

363 LAFAYETTE ST

PAINTED SIGN MASTER PLAN APPLICATION

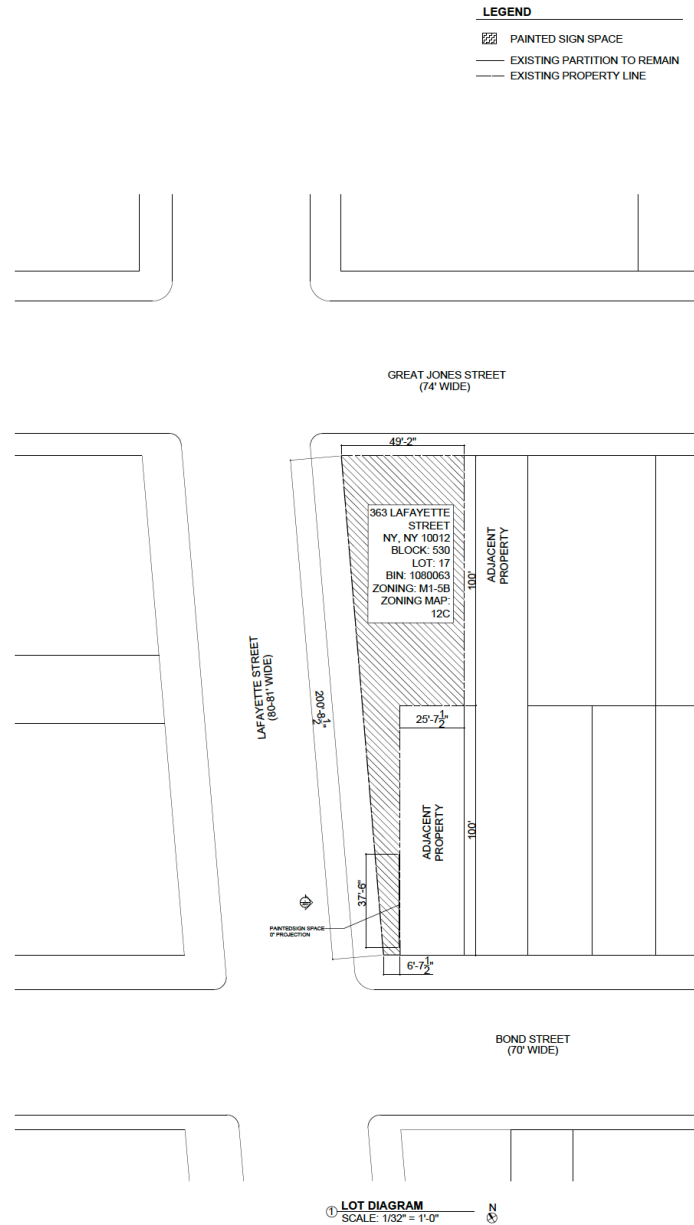
20 Bond Street
INTERSYSTEM
718-729-3657

COLOSSAL[®]
ALWAYS HANDPRINT





Zoning Map



Lot Diagram

363 LAFAYETTE STREET - CURRENT CONDITION



Sign Space Components

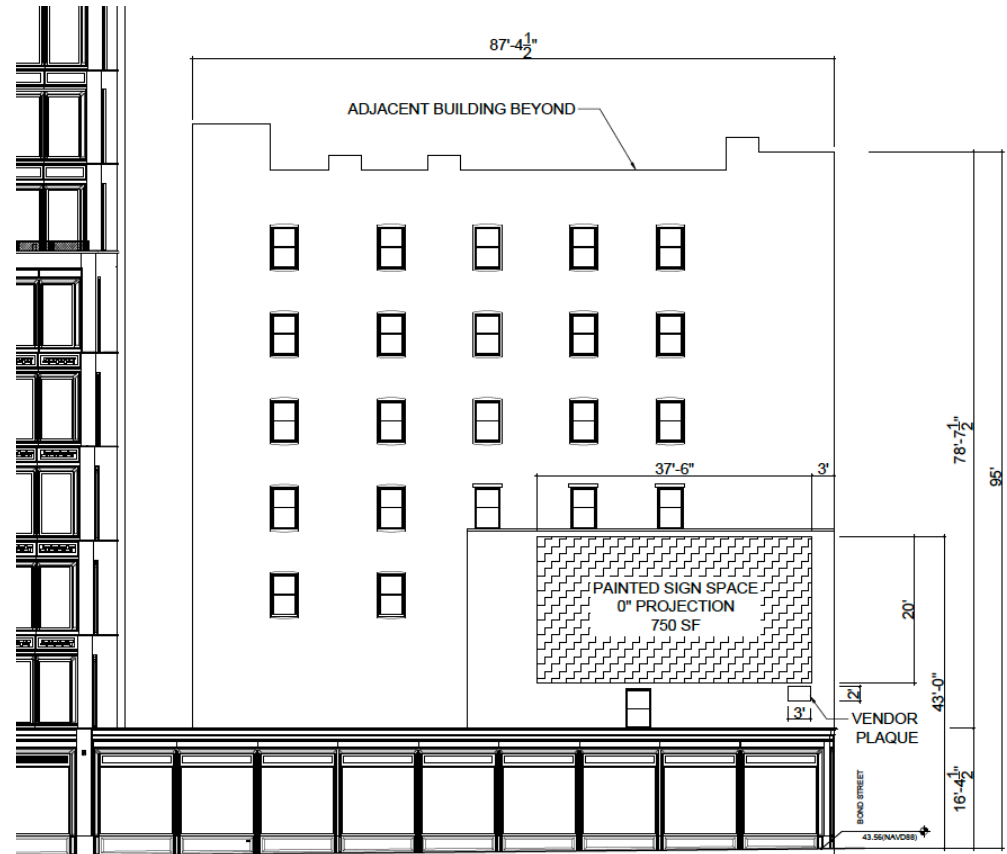
- Proposed Sign located on secondary Facade
- Zoned M1-5B
- 20' high x 37' 6" wide
- 750 square feet
- Occupies 10.92% of surrounding visible facade (total 6,865 square feet)
- Set back three (3) feet from the primary facade
- Top of sign 43 feet high, maximum permitted sign height is 75 feet above curb level
- Does not obscure architectural features or windows
- Facing northwest, toward the major artery Lafayette St in the NoHo Historic District Extension
- Comprehensive Master Plan to assist in Staff-Level Copy Change Approvals
- Red Box seen on the left denotes approximated size and location of painted sign area.





1926 photo

Historic signs shown on the left-most facade in this photo, featuring multiple painted signs



① WEST ELEVATION
SCALE: 1/16" = 1'-0"

Architectural Elevation

COLOSSAL MEDIA: STANDARD-BEARERS OF A HISTORIC CRAFT



"Pouncing," a method of patterning a wall with charcoal:
1930's



Colossal painters pouncing a wall in 2016

HISTORIC HANDPAINTED SIGNS NOHO HISTORIC DISTRICT AND EXTENSION



1. 11 Bond Street, early 1900's



2. 363 Lafayette St, July 1900



3. Astor Place, 1936



4. Lafayette (Elm) and Great Jones, 1935

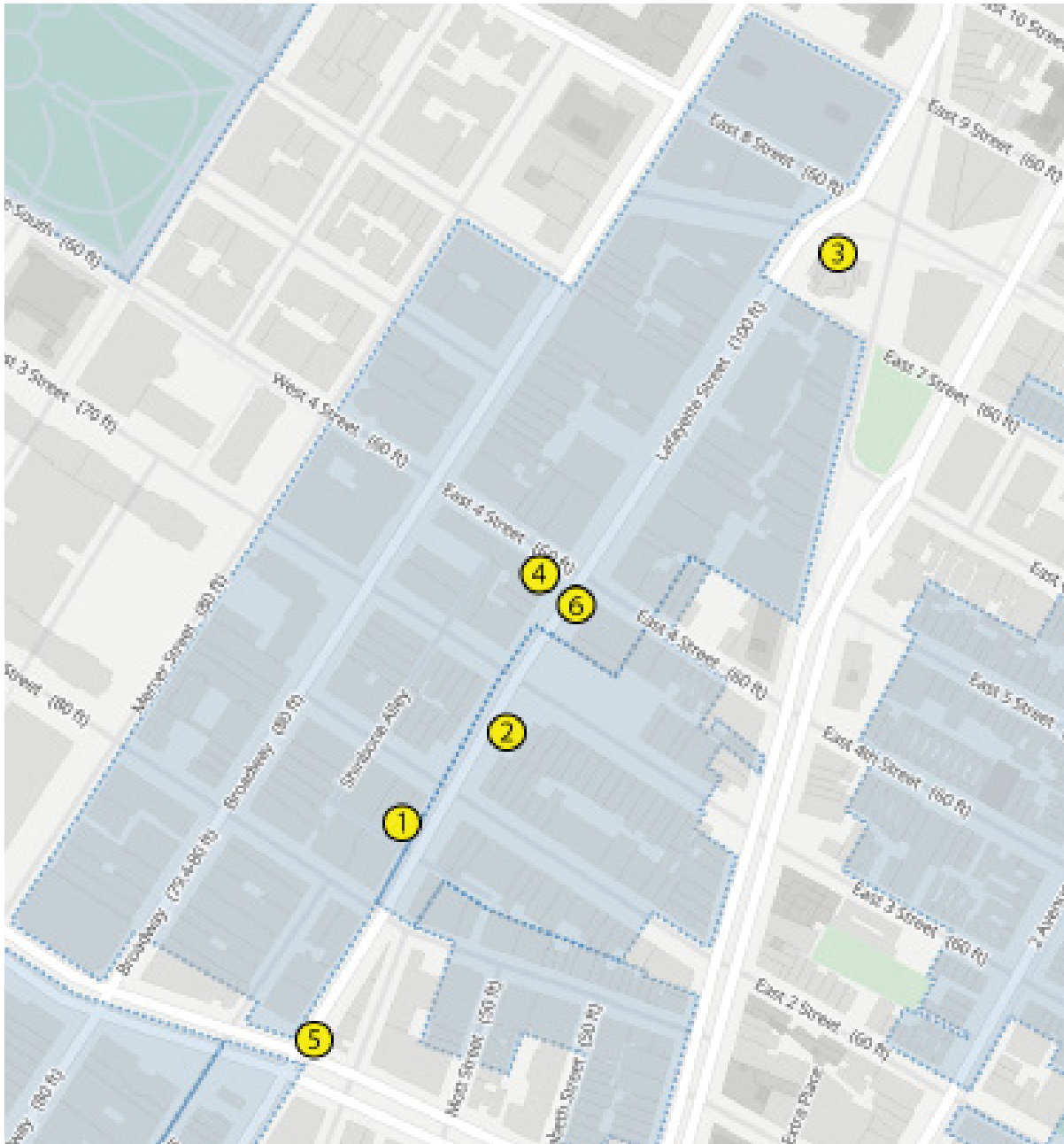


5. E. Houston and Lafayette, 1939



6. Lafayette (Elm) St and Great Jones, 1926

HISTORIC HANDPAINTED SIGNS NOHO HISTORIC DISTRICT AND EXTENSION - MAP



1. 11 Bond Street
2. 363 Lafayette Street
3. Astor Place
4. Lafayette Street and Great Jones Street (1935)
5. E. Houston St and Lafayette Street
6. Lafayette Street and Great Jones Street (1926)

COMMISSION-APPROVED MASTER PLANS IN THE NOHO HISTORIC DISTRICT & EXTENSION



439 Lafayette Street

THE NOHO HISTORIC DISTRICT & EXTENSION

NoHo Historic District Extension | LP-2287

NYC Landmarks Preservation Commission



1. 439 Lafayette Street (existing)
2. 363 Lafayette Street (proposed)

PROPOSED MASTER PLAN TO ALLOW CHANGES TO CONTENT OF A PAINTED ADVERTISING SIGN

Proposed Sign located on secondary Facade

Sign Space conforms to LPC's previous master plan approvals with regards to size and placement

4" Standard black or white border (contrasting sign content) within approved sign square footage and location on facade

No regulation of content within the designated sign space consistent recent master plan approvals on sign spaces

Total sign area shall be limited to less than 20% of the visible surrounding facade

Designated vendor plaque size and position consistent with other approved sign spaces.

The term of the master plan permit to allow sign copy changes at staff level shall be for 10 years

Criteria is consistent with prior approved master plans

APPROVED AND PAINTED SIGNS UNDER PAINTED SIGN MASTER PLAN

LOCATION: 60 Grand Street, Manhattan

CLIENT: Streeteasy

LPC ATP: LPC-20-09146

Artwork



Mockup



Finished sign

APPROVED AND PAINTED SIGNS UNDER PAINTED SIGN MASTER PLAN

LOCATION: 140 Grand Street, Manhattan

CLIENT: Evian

LPC ATP: LPC-19-39718

Artwork



Mockup



Finished sign

APPROVED AND PAINTED SIGNS UNDER PAINTED SIGN MASTER PLAN

LOCATION: 154 Grand Street, Manhattan

CLIENT: Brizo

LPC ATP: LPC-21-01192

Artwork



Mockup



Finished sign



ZONING ANALYSIS

ZR42-532 TOTAL SURFACE AREA OF NON-ILLUMINATED SIGN

REQUIRED: MAXIMUM 6X STREET FRONTAGE OR 750 SF
 6 X (200.83') = 1205 SF TOTAL NON-ILLUMINATED SIGNAGE
 PROPOSED SIGN = 20' X 37.5' = 750 SF = 750 SF - OK

42-543 HEIGHT OF SIGNS

REQUIRED: MAXIMUM HEIGHT OF NON-ILLUMINATED SIGN = 75'-0" ABOVE CURB LEVEL
 PROPOSED SIGN: 43'-0" < 75'-0" ABOVE CURB LEVEL - OK

42-55 ADDITIONAL REGULATIONS FOR SIGNS NEAR CERTAIN PARKS AND DESIGNATED ARTERIAL HIGHWAYS

SIGN IS NOT WITHIN 200' OF AN ARTERIAL HIGHWAY OR PARK OF 1/2 ACRE OR MORE

BUILDING CODE ANALYSIS

AC 28-104.7.1

PROPOSED SCOPE OF WORK INCLUDES HAND-PAINTING AN ADVERTISING WALL SIGN ON THE SIDE OF THE EXISTING BUILDING, SEE ELEVATION AND LOT DIAGRAM FOR PROPOSED LOCATION; NO CHANGE TO USE, OCCUPANCY OR EGRESS, NO CHANGE TO INTERIOR OR EXTERIOR EXISTING CONSTRUCTION, NO FACADE RENOVATIONS OR NEW CONSTRUCTION ELEMENTS ARE INCLUDED IN THE SCOPE OF THIS APPLICATION

H103.1 LOCATION RESTRICTIONS

SIGN DOES NOT OBSTRUCT ANY FIRE ESCAPE, WINDOW OR DOOR

H105.3 WIND LOAD

SIGN IS PAINTED ON SIDE OF EXISTING BUILDING, NO CHANGE TO BUILDING EXTERIOR OR WIND LOADING IN THIS APPLICATION

H105.6 ATTACHMENT

SIGN IS PAINTED ON SIDE OF EXISTING BUILDING, NO PHYSICAL ATTACHMENT MEANS ARE BEING USED AS PART OF THIS APPLICATION

H107.1 USE OF COMBUSTIBLES

SIGN IS PAINTED ON SIDE OF EXISTING BUILDING, NO COMBUSTIBLE MATERIALS ARE BEING USED AS PART OF THIS APPLICATION

BC 105.7.4 NAME AND ADDRESS OF LICENSED SIGN HANGER

JOSEPH COIRO, License No: SI 000227
 INTERBORO SIGN & ELEC, 201 INGRAHAM STREET, BROOKLYN NY 11237

SIGN IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA



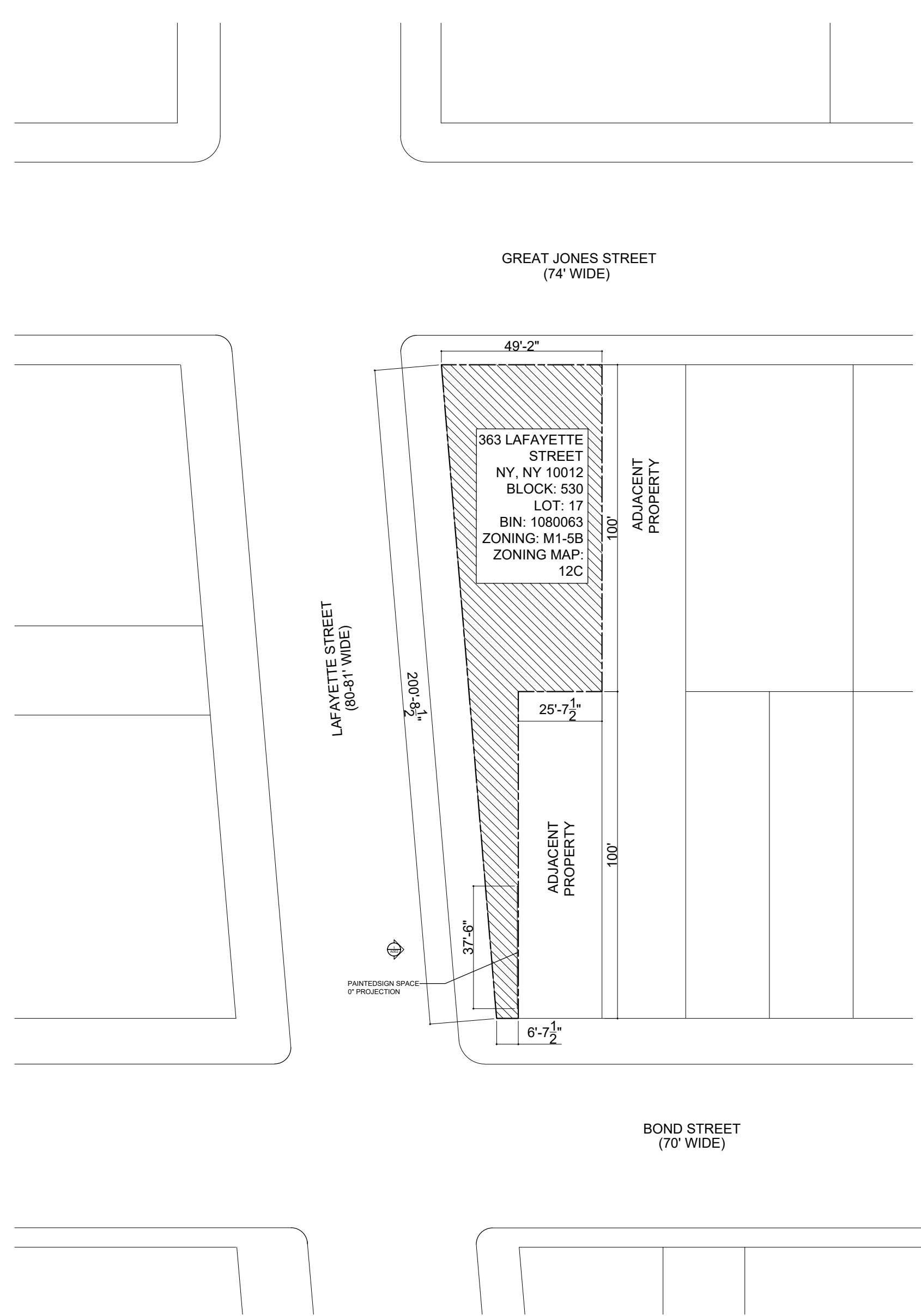
ZR 42-55 200' ZONING RADIUS



ZONING MAP 12C DETAIL

LEGEND

- PAINTED SIGN SPACE
- EXISTING PARTITION TO REMAIN
- EXISTING PROPERTY LINE



① **LOT DIAGRAM**
 SCALE: 1/32" = 1'-0"

OAC
 COLOSSAL MEDIA
 95 NORTH 10TH STREET
 BROOKLYN, NY 11249

**APPLICATION FOR SIGN PERMIT
 363 LAFAYETTE STREET**

363 LAFAYETTE STREET
 NEW YORK, NY 10012

B SCAN

SIGN AND SEAL



DRAWING NAME
**LOT DIAGRAM, BUILDING CODE &
 ZONING ANALYSIS**

DATE
 10.27.2021

DRAWING NUMBER

SCALE
 AS NOTED




A001.00

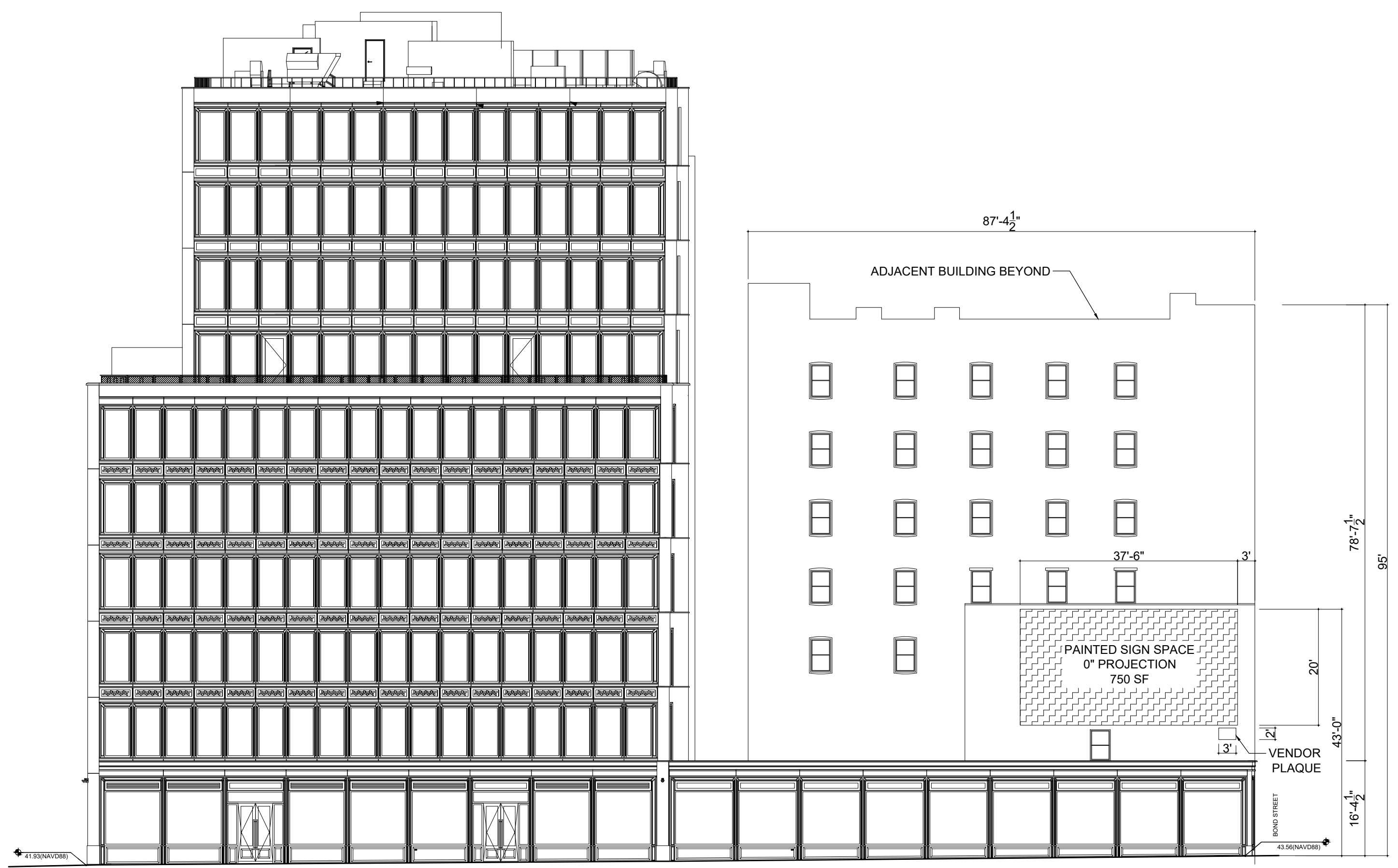
1 OF 2

APPLICATION NUMBER

M00394795-11

LEGEND

-  PAINTED SIGN SPACE
-  EXISTING PARTITION TO REMAIN
-  EXISTING PROPERTY LINE



① **WEST ELEVATION**
 SCALE: 1/16" = 1'-0"

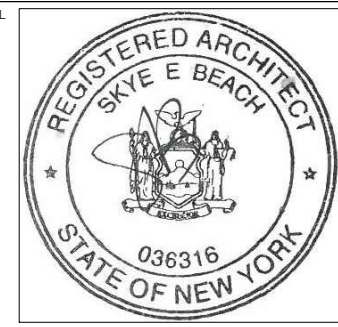
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**APPLICATION FOR SIGN PERMIT
 363 LAFAYETTE STREET**

363 LAFAYETTE STREET
 NEW YORK, NY 10012

B SCAN

SIGN AND SEAL



DRAWING NAME
BUILDING ELEVATION

DATE
 10.27.2021

DRAWING NUMBER

SCALE
 AS NOTED

A002.00

2 OF 2

APPLICATION NUMBER

M00394795-11