

**118 WEST 13<sup>TH</sup> STREET**

MAY 5<sup>TH</sup>, 2022

#116-120

Katharine House is one of five residences for young business women belonging to the Ladies' Christian Union. Erected according to the designs of Benjamin W. Morris, it is eight stories high and was built in 1930-31. It is a simple brick building with headers at every sixth course. Above the first floor a horizontal stone band course extends the width of the building. At the second floor, large rectangular windows are surrounded by shallow arches with stone impost blocks and keystones. Conventional small-sized double-hung windows are used for the upper floors and the building is crowned by a simple stone cornice with brick parapet. It harmonizes well with its neighbors through use of similar materials and simple straightforward detail.

TEXT FROM THE GREENWICH VILLAGE HISTORIC DISTRICT DESIGNATION REPORT

ADDRESS: 118 WEST 13TH STREET  
YEAR BUILT: 1930 - 1931  
BLOCK/LOT: 608/29  
BIN: 1010613  
CB: 102  
EXISTING MDL CLASS: HEXB - HERETOFORE ERECTED EXISTING CLASS B  
PROPOSED MDL CLASS: CAA-COMMERCIAL ALTERED CLASS A  
LANDMARK DISTRICT: YES  
ZONING DISTRICT: R6  
ZONING MAP: 12C  
EXISTING ZONING USE GROUP: 3  
PROPOSED ZONING USE GROUP: 2 (MULTY FAMILY RESIDENTIAL)  
EXISTING BUILDING CODE OCCUPANCY GROUP: J-2 (DORMITORY)  
PROPOSED BUILDING CODE OCCUPANCY GROUP: R-2  
EXISTING CONSTRUCTION CLASS: 1-FP (1938 BC)  
PROPOSED CONSTRUCTION CLASS: 1C (1968 BC)  
NUMBER OF STORIES: 7  
STREETWALL HEIGHT (FT): 79'

Greenwich Village Historic District | LP-0489



Graphic Source: Map PLUTO, Edition 18v1, Author: New York City Landmarks Preservation Commission, LCR Date: 2.20.2019

GREENWICH VILLAGE HISTORIC DISTRICT MAP

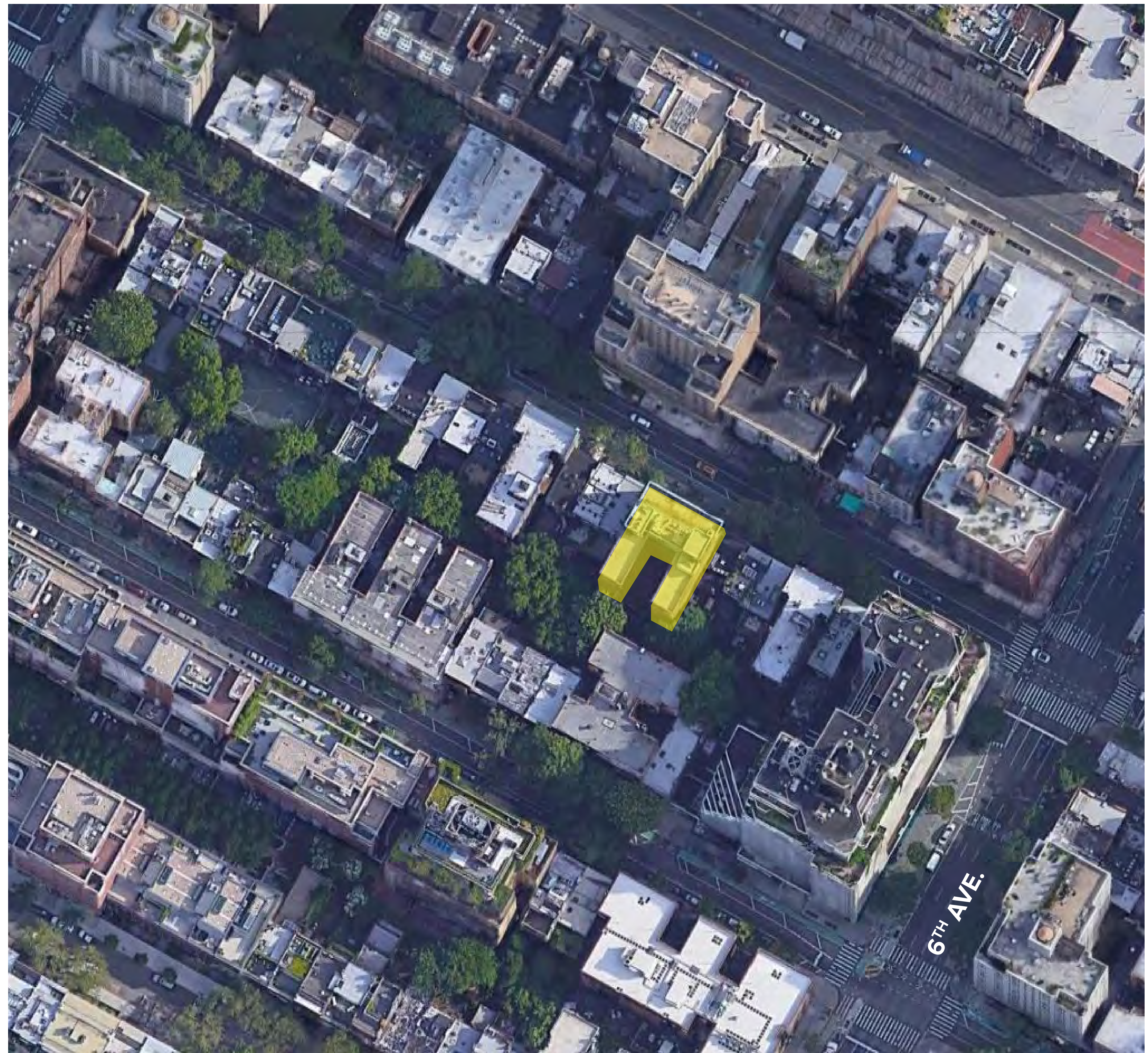
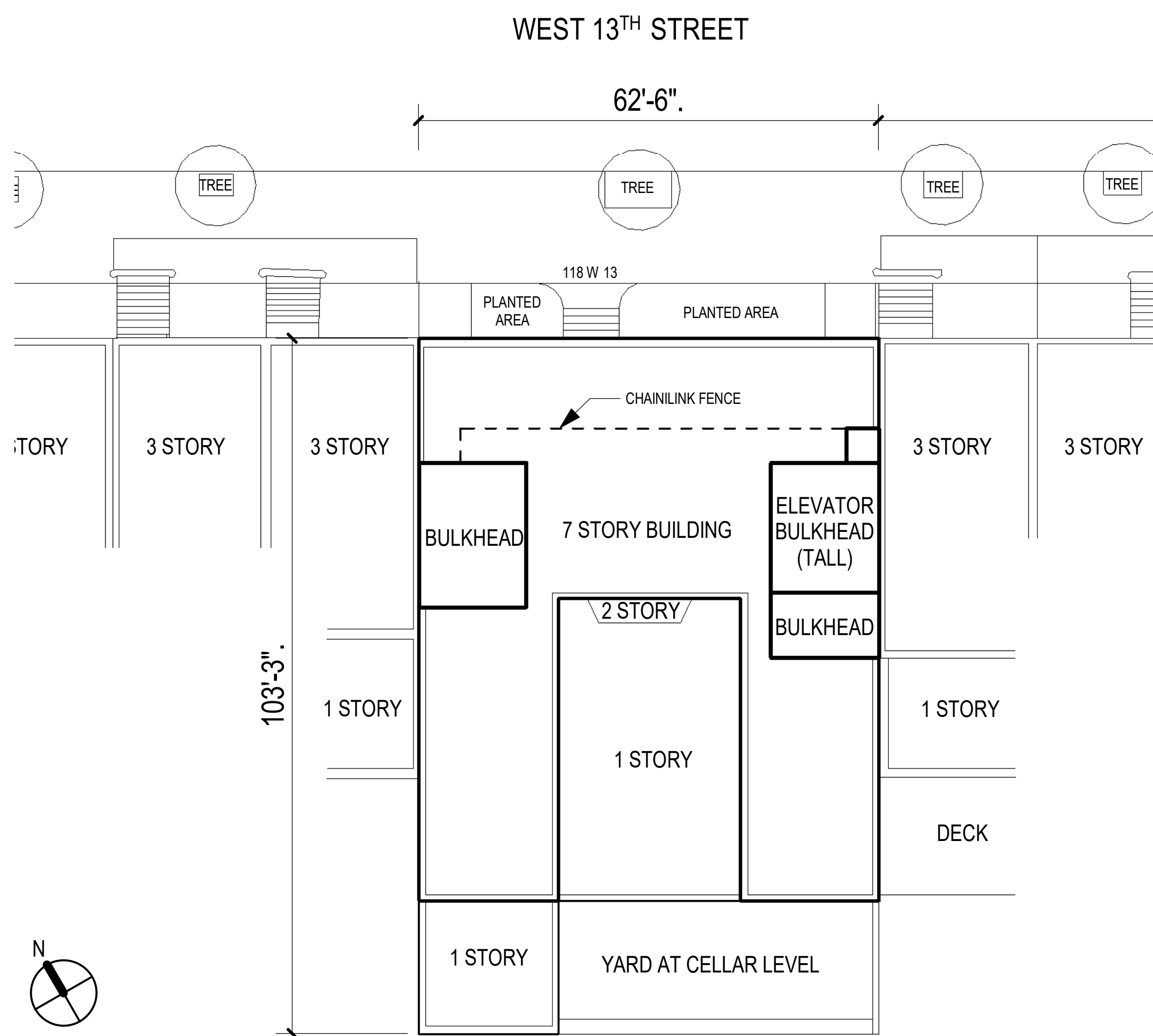


118 WEST 13TH STREET

PROPERTY SUMMARY

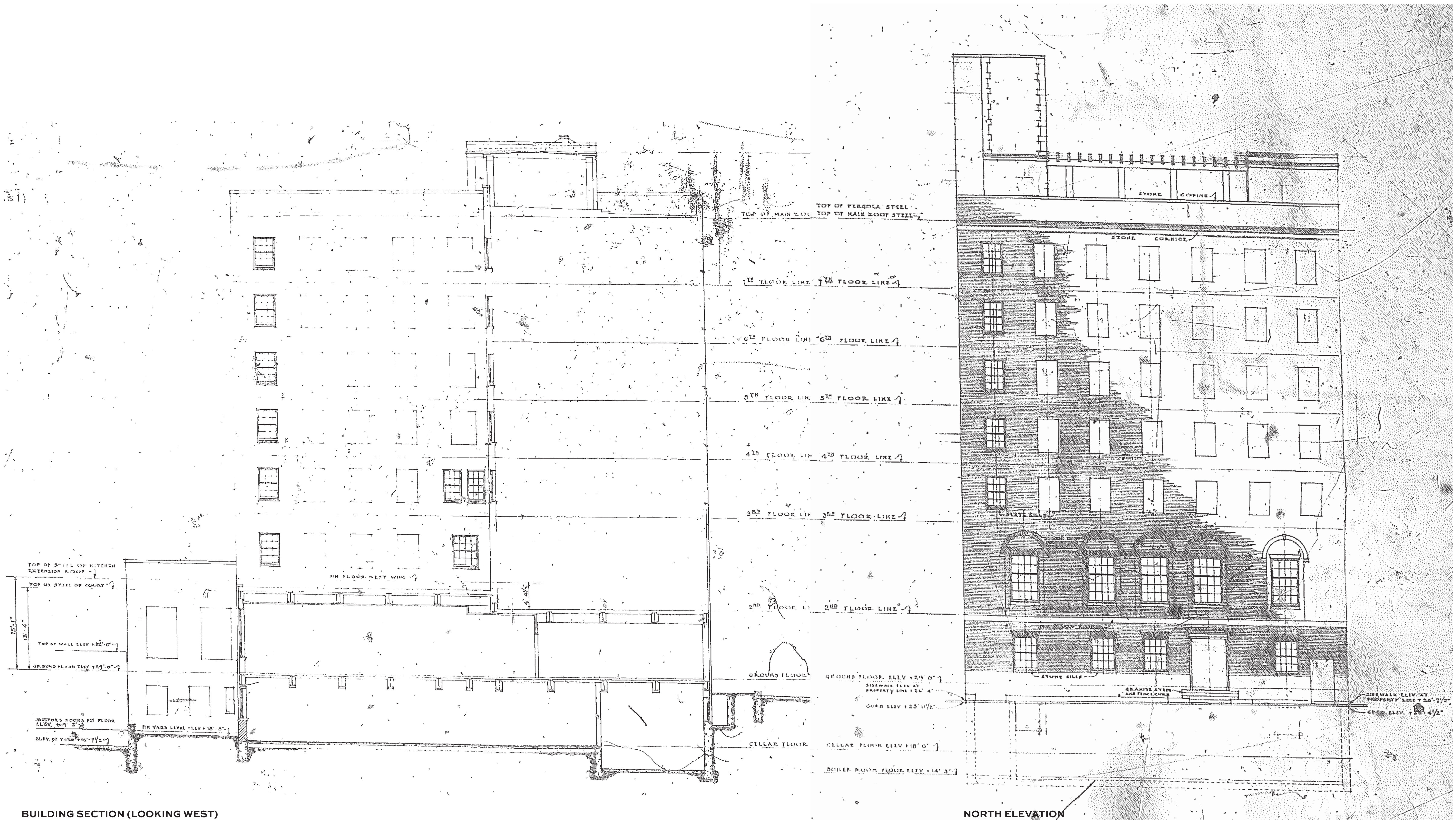
118 WEST 13TH STREET - LPC PRESENTATION





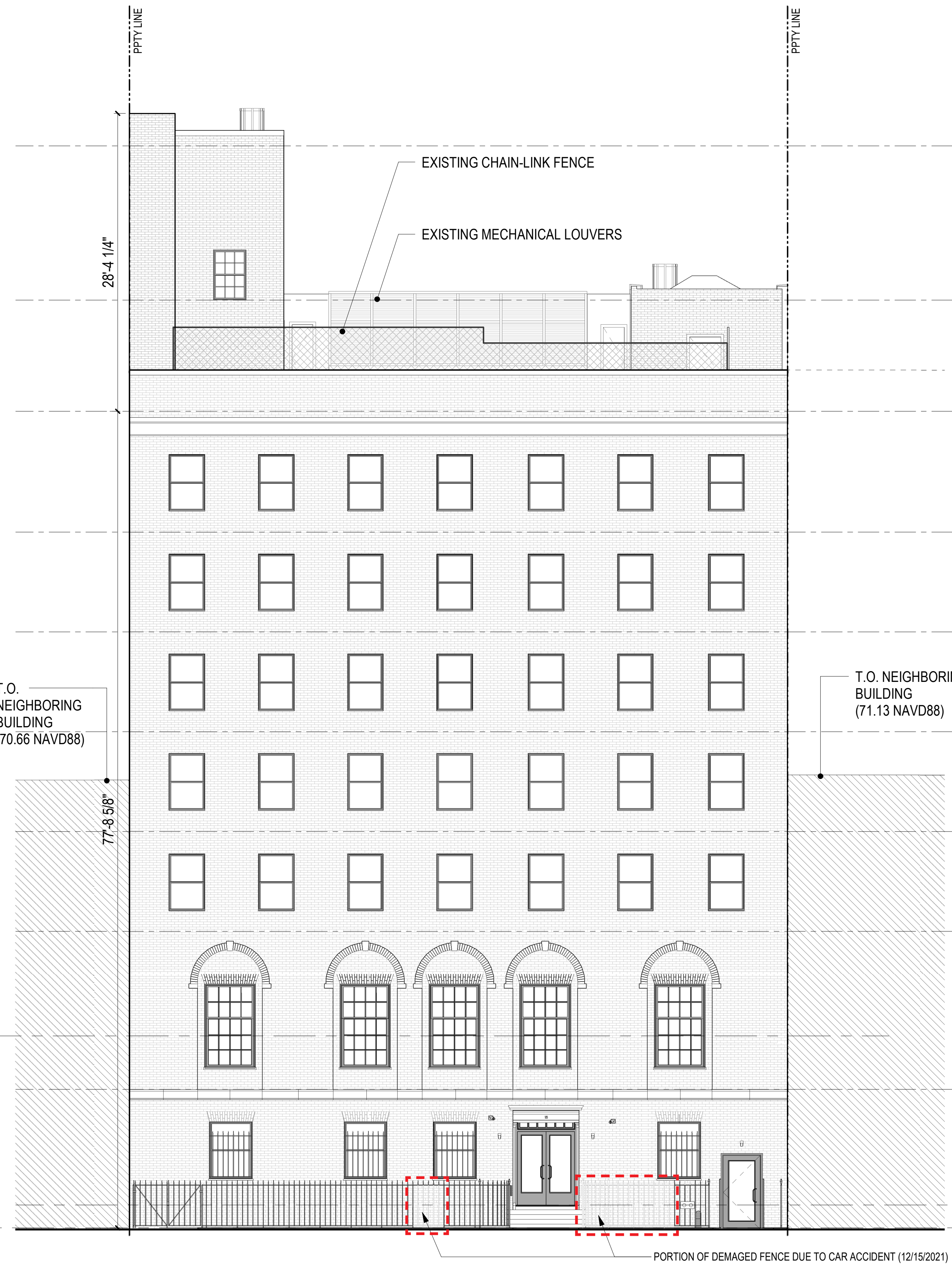
**PLOT PLAN & SATELLITE IMAGE**

118 WEST 13TH STREET - LPC PRESENTATION

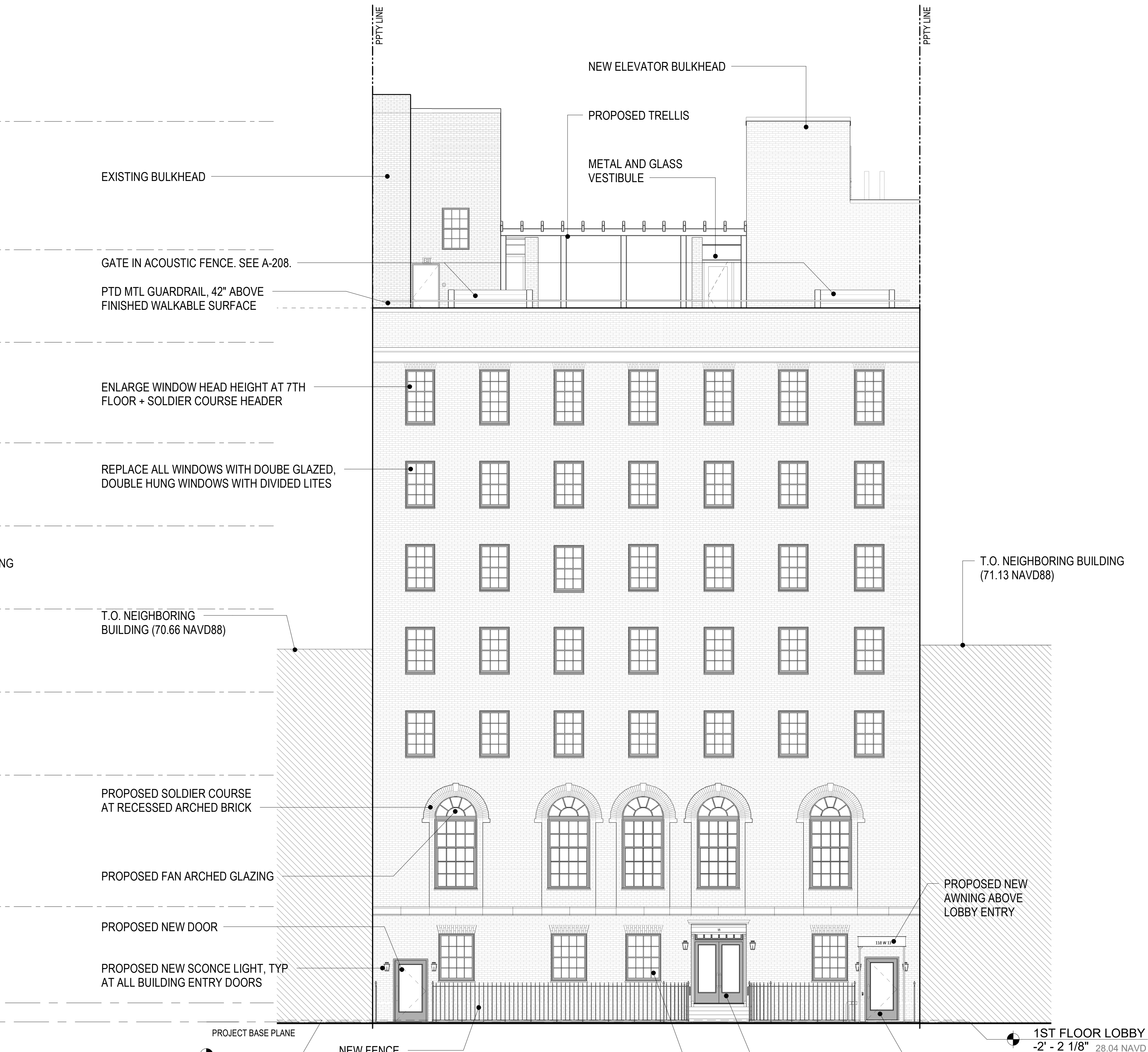


BUILDING SECTION (LOOKING WEST)

NORTH ELEVATION



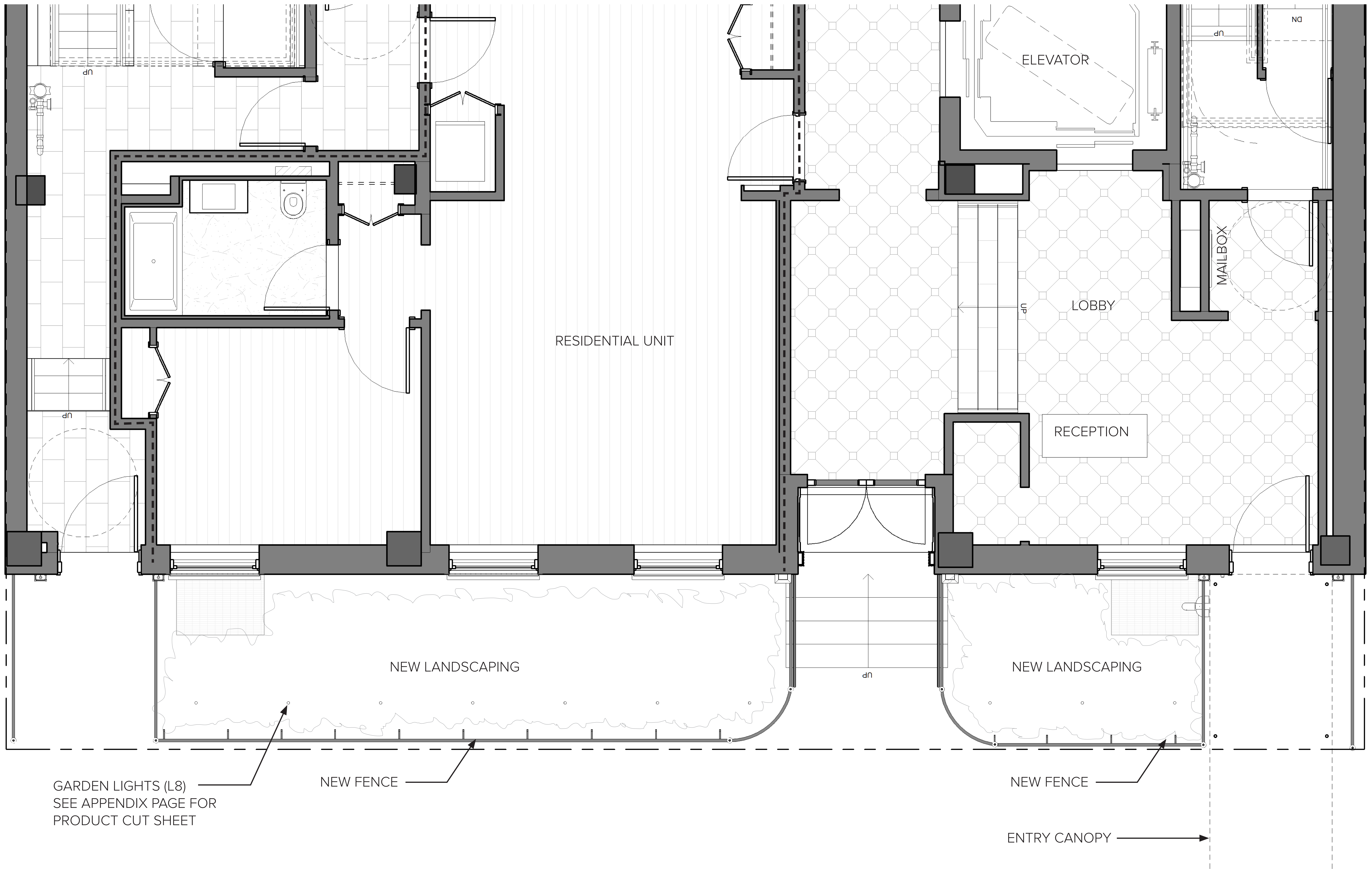
**EXISTING NORTH ELEVATION**



**PROPOSED NORTH ELEVATION**

**BUILDING ELEVATIONS**

118 WEST 13TH STREET - LPC PRESENTATION



**PROPOSED 1<sup>ST</sup> FLOOR PLAN**

118 WEST 13TH STREET - LPC PRESENTATION



EXISTING BUILDING ENTRY



PROPOSED BUILDING ENTRY









EXISTING NORTH ELEVATION 3D VIEW



PROPOSED NORTH ELEVATION 3D VIEW



171 W 12<sup>TH</sup> STREET



171 W 12<sup>TH</sup> STREET



160 W 12<sup>TH</sup> STREET



140 W 12<sup>TH</sup> STREET



125 W 12<sup>TH</sup> STREET



117 W 13<sup>TH</sup> STREET



117 W 13<sup>TH</sup> STREET

**NEIGHBORHOOD CONTEXT - ENTRY AWNINGS**

118 WEST 13TH STREET - LPC PRESENTATION



171 W 12<sup>TH</sup> STREET



145 W 12<sup>TH</sup> STREET



117 W 13<sup>TH</sup> STREET



162 W 13<sup>TH</sup> STREET



55 W 13<sup>TH</sup> STREET



208 W 13<sup>TH</sup> STREET



208 W 13<sup>TH</sup> STREET



213 W 13<sup>TH</sup> STREET



217 W 13<sup>TH</sup> STREET

**NEIGHBORHOOD CONTEXT - ARCHED WINDOWS**

118 WEST 13TH STREET - LPC PRESENTATION



162 W 13<sup>TH</sup> STREET



82 W 12<sup>TH</sup> STREET



71 W 12<sup>TH</sup> STREET



125 W 12<sup>TH</sup> STREET



124 W 13<sup>TH</sup> STREET



142 W 13<sup>TH</sup> STREET



22 W 12<sup>TH</sup> STREET



71 W 12<sup>TH</sup> STREET

**NEIGHBORHOOD CONTEXT - SINGULAR UPPER FLOOR EXPRESSION**

118 WEST 13TH STREET - LPC PRESENTATION



107 W 13<sup>TH</sup> STREET



175 W 13<sup>TH</sup> STREET



128 W 13<sup>TH</sup> STREET



123 W 13<sup>TH</sup> STREET



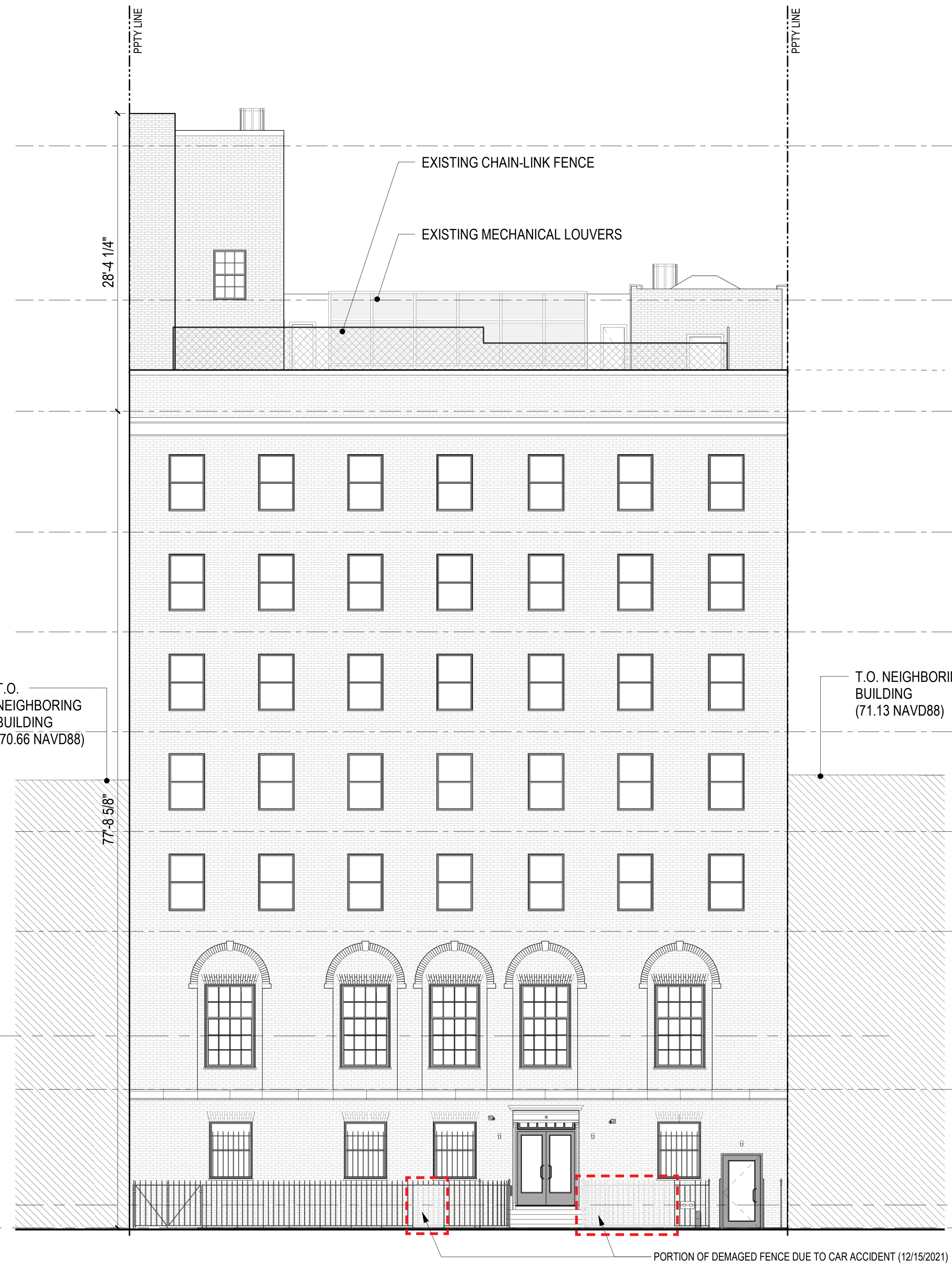
123 W 13<sup>TH</sup> STREET



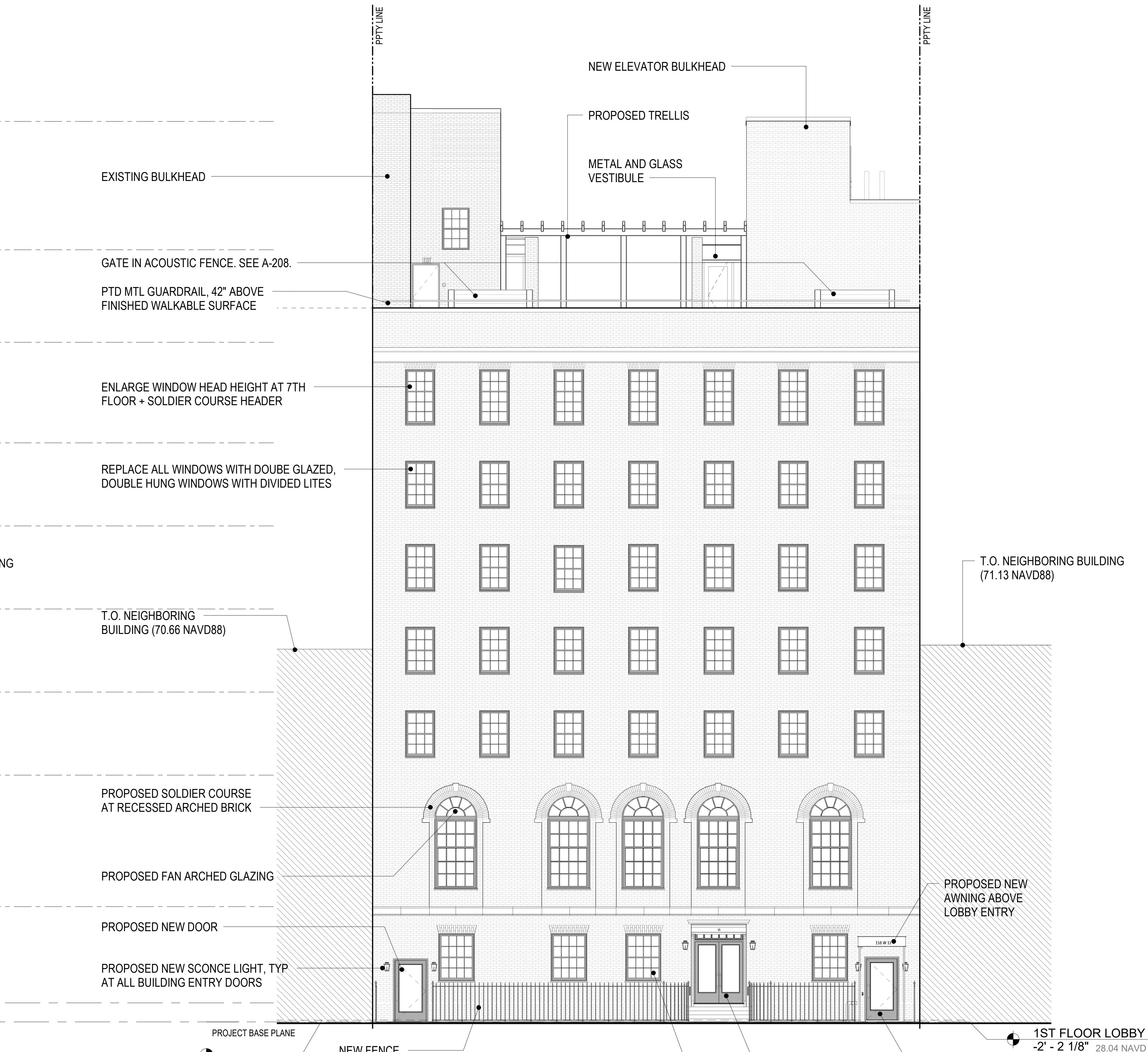
123 W 13<sup>TH</sup> STREET



128 W 13<sup>TH</sup> STREET



**EXISTING NORTH ELEVATION**



**PROPOSED NORTH ELEVATION**



# VISIBILITY STUDY



FRONTAL VIEW - EXISTING



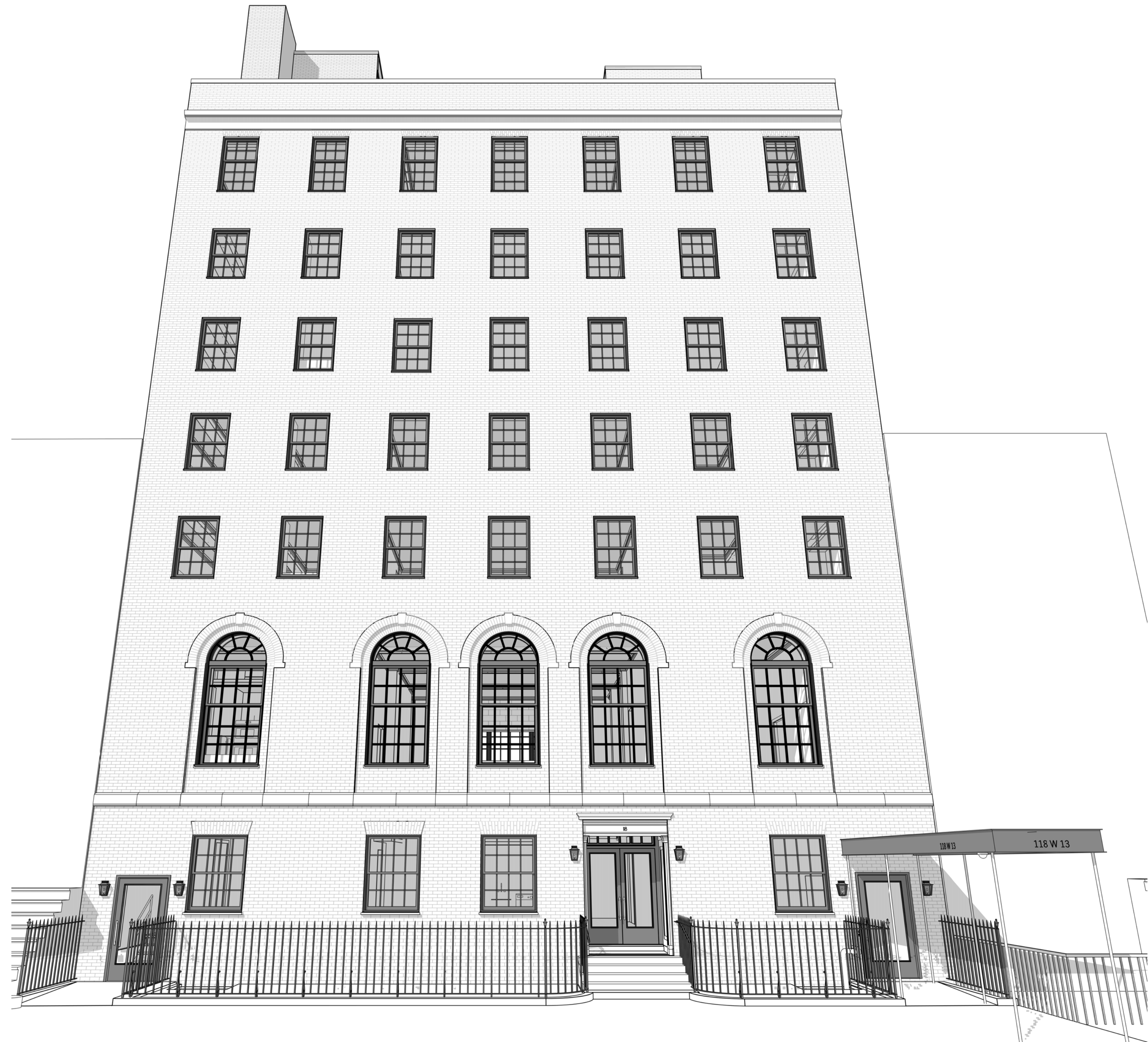
FRONTAL VIEW - WITH MOCKUP

**VISIBILITY STUDIES - FRONTAL VIEW**

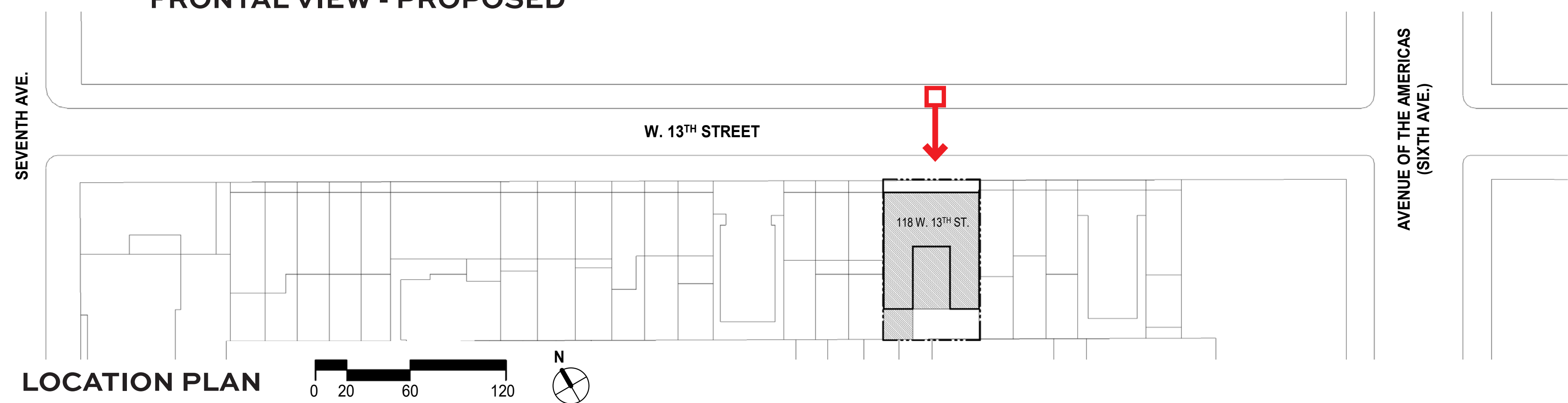
118 WEST 13TH STREET - LPC PRESENTATION



FRONTAL VIEW - EXISTING



FRONTAL VIEW - PROPOSED



LOCATION PLAN

**VISIBILITY STUDIES - FRONTAL VIEW**

118 WEST 13TH STREET - LPC PRESENTATION



VIEW FROM EAST - EXISTING



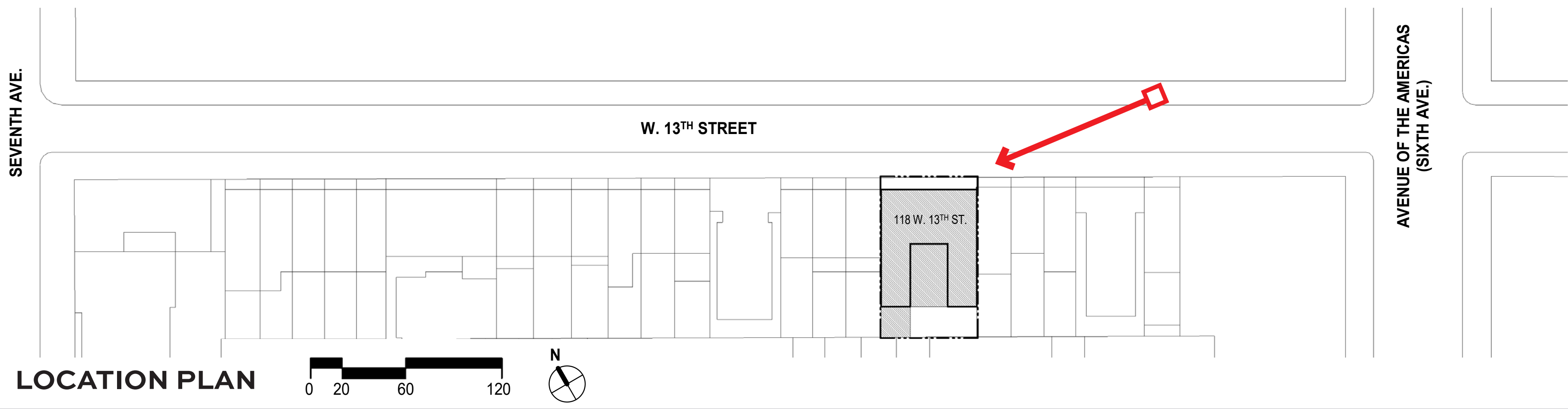
VIEW FROM EAST - WITH MOCKUP



VIEW FROM EAST - EXISTING



VIEW FROM EAST - PROPOSED



LOCATION PLAN



VIEW FROM EAST - EXISTING



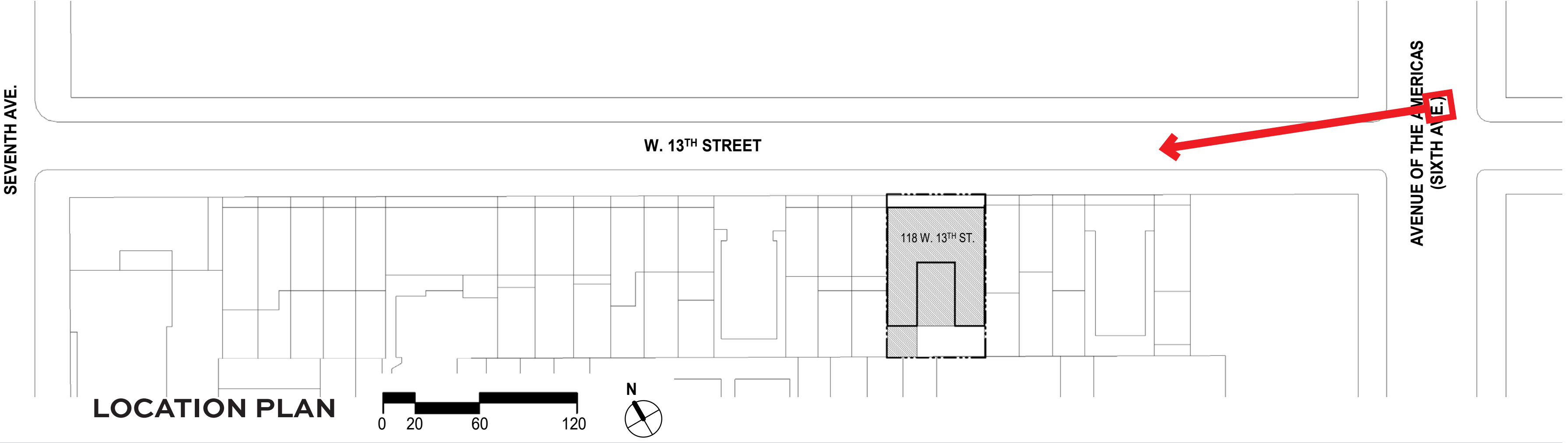
VIEW FROM EAST - WITH MOCKUP



VIEW FROM EAST- EXISTING



VIEW FROM EAST - PROPOSED





VIEW FROM WEST - EXISTING



VIEW FROM WEST - WITH MOCKUP

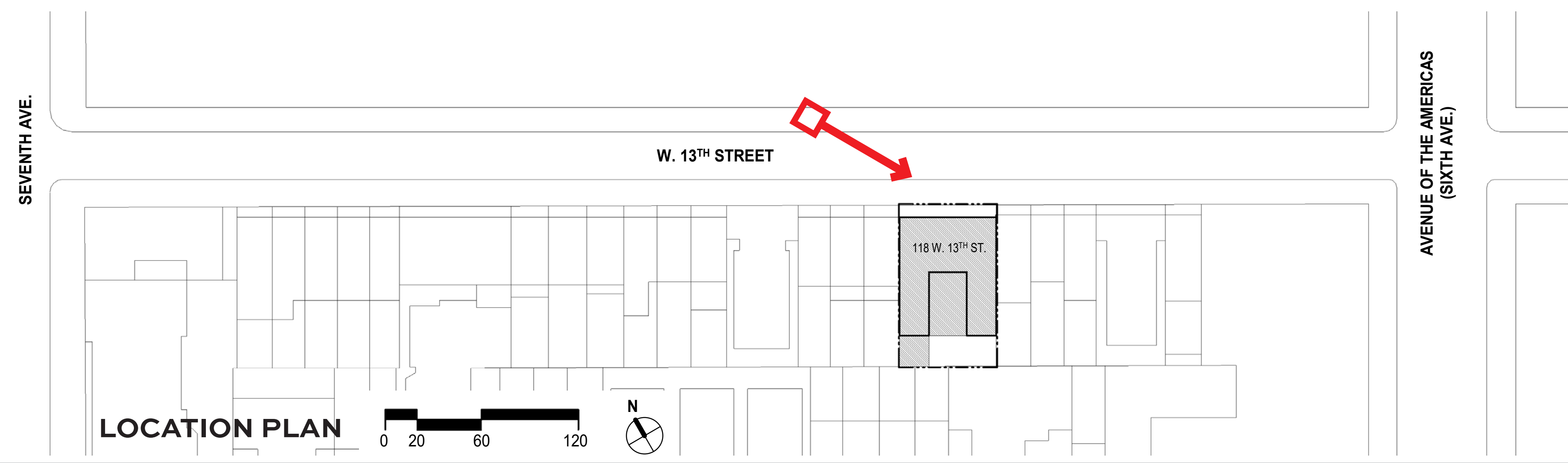




VIEW FROM WEST EXISTING



VIEW FROM WEST- PROPOSED





VIEW FROM WEST - EXISTING



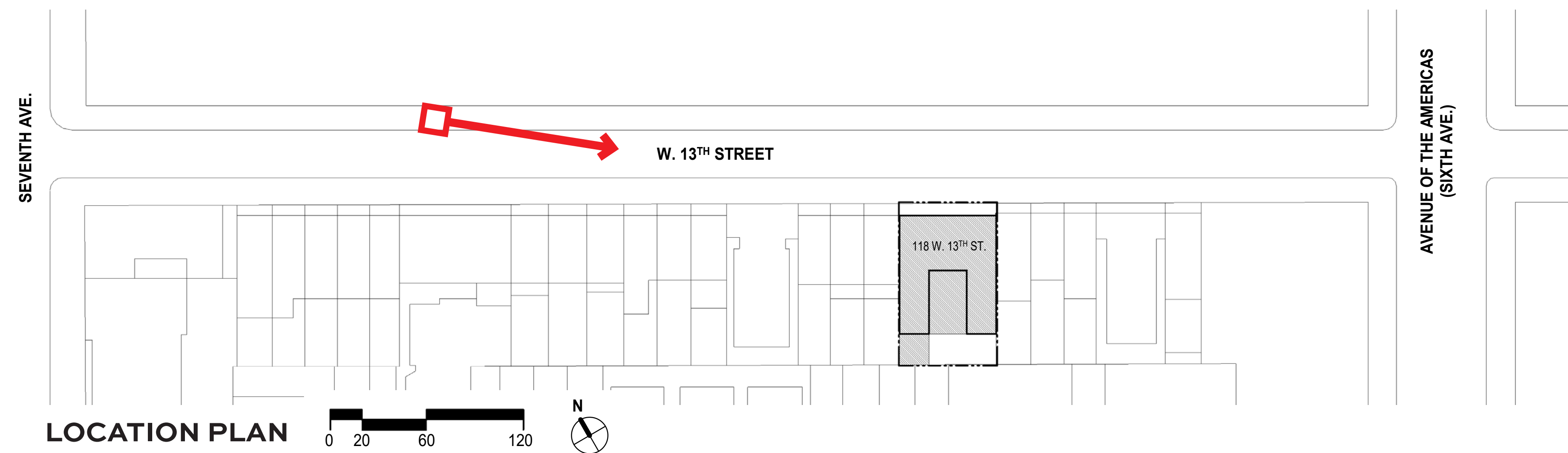
VIEW FROM WEST - WITH MOCKUP



VIEW FROM WEST EXISTING



VIEW FROM WEST- PROPOSED



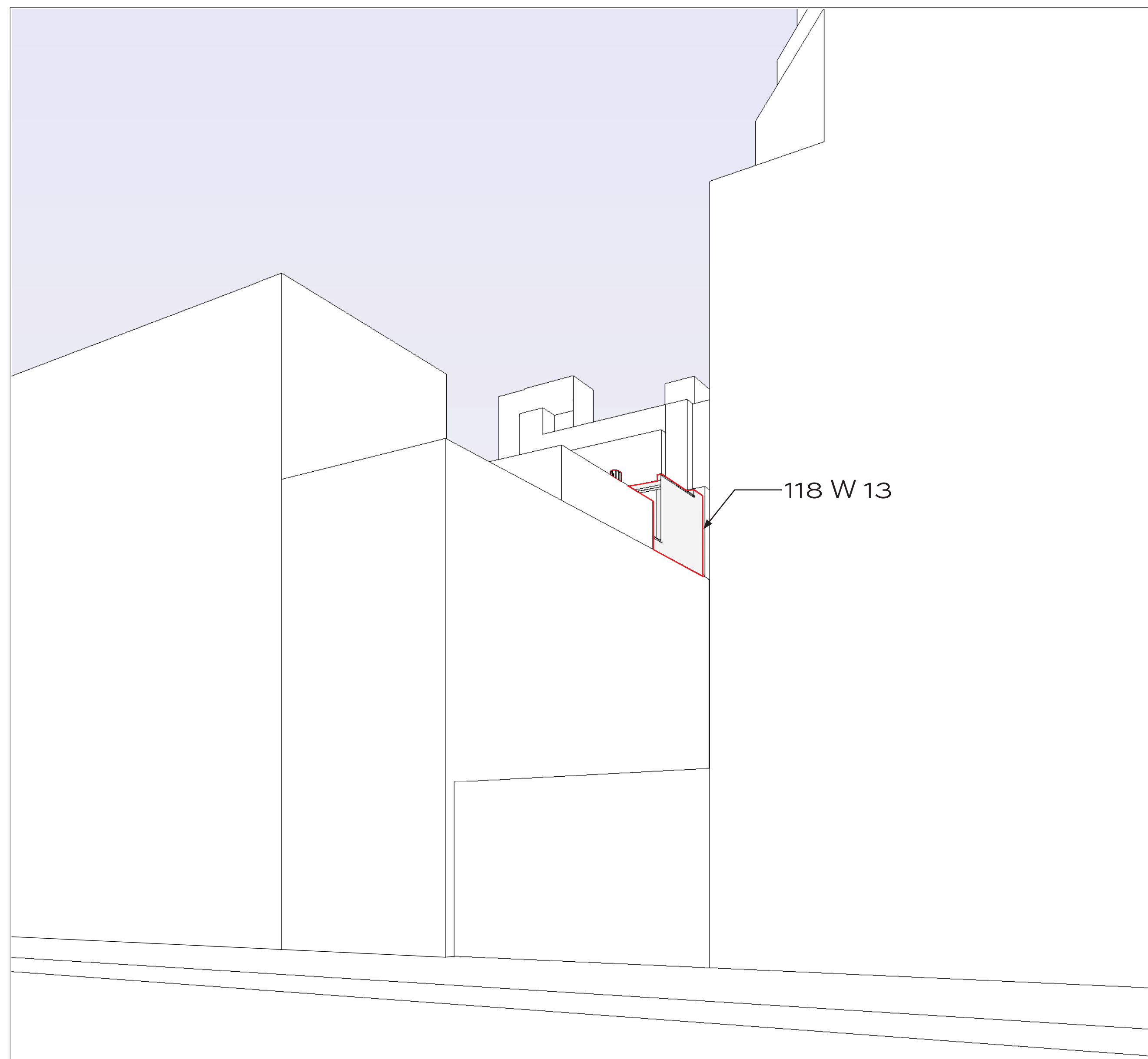


VIEW FROM 12<sup>TH</sup> STREET - EXISTING

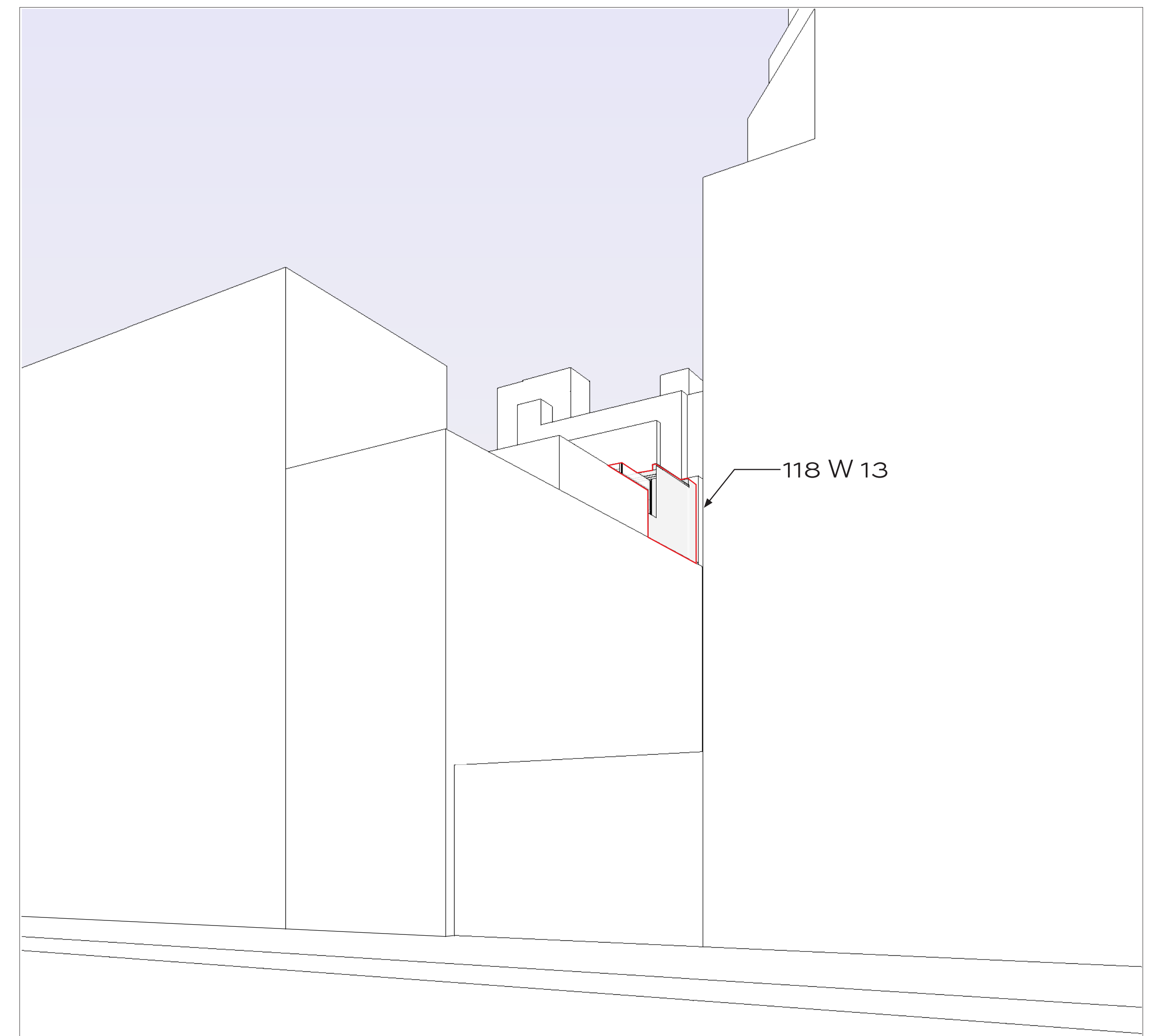


VIEW FROM 12<sup>TH</sup> STREET - WITH MOCKUP

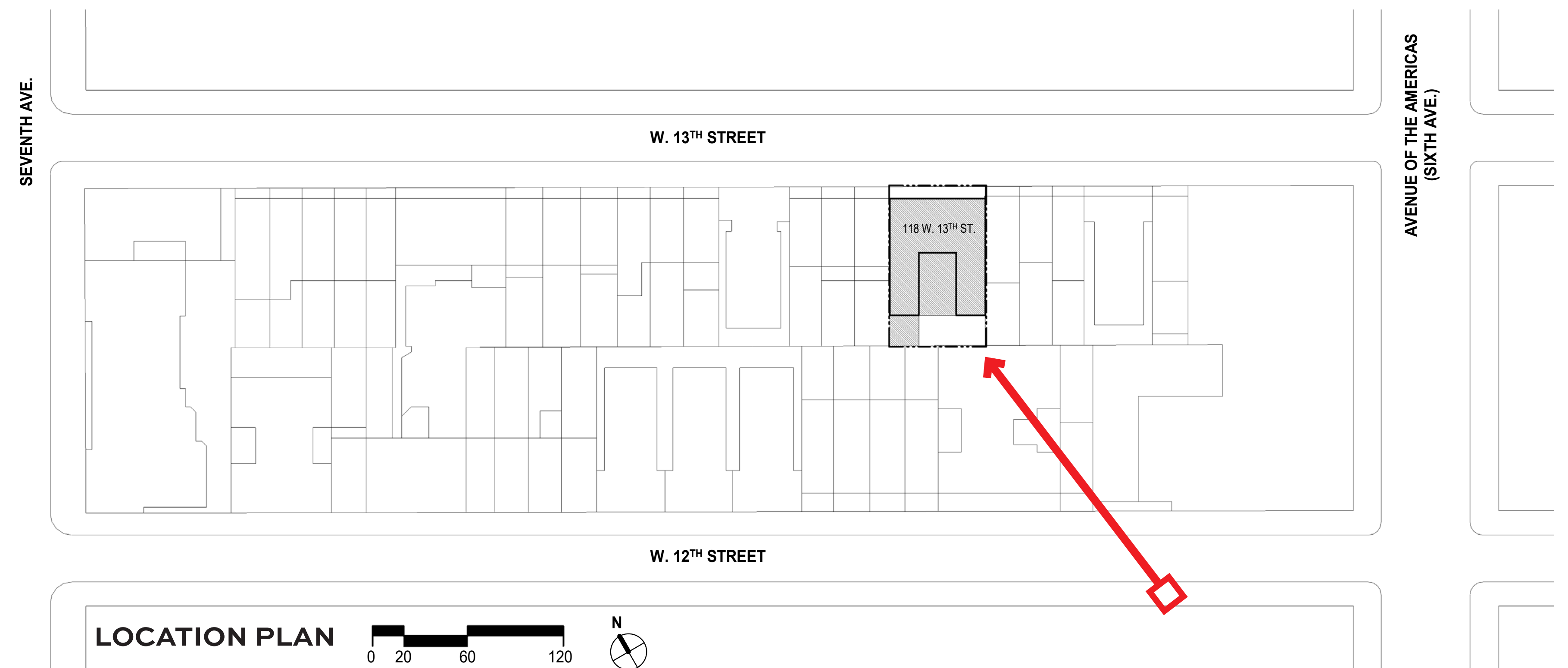




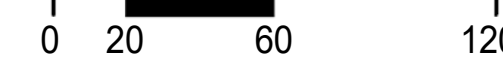
VIEW FROM 12<sup>TH</sup> STREET - EXISTING



VIEW FROM 12<sup>TH</sup> STREET - PROPOSED



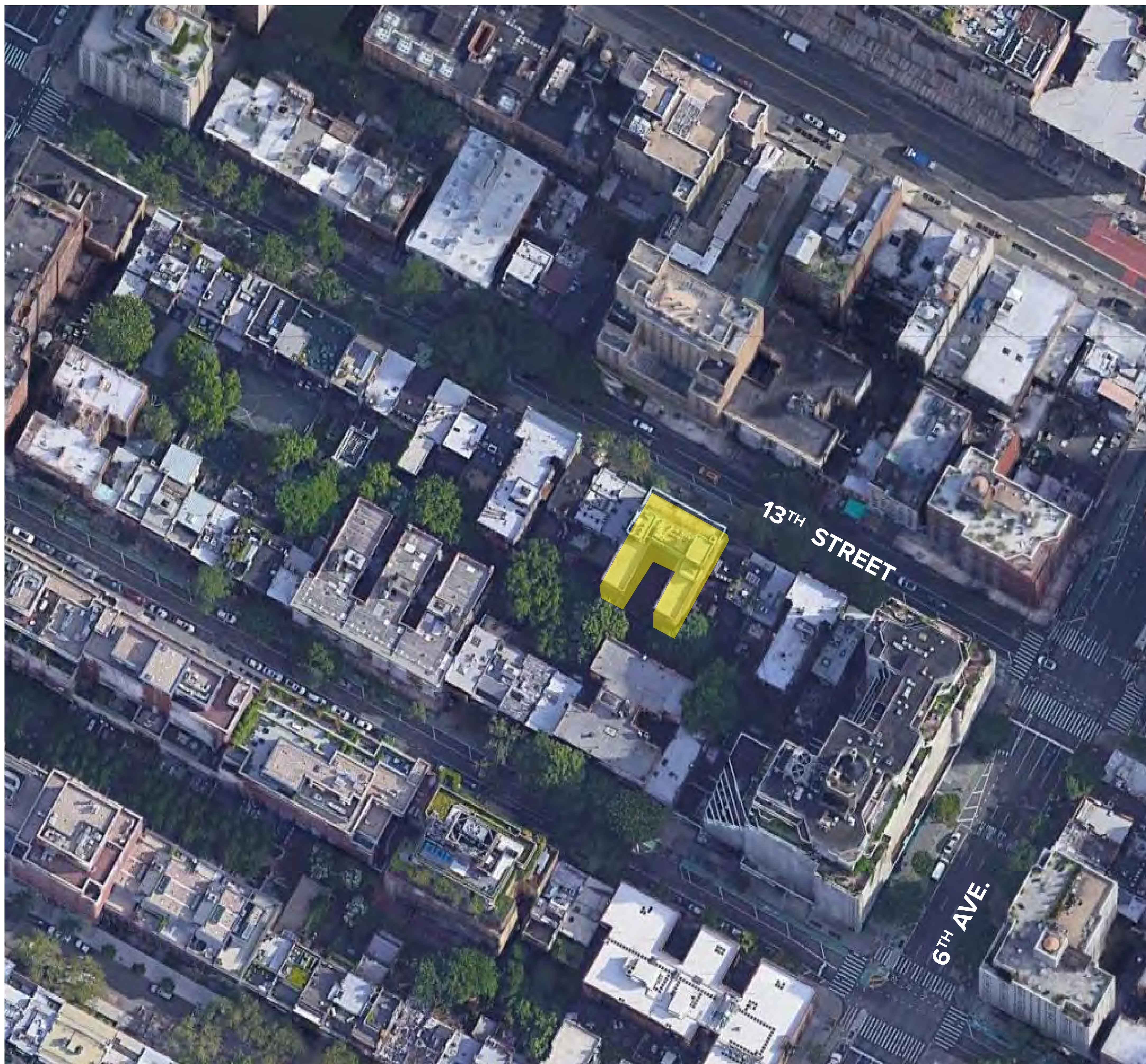
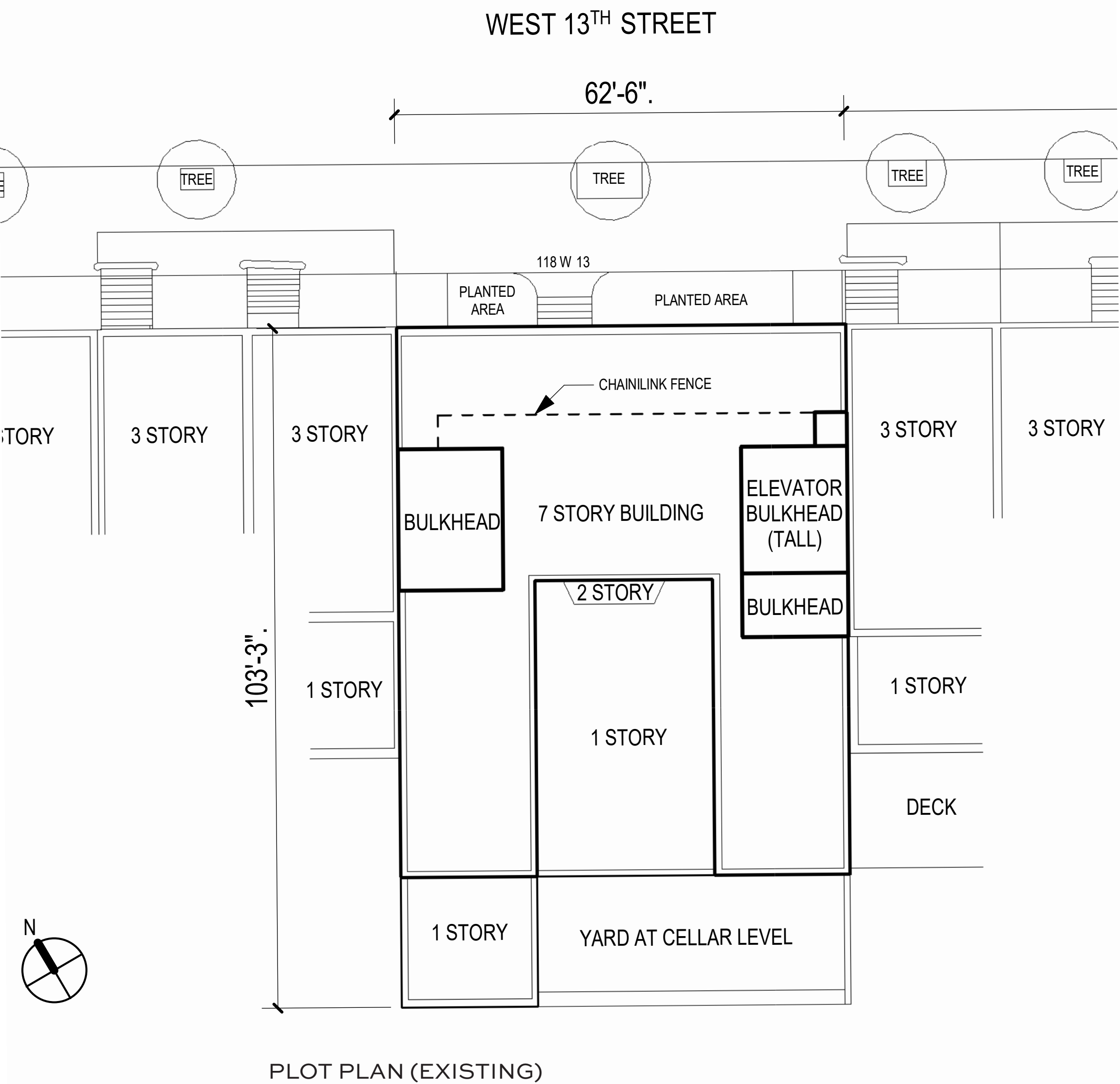
LOCATION PLAN



COURTYARD



HISTORIC PHOTO AT 2ND FLOOR COURTYARD (LOOKING SHOUTH EAST)



**PLOT PLAN & SATELLITE IMAGE**

118 WEST 13TH STREET - LPC PRESENTATION



1) COURTYARD NORTH



2) COURTYARD NORTH (2ND FLOOR BAY)



3) COURTYARD NORTH (2ND FLOOR BAY)



4) COURTYARD NORTH



5) SOUTH FACADE AT WEST WING



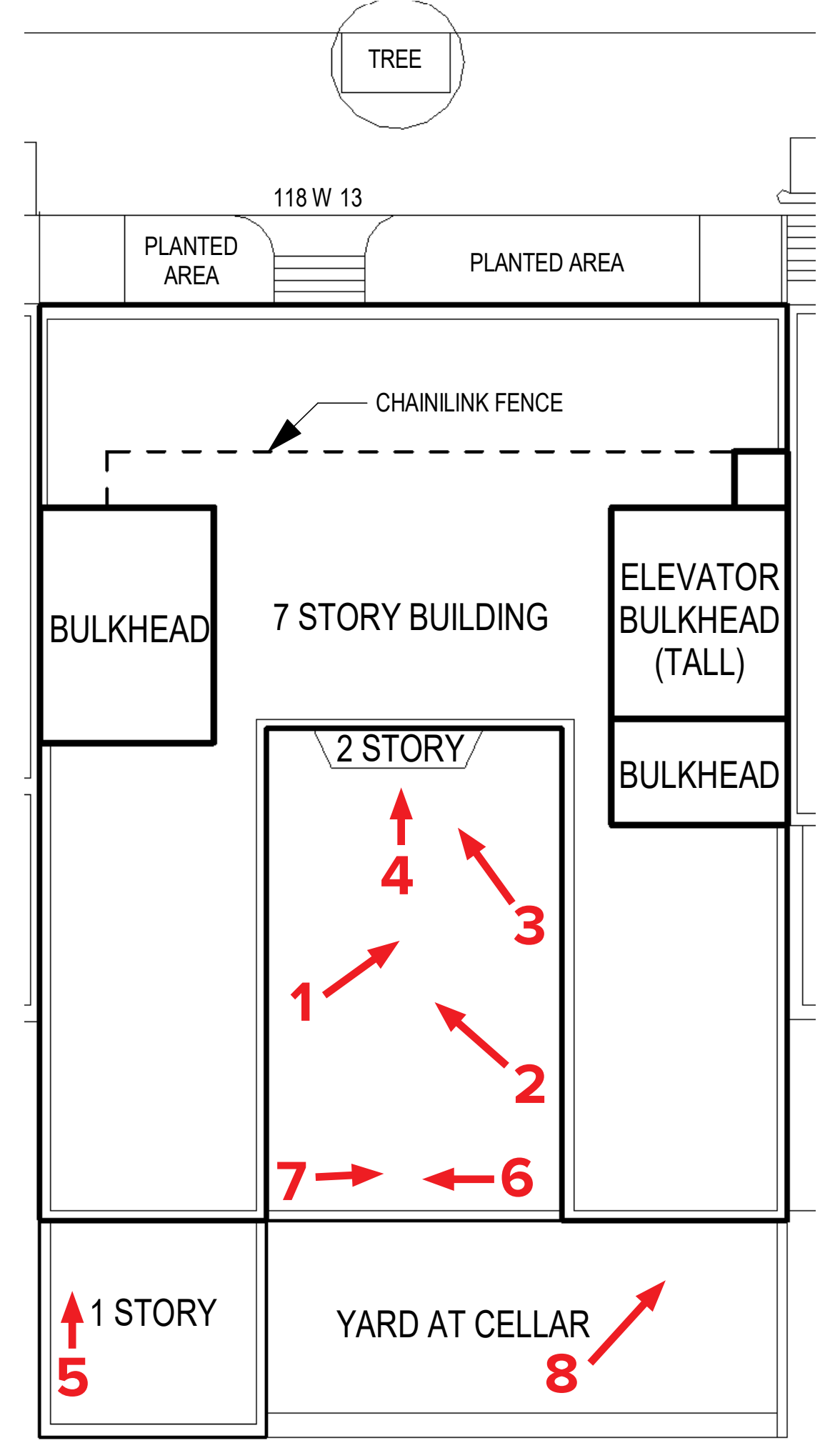
6) COURTYARD WEST WING



7) COURTYARD EAST WING



8) SOUTH FACADE AT EAST WING (LOWER FLOORS)



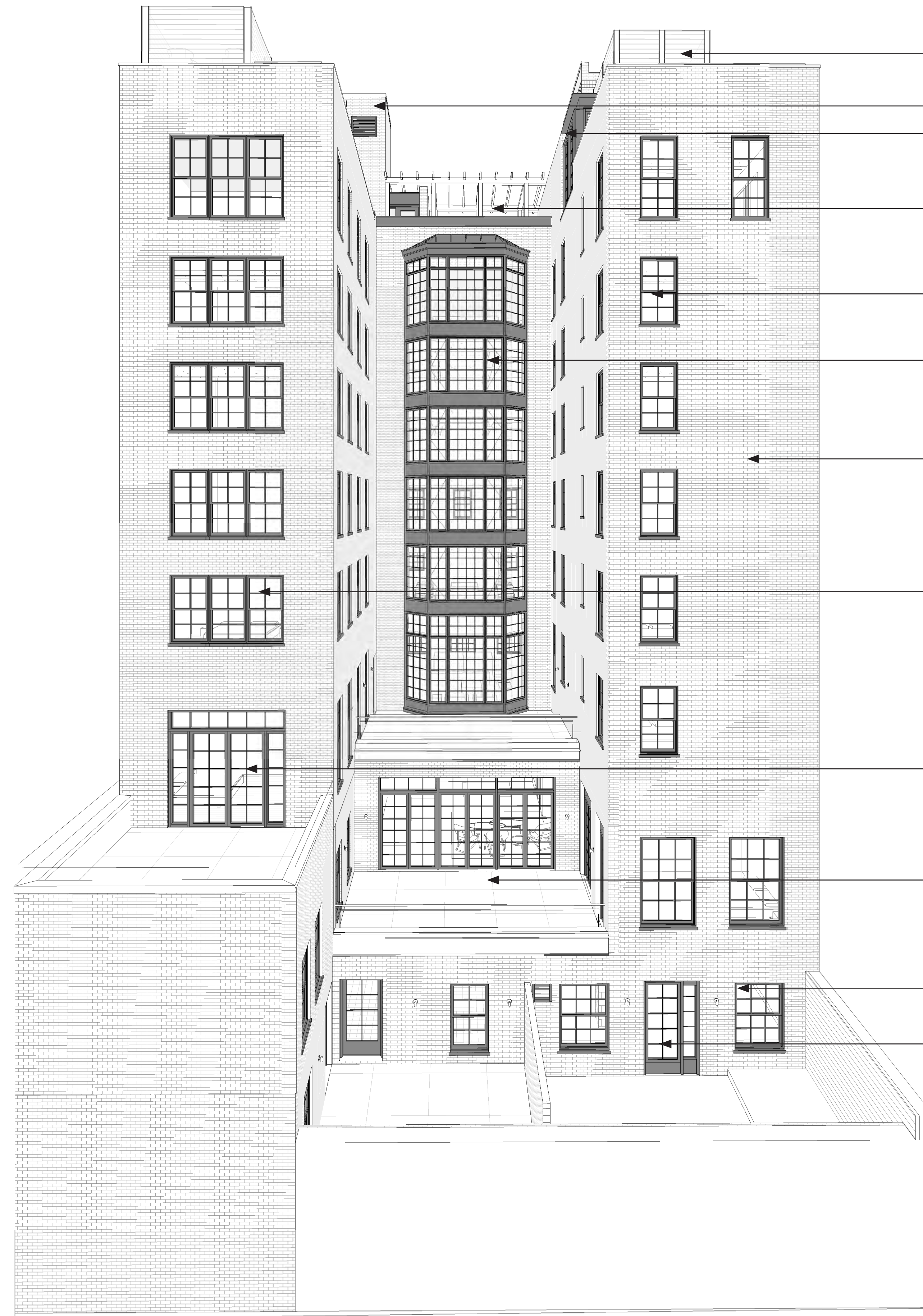
KEY PLAN

**COURTYARD PHOTOS**





REAR VIEW - EXISTING



REAR VIEW - PROPOSED

- MECHANICAL ENCLOSURE
- NEW ELEVATOR BULKHEAD
- PH ADDITION (BULK RELOCATION)
- REPLACE MECHANICAL LOUVERS WITH A PAINTED WOOD TRELLIS
- WINDOW RELOCATION TO ACCOMODATE PLAN
- REPLACE THE EXISTING SINGLE STORY BAY WINDOW WITH AN EXTRUDED BAY
- STAINED BRICK AT COURTYARD AND SOUTH FACING FACADE FOR UNIFORM READING OF FACADE REPAIRS AND TRANSITION BETWEEN EXISTING & NEW BRICK (SEE DIAGRAM AT NEXT PAGE)
- INCREASED SIZE OF GLAZING AT REAR
- NEW DOOR FOR TERRACE ACCESS
- CUT BACK BUILDING GEOMETRY. NEW TERRACE AT 1<sup>ST</sup> FLOOR. RELOCATE SF TO ROOF PH
- EXISTING WINDOW REPLACEMENT (TYP): NEW DOUBLE HUNG WINDOW WITH DIVIDED LITES IN SPIRIT OF THE ORIGINAL WINDOWS.
- NEW TERRACE DOOR FOR BUILDING AMENITY SPACE



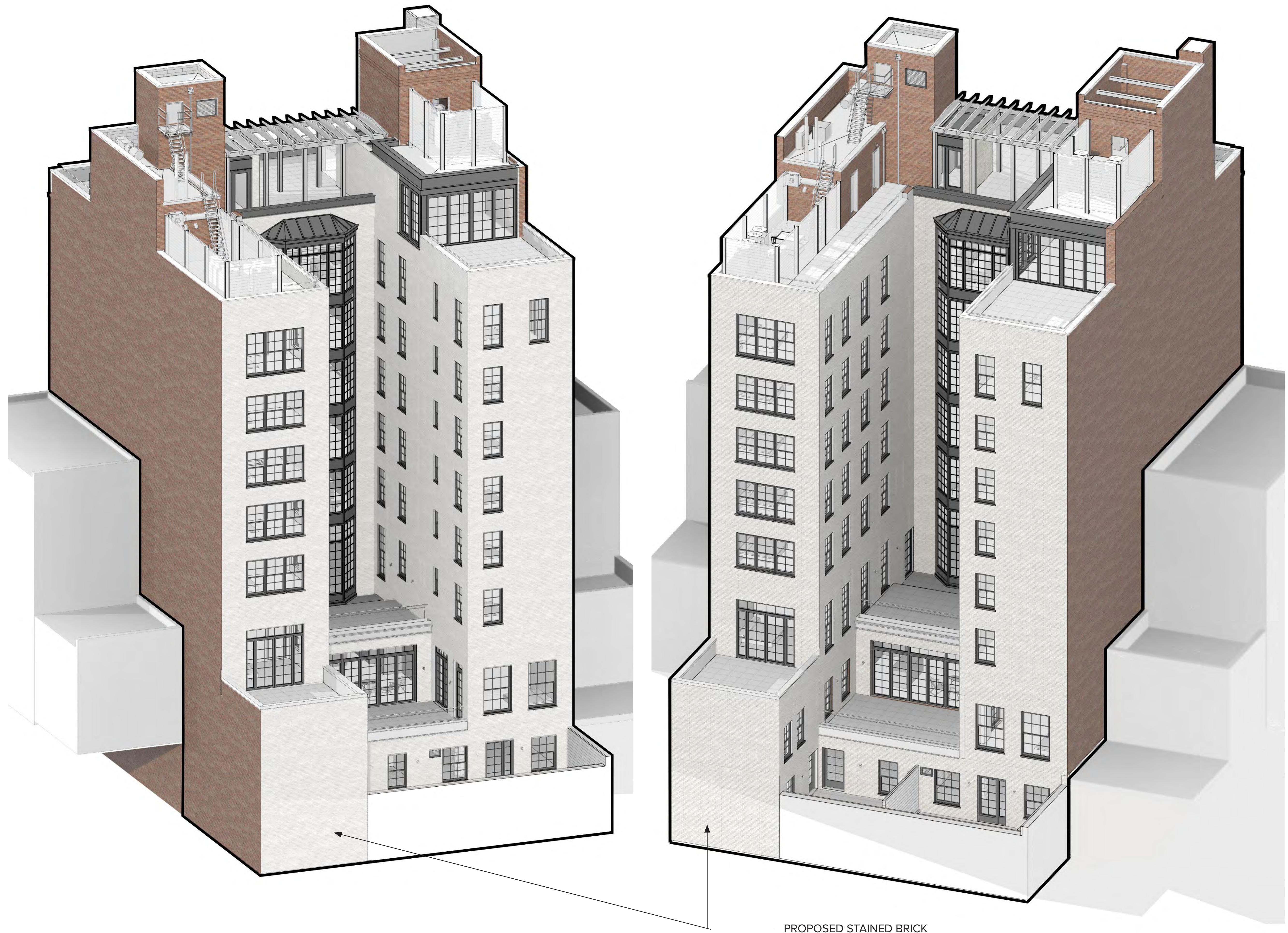
BRICK STAIN TESTS AT EXISTING COURTYARD WALL  
(KEIM COLOR NO. 9078 / 1:5 DILUTION RATIO)



EXISTING COURTYARD BRICK (WITHOUT STAIN)

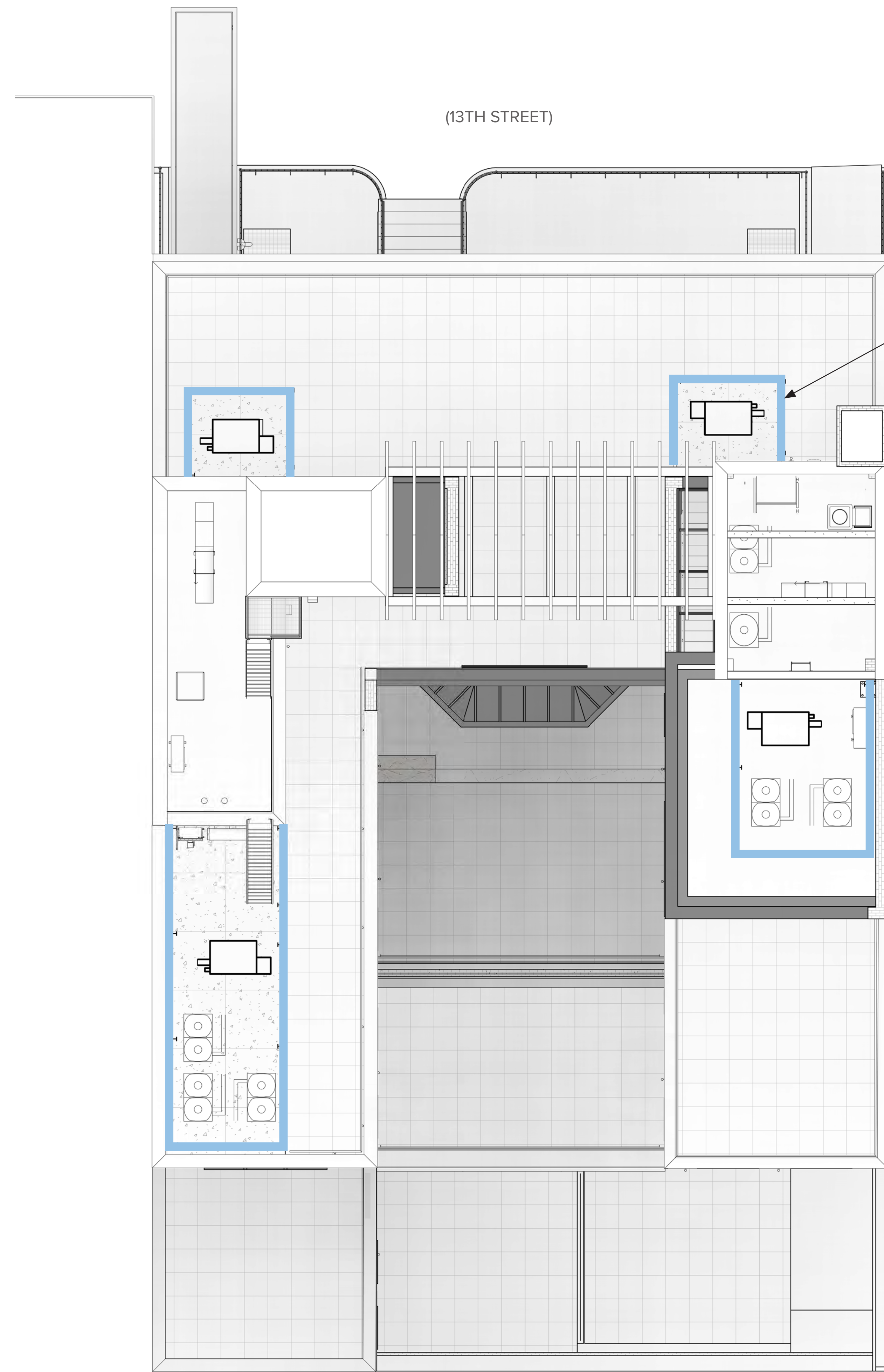
BRICK TO BE STAINED USING KEIM RESTAURO SOL-SILICATE  
PIGMENTED MINERAL STAIN.  
STAIN INSTALLATION TO HAVE A 1:5 DILUTION RATIO.  
COLOR TO BE SIMILAR TO KEIM COLOR NO. 9078

NOTE: SAMPLE INSTALLATION WILL BE PROVIDED PRIOR TO  
FINAL COLOR AND DILUTION RATIO SELECTION. BSK TO  
REVIEW FURTHER WITH LPC STAFF PRIOR TO APPLICATION  
OF STAIN



PROPOSED STAINED BRICK

## BRICK TREATMENT



PROPOSED ACOUSTIC FENCE HIGHLIGHTED IN BLUE

ROOF PLAN DIAGRAM OF PROPOSED ACOUSTIC FENCE LOCATIONS



Charcoal Grey

FIXED BLADE ACOUSTIC LOUVERS  
(KCFL BY KINETICS OR EQUAL) AROUND  
ROOF MECHANICAL EQUIPMENT  
PROPOSED COLOR:  
CHARCOAL GRAY (KYNAR 500) OR  
CUSTOM COLOR TO MATCH WINDOWS

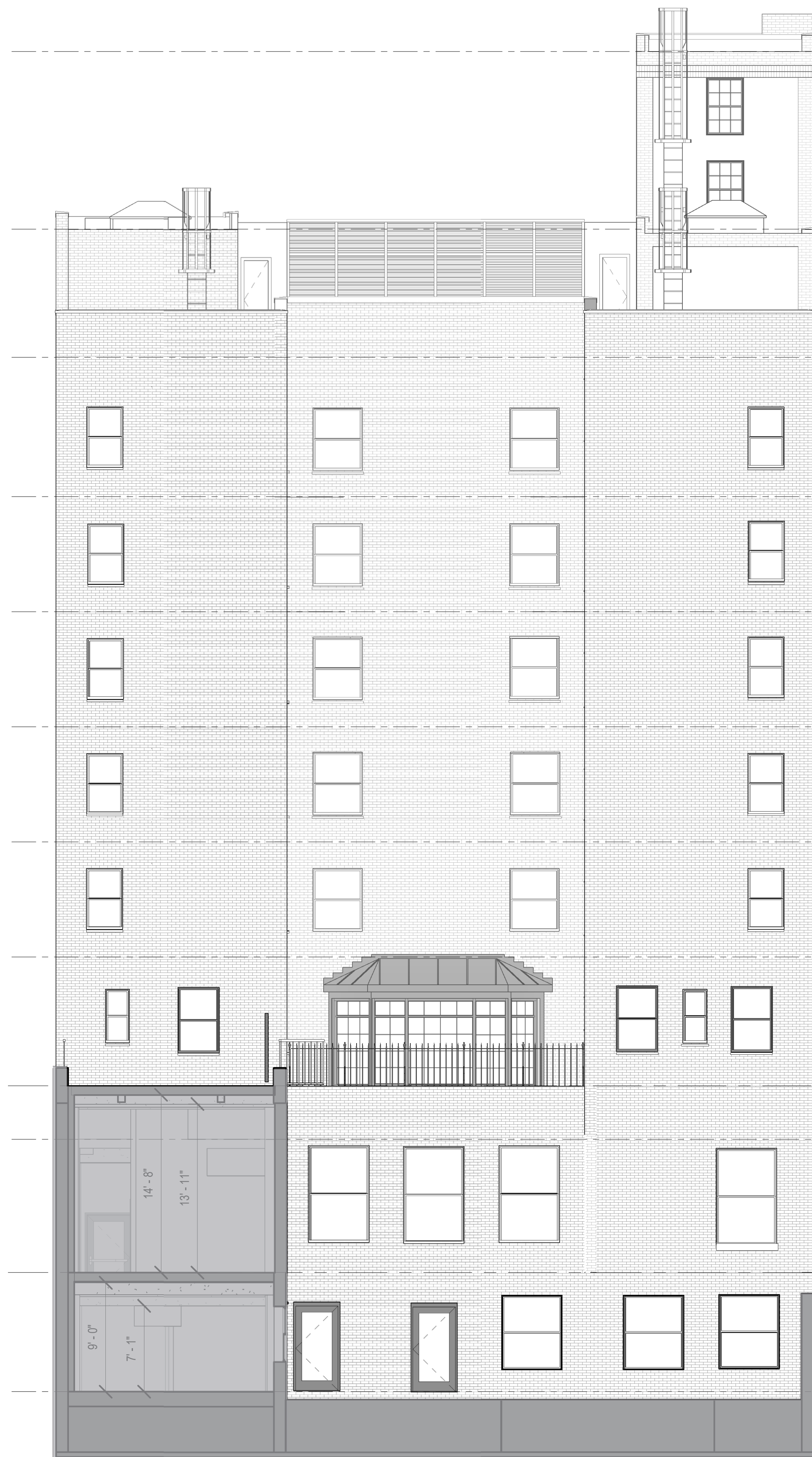
ALL WINDOWS TO MATCH  
THE ORIGINAL WINDOW PAINT (BASE COAT) COLOR.

PAINT ANALYSIS SAMPLES HAVE BEEN COLLECTED FROM THE ORIGINAL WINDOWS AT 2ND FLOOR STREET FACADE.  
ANALYSIS CONCLUSION IS OUTLINED BELOW:

It is unclear whether the 1940 tax lot photos, taken approximately 10 years after the building was constructed, show the original finish scheme for the windows. Though wood windows are generally repainted more frequently to prevent deterioration, this period during the Great Depression may have seen less regular maintenance leaving the original finish exposed for many years. This would also explain the relatively heavy soiling visible on the earliest finish identified on the frames. It is unlikely that the finishes shown in 1940 are any of the identified darker finishes which, based on the darker fluorescence pattern, are modern paints that were not being manufactured until post-World War II.

The combination of the base coat and top coat would likely have produced a color slightly lighter than the top coat color itself, as it would have allowed some of the base color to show through. It was probably intended to mimic the color of the stone trim on the façade and contrast with the red brick. The original color of the sashes could not be determined from these samples. It is however notable that the sashes appear darker in the tax lot photo than the frames.





EXISTING COURTYARD NORTH ELEVATION

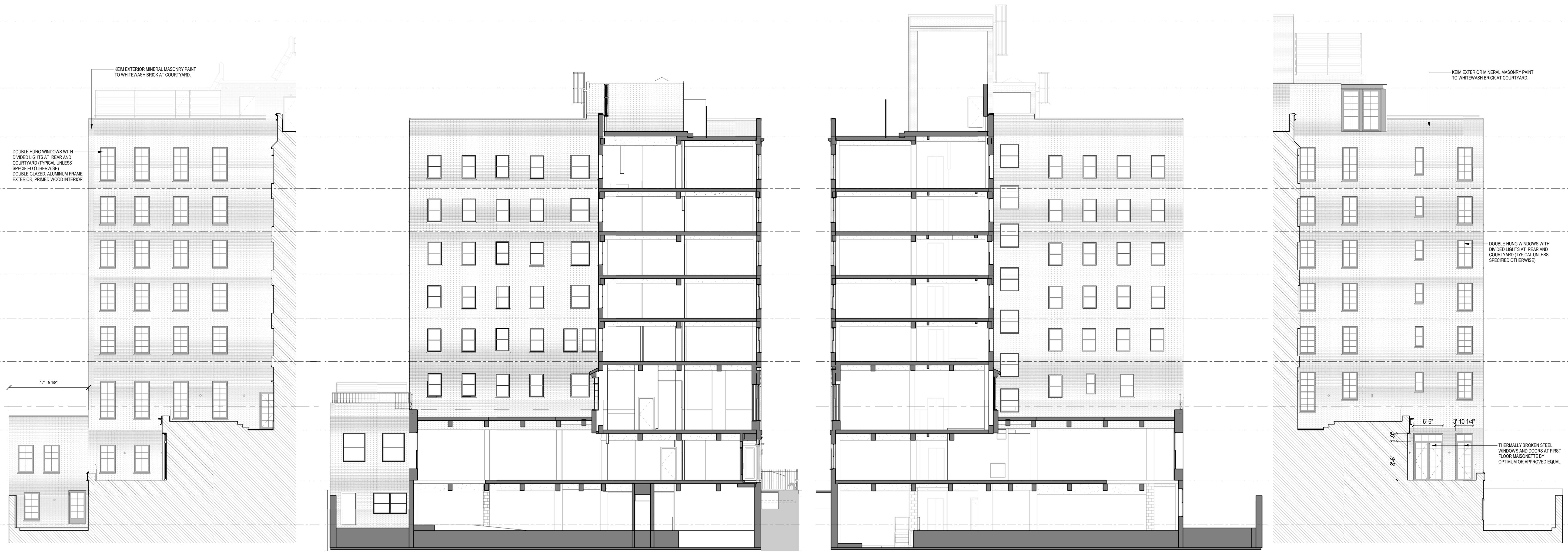


PROPOSED COURTYARD NORTH ELEVATION

- ELEV. BULKHEAD  
100' - 9 1/2"
- 14'-8"
- BULKHEAD  
86' - 1 1/2"
- 10'-7"
- ROOF  
75' - 6 1/2"
- 11'-6"
- 7TH FLOOR  
64' - 0 1/2"
- 9'-6"
- 6TH FLOOR  
54' - 6 1/2"
- 9'-6"
- 5TH FLOOR  
45' - 0 1/2"
- 9'-6"
- 4TH FLOOR  
35' - 6 1/2"
- 9'-6"
- 3RD FLOOR  
26' - 0 1/2"
- 10'-7 1/2"
- 2ND FLOOR  
15' - 5"
- 4'-5"
- 2ND FLOOR LL  
11' - 0"
- 11'-0"
- 1ST FLOOR  
0' - 0"
- 1ST FLOOR LOBBY  
-2' - 2 1/8"
- 9'-10"
- CELLAR  
-9' - 10"
- CELLAR LL  
-11' - 1"

**COURTYARD ELEVATIONS (EXISTING & PROPOSED)**

118 WEST 13TH STREET - LPC PRESENTATION



PROPOSED COURTYARD ELEVATION- WEST WING

EXISTING COURTYARD ELEVATION- WEST WING

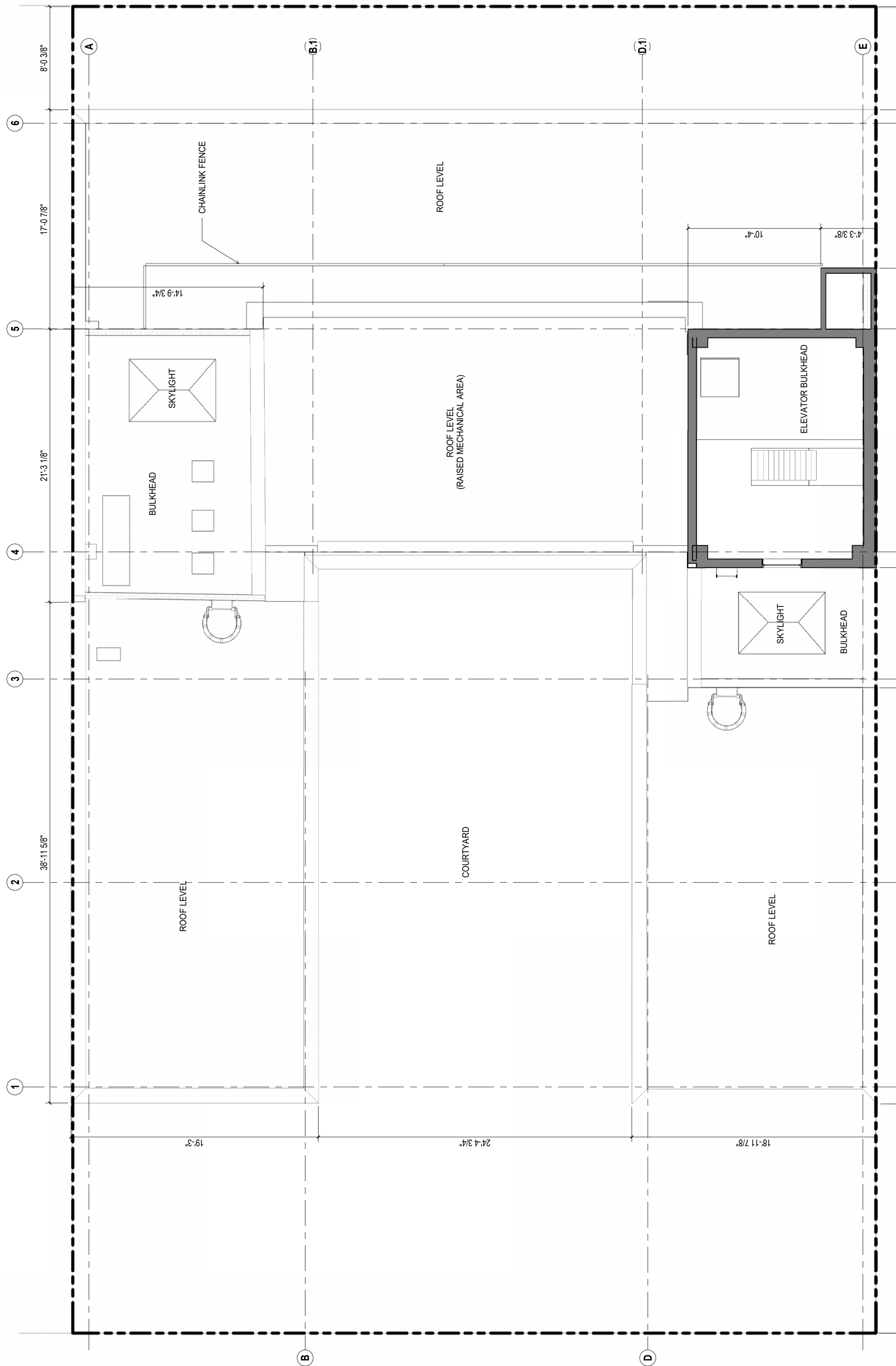
EXISTING COURTYARD ELEVATION- EAST WING

PROPOSED COURTYARD ELEVATION- EAST WING

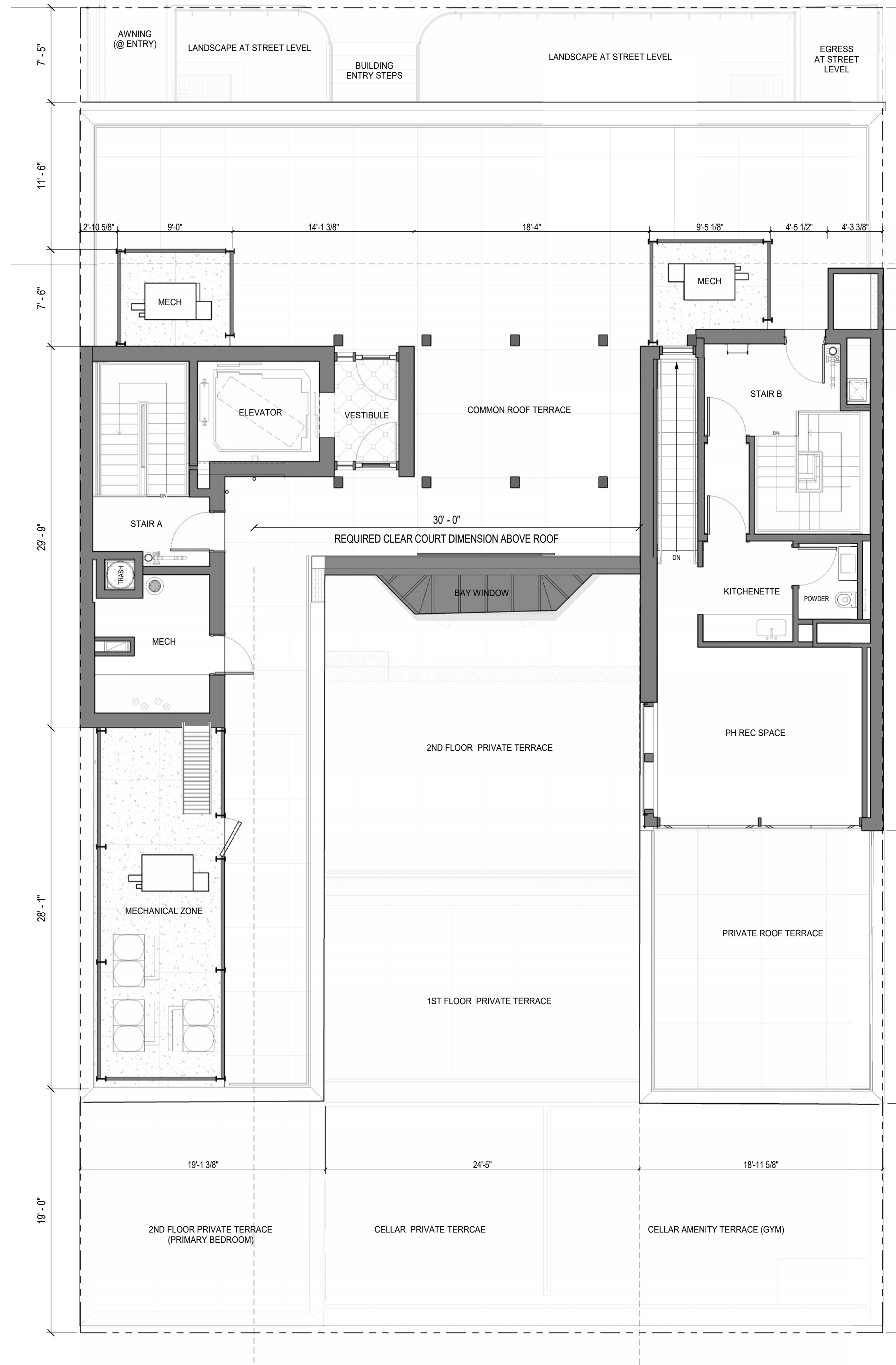
**COURTYARD ELEVATIONS (EXISTING & PROPOSED)**

118 WEST 13TH STREET - LPC PRESENTATION

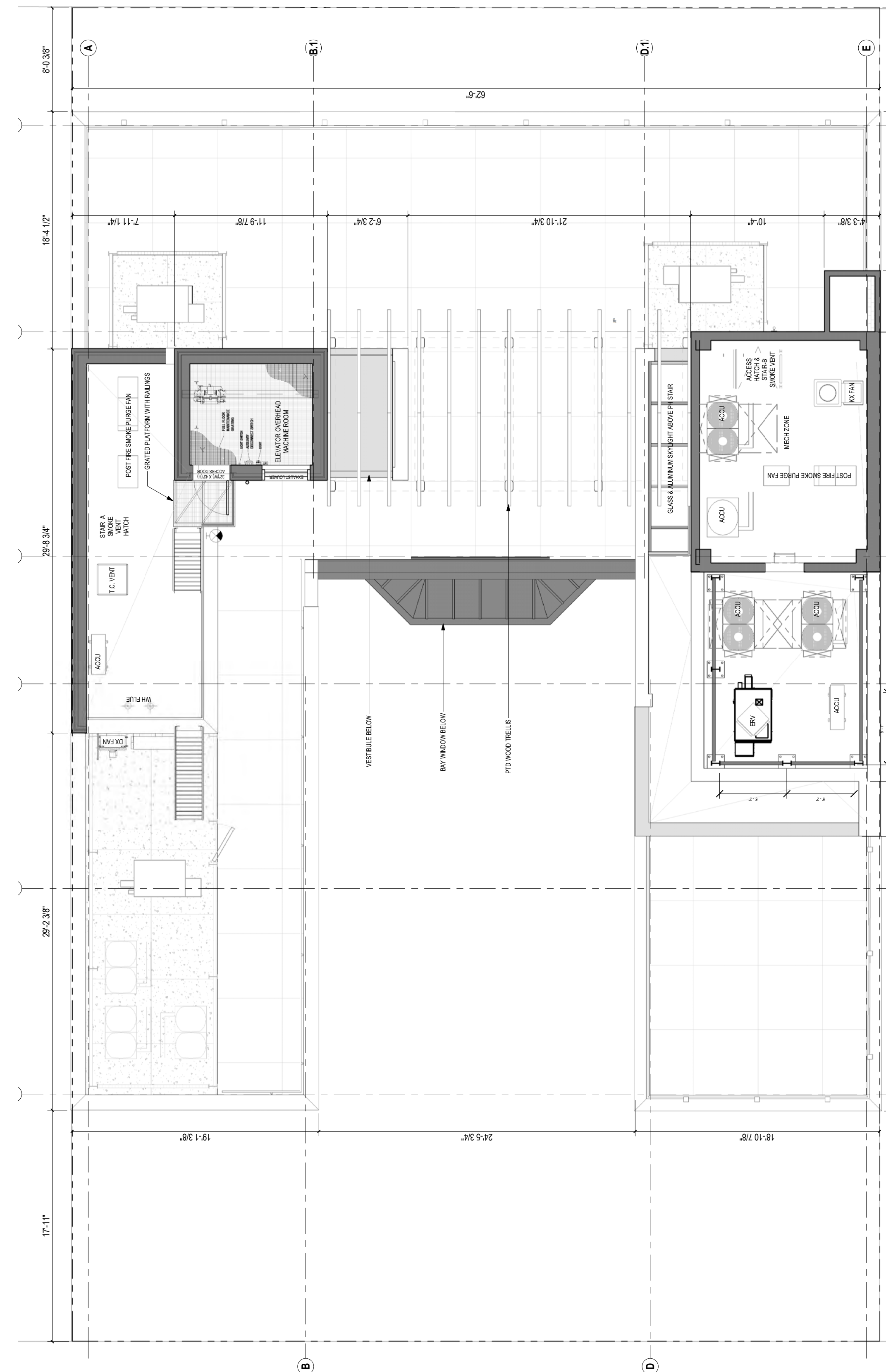
## ROOF & BULKHEADS



EXISTING ROOF PLAN

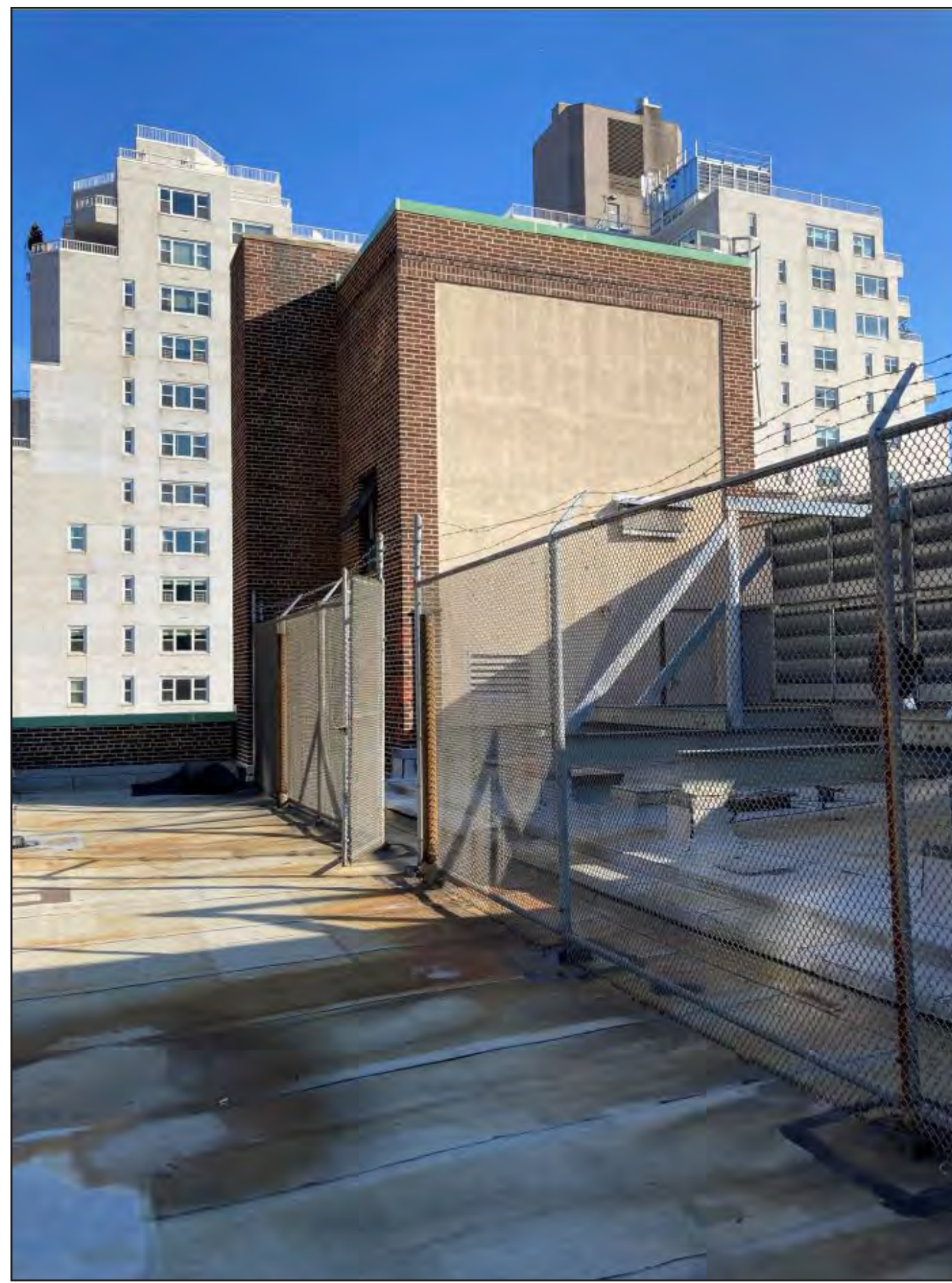


PROPOSED ROOF PLAN



PROPOSED BULKHEAD PLAN





EAST BULKHEAD (VIEW FROM NORTH-WEST)



EAST BULKHEAD (VIEW FROM WEST)



EAST BULKHEAD (VIEW FROM WEST)



EAST BULKHEAD (VIEW FROM SOUTH WEST)



WEST BULKHEAD (VIEW FROM SOUTH)



WEST BULKHEAD (VIEW FROM NORTH EAST)



WEST BULKHEAD (VIEW FROM NORTH)



**EXISTING ROOF BULKHEAD PHOTOS**

118 WEST 13TH STREET - LPC PRESENTATION



ROOF AND BULKHEADS REAR VIEW- EXISTING

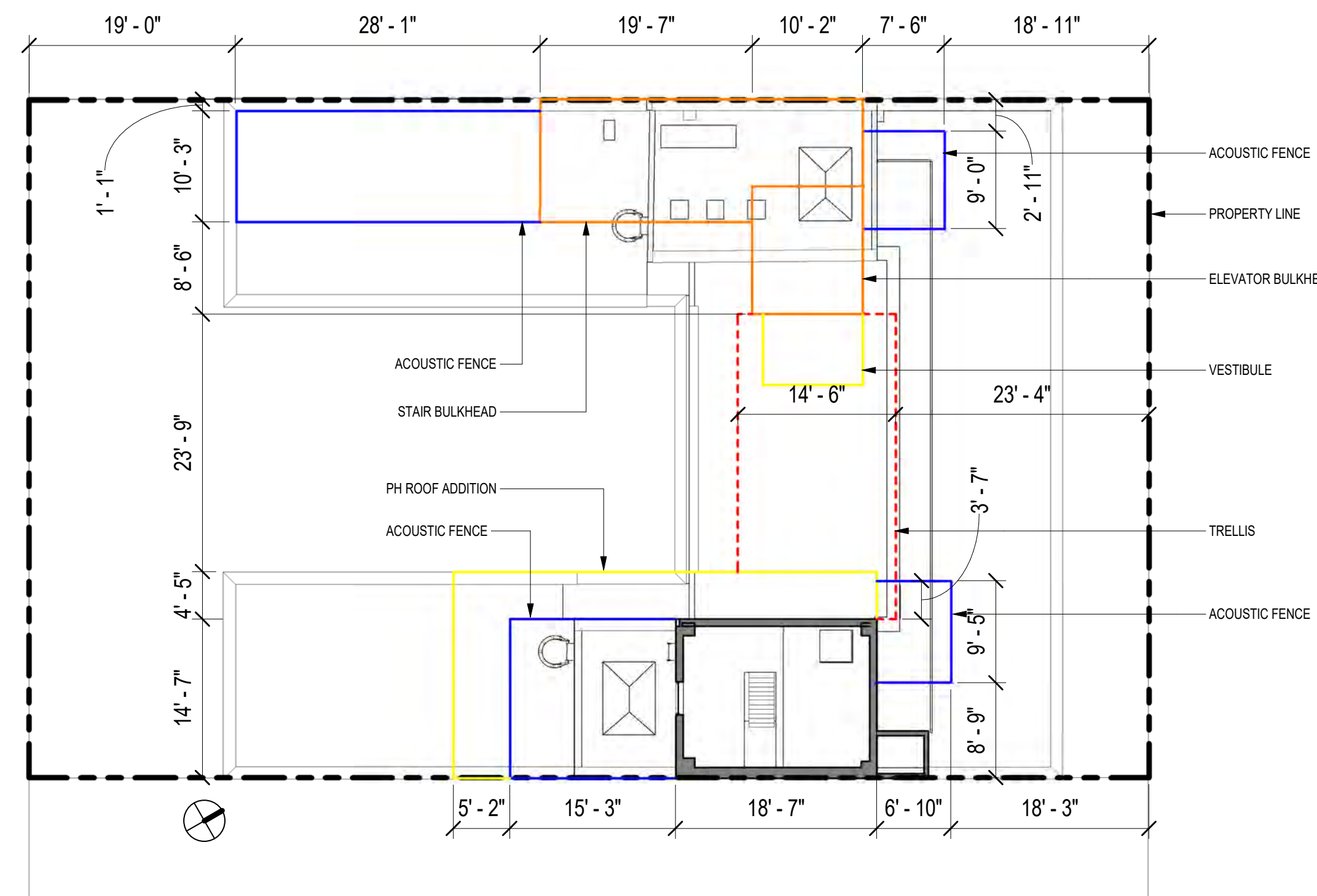


ROOF AND BULKHEADS REAR VIEW - PROPOSED

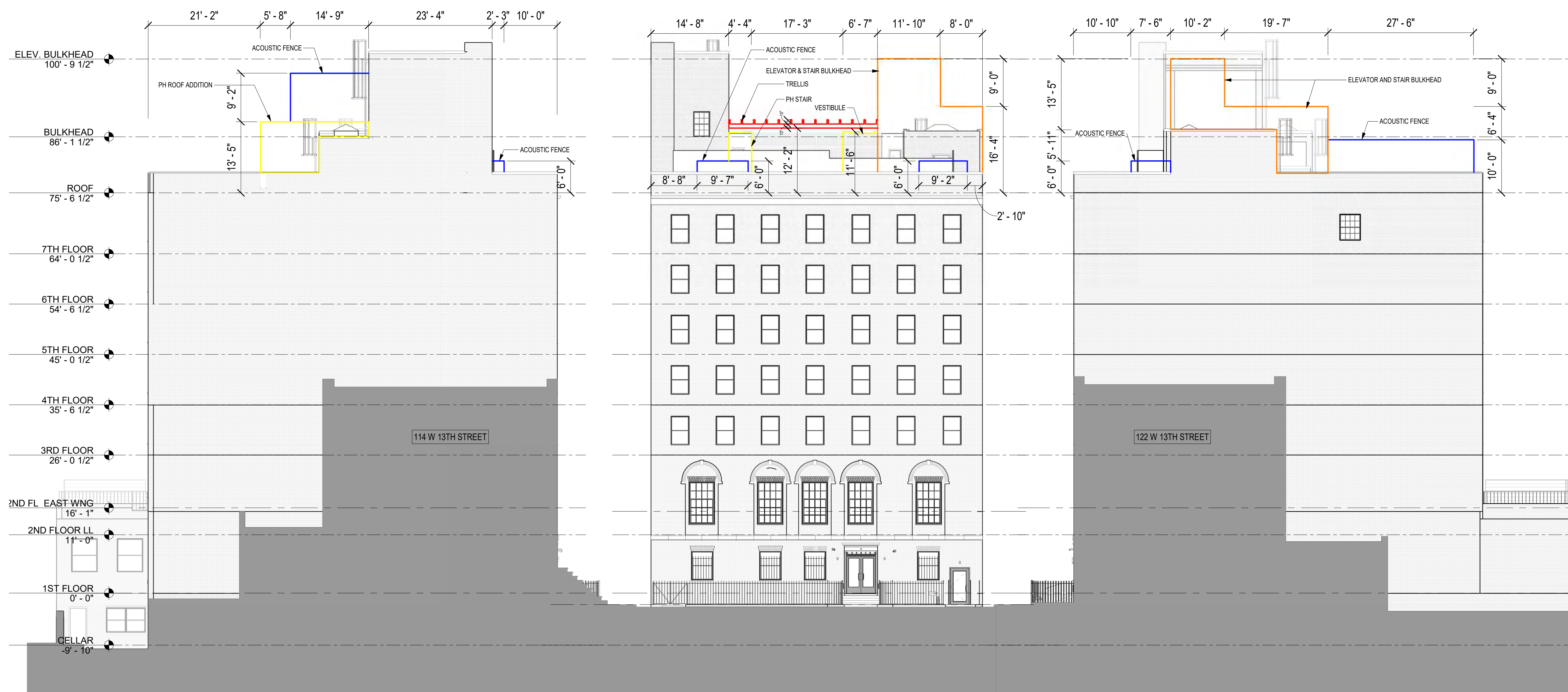
**ROOF 3D VIEWS (EXISTING & PROPOSED)**

118 WEST 13TH STREET - LPC PRESENTATION

# APPENDIX



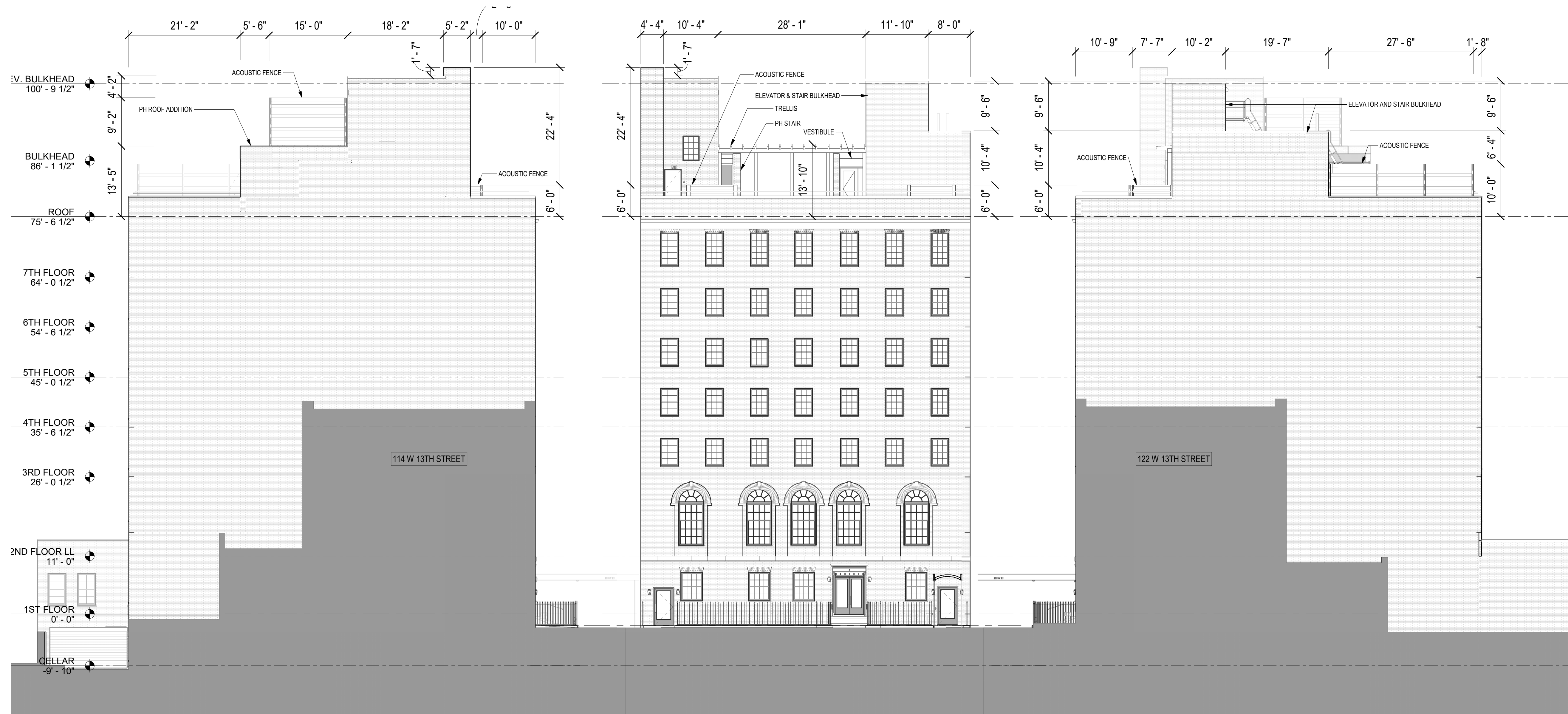
④ ROOF CONSTRUCTION PLAN  
1" = 10'-0"



③ EAST BUILDING ELEVATION - PROPOSED  
1" = 10'-0"

② NORTH BUILDING ELEVATION - LPC MockUp  
1" = 10'-0"

① WEST BUILDING ELEVATION - PROPOSED  
1" = 10'-0"



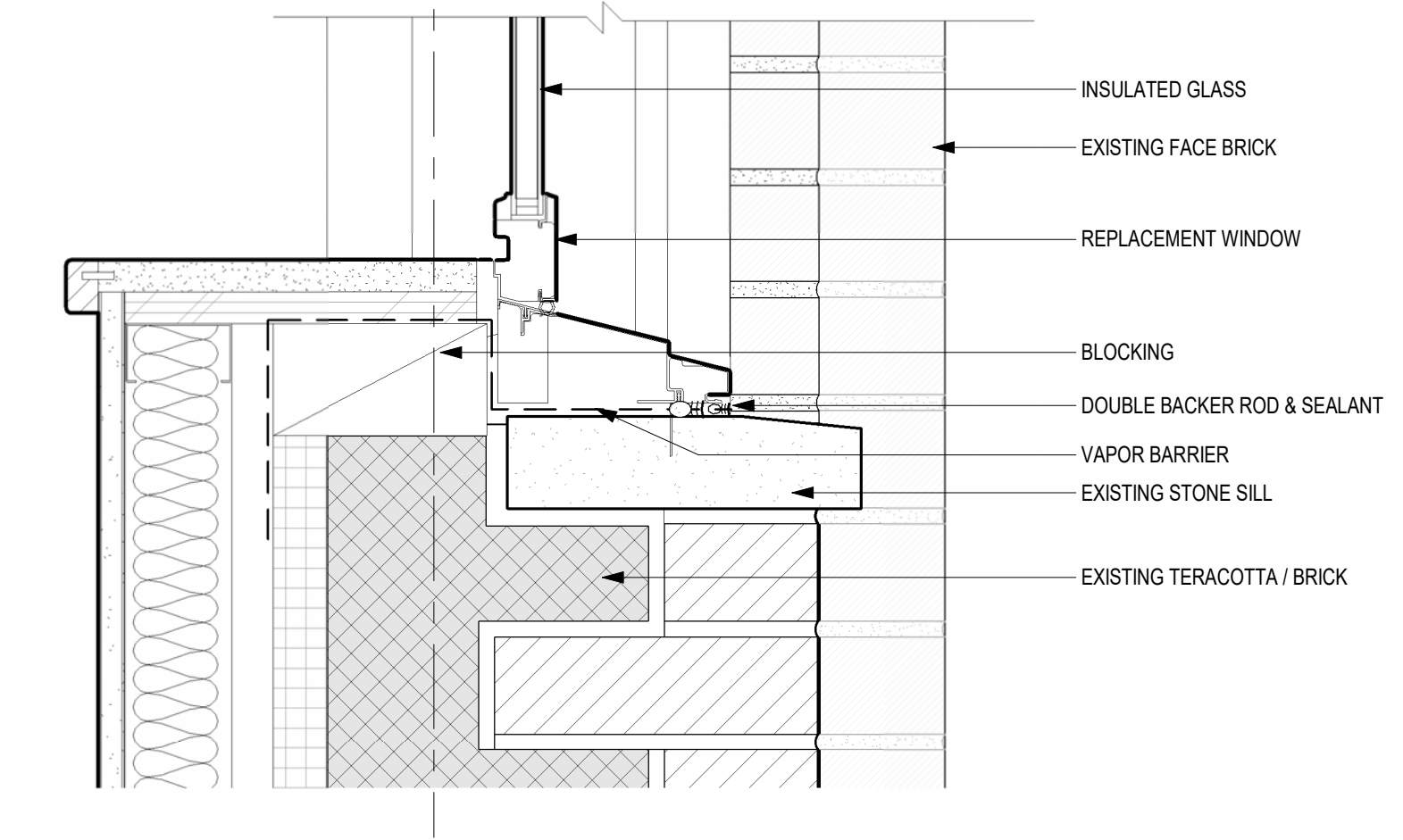
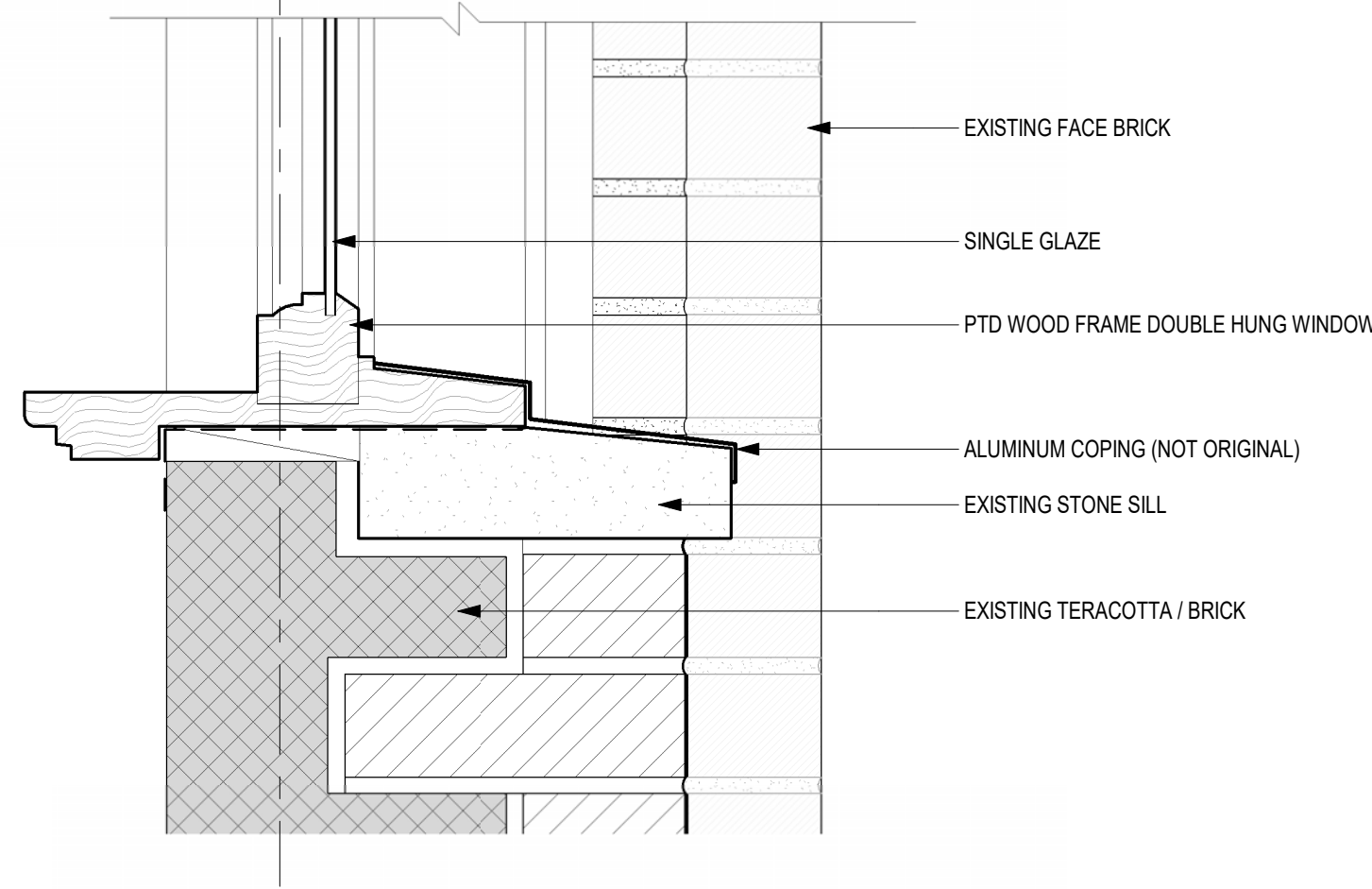
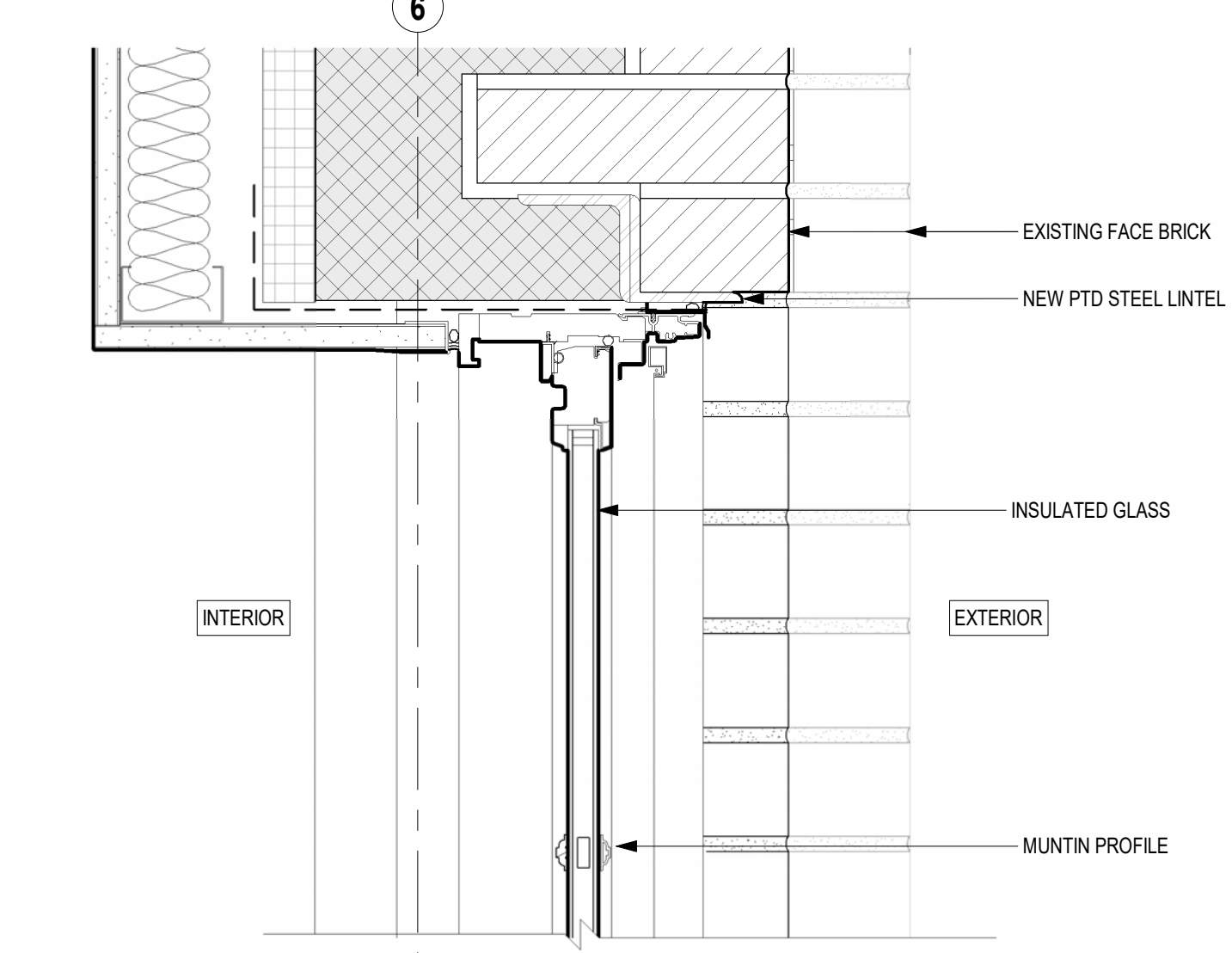
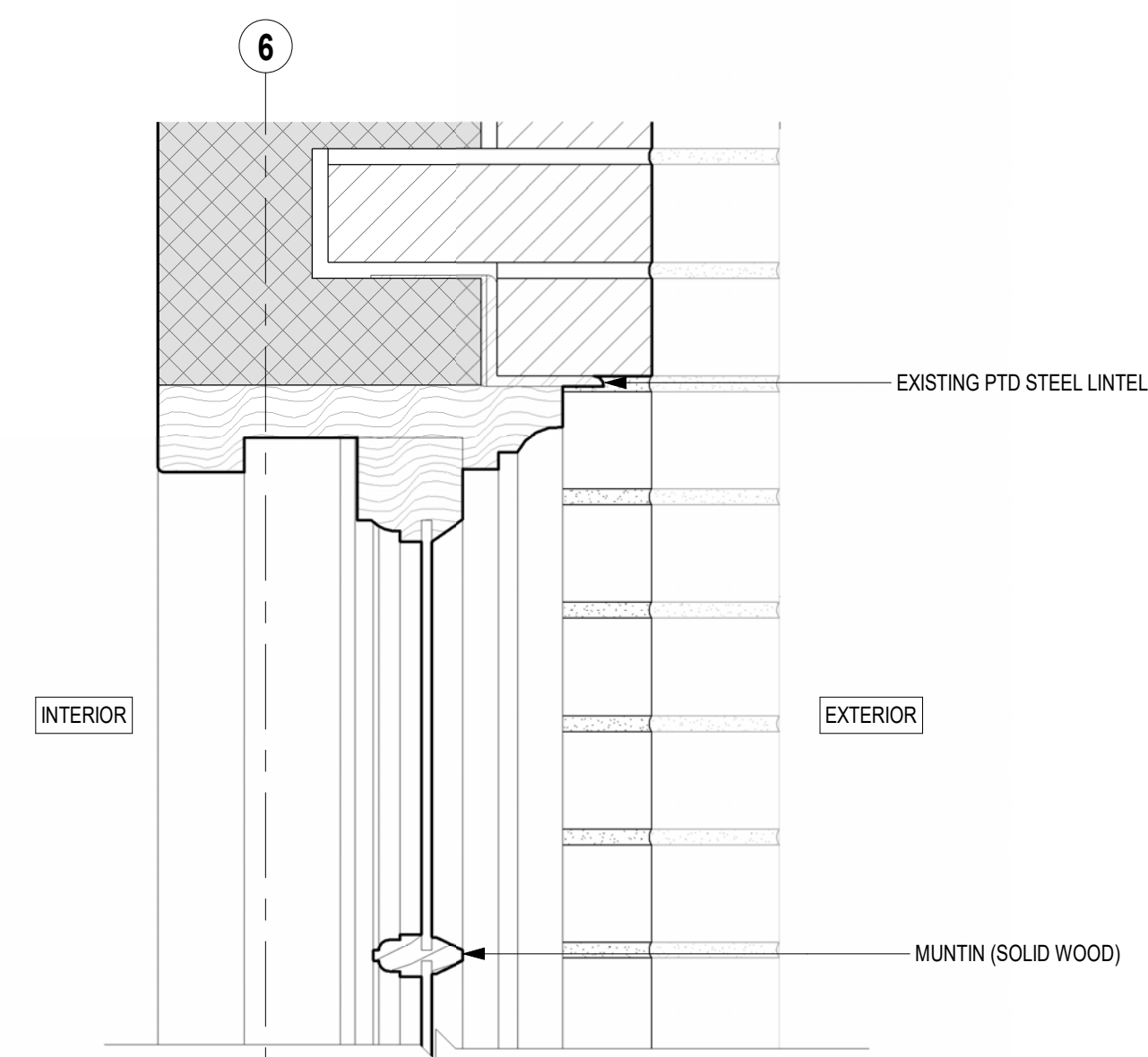
1 EAST BUILDING ELEVATION - PROPOSED  
1" = 10'-0"

3 NORTH BUILDING ELEVATION - LPC MockUp Copy 1  
1" = 10'-0"

2 WEST BUILDING ELEVATION - PROPOSED  
1" = 10'-0"

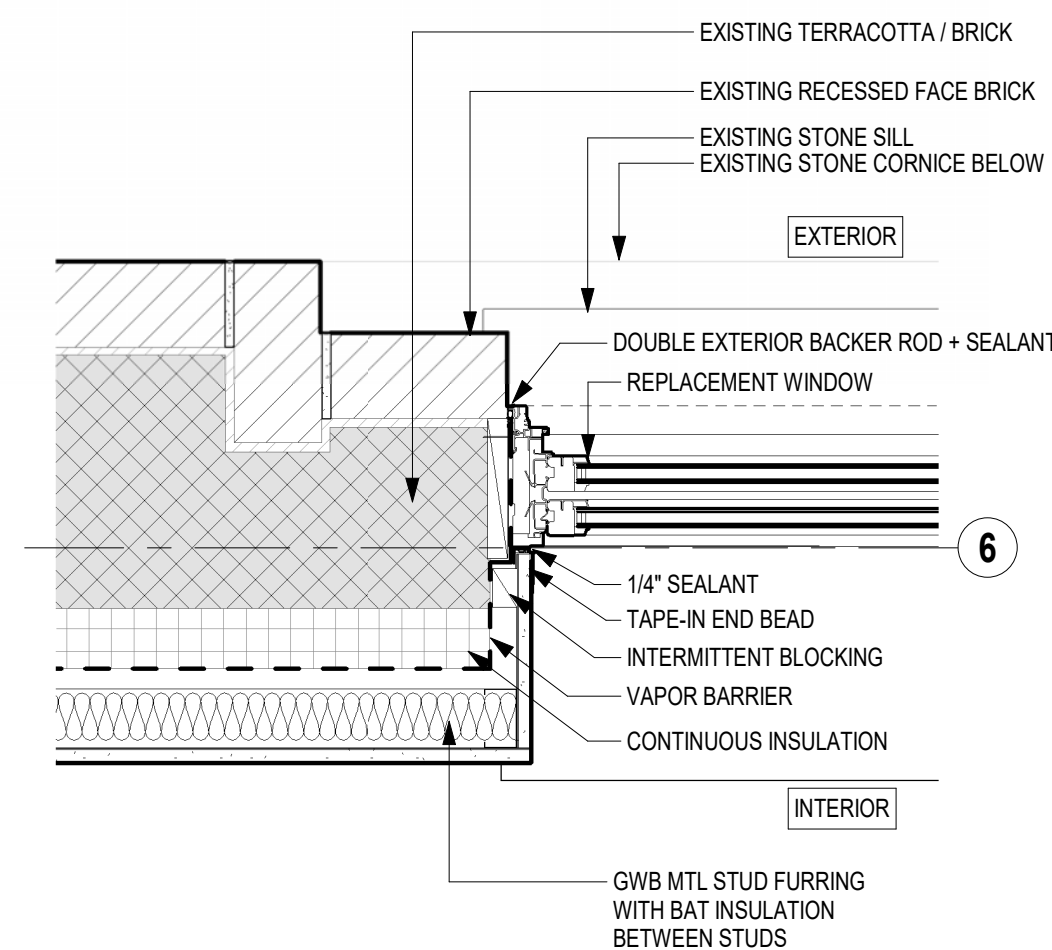
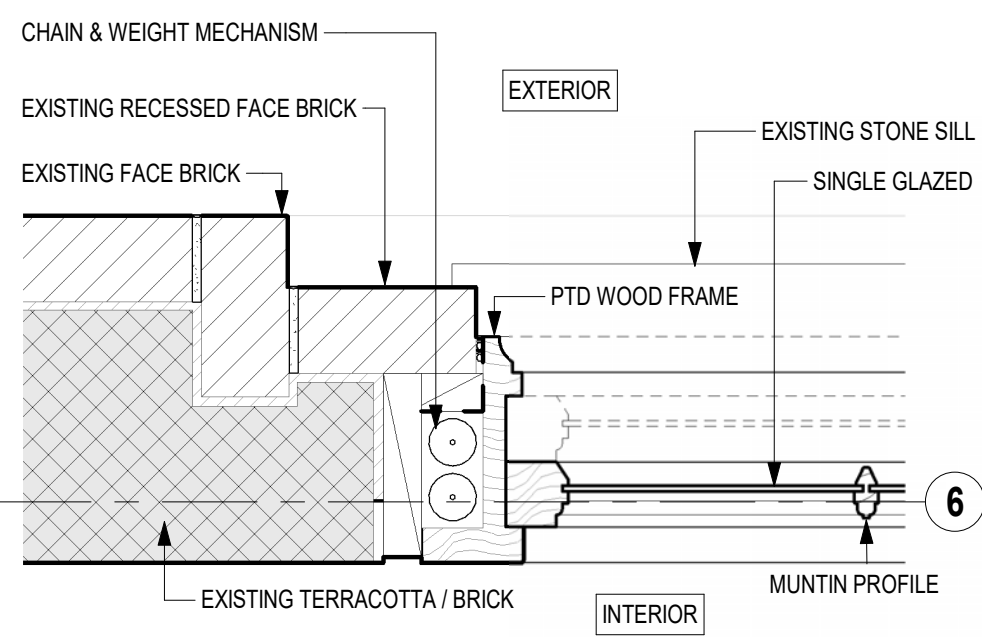
**PROPOSED ROOF MASSING**

118 WEST 13TH STREET - LPC PRESENTATION



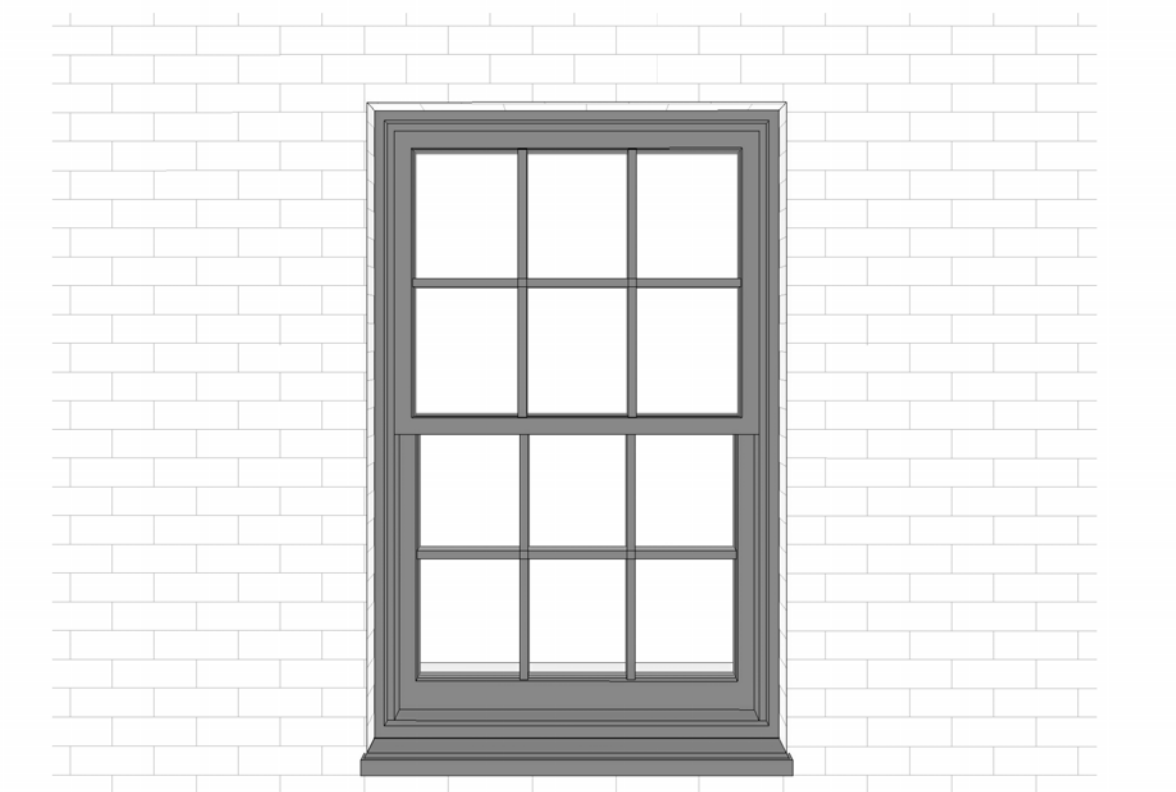
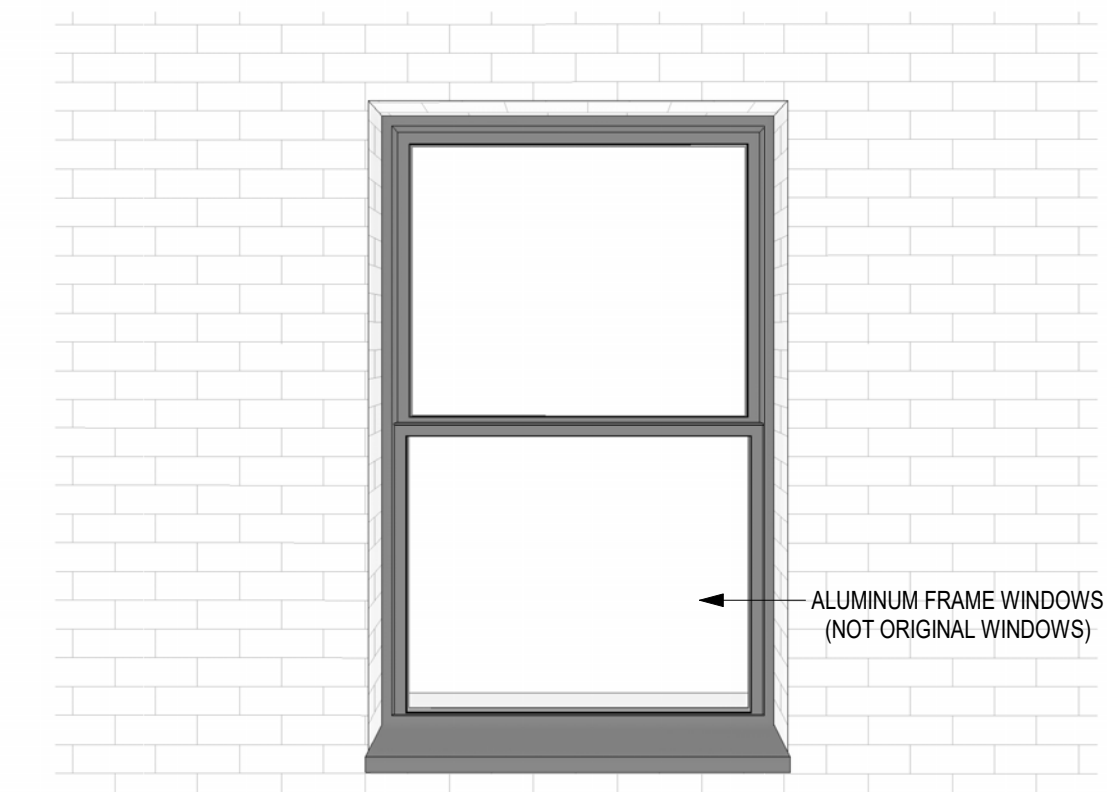
8 Section Trough 2nd Floor Street Facade Existing Window  
3" = 1'-0"

9 Section Trough 2nd Floor Street Facade Proposed Window  
3" = 1'-0"



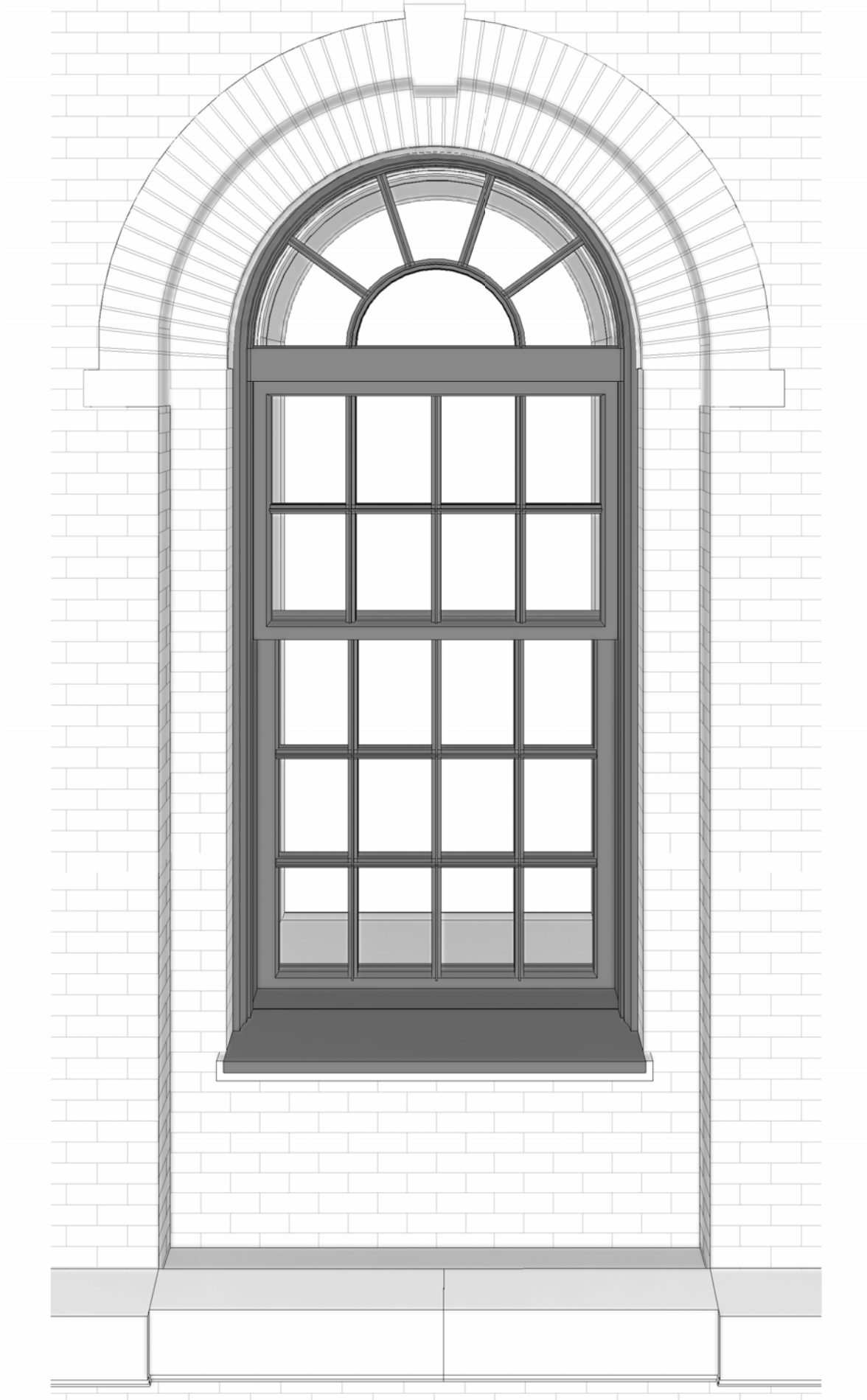
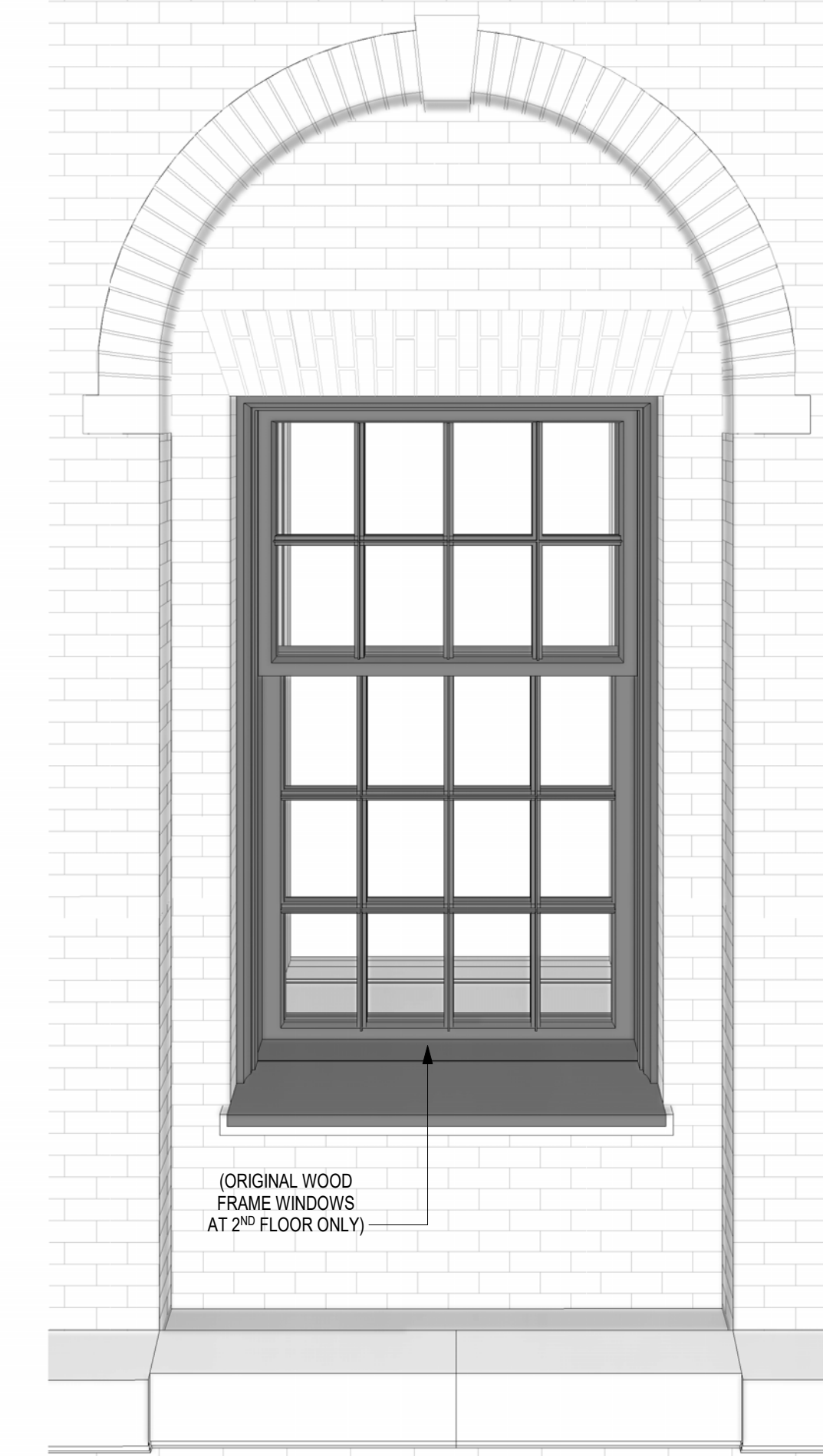
6 2ND FLOOR WINDOW JAMB DETAIL (EXISTING)  
1 1/2" = 1'-0"

7 2ND FLOOR WINDOW JAMB DETAIL (PROPOSED)  
1 1/2" = 1'-0"



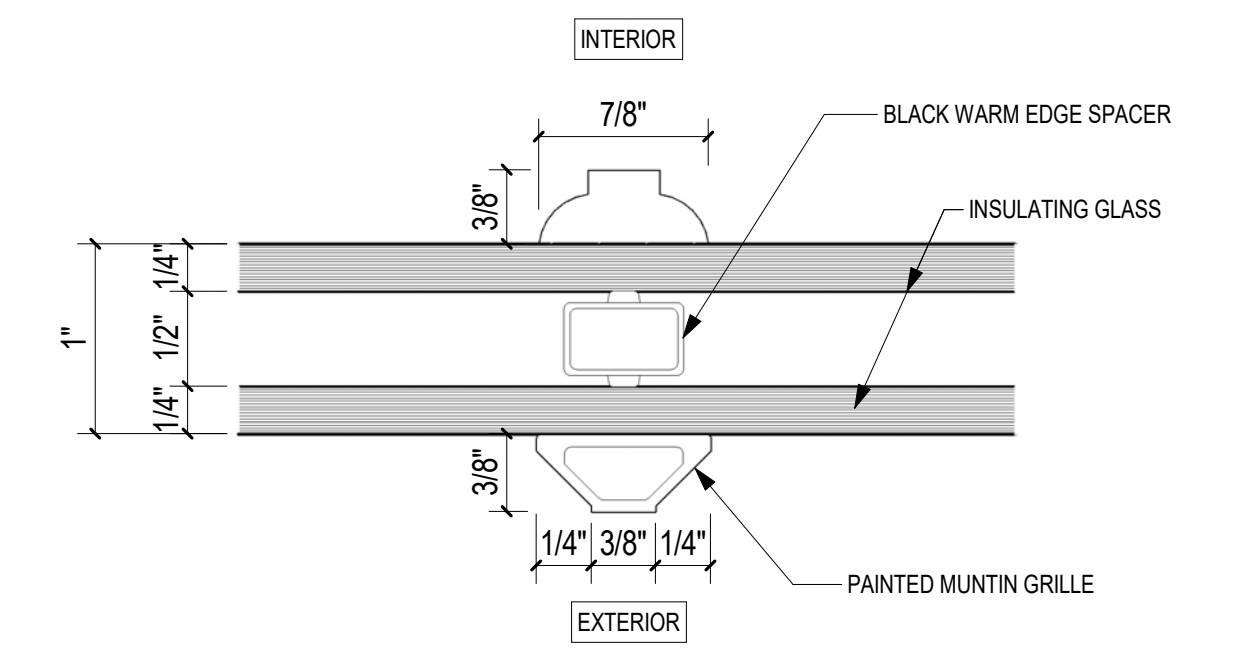
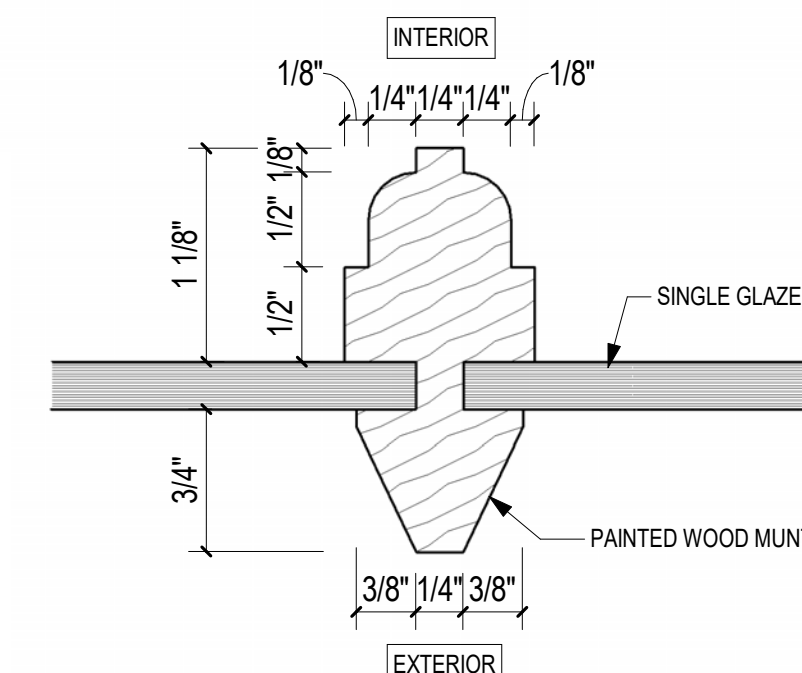
2 STREET FACING EXISTING TYPICAL WINDOW ELEVATION

3 STREET FACING PROPOSED TYPICAL WINDOW ELEVATION



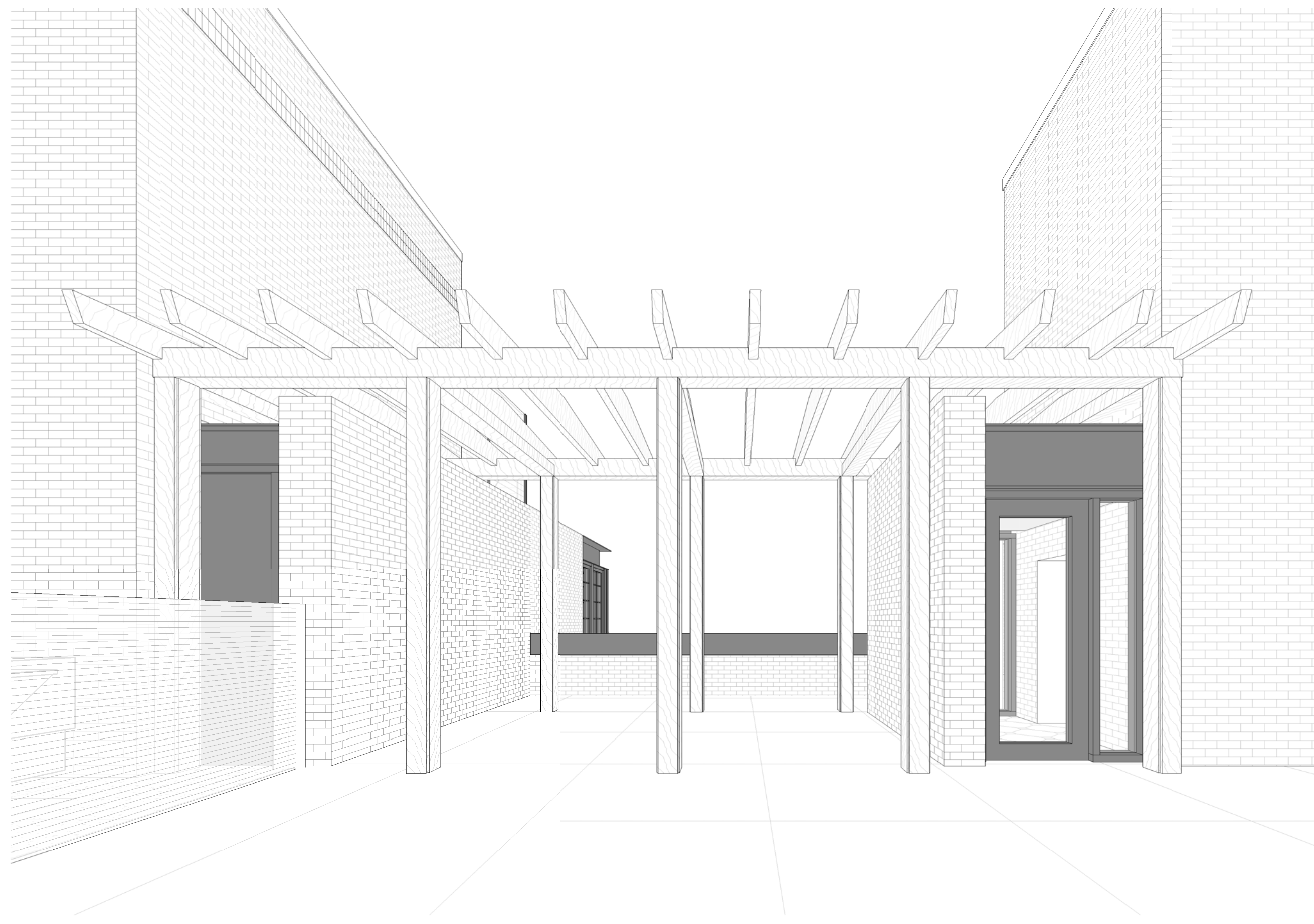
4 STREET FACING EXISTING 2ND FLOOR WINDOW ELEVATION

5 STREET FACING PROPOSED 2ND FLOOR WINDOW ELEVATION

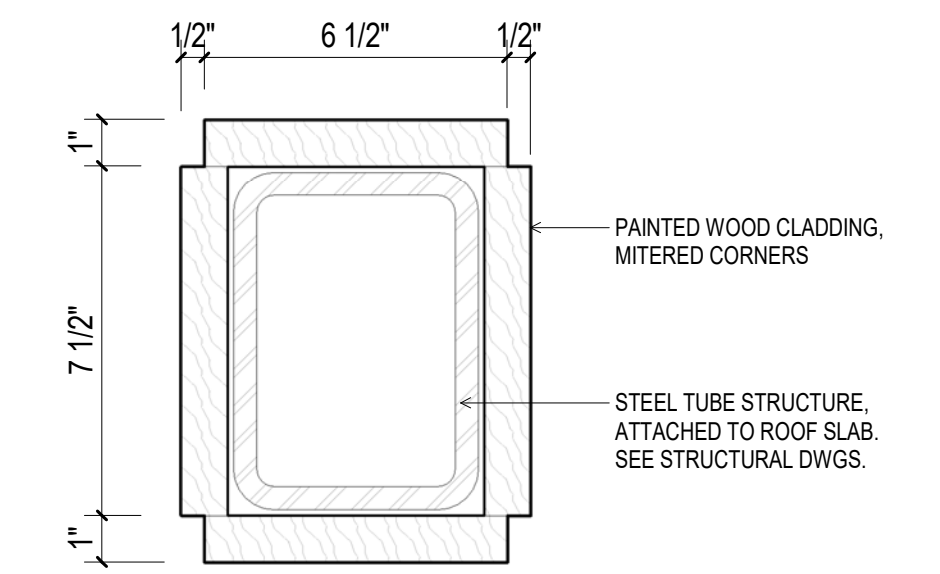


1 MUNTIN PROFILE (PLAN)  
12" = 1'-0"

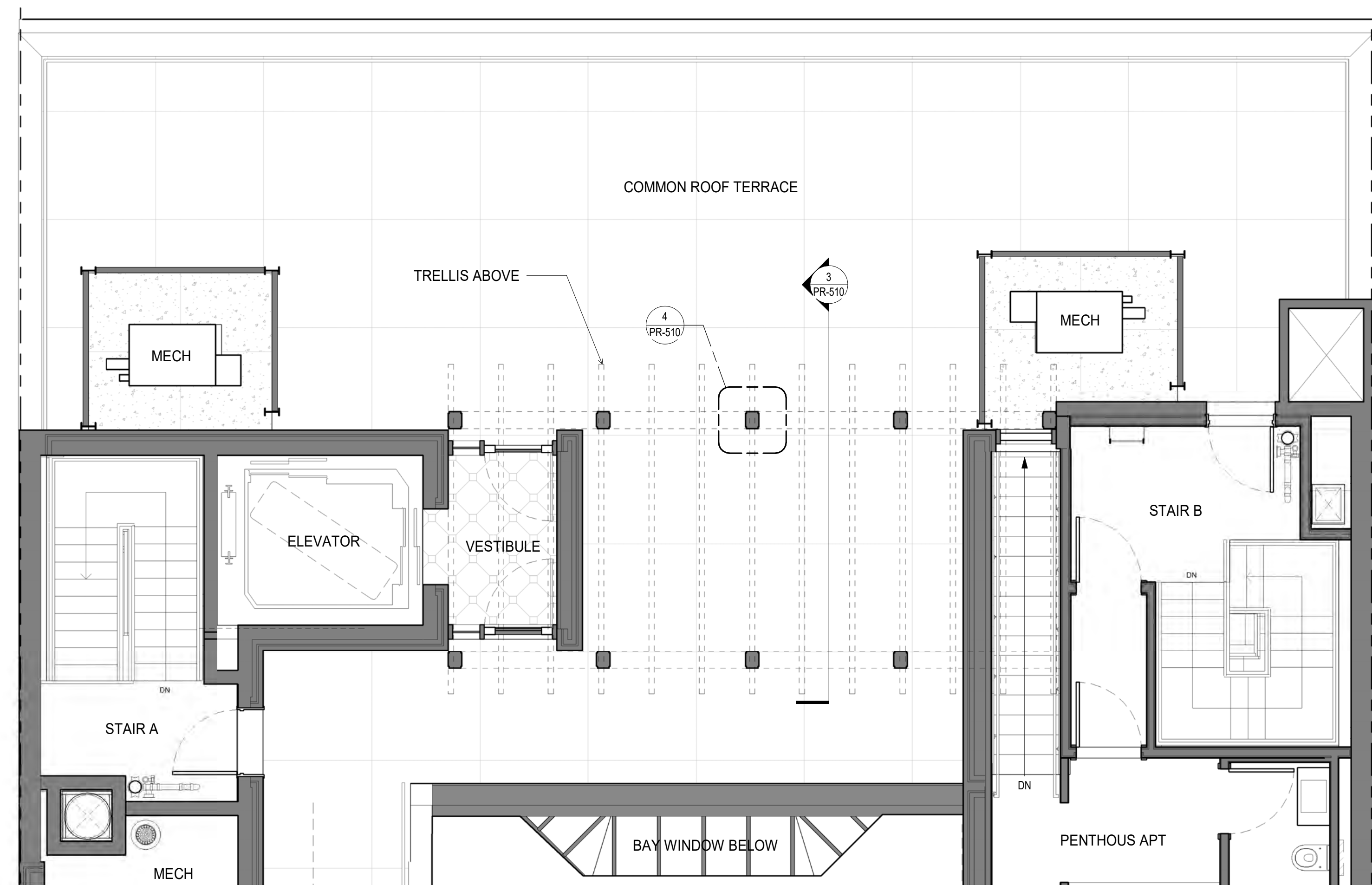
PROPOSED MUNTIN PROFILE



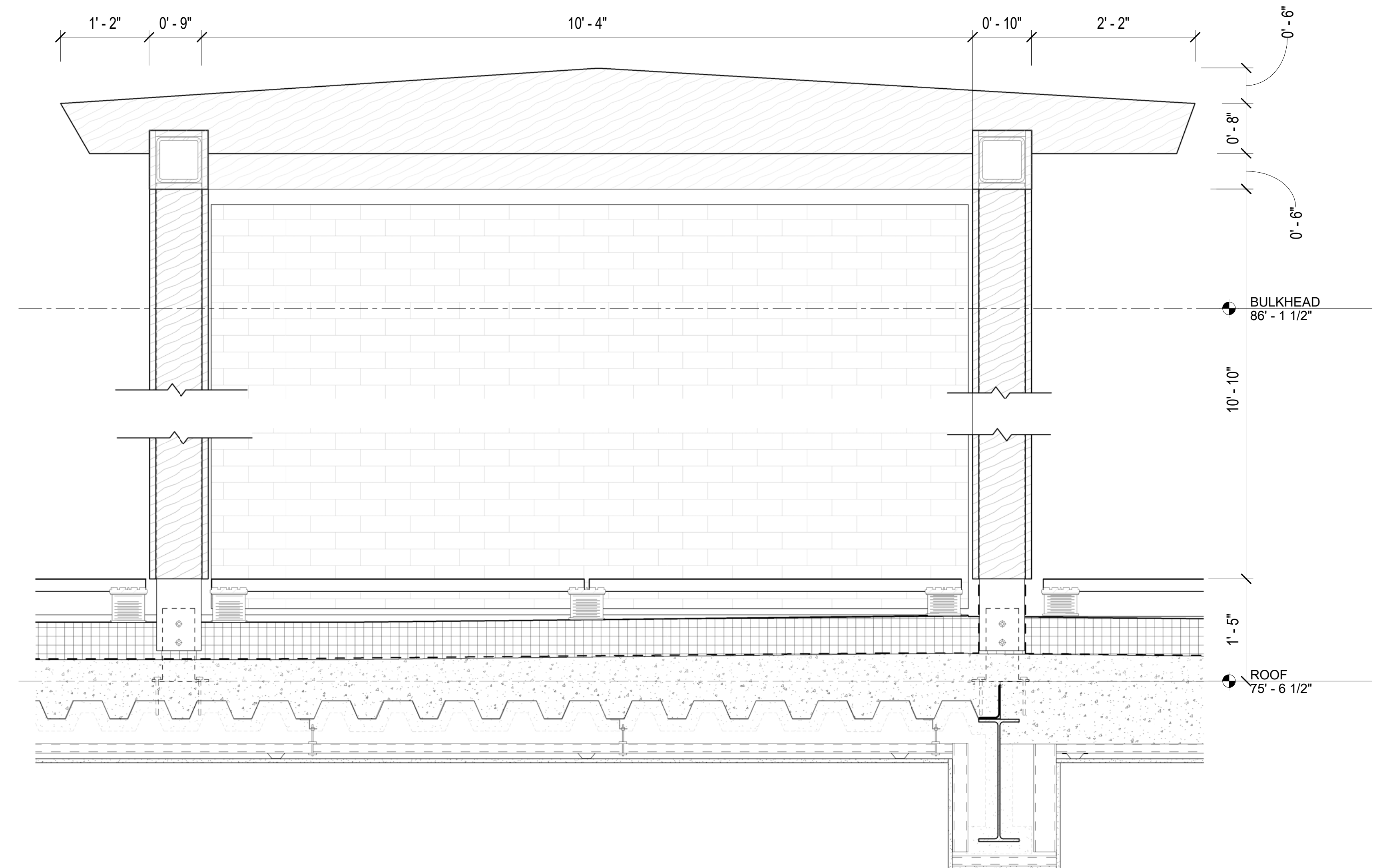
① 3D\_Trellis



④ TRELLIS POST PLAN DETAIL  
3" = 1'-0"



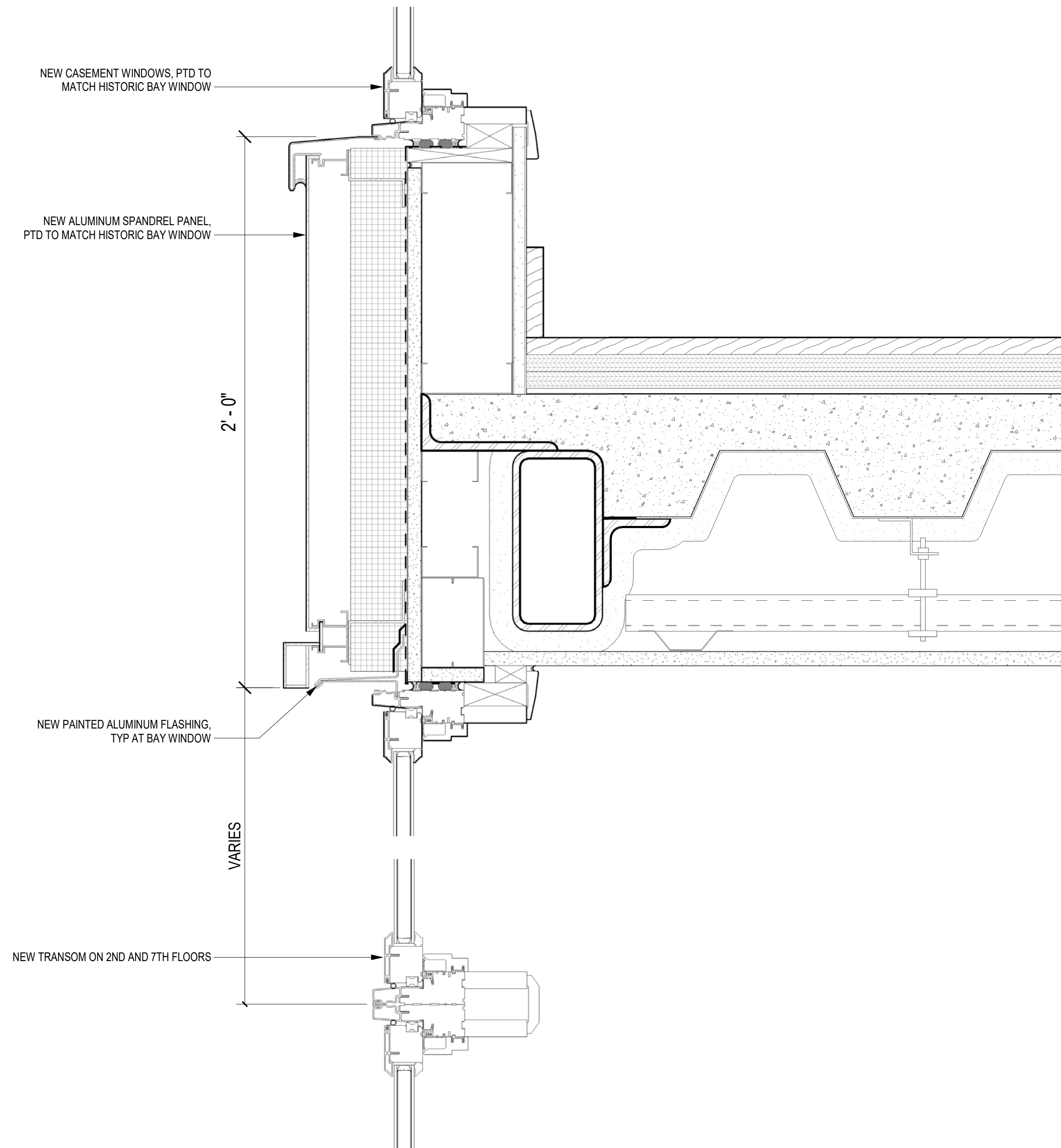
② PARTIAL ROOF PLAN  
1/4" = 1'-0"



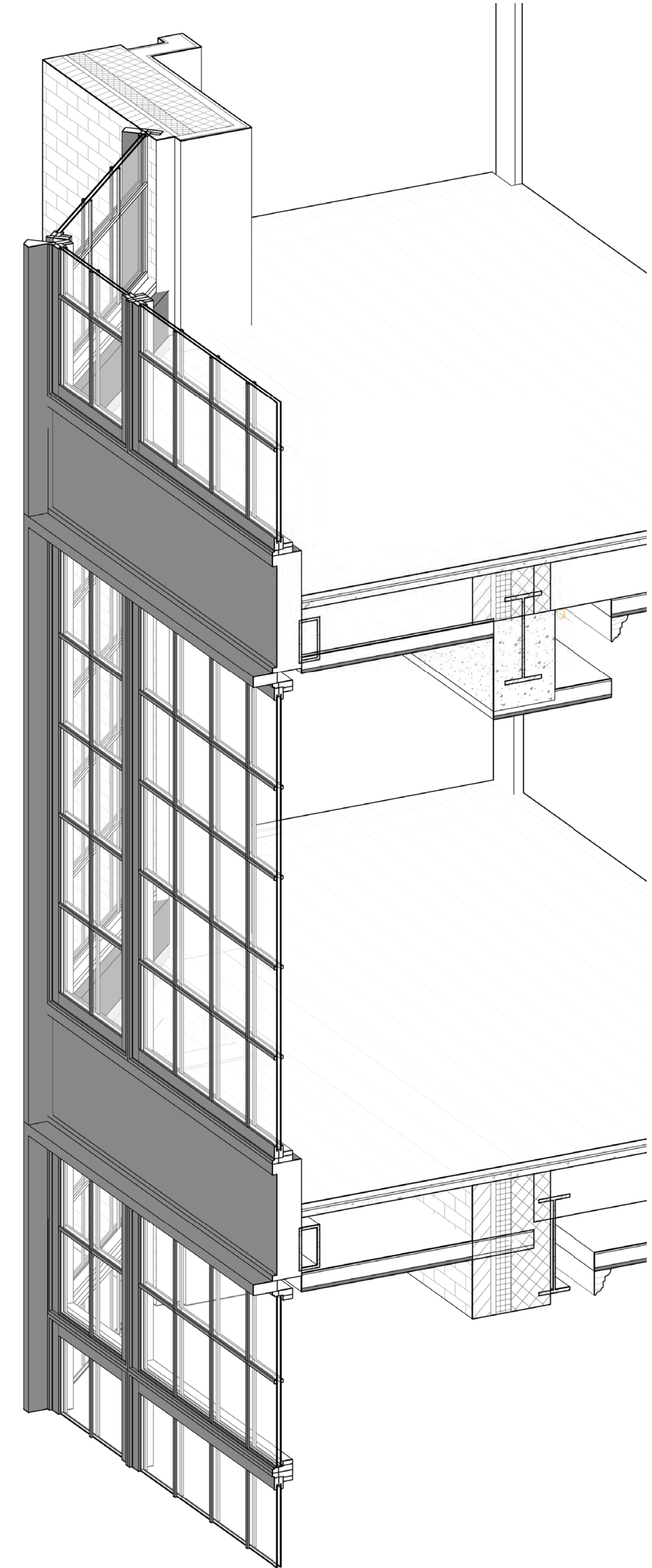
③ TRELLIS SECTION  
1" = 1'-0"

# ROOF TRELLIS

118 WEST 13TH STREET - LPC PRESENTATION



① BAY WINDOW TYPICAL HEAD AND SILL  
3" = 1'-0"



② BAY WINDOW

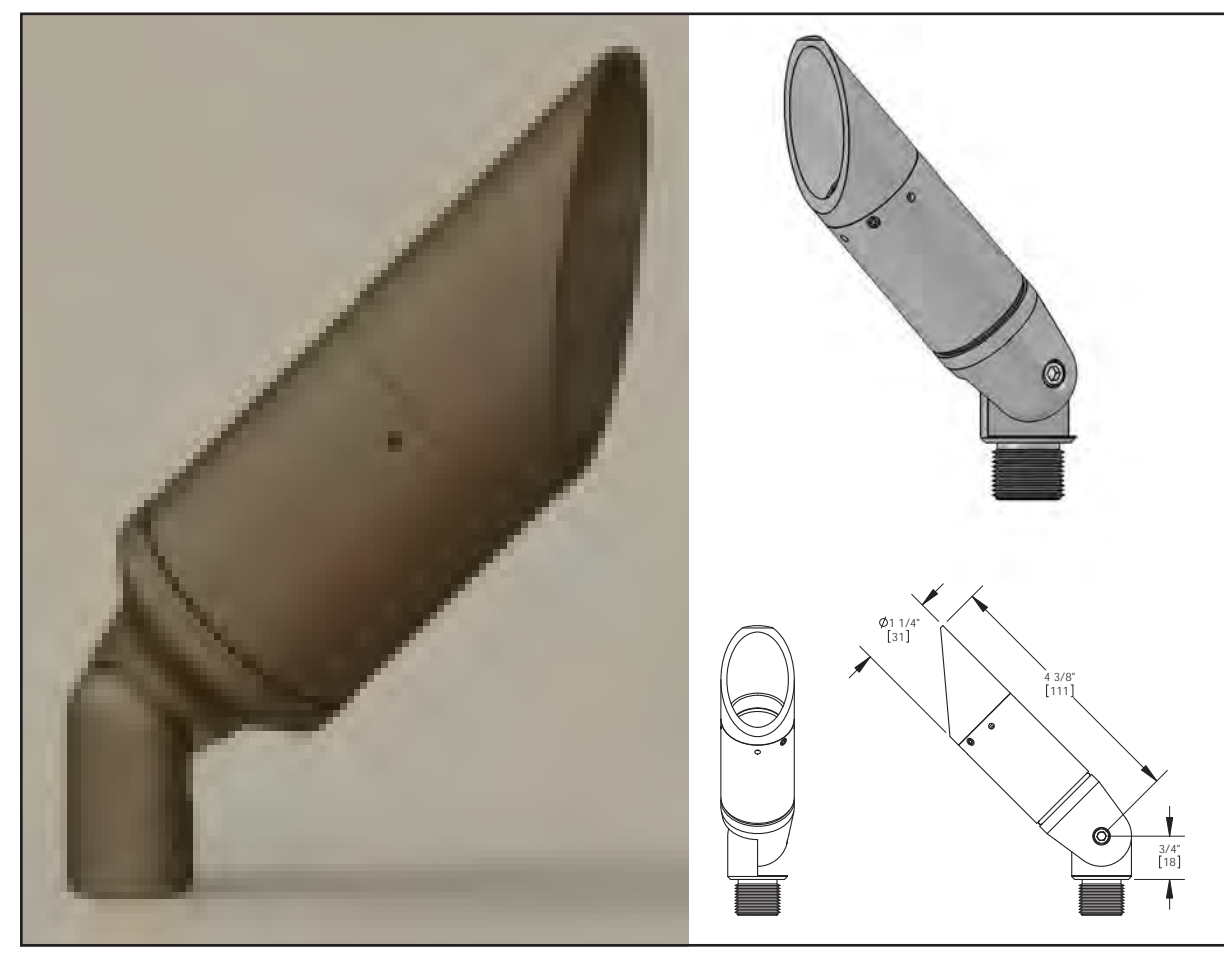




EXISTING LIGHT AT BUILDING ENTRY  
(NOT AN ORIGINAL) TO BE REPLACED.



PROPOSED LIGHT AT  
BUILDING ENTRY



PROPOSED GARDEN LIGHT (L8)  
AT ENTRY GARDEN



PROPOSED AWNING



EXISTING SECURITY CAMERA  
TO BE REPLACED



PROPOSED  
SECURITY CAMERA

**ENTRY ELEMENTS**