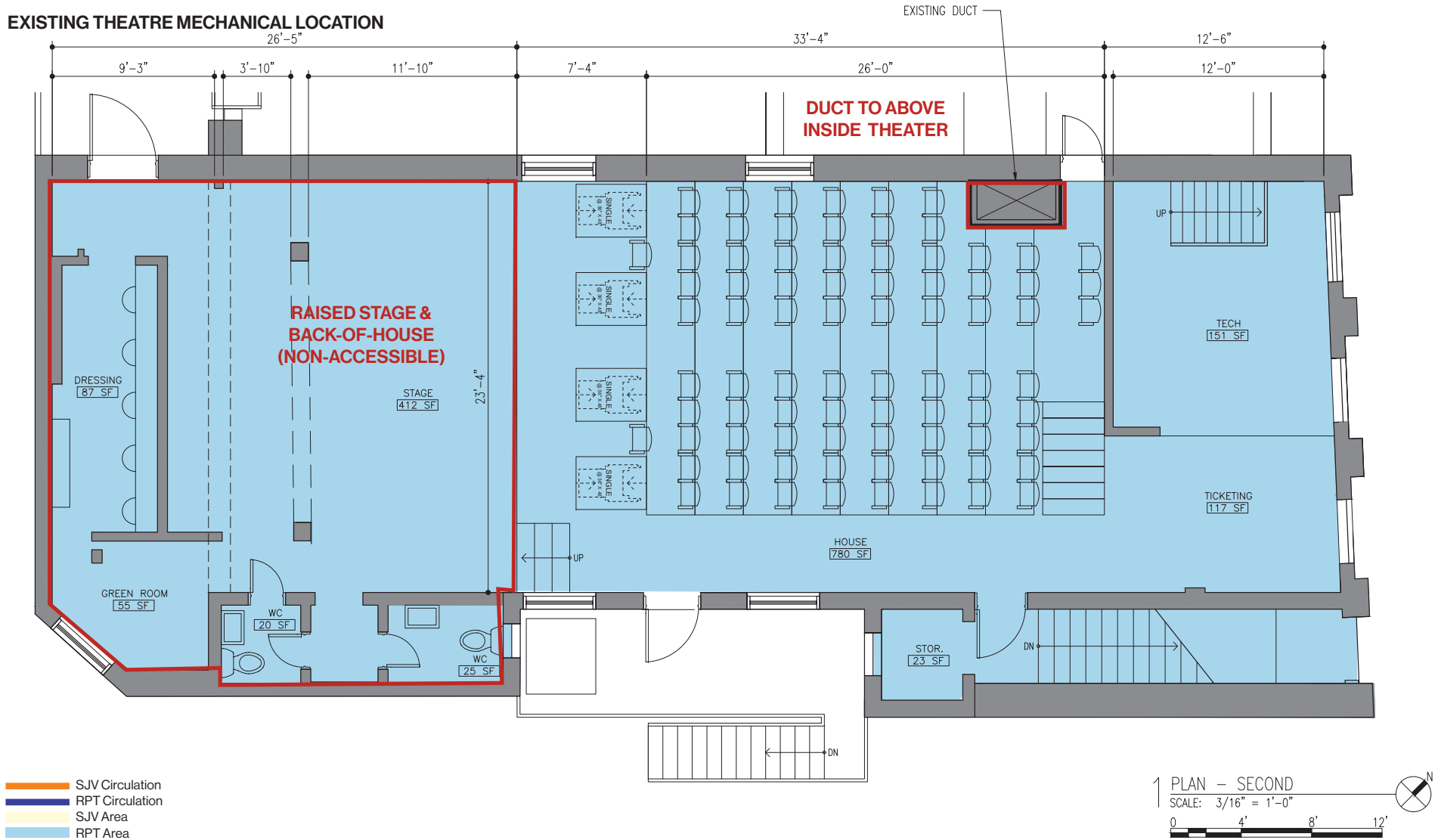


MECHANICAL STUDIES

EXISTING ROOFTOP EQUIPMENT & DUCTWORK

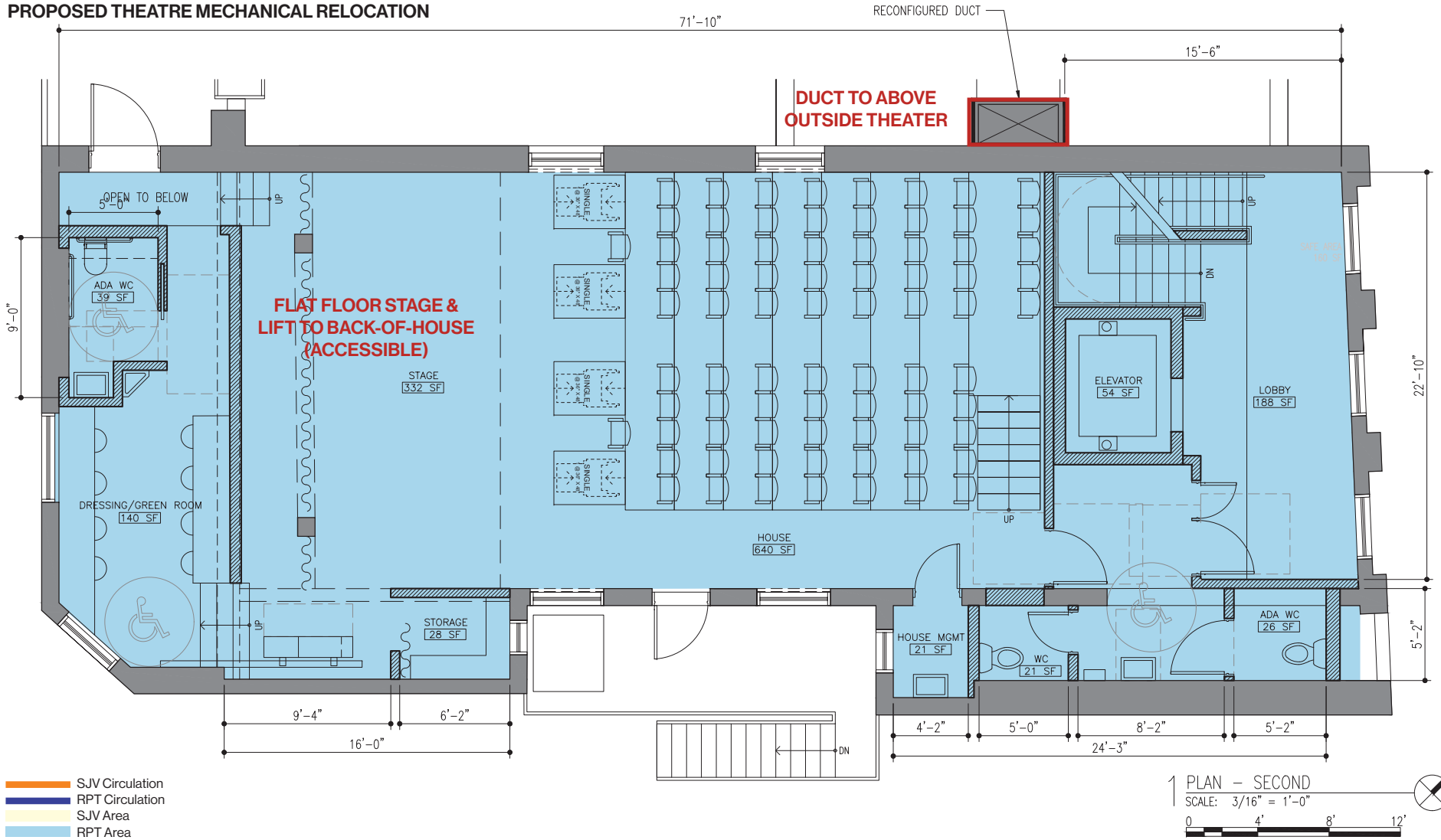


MECHANICAL STUDIES



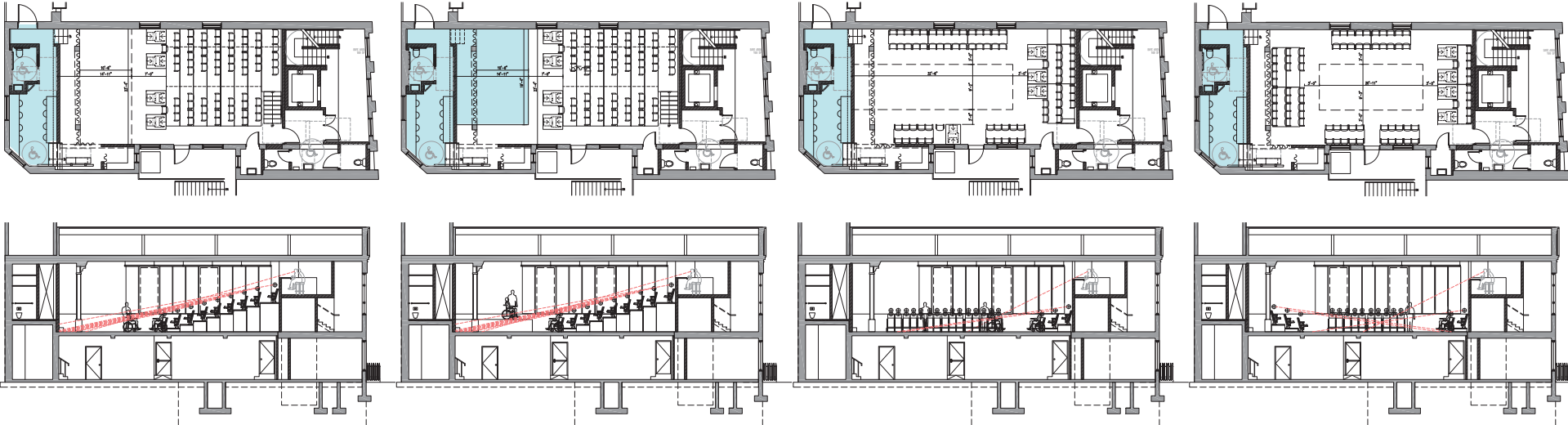
MECHANICAL STUDIES

PROPOSED THEATRE MECHANICAL RELOCATION



MECHANICAL STUDIES

RECONFIGURABLE THEATRE HOUSE ENABLED BY DUCT RELOCATION



RATTLESTICK PLAYWRIGHTS THEATER

224 WAVERLY PL
NEW YORK, NY 10014



LPC SUBMISSION

APRIL 01, 2022

ISSUED ●
REVISED AND RESUBMITTED ○
NEW DRAWING ○
OMITTED ○
REFER TO SEPARATE ISSUED DRAWING (RE: DRAWING LOG) *

DWG. NO.	SHEET DESCRIPTION	NYS APPLICATION 1/14/22
T	TITLE SHEETS	
T-001	Title Sheet/ Building Image/ Drawing List	●
G	GENERAL	
G-001	Architectural Drawing Symbols & Abbreviations	●
G-002	Accessibility Notes and Diagrams	●
G-101	Building Code Analysis & Site Plan	●
D	DEMOLITION	
DM-100	Demolition Plans - Cellar & 1st Floor	●
DM-101	Demolition Plans - 2nd Floor & Mezzanine	●
DM-102	Demolition Plan - Roof	●
DM-400	Building Elevations - Demolition	●
DM-410	Building Sections - Demolition	●
A	ARCHITECTURAL	
A-100	Construction Plans - Cellar & 1st Floor	●
A-101	Construction Plans - 2nd Floor & Mezzanine	●
A-102	Construction Plan - Roof	●
A-400	Building Elevations - Construction	●
A-410	Building Sections - Construction	●



211 Centre Street 3rd Floor
New York NY 10013
917 513 0793
architectureoutfit.com

LANDLORD: ST. JOHN'S IN THE VILLAGE
224 WAVERLY PLACE
NEW YORK, NY 10014
212.243.6192

OWNERS REP: CIRGENSKI + COMPANY
233 BROADWAY, STE 710
NEW YORK, NY 10073
917.418.0469

STRUCTURAL ENGINEER: SILMAN
32 OLD SLIP, 10TH FLOOR
NEW YORK, NY 10005
212.620.7970

GEOTECH. ENGINEER: GZA GEOENVIRONMENTAL
104 W. 29TH ST., 10TH FLOOR
NEW YORK, NY 10001
646.529.8556

ELEVATOR CONSULTANT: VDA
120 EAGLE ROCK AVE., STE 310
EAST HANOVER, NJ 07936
973.994.9220

CODE CONSULTANT/ EXPEDITOR: WILLIAM VITACCO ASSOCIATES
299 BROADWAY, 5TH FLOOR
NEW YORK, NY 10007
212.791.4578

BUILDING SYSTEMS ENGINEER: DERIVE ENGINEERS
665 BROADWAY
NEW YORK, NY 10012
646.866.6933

NO.	DATE	DESCRIPTION
1	2022.04.01	FILING DRAWINGS

RATTLESTICK PLAYWRIGHTS THEATER

224 WAVERLY PLACE
NEW YORK, NY 10014

DRAWING TITLE:

TITLE SHEET

STAMP & SIGNATURE:	PROJECT NO: 2106
	DRAWN BY: SN
	CHECK BY: MS
	DRAWING NO: T-001.00
	PAGE: OF

ABBREVIATIONS

ABV	ABOVE	FOC	FACE OF CONCRETE	PG	PAINT GRADE
A/C	AIR CONDITIONING	FPL	FIREPLACE	PSF	POUNDS PER FOOT
ACT	ACOUSTICAL CEILING TILE	FPSC	FIRE PROTECTED SELF CLOSING	PSI	POUNDS PER SQUARE INCH
AD	AREA DRAIN	FRCB	FIBER REINFORCED CEMENT BOARD	PVT	PIVOT
ADDL	ADDITIONAL	FT	FOOT/FEET	R	RISE
ADJ	ADJACENT/ADJUSTABLE	FTG	FOOTING	RAD	RADIATOR
AFF	ABOVE FINISH FLOOR	FYR	FYRT	RCP	REFLECTED CEILING PLAN
AGG	AGGREGATE	FXT	FIXTURE	RD	ROOF DRAIN
ALT	ALTERNATE	FURG	FURRING	REC	RECESSED
ANOD	ANODIZED	F/I	FURNISH/INSTALL	REF	REFERENCE/REFRIGERATOR
ALUM	ALUMINUM	GA	GAUGE	REINF	REINFORCEMENT
APPROX	APPROXIMATE	GAL	GALLON	REM	REMOVED
ARCH	ARCHITECT/ARCHITECTURAL	GALV	GALVANIZED	REQD	REQUIRED
ATTEN	ATTENUATION	GB	GRADE BEAM	RES	RESILIENT
BB	BOND BREAKER	GL	GLASS/GLAZING	REV	REVISE/REVISION
BD	BOARD	GR	GRADE	RL	RAIL
BDRM	BEDROOM	GRND	GROUND	RM	ROOM
BHD	BEHIND	GWB	GYP/SUM WALL BOARD	RO	ROUGH OPENING
BKSPL	BACKSPASH	GRT	GROUT	S	SOUTH
BKR	BACKER	HB	HOSE BIB	SAB	SOUND ATTENUATION BLANKET
BLNKT	BLANKET	HC	HOLLOW CORE	SAT	STAIN
BLDG	BUILDING	HD	HEAD	SAT	SOLID CORE
BLK	BLACK	HD	HEAD	SCI	SELF CLOSING
BLKG	BLOCKING	HDWR	HEADER	SCHED	SCHEDULE
BLW	BELOW	HM	HARDWARE	SECT	SECTION
BRKT	BRACKET	HNDRL	HOLLOW METAL HANDRAIL	SF	SQUARE FEET
BTH	BATH	HORZ	HORIZONTAL	SHT	SHEET
BTR	BETTER	HP	HIGH POINT	SHWR	SHOWER
BTWN	BETWEEN	HR	HOUR	SM	SIMILAR
BUR	BUILT UP ROOFING	HSE	HOUSE	SLNT	SLANT
BYD	BEYOND	HT	HEIGHT	SLR	SLEEPER
B/I	BUILT IN	ID	INSIDE DIAMETER	SLR	SEALER
B/U	BUILT UP	INC	INCIDENTAL	SO	SHUTOFF
B/O	BUILD OUT	INFO	INFORMATION	SPEC	SPECIFICATION
CABT	CABINET	INSUL	INSULATION	SQ	SQUARE
CATV	CABLE TELEVISION	INST	INSTALL	SLEPSK	SLOPE SINK
CCTV	CLOSED CIRCUIT TELEVISION	INT	INTERIOR	STD	STANDARD
CER	CERAMIC	JMB	JAMB	STL	STEEL
CEM	CEMENT/CEMENTITIOUS	JNT	JOINT	STRUCT	STRUCTURAL
CIP	CAST IN PLACE	JST	JOIST	SURF	SURFACE
CJ	CONTROL JOINT	KIT	KITCHEN	SUSP	SUSPENDED
CKT	CIRCUIT	KD	KILN DRIED	SYM	SYMMETRICAL
CLG	CEILING	KO	KNOCK OUT	S/B	SANDBLASTED
CL	CLEAR	K/D	KNOCK DOWN	SW	SWITCH
CLKG	CALLING	LD	LINE DIFFUSER	T	TREAD
CLST	CLOSET	LAM	LAMINATE	TB	TILE BOARD
CLSR	CLOSER	LAV	LAVATORY	T/C	TERRA COTTA
CMU	CONCRETE MASONRY UNIT	LDR	LEADER	TEL	TELEPHONE
CNTR	COUNTER	LF	LINEAR FEET/FOOT	TERR	TERRAZZO
CO	CLEAN OUT	LKR	LOCKER	THK	THICK
COL	COLUMN	LTL	LINEAL	TLT	TOILET
CONC	CONCRETE	LP	LOWPOINT	TOS	TOP OF SLAB
CONT	CONTINUOUS	LT	LIGHT	TV	TELEVISION
CONST	CONSTRUCTION	MANF	MANUFACTURER	TYP	TYPICAL
CT	CERAMIC TILE	MAS	MASONRY	T/C SS	TERNE COATED STAINLESS STEEL
C/T	COUNTERTOP	MAT	MATERIAL	T/G	TONGUE & GROOVE
CTR	CENTER	MAX	MAXIMUM	T/S	TAPE AND SPACKLE
C/I	CAST IRON	MECH	MECHANICAL	TSTAT	THERMOSTAT
C/P	CONTROL POINT	MEMB	MEMBRANE	TFSB	THERMA FIBER SAFETY BLANKET
D	DOWN	MDF	MEDIUM DENSITY FIBERBOARD	UON	UNLESS OTHERWISE NOTED
DBL	DOUBLE	MH	MANHOLE	U/S	UNDERSIDE
DEMO	DEMOLISH/DEMOLITION	MIN	MINIMUM	U/C	UNDERCOUNTER
DEPT	DEPARTMENT	MISC	MISCELLANEOUS	VAP BAR	VAPOR BARRIER
DF	DRINKING FOUNTAIN	MO	MASONRY OPENING	VAV	VARIABLE AIR VOLUME
DIA	DIAMETER	MP	METAL PANEL	VEN	VENEER
DIM	DIMENSION	MTD	MOUNTED	VERT	VERTICAL
DR	DOOR	MTL	METAL	VEST	VESTIBULE
DS	DOWNSPOUT	MR	MOISTURE RESISTANT	VCT	VINYL COMPOSITE TILE
DTL	DETAIL	N	NORTH	VIF	VERIFY IN FIELD
DWG	DRAWING	NIC	NOT IN CONTRACT	VLV	VALVE
E	EAST	NLR	NAILER	W	WEST
EA	EACH	NO	NUMBER	WC	WATER CLOSET
EJ	EXPANSION JOINT	NOM	NOMINAL	WD	WOOD
ELEC	ELECTRICAL	NTS	NOT TO SCALE	WHT	WHITE
ELEV	ELEVATION	N/A	NOT APPLICABLE	WNDW	WINDOW
ELV	ELEVATOR	O	OVERALL	WWF	WELDED WIRE FABRIC
EMER	EMERGENCY	OBSC	OBSOLETE	W/	WITH
ENCL	ENCLOSURE	OC	ON CENTER	W/C	WATER COOLER
EP	ELECTRICAL PANEL	OCEW	ON CENTER EACH WAY	W/O	WITHOUT
EQ	EQUAL	OD	OUTSIDE DIAMETER	W/P	WATERPROOF
EQP	EQUIPMENT	OPG	OPENING	W/R	WATER RESISTANT
EXH	EXHAUST	OPP	OPPOSITE	WT	WEIGHT
EXTG	EXISTING	OPP H	OPPOSITE HEAD	@	AT
EXP	EXPANSION	OVHD	OVERHEAD	±	PLUS OR MINUS
EXT	EXTERIOR/EXTEND	PC	POLISHED CHROME	%	PERCENT
FA	FIRE ALARM	PLAM	PLASTIC LAMINATE	&	AND
FACP	FIRE ALARM CONTROL PANEL	PLAS	PLASTER	#	NUMBER
FBO	FURNISHED BY OWNER	PLYWD	PLYWOOD	¢	CENTERLINE
FD	FLOOR DRAIN	PNI	PANEL	LBS	POUNDS
FDN	FOUNDATION	PWDR	POWDER		
FF	FINISH FLOOR	PLMBG	PLUMBING		
FFE	FINISH FLOOR ELEVATION	POL	POLISHED		
FG	FINISH GRADE	PR	PAIR		
FH	FIRE HYDRANT	PRG	PROGRAM		
FHC	FIRE HOSE CABINET	PTD	PAINTED		
FIN	FINISH	PIN	PARTITION		
FL	FLUSH				
FLASHG	FLASHING				
FLR	FLOOR				
FLUOR	FLUORESCENT				
FNB	FACE OF BUILDING				

SYMBOL LEGEND

DIMENSION 11/16"	LEADER LEADER	ARROW ARROW
DRAWING TAG 1 ELEVATION TITLE SCALE: 1/8" = 1'-0"		
COLUMN LINE AND IDENTIFICATION 1		
REVISION TAG A	DATUM ELEVATION TAG LEVEL NAME EL: +00'-00"	
ROOM NUMBER TAG ROOM NAME 1		LEVEL CHANGE 6"
ELEVATION TAG A300		
SECTION AND WALL SECTION TAG 1 A300		
DETAIL & ENLARGED PLAN TAG 1 A500		
WALL TAG 1	WINDOW TAG 3	
DOOR TAG 106.2	WOOD GRAIN TAG 1	
FINISH TAG 1		
SCOPE TAG 1		
NORTH ARROW N		
ALIGN 1		
BREAKLINE 1		
EQUIPMENT 1		
GRAPHIC SCALE 0 500' 1000'		



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LANDLORD: ST. JOHN'S IN THE VILLAGE
224 WAVERLY PLACE
NEW YORK, NY 10014
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665 BROADWAY
NEW YORK, NY 10012
646.866.8933

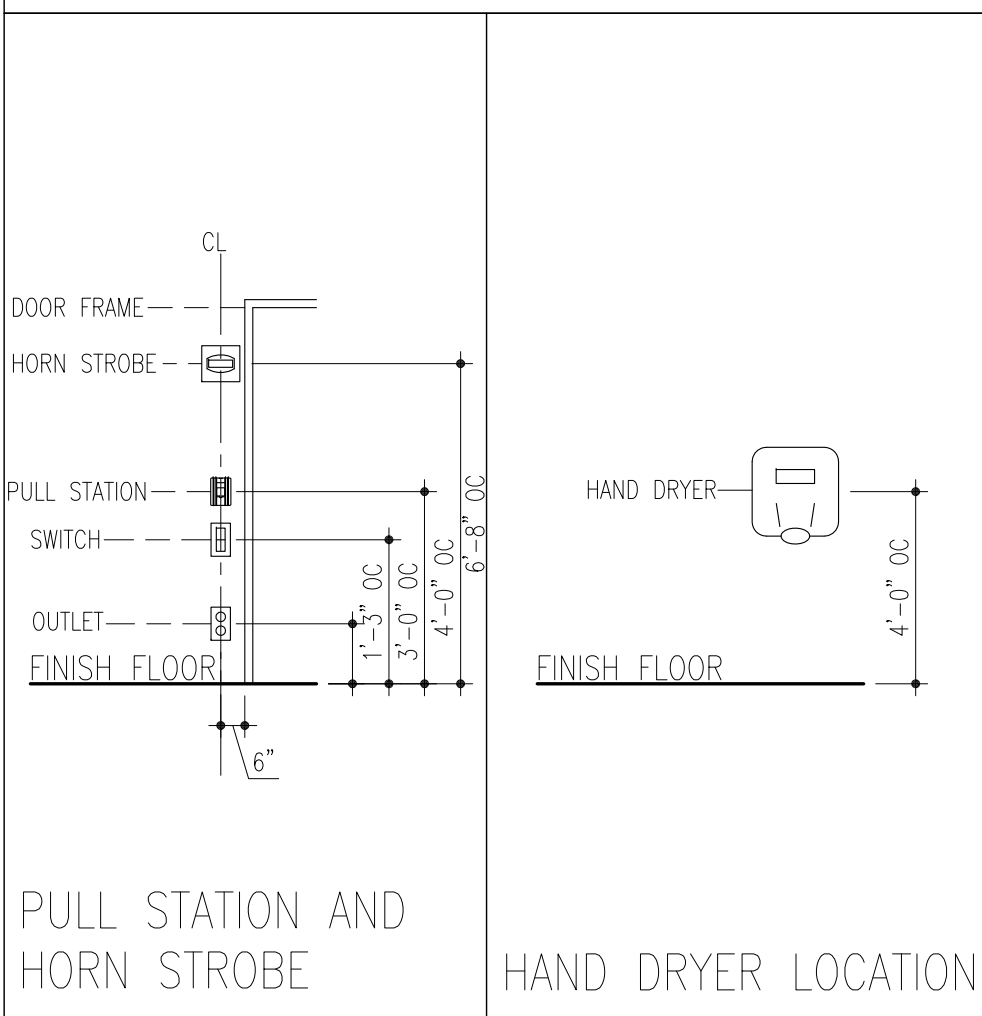
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RATTLESTICK PLAYWRIGHTS THEATER

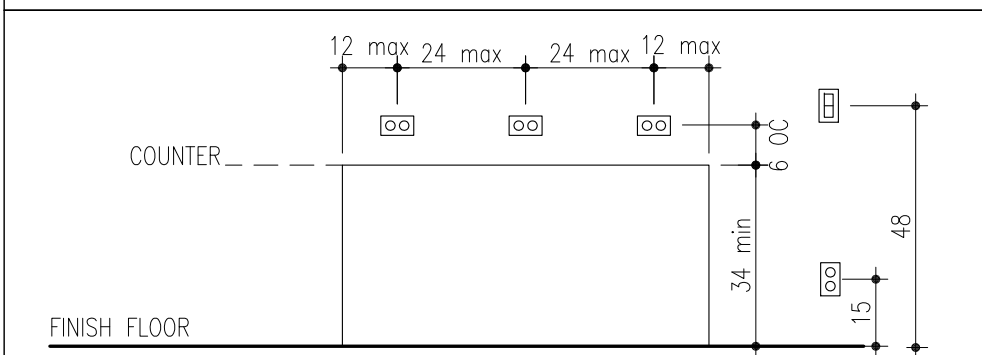
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DRAWING TITLE: ARCHITECTURAL DRAWING SYMBOLS & ABBREVIATIONS	
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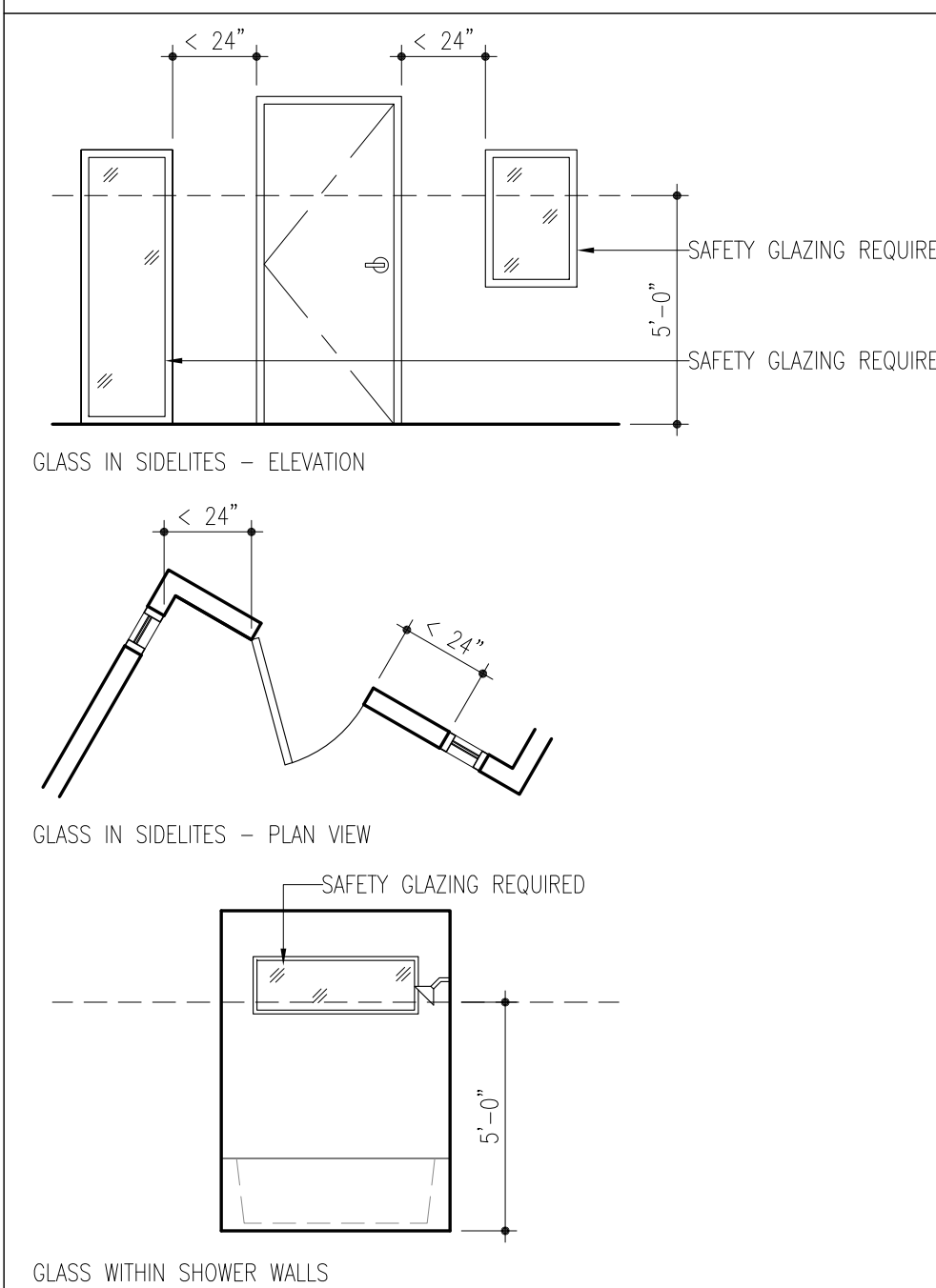
TYPICAL EQUIPMENT MOUNTING INFO



TYPICAL OUTLETS OVER COUNTERS



SAFETY GLASS REQUIREMENTS



TABLEWARE AREAS

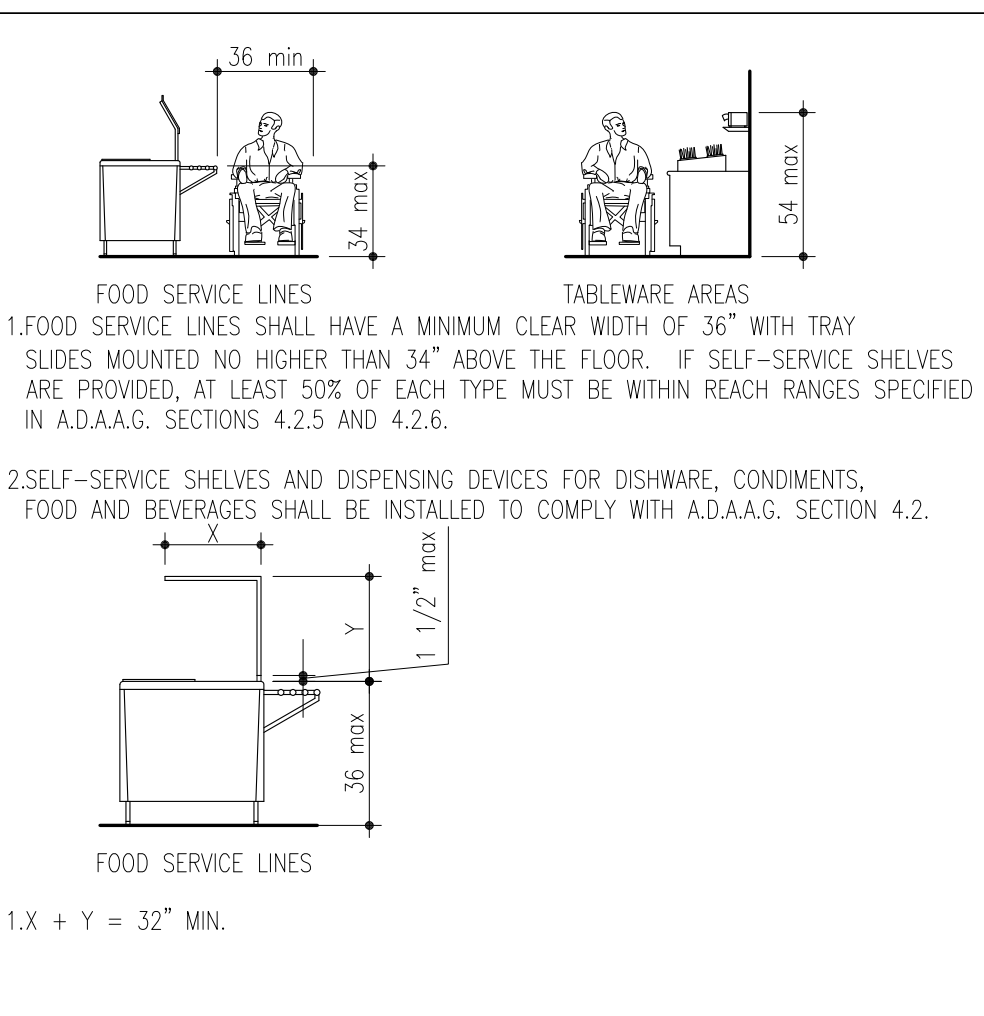
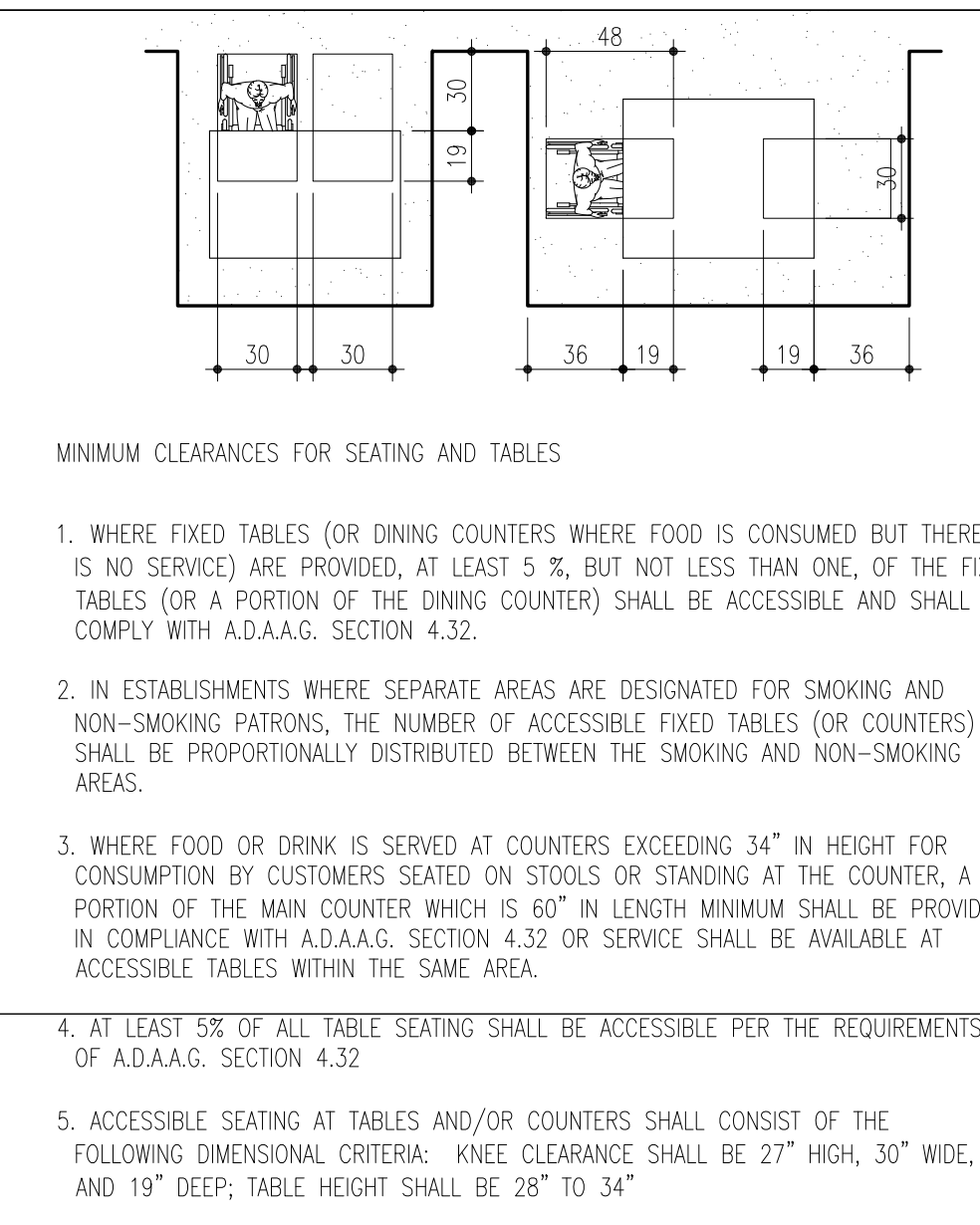
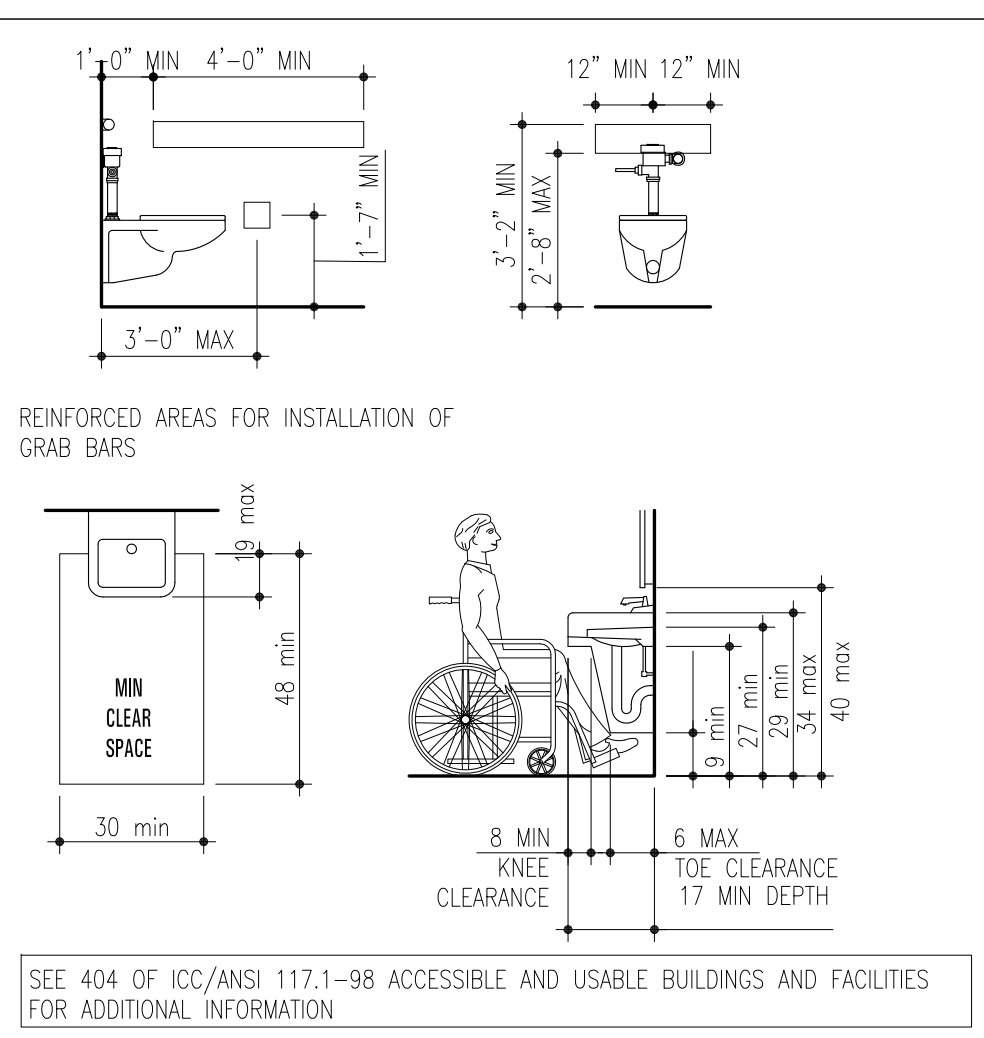


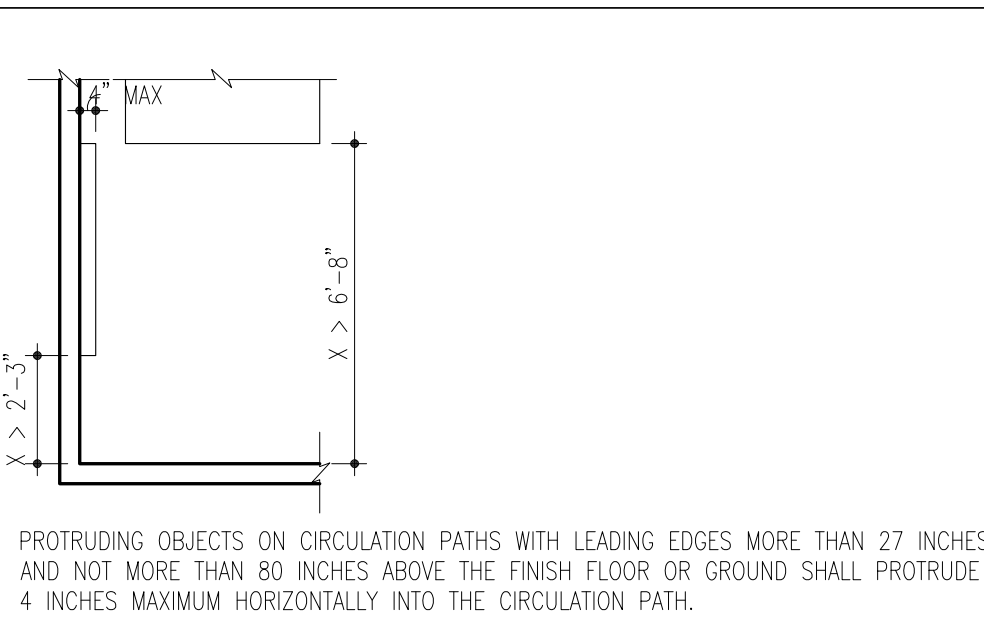
TABLE SEATING



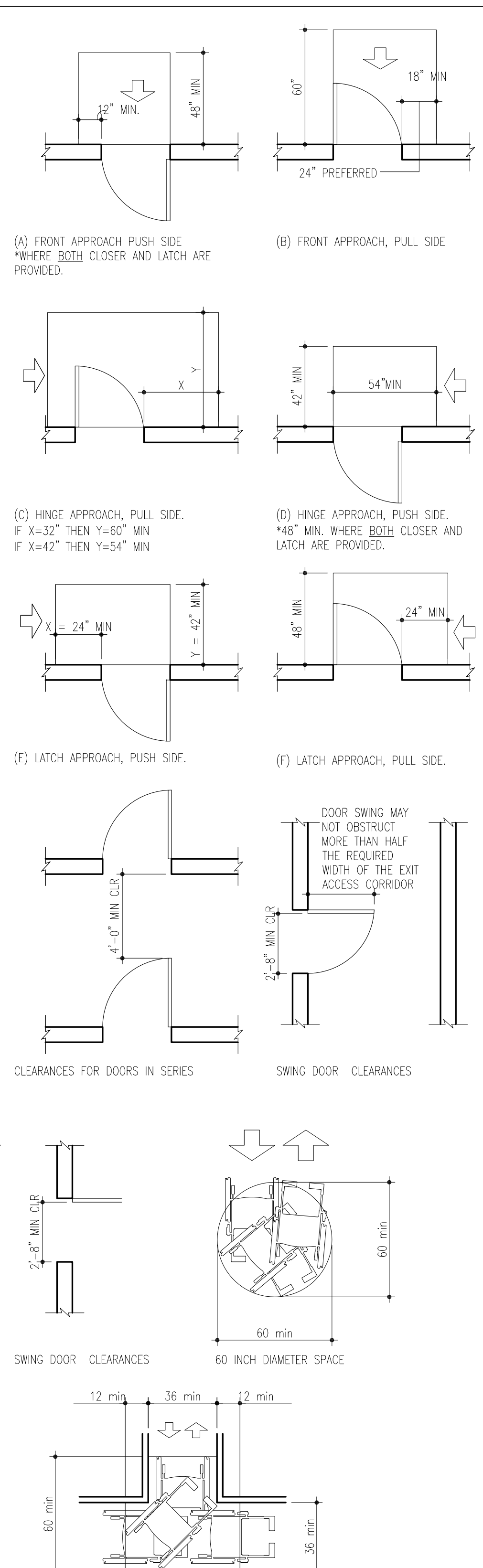
PUBLIC FACILITY REQUIREMENTS



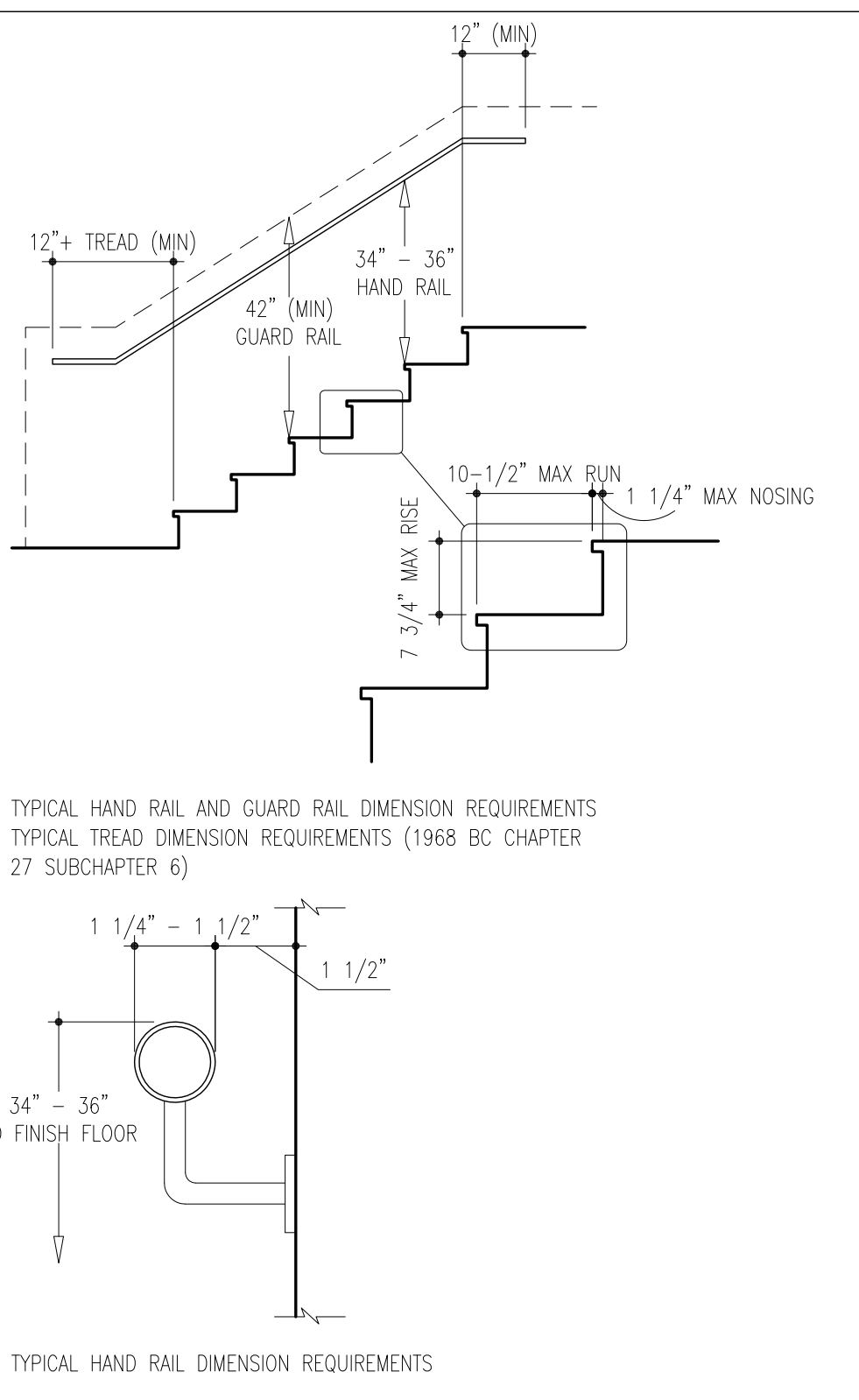
PROTRUDING OBJECTS IN CIRCULATION PATHS



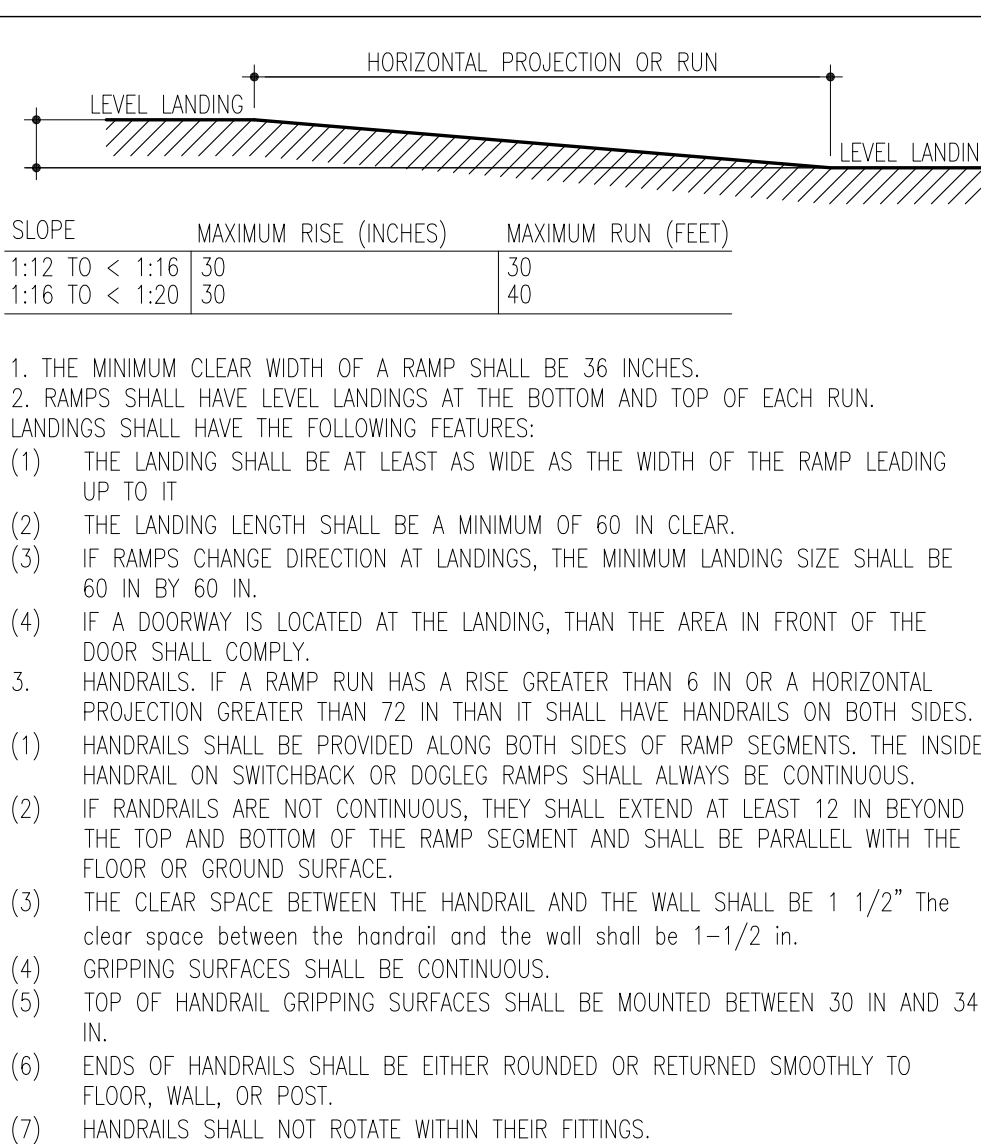
DOOR ACCESSIBILITY CLEARANCES



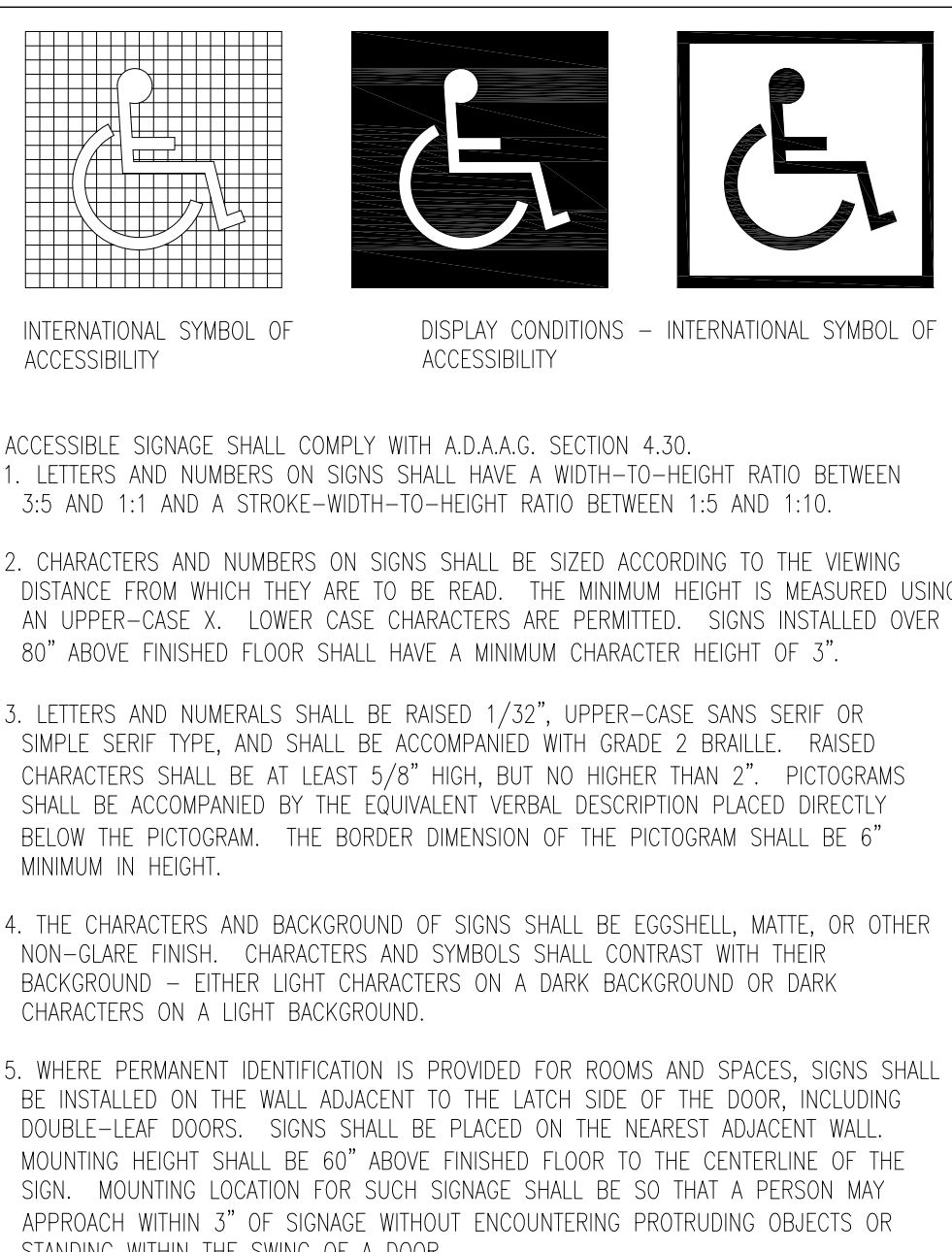
STAIR DESIGN REQUIREMENTS



RAMP DIAGRAMS



SIGNAGE



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RATTLESTICK
PLAYWRIGHTS
THEATER

224 WAVERLY PLACE
NEW YORK, NY 10014

DRAWING TITLE:

ACCESSIBILITY NOTES & DIAGRAMS

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PROJECT DATA

PROPERTY: 224 WAVERLY PLACE
NEW YORK, NY 10014

BLOCK: 613

LOT: 23

ZONE: R6

MAP: 12A

COMMUNITY BOARD: 2

LANDMARK DISTRICT: YES

SPECIAL STATUS: N/A

OCCUPANCY: CELLAR: D-2, B-2
FIRST STORY: F-1B, F-4, E
SECOND STORY: F-1A, E
CLASS 1

CONSTRUCTION CLASSIFICATION:

PLOT PLAN



SCOPE OF WORK

PROJECT SCOPE:
INTERIOR RENOVATION OF EXISTING SECOND FLOOR ASSEMBLY-USE FLOOR; REMOVE AND REPLACE NON-BEARING PARTITIONS, FIXTURES, AND FINISHES. NEW ELEVATOR AND ASSOCIATED STRUCTURE TO BE CONSTRUCTED. NEW ADA BATHROOM. PARTIAL DEMOLITION TO EXISTING FLOOR SLAB AT GRADE AND MODIFICATION TO GROUND LEVEL BUILDING FENESTRATION FOR NEW ACCESSIBLE ENTRANCES.

CELLAR: 70 SF
FIRST STORY: 600 SF
SECOND STORY: 960 SF
MEZZANINE LEVEL: 710 SF
ROOF: 0 SF
TOTAL: 2,340 SF

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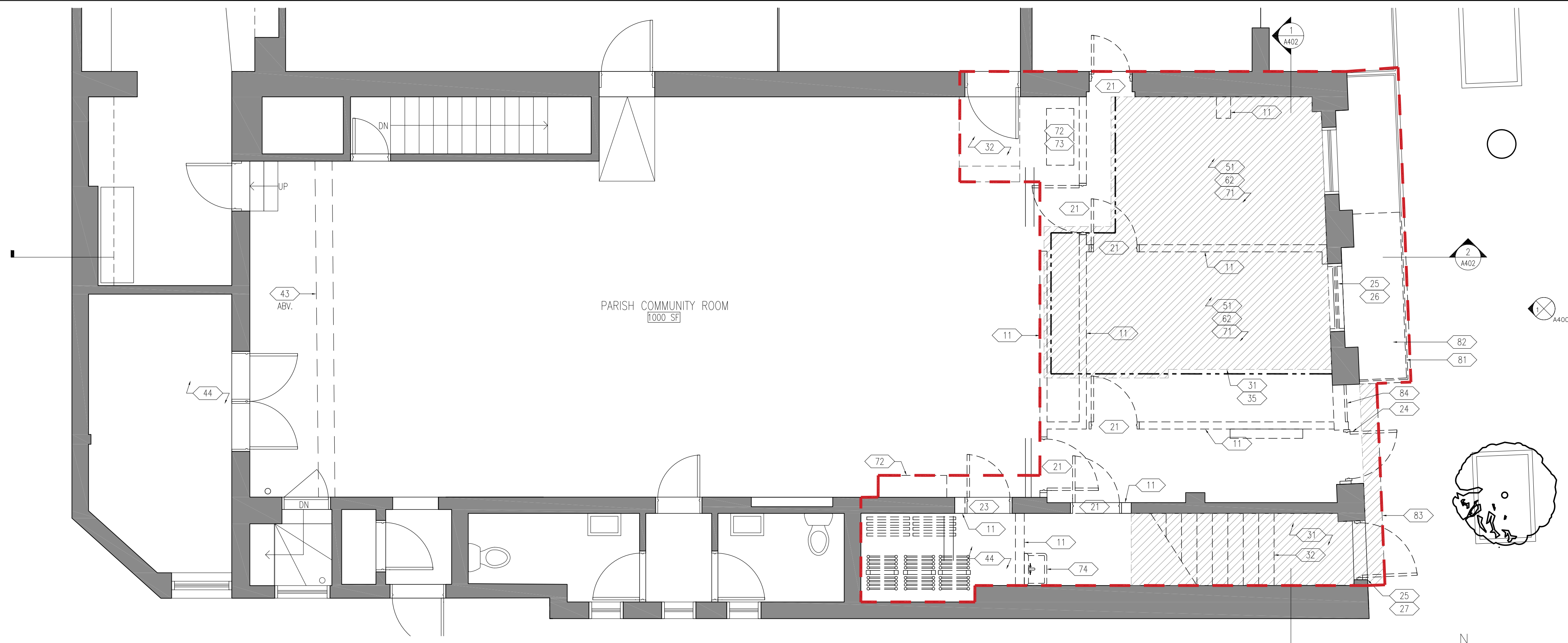
RATTLESTICK PLAYWRIGHTS THEATER

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DRAWING TITLE: BUILDING CODE ANALYSIS

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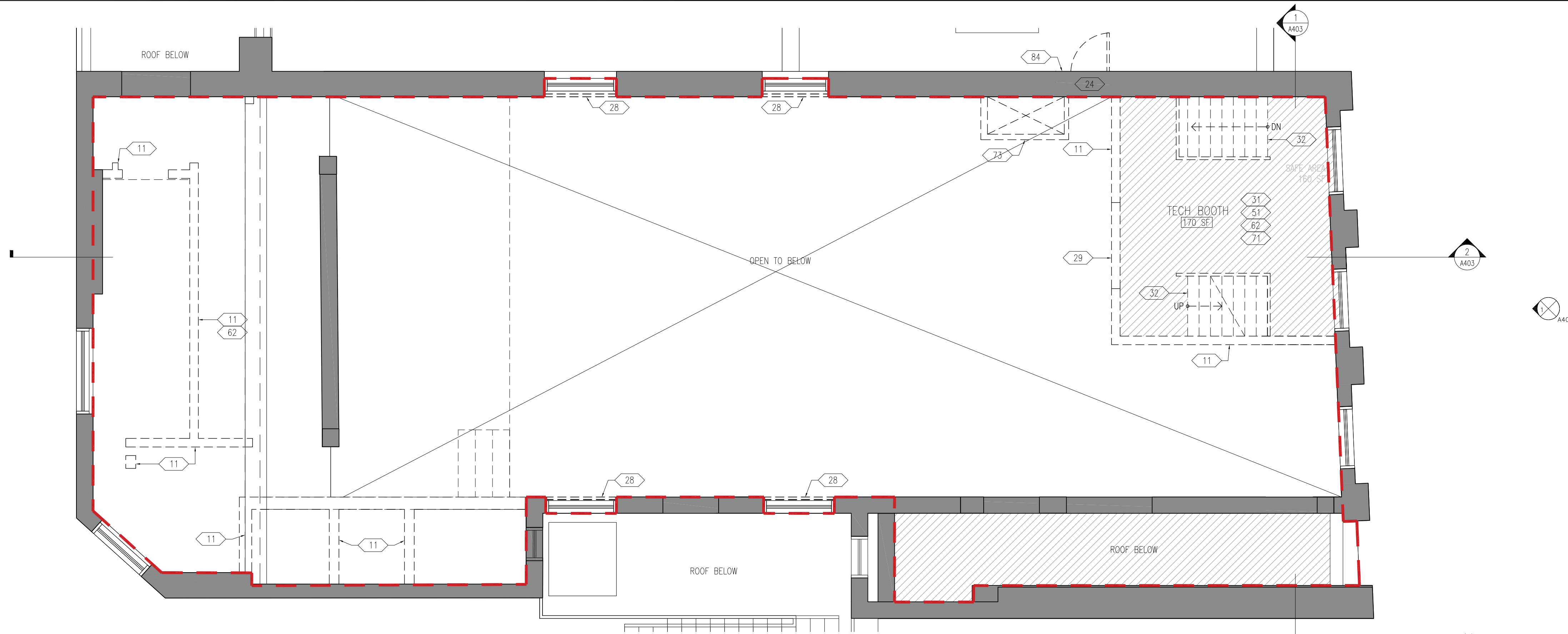
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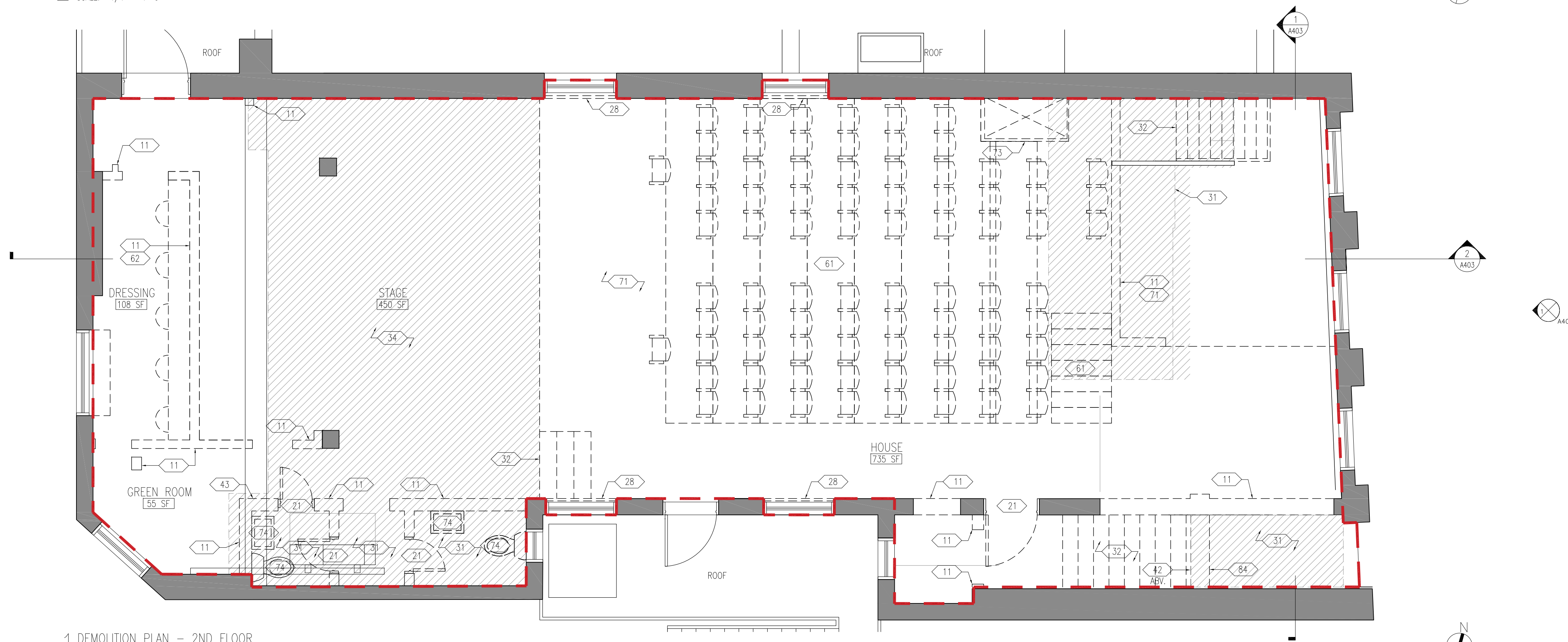
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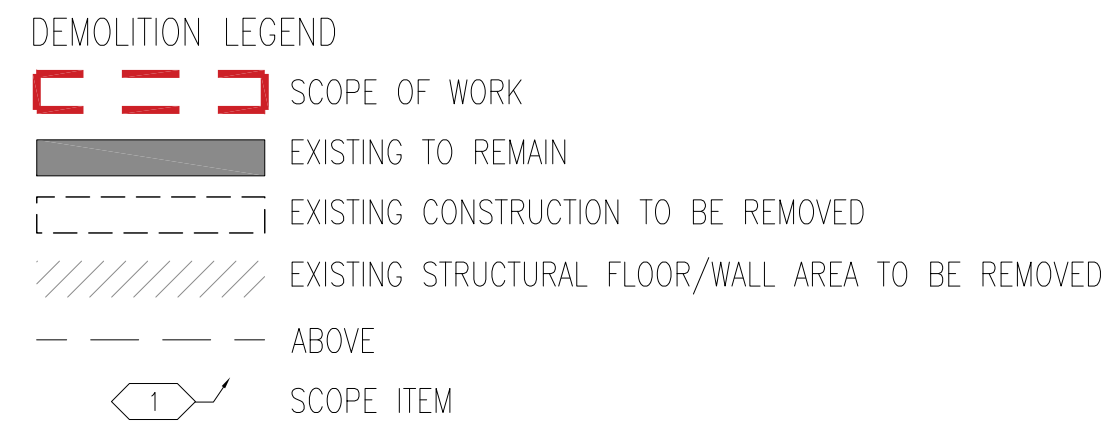
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2 DEMOLITION PLAN - MEZZANINE
SCALE: 1/4" = 1'-0"



1 DEMOLITION PLAN - 2ND FLOOR
SCALE: 1/4" = 1'-0"



<p>DEMOLITION NOTES</p> <p>10 INTERIOR WALLS</p> <p>11 REMOVE INTERIOR PARTITION, REINFORCE NEW OPENINGS AS REQUIRED</p> <p>20 DOORS & WINDOWS</p> <p>21 REMOVE INTERIOR DOOR, FRAME AND HARDWARE</p> <p>22 NOT USED</p> <p>23 REMOVE INTERIOR DOOR, FRAME AND HARDWARE (TO BE RELOCATED)</p> <p>24 REMOVE EXTERIOR DOOR</p> <p>25 REMOVE EXTERIOR DOOR/WINDOW (TO BE RELOCATED)</p> <p>26 REMOVE SECURITY GATE (TO BE RELOCATED)</p> <p>27 LOWER DOOR SILL TO SIDEWALK LEVEL</p> <p>28 REMOVE INTERIOR WINDOW OPENING/WALL TO EXPOSE EXTERIOR WINDOW</p> <p>29 REMOVE INTERIOR WINDOW</p> <p>30 FLOOR</p> <p>31 DEMOLISH FLOOR</p> <p>32 DEMOLISH STAIR</p> <p>33 DEMOLISH FLOOR FINISH</p> <p>34 DEMOLISH STAGE & PLATFORM; PROBE FLOOR AREA AT BACK OF HOUSE (SOUTH OF PROSCENIUM); REMOVE UPLIFTED BEAM IF REQUIRED</p> <p>35 REFRAME FLOOR TO PROVIDE FLUSH ENTRY AT STREET LEVEL; LOWER FACADE DOOR SILLS</p> <p>40 CEILING</p> <p>41 DEMOLISH CEILING FINISH</p> <p>42 DEMOLISH SOFFIT</p> <p>43 PROVIDE ALLOWANCE FOR STRUCTURAL WORK ASSOCIATED WITH REMOVAL OF EXISTING STRUCTURAL MEMBERS & NEW STRUCTURE AS NEEDED; GC TO PATCH AND REPAIR</p> <p>44 PROPOSED PLUMBING WORK AT LEVEL ABOVE; PROVIDE ACCESS, PATCH & REPAIR AS REQUIRED</p> <p>45 AREA OF DROPPED FLOOR ABOVE; PROBE AS REQUIRED TO DETERMINE IF RELOCATION OF MECHANICAL OR PLUMBING IS REQUIRED</p>	<p>50 WALL FINISH</p> <p>51 DEMOLISH WALL FINISH</p> <p>60 MILLWORK/EQUIPMENT</p> <p>61 REMOVE AND STORE SEATS AND RISERS</p> <p>62 REMOVE MILLWORK</p> <p>63 NOT USED</p> <p>64 EXCAVATE AREA BELOW NEW ELEVATOR</p> <p>70 MEP</p> <p>71 COORDINATE DEMOLITION WITH MECHANICAL & ELECTRICAL</p> <p>72 REMOVE MECHANICAL UNIT</p> <p>73 REMOVE DUCT</p> <p>74 REMOVE PLUMBING FIXTURE</p>	<p>80 EXTERIOR</p> <p>81 REMOVE FENCE</p> <p>82 REMOVE PLANTING</p> <p>83 DEMOLISH STEP TO SIDEWALK LEVEL</p> <p>84 DEMOLISH EXTERIOR WALL/ROOF</p>
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RATTLESTICK PLAYWRIGHTS THEATER

224 WAVERLY PLACE
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DRAWING TITLE:
DEMOLITION PLAN -
2ND FLOOR & MEZZANINE

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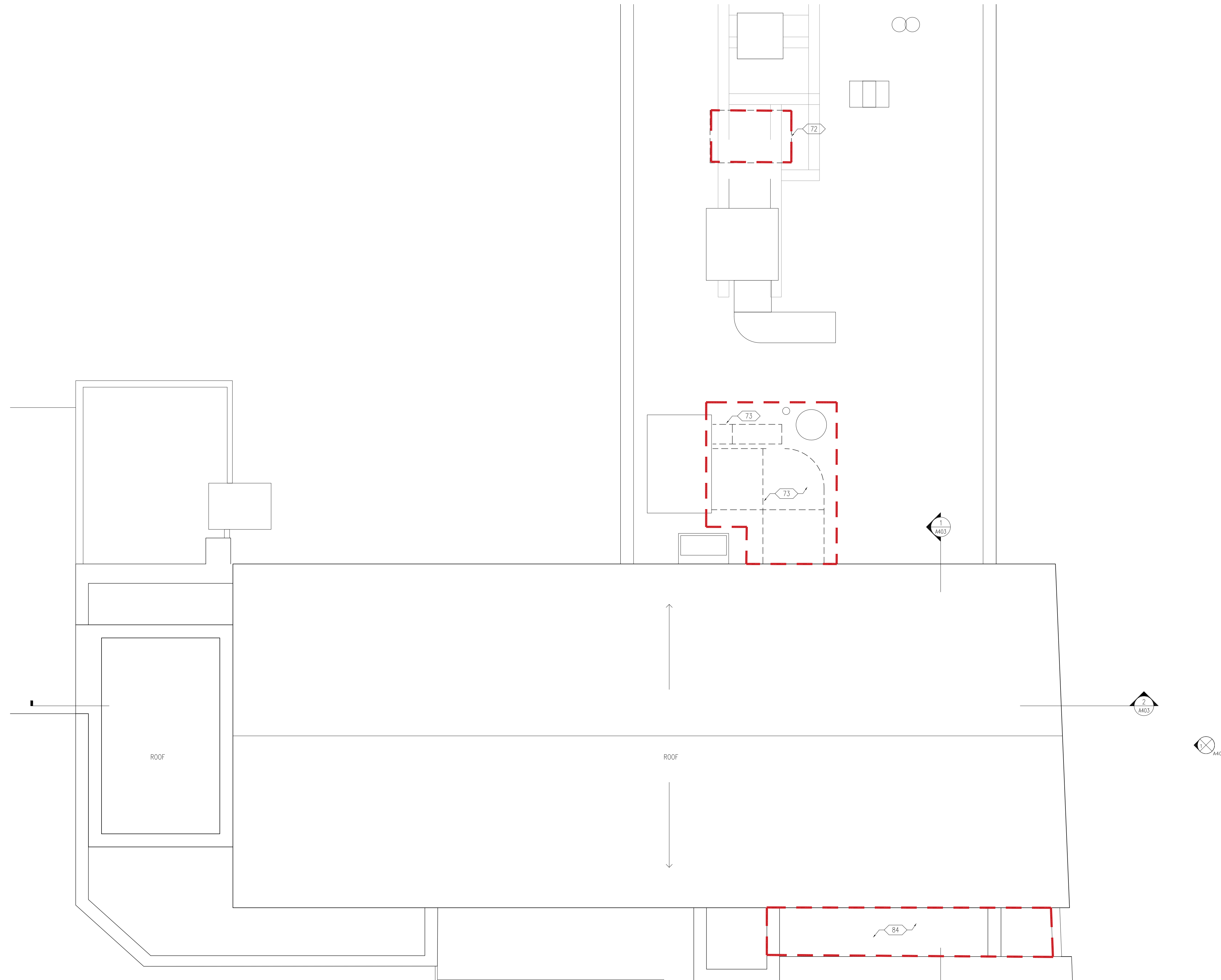
STRUCTURAL ENGINEER: SILMAN
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212.620.7870

GEOTECH. ENGINEER: GZA GEOENVIRONMENTAL
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1 DEMOLITION PLAN - ROOF
SCALE: 1/4" = 1'-0"

DEMOLITION LEGEND

- SCOPE OF WORK
- EXISTING TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING STRUCTURAL FLOOR/WALL AREA TO BE REMOVED
- ABOVE
- SCOPE ITEM

DEMOLITION NOTES		30 FLOOR		50 WALL FINISH		80 EXTERIOR	
10	INTERIOR WALLS	31	DEMOLISH FLOOR	51	DEMOLISH WALL FINISH	81	REMOVE FENCE
11	REMOVE INTERIOR PARTITION; REINFORCE NEW OPENINGS AS REQUIRED	32	DEMOLISH STAIR	60	MILLWORK/EQUIPMENT	82	REMOVE PLANTING
20	DOORS & WINDOWS	33	DEMOLISH FLOOR FINISH	61	REMOVE AND STORE SEATS AND RISERS	83	DEMOLISH STEP TO SIDEWALK LEVEL
21	REMOVE INTERIOR DOOR, FRAME AND HARDWARE	DEMOLISH STAGE & PLATFORM; PROBE FLOOR AREA AT BACK OF HOUSE (SOUTH OF PROSCENIUM); REMOVE UPTURNED BEAM IF REQUIRED		62	REMOVE MILLWORK	84	DEMOLISH EXTERIOR WALL ROOF
22	NOT USED	34	REFRAME FLOOR TO PROVIDE FLUSH ENTRY AT STREET LEVEL; LOWER FACADE DOOR SILLS	63	NOT USED		
23	REMOVE INTERIOR DOOR, FRAME AND HARDWARE (TO BE RELOCATED)	40	CEILING	64	EXCAVATE AREA BELOW NEW ELEVATOR		
24	REMOVE EXTERIOR DOOR	41	DEMOLISH CEILING FINISH	70	MEP		
25	REMOVE EXTERIOR DOOR/WINDOW (TO BE RELOCATED)	42	DEMOLISH SOFFIT	71	COORDINATE DEMOLITION WITH MECHANICAL & ELECTRICAL		
26	REMOVE SECURITY GATE (TO BE RELOCATED)	43	PROVIDE ALLOWANCE FOR STRUCTURAL WORK ASSOCIATED WITH REMOVAL OF EXISTING STRUCTURAL MEMBERS & NEW STRUCTURE AS NEEDED; GC TO PATCH AND REPAIR	72	REMOVE MECHANICAL UNIT		
27	LOWER DOOR SILL TO SIDEWALK LEVEL	44	PROPOSED PLUMBING WORK AT LEVEL ABOVE; PROVIDE ACCESS, PATCH & REPAIR AS REQUIRED	73	REMOVE DUCT		
28	REMOVE INTERIOR WINDOW OPENING IN WALL TO EXPOSE EXTERIOR WINDOW	45	AREA OF DROPPED FLOOR ABOVE; PROBE AS REQUIRED TO DETERMINE IF RELOCATION OF MECHANICAL OR PLUMBING IS REQUIRED	74	REMOVE PLUMBING FIXTURE		
29	REMOVE INTERIOR WINDOW						

NO.	DATE	DESCRIPTION
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DRAWING TITLE: DEMOLITION PLAN - ROOF

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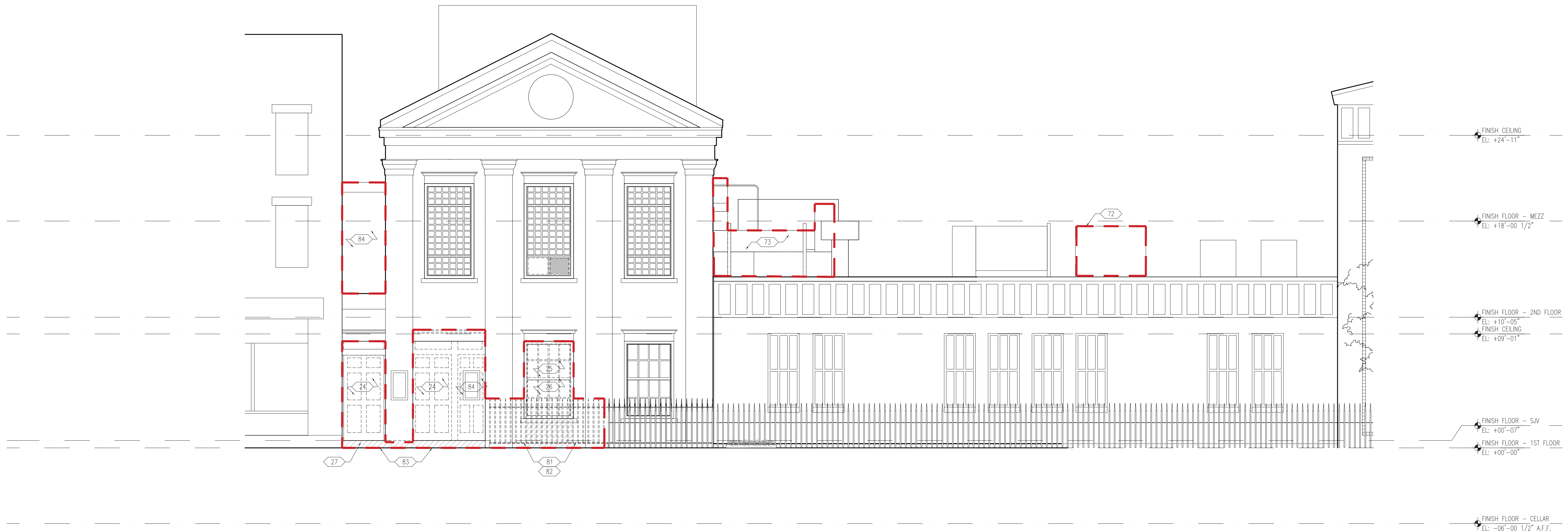
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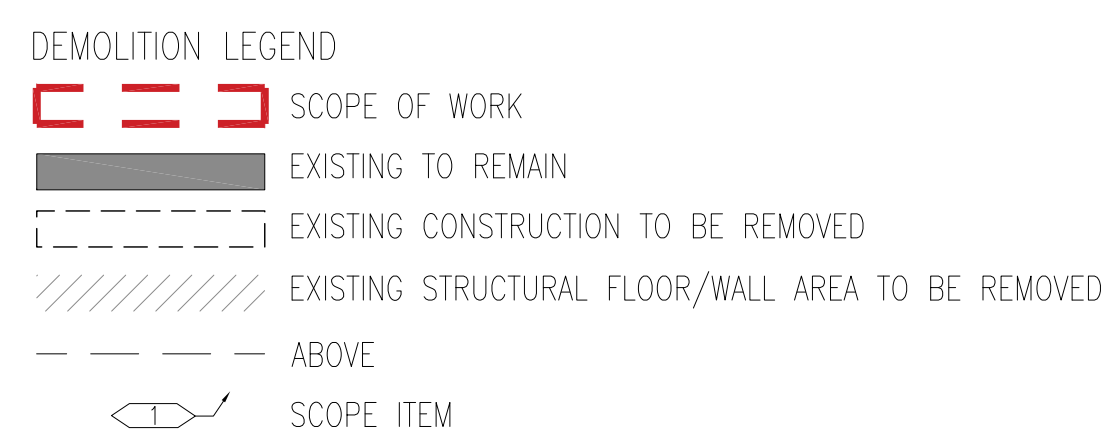
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1 BUILDING ELEVATION: DEMOLITION
SCALE: 1/4" = 1'-0"



- | | | | |
|--|---|--|---|
| <p>DEMOLITION NOTES</p> <p>10 INTERIOR WALLS</p> <p>11 REMOVE INTERIOR PARTITION; REINFORCE NEW OPENINGS AS REQUIRED</p> <p>20 DOORS & WINDOWS</p> <p>21 REMOVE INTERIOR DOOR, FRAME AND HARDWARE</p> <p>22 NOT USED</p> <p>23 REMOVE INTERIOR DOOR, FRAME AND HARDWARE (TO BE RELOCATED)</p> <p>24 REMOVE EXTERIOR DOOR</p> <p>25 REMOVE EXTERIOR DOOR/WINDOW (TO BE RELOCATED)</p> <p>26 REMOVE SECURITY GATE (TO BE RELOCATED)</p> <p>27 LOWER DOOR SILL TO SIDEWALK LEVEL</p> <p>28 REMOVE INTERIOR WINDOW OPENING IN FILL TO EXPOSE EXTERIOR WINDOW</p> <p>29 REMOVE INTERIOR WINDOW</p> | <p>30 FLOOR</p> <p>31 DEMOLISH FLOOR</p> <p>32 DEMOLISH STAIR</p> <p>33 DEMOLISH FLOOR FINISH</p> <p>DEMOLISH STAGE & PLATFORM; PROBE FLOOR AREA AT BACK OF HOUSE (SOUTH OF PROSCENIUM); REMOVE UPLIFTED BEAM IF REQUIRED</p> <p>34 REFRAME FLOOR TO PROVIDE FLUSH ENTRY AT STREET LEVEL; LOWER FACADE DOOR SILLS</p> <p>35 CEILING</p> <p>41 DEMOLISH CEILING FINISH</p> <p>42 DEMOLISH SOFFIT</p> <p>PROVIDE ALLOWANCE FOR STRUCTURAL WORK ASSOCIATED WITH REMOVAL OF EXISTING STRUCTURAL MEMBERS & NEW STRUCTURE AS NEEDED; GC TO PATCH AND REPAIR</p> <p>43 PROPOSED PLUMBING WORK AT LEVEL ABOVE; PROVIDE ACCESS, PATCH & REPAIR AS REQUIRED</p> <p>44 AREA OF DROPPED FLOOR ABOVE; PROBE AS REQUIRED TO DETERMINE IF RELOCATION OF MECHANICAL OR PLUMBING IS REQUIRED</p> | <p>50 WALL FINISH</p> <p>51 DEMOLISH WALL FINISH</p> <p>60 MILLWORK/EQUIPMENT</p> <p>61 REMOVE AND STORE SEATS AND PRESERS</p> <p>62 REMOVE MILLWORK</p> <p>63 NOT USED</p> <p>64 EXCAVATE AREA BELOW NEW ELEVATOR</p> <p>70 MEP</p> <p>71 COORDINATE DEMOLITION WITH MECHANICAL & ELECTRICAL</p> <p>72 REMOVE MECHANICAL UNIT</p> <p>73 REMOVE DUCT</p> <p>74 REMOVE PLUMBING FIXTURE</p> | <p>80 EXTERIOR</p> <p>81 REMOVE FENCE</p> <p>82 REMOVE PLANTING</p> <p>83 DEMOLISH STEP TO SIDEWALK LEVEL</p> <p>84 DEMOLISH EXTERIOR WALL ROOF</p> |
|--|---|--|---|

NO.	DATE	DESCRIPTION
1	2022.04.01	FILING DRAWINGS

RATTLESTICK PLAYWRIGHTS THEATER

224 WAVERLY PLACE
NEW YORK, NY 10014

DRAWING TITLE: BUILDING ELEVATIONS - DEMOLITION

STAMP & SIGNATURE:	PROJECT NO: 2106
	DRAWN BY: SN
	CHECK BY: MS
	DRAWING NO: D-400.00
	PAGE: OF

LANDLORD: ST. JOHN'S IN THE VILLAGE
224 WAVERLY PLACE
NEW YORK, NY 10014
212.243.6192

OWNER'S REP: CIRGENSKI + COMPANY
233 BROADWAY, STE 710
NEW YORK, NY 10029
917.418.0469

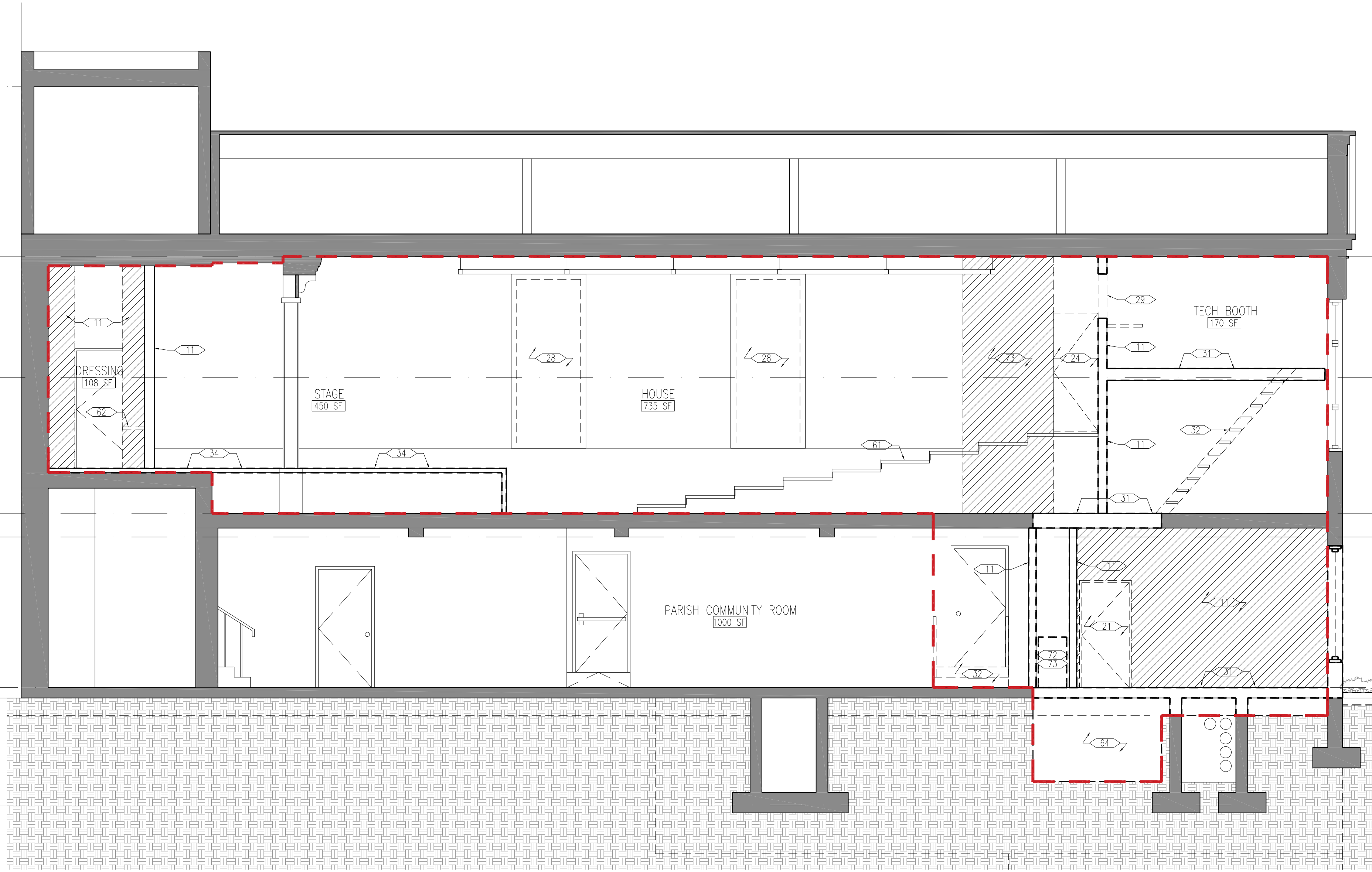
STRUCTURAL ENGINEER: SILMAN
32 OLD SLIP, 10TH FLOOR
NEW YORK, NY 10005
212.620.7870

GEOTECH. ENGINEER: GZA GEOENVIRONMENTAL
104 W. 29TH ST., 10TH FLOOR
NEW YORK, NY 10001
646.929.8956

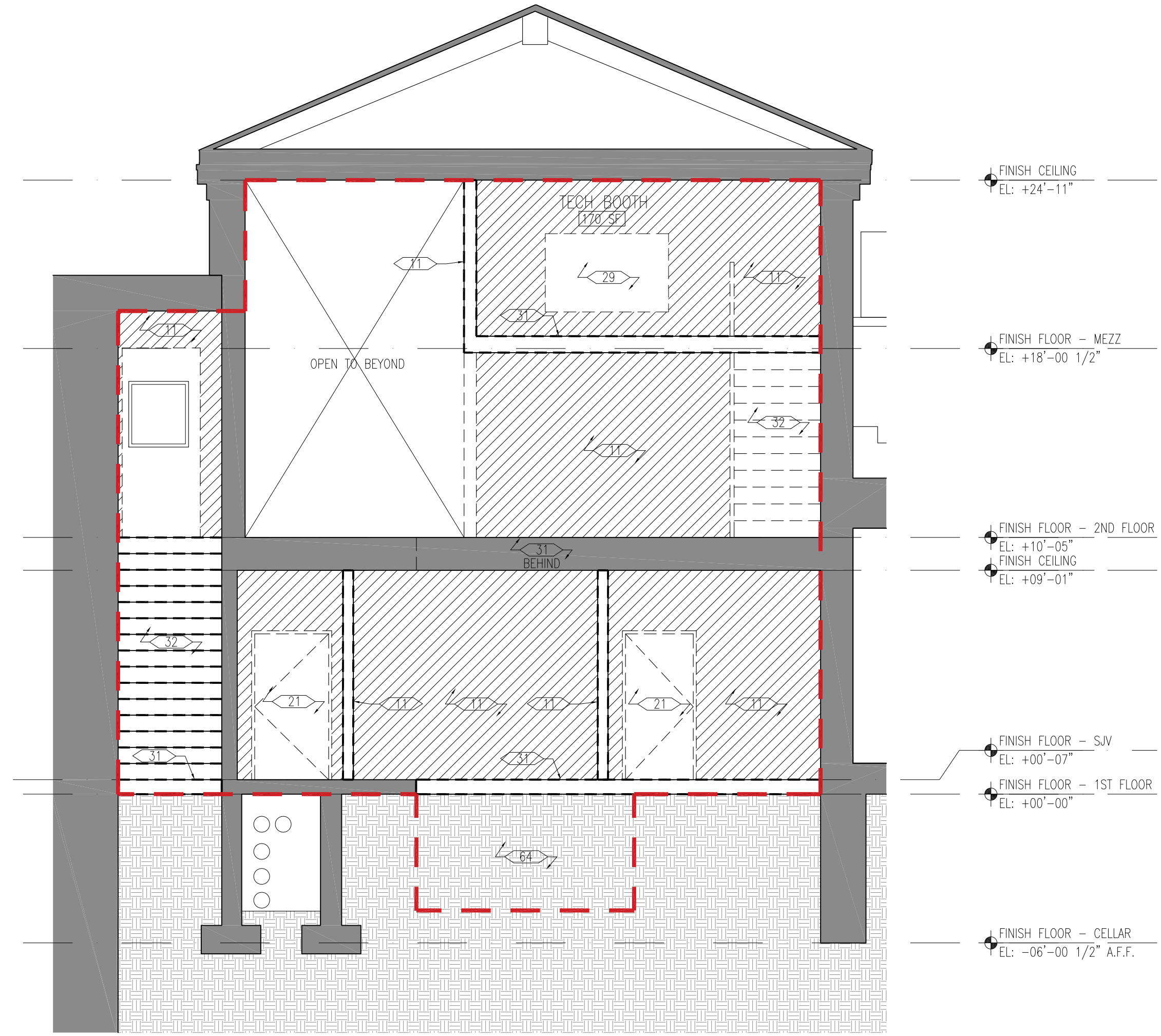
ELEVATOR CONSULTANT: YDA
120 EAGLE ROCK AVE, STE 310
EAST HANOVER, NJ 07936
973.994.9220

CODE CONSULTANT/ EXPEDITOR: WILLIAM VITACCO ASSOCIATES
299 BROADWAY, 5TH FLOOR
NEW YORK, NY 10007
212.791.4578

BUILDING SYSTEMS ENGINEER: DERIVE ENGINEERS
665 BROADWAY
NEW YORK, NY 10012
646.866.8933



2 BUILDING SECTION: DEMOLITION
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION: DEMOLITION
SCALE: 1/4" = 1'-0"

FINISH CEILING
EL: +24'-11"

FINISH FLOOR - MEZZ
EL: +18'-00 1/2"

FINISH FLOOR - 2ND FLOOR
EL: +10'-06"

FINISH CEILING
EL: +09'-01"

FINISH FLOOR - 1ST FLOOR
EL: +00'-00"

FINISH FLOOR - 1ST FLOOR
EL: +00'-00"

FINISH FLOOR - CELLAR
EL: -06'-00 1/2" A.F.F.

- DEMOLITION LEGEND**
- SCOPE OF WORK
 - EXISTING TO REMAIN
 - EXISTING CONSTRUCTION TO BE REMOVED
 - EXISTING STRUCTURAL FLOOR/WALL AREA TO BE REMOVED
 - ABOVE
 - SCOPE ITEM

- | | | | |
|--|--|---|---|
| <p>DEMOLITION NOTES</p> <p>10 INTERIOR WALLS</p> <p>11 REMOVE INTERIOR PARTITION, REINFORCE NEW OPENINGS AS REQUIRED</p> <p>20 DOORS & WINDOWS</p> <p>21 REMOVE INTERIOR DOOR, FRAME AND HARDWARE</p> <p>22 NOT USED</p> <p>23 REMOVE INTERIOR DOOR, FRAME AND HARDWARE (TO BE RELOCATED)</p> <p>24 REMOVE EXTERIOR DOOR (TO BE RELOCATED)</p> <p>25 REMOVE WINDOW (TO BE RELOCATED)</p> <p>26 REMOVE SECURITY GATE (TO BE RELOCATED)</p> <p>27 LOWER DOOR SILL TO SIDEWALK LEVEL</p> <p>28 REMOVE INTERIOR WINDOW OPENING IN WALL TO EXPOSE EXTERIOR WINDOW</p> <p>29 REMOVE INTERIOR WINDOW</p> | <p>30 FLOOR</p> <p>31 DEMOLISH FLOOR</p> <p>32 DEMOLISH STAIR</p> <p>33 DEMOLISH FLOOR FINISH</p> <p>34 DEMOLISH STAGE & PLATFORM; PROBE FLOOR AREA AT BACK OF HOUSE (SOUTH OF PROSCENIUM); REMOVE UPLIFTED BEAM IF REQUIRED</p> <p>35 REFRAME FLOOR TO PROVIDE FLUSH ENTRY AT STREET LEVEL; LOWER FACADE DOOR SILLS</p> <p>40 CEILING</p> <p>41 DEMOLISH CEILING FINISH</p> <p>42 DEMOLISH SOFFIT</p> <p>43 PROVIDE ALLOWANCE FOR STRUCTURAL WORK ASSOCIATED WITH BEAM OF EXISTING PROSCENIUM ABOVE; GC TO PATCH AND REPAIR</p> <p>44 PROPOSED PLUMBING WORK AT LEVEL ABOVE; PROVIDE ACCESS, PATCH & REPAIR AS REQUIRED</p> <p>45 AREA OF DROPPED FLOOR ABOVE; PROBE AS REQUIRED TO DETERMINE IF RELOCATION OF MECHANICAL OR PLUMBING IS REQUIRED</p> | <p>50 WALL FINISH</p> <p>51 DEMOLISH WALL FINISH</p> <p>60 MILLWORK/EQUIPMENT</p> <p>61 REMOVE AND STORE SEATS AND RISERS</p> <p>62 REMOVE MILLWORK</p> <p>63 DEMOLISH AND REINFORCE WALL AS REQUIRED FOR CONSTRUCTION OF NEW ELEVATOR</p> <p>64 EXCAVATE AREA BELOW NEW ELEVATOR</p> <p>70 MEP</p> <p>71 COORDINATE DEMOLITION WITH MECHANICAL & ELECTRICAL</p> <p>72 REMOVE MECHANICAL UNIT</p> <p>73 REMOVE DUCT</p> <p>74 REMOVE PLUMBING FIXTURE</p> | <p>80 EXTERIOR</p> <p>81 REMOVE FENCE</p> <p>82 REMOVE PLANTING</p> <p>83 DEMOLISH STEP TO SIDEWALK LEVEL</p> <p>84 DEMOLISH EXTERIOR WALL/ROOF</p> |
|--|--|---|---|

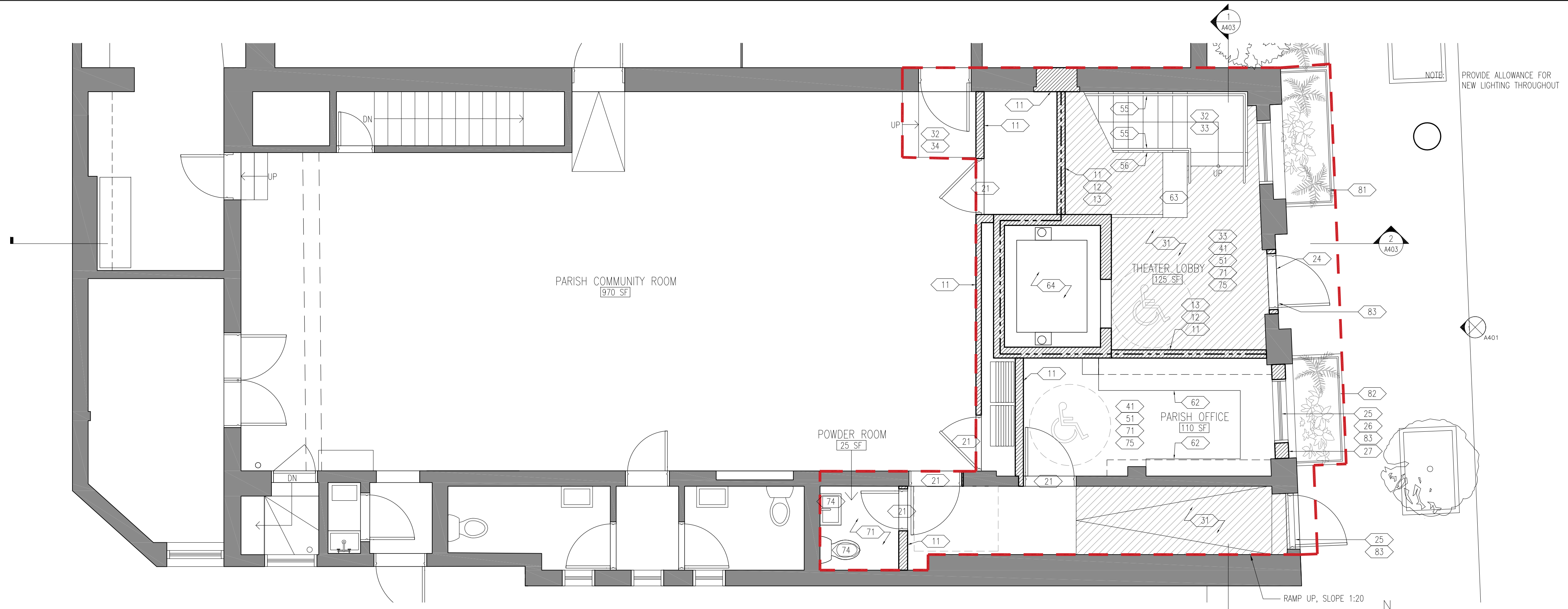
NO.	DATE	DESCRIPTION
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RATTLESTICK PLAYWRIGHTS THEATER

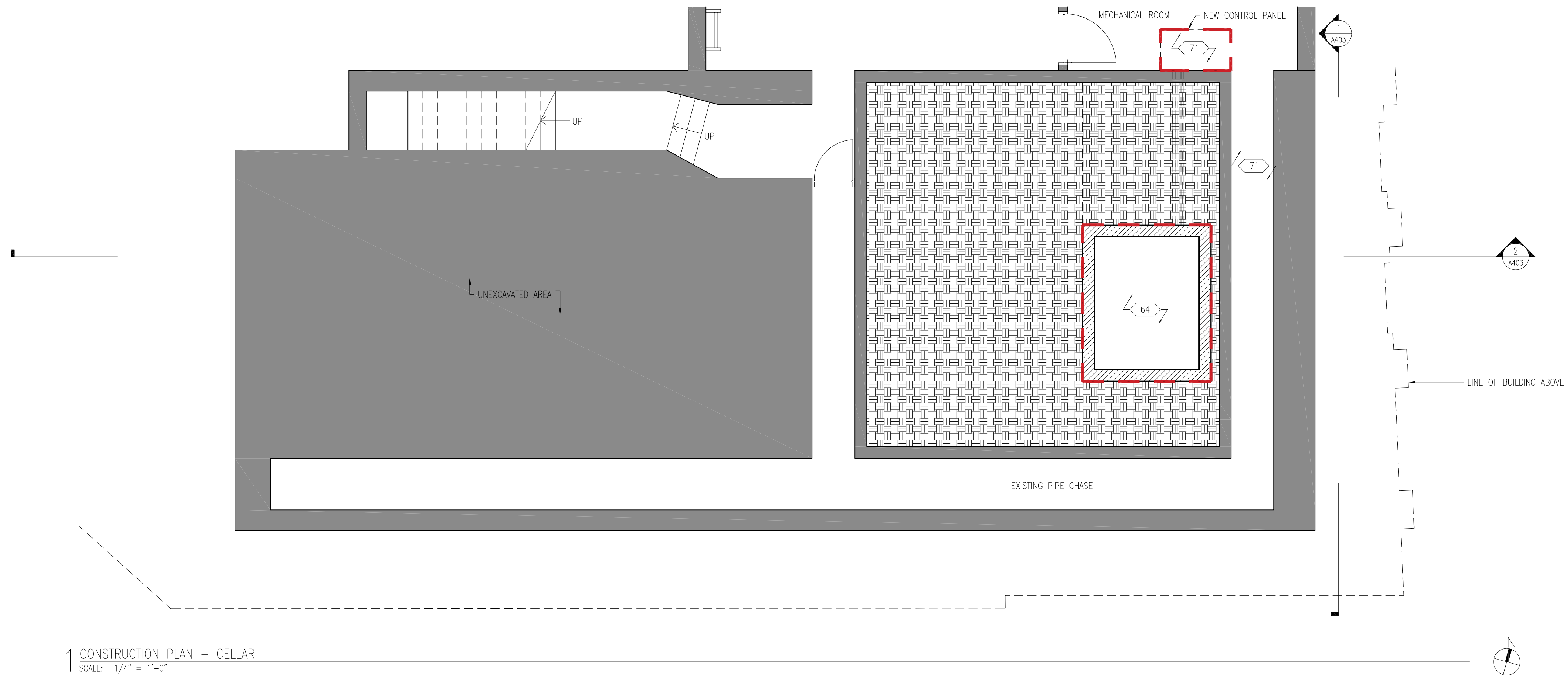
224 WAVERLY PLACE
NEW YORK, NY 10014

DRAWING TITLE:
BUILDING SECTIONS - DEMOLITION

STAMP & SIGNATURE:	PROJECT NO: 2106
	DRAWN BY: SN
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	DRAWING NO: D-410.00
	PAGE: OF



2 CONSTRUCTION PLAN - 1ST FLOOR
SCALE: 1/4" = 1'-0"



1 CONSTRUCTION PLAN - CELLAR
SCALE: 1/4" = 1'-0"

- CONSTRUCTION LEGEND**
- SCOPE OF WORK
 - EXISTING TO REMAIN
 - NEW WALL/FLOOR ELEMENT
 - ABOVE
 - AREA OF NEW CONSTRUCTION
 - 1 SCOPE ITEM
 - 2-HOUR PARTITION

CONSTRUCTION NOTES

- 10 INTERIOR WALLS
- 11 NEW INTERIOR PARTITION
- 12 NEW ACOUSTICALLY FORTIFIED INTERIOR PARTITION
- 13 NEW 2-HR FIRE RATED PARTITION
- 20 DOORS & WINDOWS
- 21 NEW INTERIOR DOOR
- 22 NEW INTERIOR DOOR - FIRE RATED AND/OR ACOUSTICAL AS NEEDED
- 23 RELOCATE EXISTING INTERIOR DOOR
- 24 NEW EXTERIOR DOOR
- 25 RELOCATE EXTERIOR DOOR/WINDOW, REFRAME AS NECESSARY
- 26 RELOCATE SECURITY GATE
- 27 RELOCATE WINDOW DOOR OPENING TO MATCH EXISTING
- 28 BLACKOUT SYSTEM AT WINDOWS
- 29 NEW INTERIOR WINDOW

FLOOR

- 30 FLOOR
- 31 NEW FLOOR
- 32 NEW STAIR
- 33 NEW TERRAZZO FLOOR/STAIR FINISH, SUBSTRATE AS REQUIRED
- 34 NEW HARDWOOD FLOOR FINISH
- 35 NEW RESILIENT FLOORING FINISH
- 36 NEW CARPET FLOOR FINISH
- 37 NEW PERFORATED METAL STAIR TREADS
- 38 OPEN METAL MESH FLOORING
- 39 NEW CERAMIC TILE FLOOR FINISH
- 40 CEILING
- 41 PATCH AND PAINT CEILING
- 42 CLASS A FABRIC-WRAPPED ACOUSTICAL PANELS AT CEILING

WALL FINISH

- 51 PATCH AND PAINT WALLS, TRIM, AND DOORS
- 52 TERRAZZO MANGROTT UP TO 34" AFF
- 53 CERAMIC TILE WALL FINISH
- 54 CLASS A FABRIC-WRAPPED ACOUSTICAL PANELS AT WALL
- 55 STAINLESS STEEL HANDRAIL
- 56 ENCLOSED POWDER COATED PERFORATED METAL MESH STAIR GUARD
- 60 MILLWORK/EQUIPMENT
- 61 REINSTALL EXISTING SEATSTRESSERS
- 62 NEW MILLWORK: DESKS, CABINETS, TABLES, MIRRORS, AND/OR SHELVES
- 63 NEW CORIAN MILLWORK
- 64 NEW HOLE-LESS HYDRAULIC COMMERCIAL ADA ELEVATOR, NO MACHINE ROOM REQUIRED, ELEVATOR AND PIT PER MANUFACTURER SPECIFICATIONS, > QTS: HYDROFIT, KONE, MONOSPACE 300, OR SIM.
- 65 COORDINATE RELOCATION OF CONTROLS AND EQUIPMENT
- 66 NEW INCUNE PLATFORM LIFT, COORDINATE MOUNTING AND POWER

MEP

- 71 COORDINATE NEW MECHANICAL/ELECTRICAL/PLUMBING
- 72 RECONFIGURE MECHANICAL AS REQ'D
- 73 RELOCATE DUCT
- 74 NEW PLUMBING FIXTURE (TOILETS TO BE TOTO WALL-HUNG, FALCETS TO BE DORBRACHT TOUCHLESS, LAVATORY TO BE CERAMIC, TYP.)
- 75 NEW RECESSED LIGHTING
- 76 PROVIDE ALLOWANCE FOR NEW LIGHTING
- 80 EXTERIOR
- 81 MODIFY PLANTER AND FENCE
- 82 RELOCATE PLANTER AND FENCE TO MATCH EXISTING
- 83 PAINT/PREPARE EXTERIOR WINDOWS AND DOORS AS REQUIRED
- 84 NEW EXTERIOR WALL/ROOF

NO.	DATE	DESCRIPTION
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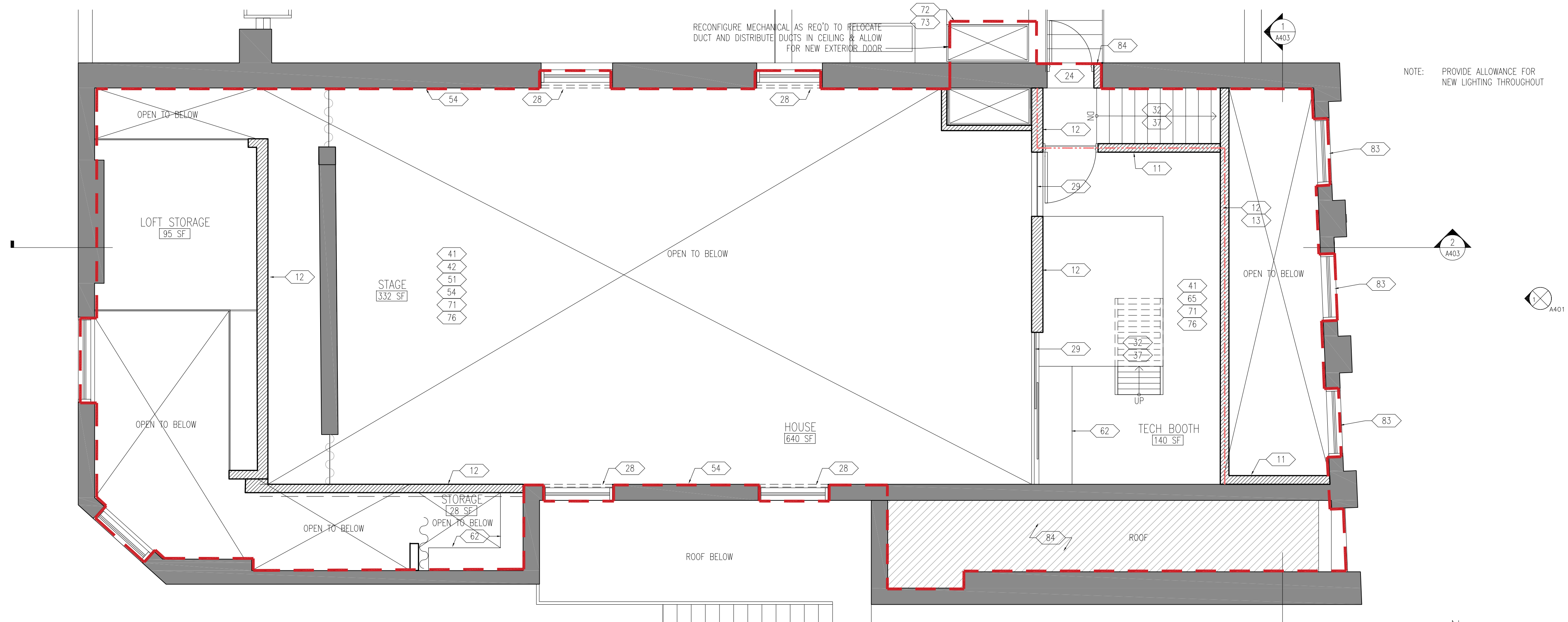
RATTLESTICK PLAYWRIGHTS THEATER

224 WAVERLY PLACE
NEW YORK, NY 10014

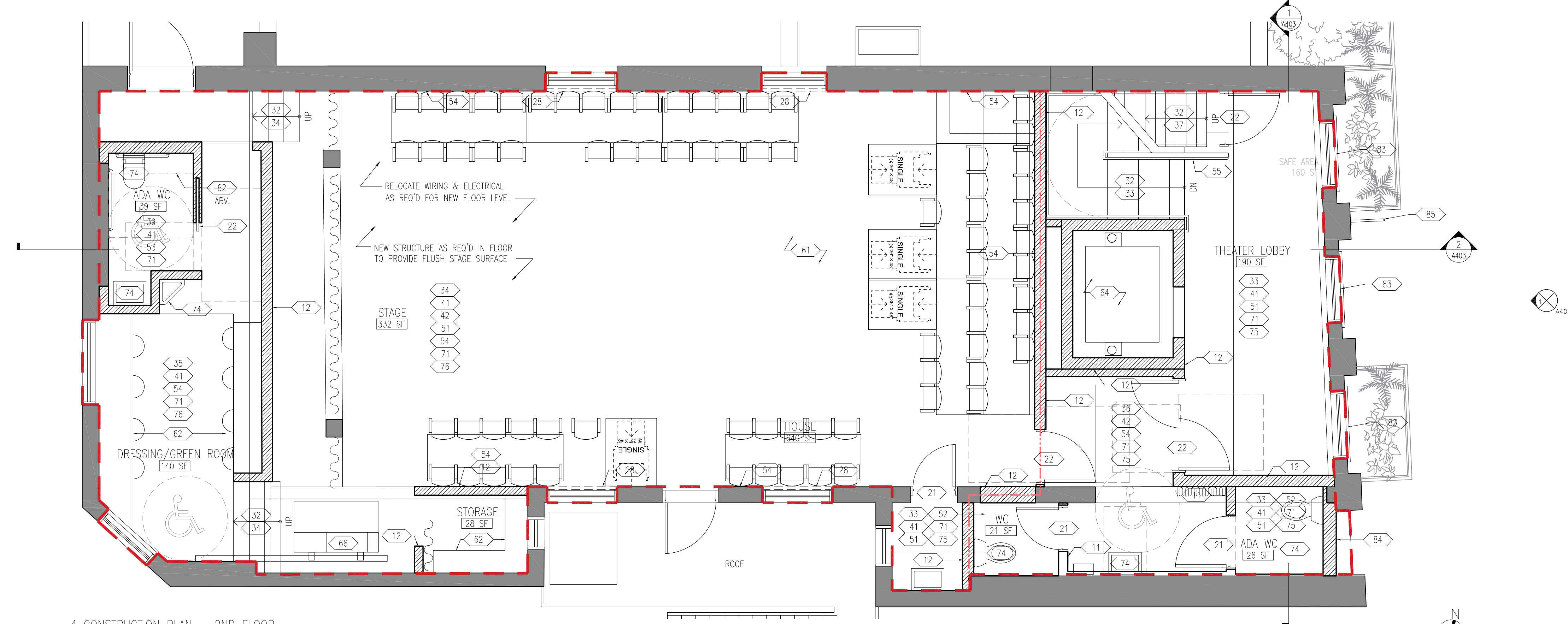
DRAWING TITLE:
CONSTRUCTION PLAN -
CELLAR & 1ST FLOOR

STAMP & SIGNATURE:	PROJECT NO: 2106
	DRAWN BY: SN
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	DRAWING NO: A-100.00
	PAGE: OF

LANDLORD:	ST. JOHN'S IN THE VILLAGE 224 WAVERLY PLACE NEW YORK, NY 10014 212.243.6192
OWNER'S REP:	CIRGENSKI + COMPANY 233 BROADWAY, STE 710 NEW YORK, NY 10279 917.418.0469
STRUCTURAL ENGINEER:	SILMAN 32 OLD SLIP, 10TH FLOOR NEW YORK, NY 10005 212.620.7870
GEOTECH. ENGINEER:	GZA GEOTECHNICAL 104 W. 29TH ST., 10TH FLOOR NEW YORK, NY 10001 646.929.8956
ELEVATOR CONSULTANT:	VDA 120 EAGLE ROCK AVE, STE 310 EAST HANOVER, NJ 07936 973.994.9220
CODE CONSULTANT/ EXPEDITOR:	WILLIAM VITACCO ASSOCIATES 299 BROADWAY, 5TH FLOOR NEW YORK, NY 10007 212.791.4578
BUILDING SYSTEMS ENGINEER:	DERIVE ENGINEERS 665 BROADWAY NEW YORK, NY 10012 646.866.8933



2 CONSTRUCTION PLAN - MEZZANINE
SCALE: 1/4" = 1'-0"



1 CONSTRUCTION PLAN - 2ND FLOOR
SCALE: 1/4" = 1'-0"

CONSTRUCTION LEGEND

- SCOPE OF WORK
- EXISTING TO REMAIN
- NEW WALL/FLOOR ELEMENT
- ABOVE
- AREA OF NEW CONSTRUCTION
- 1 SCOPE ITEM
- 2-HOUR PARTITION

10 INTERIOR WALLS	11 NEW INTERIOR PARTITION	12 NEW ACOUSTICALLY FORTIFIED INTERIOR PARTITION	13 NEW 2-HR FIRE RATED PARTITION	20 DOORS & WINDOWS	21 NEW INTERIOR DOOR	22 NEW INTERIOR DOOR - FIRE RATED AND/OR ACOUSTICAL AS NEEDED	23 RELOCATE EXISTING INTERIOR DOOR	24 NEW EXTERIOR DOOR	25 RELOCATE EXTERIOR DOOR/WINDOW; REFRAME AS NECESSARY	26 RELOCATE SECURITY GATE	27 RELOCATE WINDOW DOOR OPENING TO MATCH EXISTING	28 BLACKOUT SYSTEM AT WINDOWS	29 NEW INTERIOR WINDOW	30 FLOOR	31 NEW FLOOR	32 NEW STAIR	33 NEW TERRAZZO FLOOR/STAIR FINISH; SUBSTRATE AS REQUIRED	34 NEW HARDWOOD FLOOR FINISH	35 NEW RESILIENT FLOOR FINISH	36 NEW CARPET FLOOR FINISH	37 NEW PERFORATED METAL STAIR TREADS	38 OPEN METAL MESH FLOORING	39 NEW CERAMIC TILE FLOOR FINISH	40 CEILING	41 PATCH AND PAINT CEILING	42 CLASS A FABRIC-WRAPPED ACOUSTICAL PANELS AT CEILING	50 WALL FINISH	51 PATCH AND PAINT WALLS, TRIM, AND DOORS	52 TERRAZZO WAINSCOT UP TO 34" AFF	53 CERAMIC TILE WALL FINISH	54 CLASS A FABRIC-WRAPPED ACOUSTICAL PANELS AT WALL	55 STAINLESS STEEL HANDRAIL	56 ENCLOSED POWDER COATED PERFORATED METAL MESH STAIR GUARD	60 MILLWORK/EQUIPMENT	61 REINSTALL EXISTING SEATSLABERS	62 NEW MILLWORK: DESKS, CABINETS, TABLES, MIRRORS, AND/OR SHELVES	63 NEW CORIAN MILLWORK	64 NEW HOLELESS, HYDRAULIC COMMERCIAL ADA ELEVATOR; NO MACHINE ROOM REQUIRED; ELEVATOR AND PIT PER MANUFACTURER SPECIFICATIONS. > QTS: HYDROFIT, KONE, MONOSPACE 300, OR SIM.	65 COORDINATE RELOCATION OF CONTROLS AND EQUIPMENT	66 NEW INCUBE PLATFORM LIFT; COORDINATE MOUNTING AND POWER	70 MEP	71 COORDINATE NEW MECHANICAL/ELECTRICAL PLUMBING	72 RECONFIGURE MECHANICAL AS REQ'D	73 RELOCATE DUCT	74 NEW PLUMBING FIXTURE (TOILETS TO BE TOTO WALL-HUNG; FALCETS TO BE DORBRACH TOUCHLESS; LAVATORY TO BE CERAMIC, TYP.)	75 NEW RECESSED LIGHTING	76 PROVIDE ALLOWANCE FOR NEW LIGHTING	80 EXTERIOR	81 MODIFY PLANTER AND FENCE	82 RELOCATE PLANTER AND FENCE TO MATCH EXISTING	83 PAINT/PREPARE EXTERIOR WINDOWS AND DOORS AS REQUIRED	84 NEW EXTERIOR WALL/ROOF
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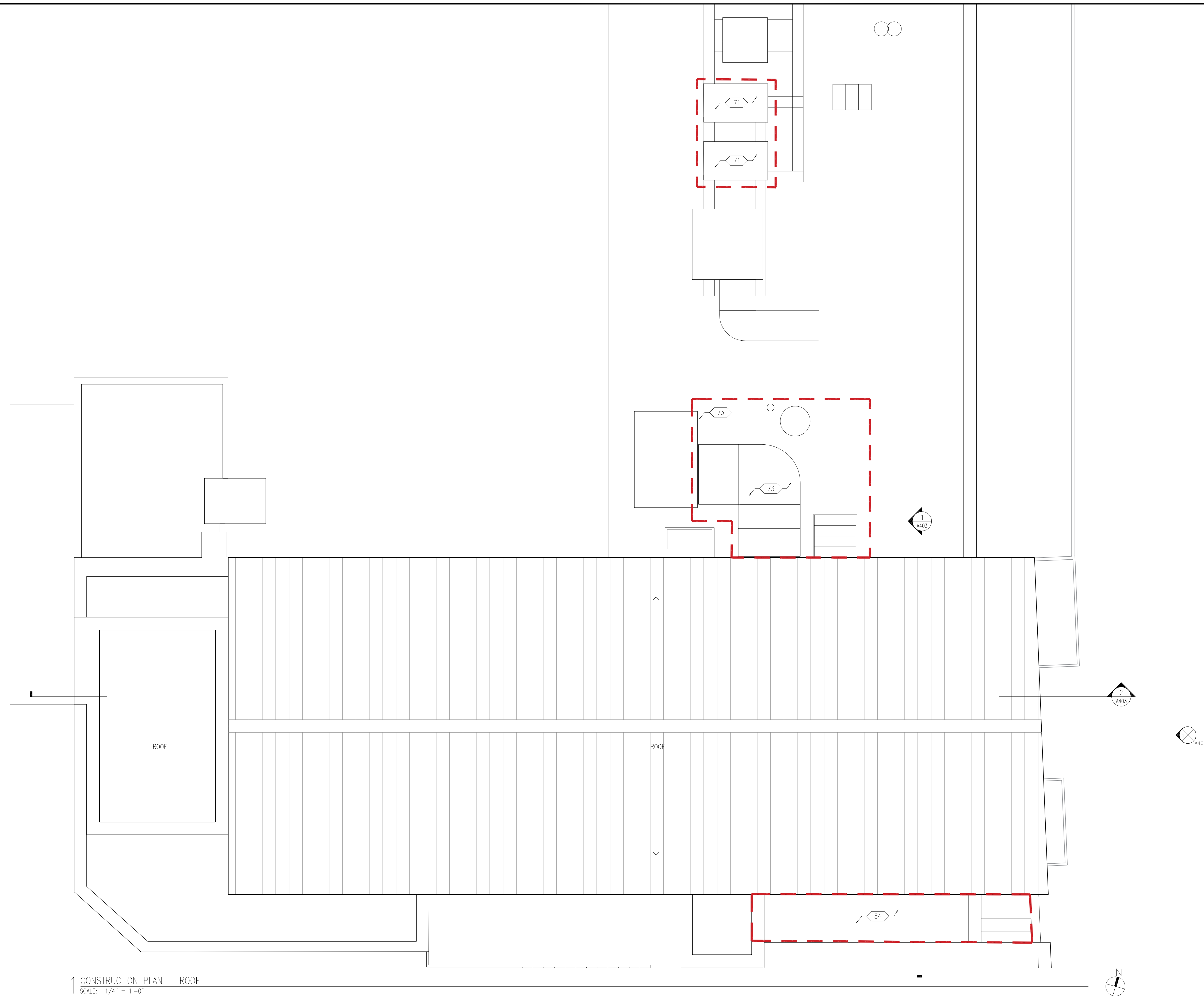
NO.	DATE	DESCRIPTION
1	2022.04.01	FILING DRAWINGS

RATTLESTICK PLAYWRIGHTS THEATER

224 WAVERLY PLACE
NEW YORK, NY 10014

DRAWING TITLE:
CONSTRUCTION PLAN -
2ND FLOOR & MEZZANINE

STAMP & SIGNATURE:	PROJECT NO: 2106
	DRAWN BY: SN
	CHECK BY: MS
	DRAWING NO: A-101.00
	PAGE: OF



1 CONSTRUCTION PLAN - ROOF
SCALE: 1/4" = 1'-0"

CONSTRUCTION LEGEND

- SCOPE OF WORK
- EXISTING TO REMAIN
- NEW WALL/FLOOR ELEMENT
- ABOVE
- AREA OF NEW CONSTRUCTION
- SCOPE ITEM

CONSTRUCTION NOTES

- 10 INTERIOR WALLS
- 11 NEW INTERIOR PARTITION
- 12 NEW ACOUSTICALLY FORTIFIED INTERIOR PARTITION
- 13 NEW 2-HR FIRE RATED PARTITION
- 20 DOORS & WINDOWS
- 21 NEW INTERIOR DOOR
- 22 NEW INTERIOR DOOR - FIRE RATED AND/OR ACOUSTICAL AS NEEDED
- 23 RELOCATE EXISTING INTERIOR DOOR
- 24 NEW EXTERIOR DOOR
- 25 RELOCATE EXTERIOR DOOR/WINDOW, REFRAME AS NECESSARY
- 26 RELOCATE SECURITY GATE
- 27 RELOCATE WINDOW DOOR OPENING TO MATCH EXISTING
- 28 BLACKOUT SYSTEM AT WINDOWS
- 29 NEW INTERIOR WINDOW

FLOOR

- 30 FLOOR
- 31 NEW FLOOR
- 32 NEW STAIR
- 33 NEW TERRAZZO FLOOR/STAIR FINISH, SUBSTRATE AS REQUIRED
- 34 NEW HARDWOOD FLOOR FINISH
- 35 NEW RESILIENT FLOORING FINISH
- 36 NEW CARPET FLOOR FINISH
- 37 NEW PERFORATED METAL STAIR TREADS
- 38 OPEN METAL MESH FLOORING
- 39 NEW CERAMIC TILE FLOOR FINISH
- 40 CEILING
- 41 PATCH AND PAINT CEILING
- 42 CLASS A FABRIC-WRAPPED ACOUSTICAL PANELS AT CEILING
- 43 NEW INTERIOR WINDOW

WALL FINISH

- 51 PATCH AND PAINT WALLS, TRIM, AND DOORS
- 52 TERRAZZO MANGROTT UP TO 34" AFF
- 53 CERAMIC TILE WALL FINISH
- 54 CLASS A FABRIC-WRAPPED ACOUSTICAL PANELS AT WALL
- 55 STAINLESS STEEL HANDRAIL
- 56 ENCLOSED POWDER COATED PERFORATED METAL MESH STAIR GUARD
- 60 MILLWORK/EQUIPMENT
- 61 REINSTALL EXISTING SEAT/STAIRS
- 62 NEW MILLWORK: DESKS, CABINETS, TABLES, MIRRORS, AND/OR SHELVES
- 63 NEW CORIAN MILLWORK
- 64 NEW HOLELESS HYDRAULIC COMMERCIAL ADA ELEVATOR, NO MACHINE ROOM REQUIRED, ELEVATOR AND PIT PER MANUFACTURER SPECIFICATIONS, > QTS: HYDRORIFT, KONE, MONOSPACE 300, OR SIM.
- 65 COORDINATE RELOCATION OF CONTROLS AND EQUIPMENT
- 66 NEW INCUBATE PLATFORM LIFT, COORDINATE MOUNTING AND POWER

MEP

- 71 COORDINATE NEW MECHANICAL/ELECTRICAL/PLUMBING
- 72 RECONFIGURE MECHANICAL AS REQ'D
- 73 RELOCATE DUCT
- 74 NEW PLUMBING FIXTURE (TOILETS TO BE TOTO WALL-HUNG, FAUCETS TO BE DORBRACHT TOUCHLESS, LAVATORY TO BE CERAMIC, TYP.)
- 75 NEW RECESSED LIGHTING
- 76 PROVIDE ALLOWANCE FOR NEW LIGHTING
- 80 EXTERIOR
- 81 MODIFY PLANTER AND FENCE
- 82 RELOCATE PLANTER AND FENCE TO MATCH EXISTING
- 83 PAINT/PREPARE EXTERIOR WINDOWS AND DOORS AS REQUIRED
- 84 NEW EXTERIOR WALL/ROOF

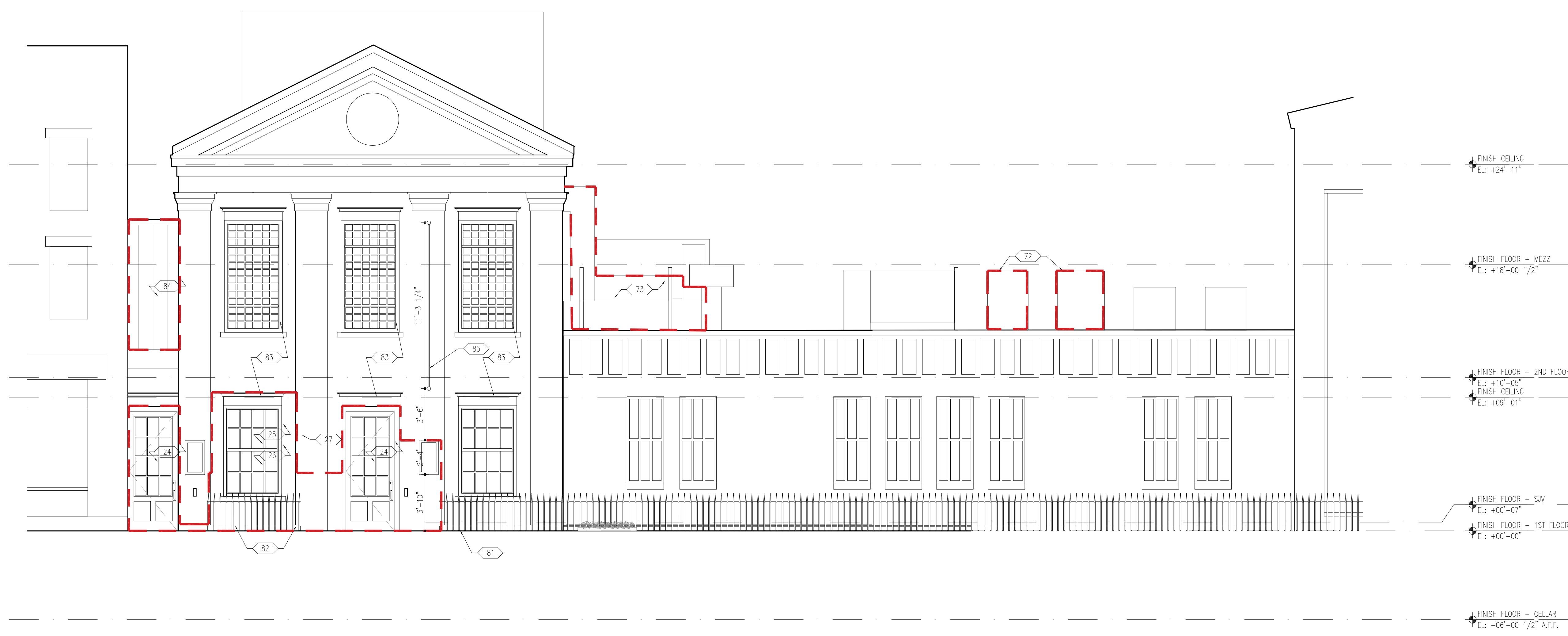
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224 WAVERLY PLACE
NEW YORK, NY 10014

DRAWING TITLE:
CONSTRUCTION PLAN - ROOF

STAMP & SIGNATURE:	PROJECT NO: 2106
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	DRAWING NO: A-102.00
	PAGE: OF



1 BUILDING ELEVATION: CONSTRUCTION
SCALE: 1/4" = 1'-0"

CONSTRUCTION LEGEND

- SCOPE OF WORK
- EXISTING TO REMAIN
- NEW WALL/FLOOR ELEMENT
- ABOVE
- AREA OF NEW CONSTRUCTION
- SCOPE ITEM

- CONSTRUCTION NOTES**
- 10 INTERIOR WALLS
 - 11 NEW INTERIOR PARTITION
 - 12 NEW ACOUSTICALLY FORTIFIED INTERIOR PARTITION
 - 13 NEW 2-HR FIRE RATED PARTITION
 - 20 DOORS & WINDOWS
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 - 28 BLACKOUT SYSTEM AT WINDOWS
 - 29 NEW INTERIOR WINDOW
- 30 FLOOR**
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 - 34 NEW HARDWOOD FLOOR FINISH
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 - 37 NEW PERFORATED METAL STAIR TREADS
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 - 41 PATCH AND PAINT CEILING
 - 42 CLASS A FABRIC-WRAPPED ACOUSTICAL PANELS AT CEILING
- 50 WALL FINISH**
- 51 PATCH AND PAINT WALLS, TRIM, AND DOORS
 - 52 TERRAZZO WAINSCOT UP TO 34" AFF
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 - 55 STAINLESS STEEL HANDRAIL
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 - 61 REINSTALL EXISTING SEATSBENERS
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 - 65 COORDINATE RELOCATION OF CONTROLS AND EQUIPMENT
 - 66 NEW INCAUNE PLATFORM LIFT, COORDINATE MOUNTING AND POWER

- 70 MEP**
- 71 COORDINATE NEW MECHANICAL/ELECTRICAL/PLUMBING
 - 72 RECONFIGURE MECHANICAL AS NEEDED
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 - 74 NEW PLUMBING FIXTURE (TOILETS TO BE TOTO WALL-HUNG, FAUCETS TO BE DORBRACHT TOUCHLESS, LAVATORY TO BE CERAMIC, TYP.)
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- 80 EXTERIOR**
- 81 MODIFY PLANTER AND FENCE
 - 82 RELOCATE PLANTER AND FENCE TO MATCH EXISTING
 - 83 PAINT/PREPARE EXTERIOR WINDOWS AND DOORS AS REQUIRED
 - 84 NEW EXTERIOR WALL/ROOF
 - 85 NEW BANNER SIGN

NO.	DATE	DESCRIPTION
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RATTLESTICK PLAYWRIGHTS THEATER

224 WAVERLY PLACE
NEW YORK, NY 10014

DRAWING TITLE: BUILDING ELEVATIONS - CONSTRUCTION

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LANDLORD: ST. JOHN'S IN THE VILLAGE
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NEW YORK, NY 10014
212.243.6192

OWNER'S REP: CIRGENSKI + COMPANY
233 BROADWAY, STE 710
NEW YORK, NY 10279
917.418.0469

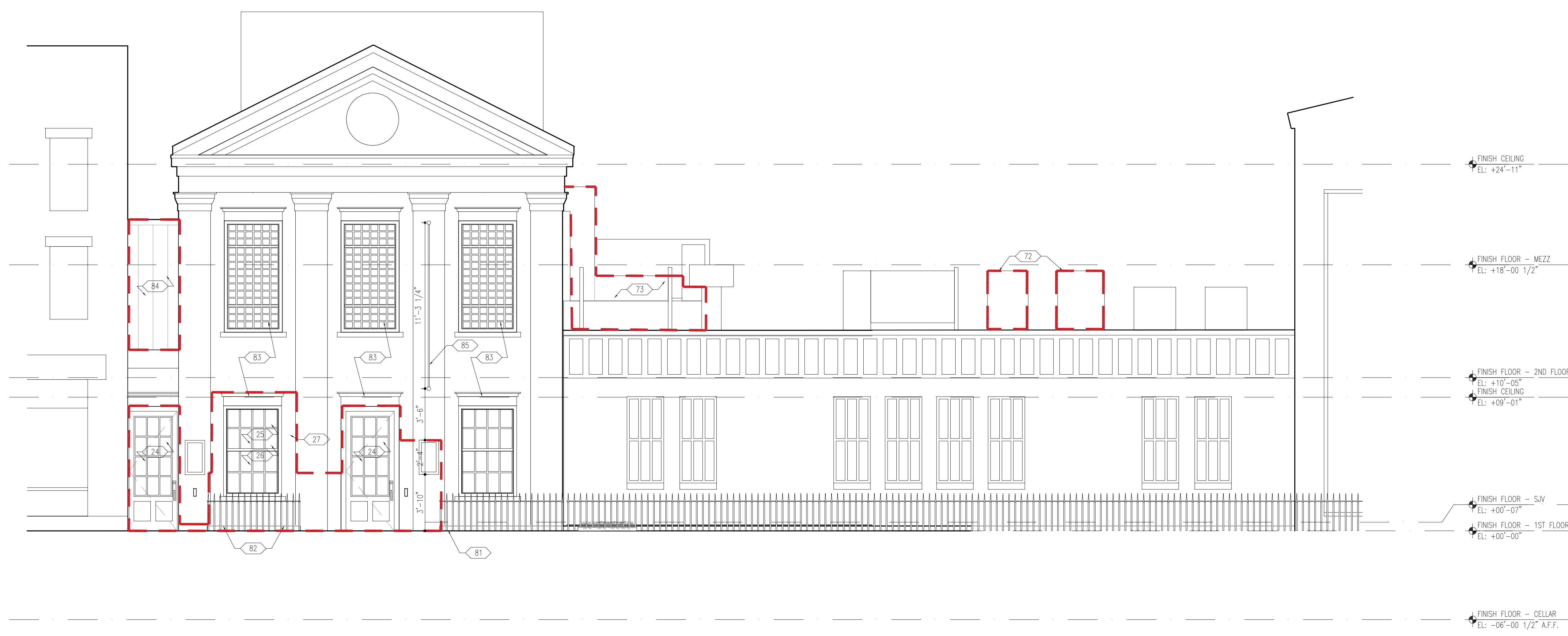
STRUCTURAL ENGINEER: SILMAN
32 OLD SLIP, 10TH FLOOR
NEW YORK, NY 10005
212.620.7870

GEOTECH. ENGINEER: GZA GEOENVIRONMENTAL
104 W. 29TH ST., 10TH FLOOR
NEW YORK, NY 10001
646.929.8956

ELEVATOR CONSULTANT: YDA
120 EAGLE ROCK AVE, STE 310
EAST HANOVER, NJ 07936
973.994.9220

CODE CONSULTANT/ EXPEDITOR: WILLIAM VITACCO ASSOCIATES
299 BROADWAY, 5TH FLOOR
NEW YORK, NY 10007
212.791.4578

BUILDING SYSTEMS ENGINEER: DERIVE ENGINEERS
665 BROADWAY
NEW YORK, NY 10012
646.866.8933



1 BUILDING ELEVATION: CONSTRUCTION
SCALE: 1/4" = 1'-0"

CONSTRUCTION LEGEND

- SCOPE OF WORK
- EXISTING TO REMAIN
- NEW WALL/FLOOR ELEMENT
- ABOVE
- AREA OF NEW CONSTRUCTION
- SCOPE ITEM

- CONSTRUCTION NOTES**
- 10 INTERIOR WALLS
 - 11 NEW INTERIOR PARTITION
 - 12 NEW ACOUSTICALLY FORTIFIED INTERIOR PARTITION
 - 13 NEW 2-HR FIRE RATED PARTITION
 - 20 DOORS & WINDOWS
 - 21 NEW INTERIOR DOOR
 - 22 NEW INTERIOR DOOR - FIRE RATED AND/OR ACOUSTICAL AS NEEDED
 - 23 RELOCATE EXISTING INTERIOR DOOR
 - 24 NEW EXTERIOR DOOR
 - 25 RELOCATE EXTERIOR DOOR/WINDOW, REFRAME AS NECESSARY
 - 26 RELOCATE SECURITY GATE
 - 27 RELOCATE WINDOW DOOR OPENING TO MATCH EXISTING
 - 28 BLACKOUT SYSTEM AT WINDOWS
 - 29 NEW INTERIOR WINDOW
- 30 FLOOR**
- 31 NEW FLOOR
 - 32 NEW STAIR
 - 33 NEW TERRAZZO FLOOR/STAIR FINISH, SUBSTRATE AS REQUIRED
 - 34 NEW HARDWOOD FLOOR FINISH
 - 35 NEW RESILIENT FLOORING FINISH
 - 36 NEW CARPET FLOOR FINISH
 - 37 NEW PERFORATED METAL STAIR TREADS
 - 38 OPEN METAL MESH FLOORING
 - 39 NEW CERAMIC TILE FLOOR FINISH
 - 40 CEILING
 - 41 PATCH AND PAINT CEILING
 - 42 CLASS A FABRIC-WRAPPED ACOUSTICAL PANELS AT CEILING
- 50 WALL FINISH**
- 51 PATCH AND PAINT WALLS, TRIM, AND DOORS
 - 52 TERRAZZO WAINSCOT UP TO 34" AFF
 - 53 CERAMIC TILE WALL FINISH
 - 54 CLASS A FABRIC-WRAPPED ACOUSTICAL PANELS AT WALL
 - 55 STAINLESS STEEL HANDRAIL
 - 56 ENCLOSED POWDER COATED PERFORATED METAL MESH STAIR GUARD
 - 60 MILLWORK/EQUIPMENT
 - 61 REINSTALL EXISTING SEATSLABERS
 - 62 NEW MILLWORK: DESKS, CABINETS, TABLES, MIRRORS, AND/OR SHELVES
 - 63 NEW CORIAN MILLWORK
 - 64 NEW HOLELESS HYDRAULIC COMMERCIAL ADA ELEVATOR, NO MACHINE ROOM REQUIRED, ELEVATOR AND PIT PER MANUFACTURER SPECIFICATIONS, > QDS: HYDROFIT, KONE, MONOSPACE 300, OR SIM.
 - 65 COORDINATE RELOCATION OF CONTROLS AND EQUIPMENT
 - 66 NEW INCAUNE PLATFORM LIFT, COORDINATE MOUNTING AND POWER

- 70 MEP**
- 71 COORDINATE NEW MECHANICAL/ELECTRICAL/PLUMBING
 - 72 RECONFIGURE MECHANICAL AS REQ'D
 - 73 RELOCATE DUCT
 - 74 NEW PLUMBING FIXTURE (TOILETS TO BE TOTO WALL-HUNG, FAUCETS TO BE DORBRACHT TOUCHLESS, LAVATORY TO BE CERAMIC, TYP.)
 - 75 NEW RECESSED LIGHTING
 - 76 PROVIDE ALLOWANCE FOR NEW LIGHTING
- 80 EXTERIOR**
- 81 MODIFY PLANTER AND FENCE
 - 82 RELOCATE PLANTER AND FENCE TO MATCH EXISTING
 - 83 PAINT/PREPARE EXTERIOR WINDOWS AND DOORS AS REQUIRED
 - 84 NEW EXTERIOR WALL/ROOF
 - 85 NEW BANNER SIGN

NO.	DATE	DESCRIPTION
1	2022.04.01	FILING DRAWINGS

RATTLESTICK PLAYWRIGHTS THEATER

224 WAVERLY PLACE
NEW YORK, NY 10014

DRAWING TITLE: BUILDING ELEVATIONS - CONSTRUCTION

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	DRAWING NO: A-400.00
	PAGE: OF

LANDLORD: ST. JOHN'S IN THE VILLAGE
224 WAVERLY PLACE
NEW YORK, NY 10014
212.243.6192

OWNER'S REP: CIRGENSKI + COMPANY
233 BROADWAY, STE 710
NEW YORK, NY 10279
917.418.0469

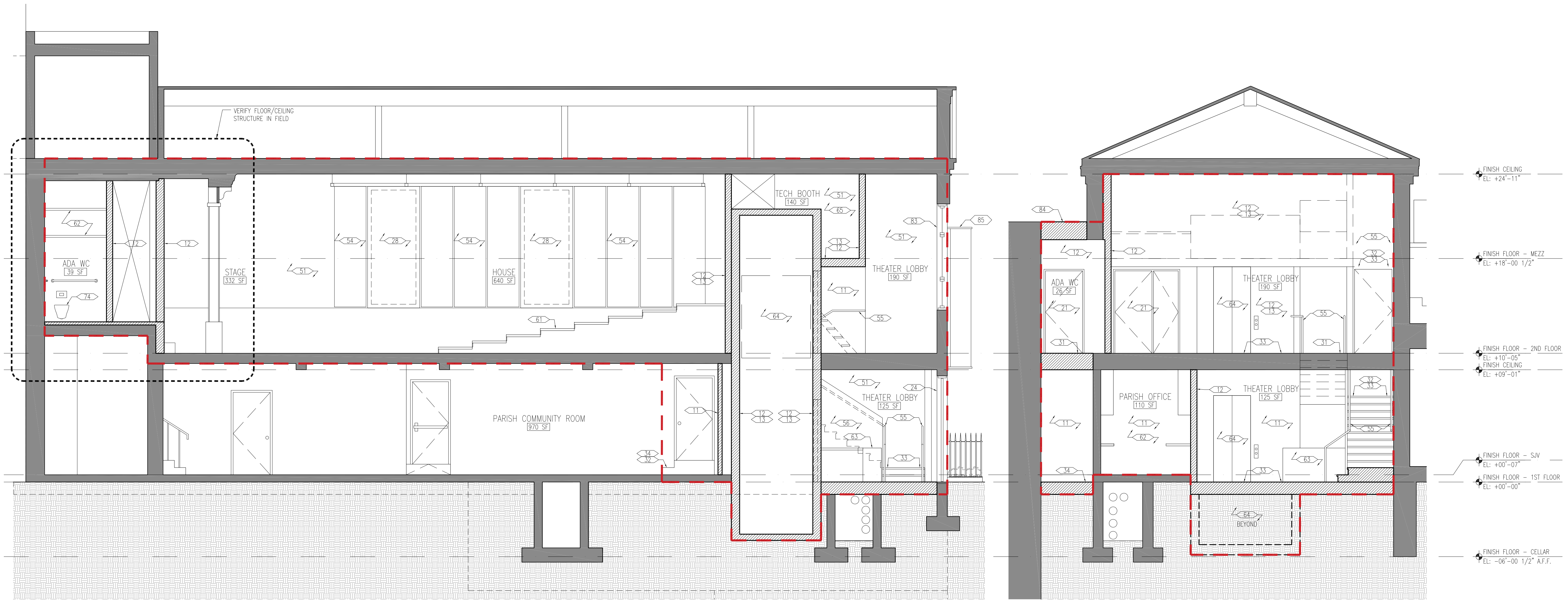
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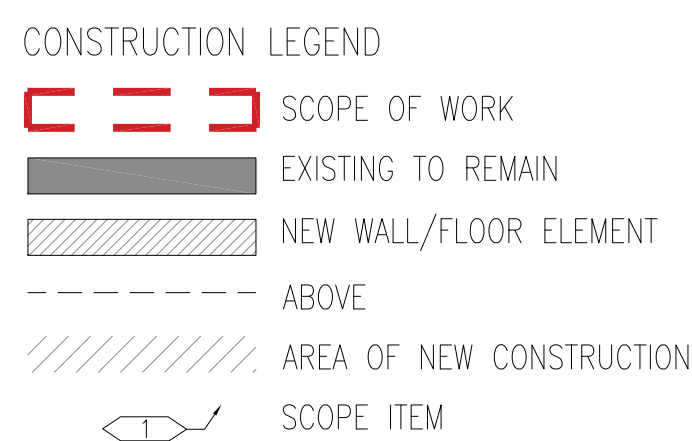
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BUILDING SYSTEMS ENGINEER: DERIVE ENGINEERS
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NEW YORK, NY 10012
646.866.6933



2 BUILDING SECTION: CONSTRUCTION
SCALE: 1/4" = 1'-0"

1 BUILDING SECTION: CONSTRUCTION
SCALE: 1/4" = 1'-0"



- CONSTRUCTION NOTES**
- 10 INTERIOR WALLS
 - 11 NEW INTERIOR PARTITION
 - 12 NEW ACOUSTICALLY FORTIFIED INTERIOR PARTITION
 - 13 NEW 2-HR FIRE RATED PARTITION
 - 20 DOORS & WINDOWS
 - 21 NEW INTERIOR DOOR
 - 22 NEW INTERIOR DOOR - FIRE RATED AND/OR ACOUSTICAL AS NEEDED
 - 23 RELOCATE EXISTING INTERIOR DOOR
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 - 25 RELOCATE EXTERIOR DOOR/WINDOW, REFRAME AS NECESSARY
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 - 28 BLACKOUT SYSTEM AT WINDOWS
 - 29 NEW INTERIOR WINDOW

- FLOOR**
- 30 FLOOR
 - 31 NEW FLOOR
 - 32 NEW STAIR
 - 33 NEW TERRAZZO FLOOR/STAIR FINISH, SUBSTRATE AS REQUIRED
 - 34 NEW HARDWOOD FLOOR FINISH
 - 35 NEW RESILIENT FLOORING FINISH
 - 36 NEW CERAMIC TILE FLOOR FINISH
 - 37 NEW PERFORATED METAL STAIR TREADS
 - 38 OPEN METAL MESH FLOORING
 - 39 NEW CERAMIC TILE FLOOR FINISH
 - 40 CEILING
 - 41 PATCH AND PAINT CEILING
 - 42 CLASS A FABRIC-WRAPPED ACOUSTICAL PANELS AT CEILING

- WALL FINISH**
- 51 PATCH AND PAINT WALLS, TRIM, AND DOORS
 - 52 TERRAZZO MANGROTT UP TO 34" AFF
 - 53 CERAMIC TILE WALL FINISH
 - 54 CLASS A FABRIC-WRAPPED ACOUSTICAL PANELS AT WALL
 - 55 STAINLESS STEEL HANDRAIL
 - 56 ENCLOSED POWDER COATED PERFORATED METAL MESH STAIR GUARD
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 - 62 NEW MILLWORK: DESKS, CABINETS, TABLES, MIRRORS, AND/OR SHELVES
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 - 65 COORDINATE RELOCATION OF CONTROLS AND EQUIPMENT
 - 66 NEW INCUBATE PLATFORM LIFT, COORDINATE MOUNTING AND POWER

- MEP**
- 71 COORDINATE NEW MECHANICAL/ELECTRICAL/PLUMBING
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 - 73 RELOCATE DUCT
 - 74 NEW PLUMBING FIXTURE (TOILETS TO BE TOTO WALL-HUNG, FAUCETS TO BE DORBRACHT TOUCHLESS, LAVATORY TO BE CERAMIC, TYP.)
 - 75 NEW RECESSED LIGHTING
 - 76 PROVIDE ALLOWANCE FOR NEW LIGHTING

- FINISH CEILING
EL: +24'-11"
- FINISH FLOOR - MEZZ
EL: +18'-00 1/2"
- FINISH FLOOR - 2ND FLOOR
EL: +10'-06"
- FINISH CEILING
EL: +09'-01"
- FINISH FLOOR - S/W
EL: +00'-07"
- FINISH FLOOR - 1ST FLOOR
EL: +00'-00"
- FINISH FLOOR - CELLAR
EL: -06'-00 1/2" A.F.F.

NO.	DATE	DESCRIPTION
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NEW YORK, NY 10014

DRAWING TITLE: BUILDING SECTIONS - CONSTRUCTION

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