

EXHIBIT 1

CB2 SLA Questionnaire

Terri Cude, *Chair*
Daniel Miller, *First Vice Chair*
Susan Kent, *Second Vice Chair*
Bob Gormley, *District Manager*



Antony Wong, *Treasurer*
Keen Berger, *Secretary*
Erik Coler, *Assistant Secretary*

COMMUNITY BOARD No. 2, MANHATTAN

3 WASHINGTON SQUARE VILLAGE
NEW YORK, NY 10012-1899

www.cb2manhattan.org

P: 212-979-2272 F: 212-254-5102 E: info@cb2manhattan.org

Greenwich Village ✦ Little Italy ✦ SoHo ✦ NoHo ✦ Hudson Square ✦ Chinatown ✦ Gansevoort Market

COMMUNITY BOARD 2 APPLICATION FOR A LIQUOR LICENSE

Please fill out this questionnaire and return to the Community Board 2 office by fax or mail to arrive at least **5 business days** before the Committee meeting. In addition, bring **10 copies** plus supporting material requested to the SLA committee meeting.

Failure to complete and return the questionnaire and supporting materials on time will result in your item being removed from the agenda.

Failure to provide a completed questionnaire or failure to present before CB2 will result in notifying the State Liquor Authority (SLA) of your noncompliance with the community review process.

If you need to reschedule, please notify the Community Board 2 office no later than the Friday prior to the following month's meeting. Speak to Florence Arenas at the Board Office. **A maximum of 1 layover request** will be granted per application. **Failure to reappear without notification will result in a recommendation to deny this application.**

The following supporting materials are **required** for this application:

1. A list of all other licensed premises within 500 ft. of this location including Beer and Wine.
2. Floor plans of the premise, including all tables and chairs and kitchen lay out to be licensed. Please also include any schematics for sidewalk café, backyard garden space and/or rooftop areas if applicable.
3. Provide any plans filed or to be filed with the Buildings Department.
4. Proposed menu, if applicable.
5. Certificate of Occupancy or Letter of No Objection for the premises.
6. Letter of Understanding or Letter of Intent from the Landlord.
7. Provide proof of community outreach with signatures or letters from Residential Tenants at location and from surrounding buildings. (i.e. a letter from the neighborhood block association or petition in support.)
8. A copy of your NYS Liquor Authority application as it will be submitted to the SLA. (excluding financial information)

Meeting Date: _____

APPLICANT INFORMATION:

Name of applicant(s):

4T USA Inc.

Trade name (DBA):

Mi Garba

Premises address:

310 Bleecker Street, New York, NY, 10014

Cross Streets and other addresses used for building/premise:

Grove Street / Bleecker Street

CONTACT INFORMATION:

Principal(s) Name(s):

Andrea Tempestini

Office or Home Address:

[REDACTED]

City, State, Zip:

[REDACTED]

Telephone #:

[REDACTED]

email :

[REDACTED]

Landlord Name / Contact:

[REDACTED]

Landlord's Telephone and Fax:

[REDACTED]

NAMES OF ALL PRINCIPAL(s):

Andrea Tempestini

NAMES / LOCATIONS OF PAST / CURRENT LICENSES HELD

4T USA Inc. 129 4th Avenue, New York, NY, 10002 (Beer & Wine) (INACTIVE)

Briefly describe the proposed operation (i.e. "We are a family restaurant that will focus on..."):

We are an authentic Italian restaurant serving regional food, wines and drinks from the Italian region of Tuscany.

WHAT TYPE(S) OF LICENSE(S) ARE YOU APPLYING FOR (MARK ALL THAT APPLY):

a new liquor license (Restaurant Tavern / On premise liquor Other)

an UPGRADE of an existing Liquor License

an ALTERATION of an existing Liquor License

a TRANSFER of an existing Liquor License

a HOTEL Liquor License

a DCA CABARET License

a CATERING / CABARET Liquor License

a BEER and WINE License

a RENEWAL of an existing Liquor License

an OFF-PREMISE License (retail)

OTHER : _____

If upgrade, alteration, or transfer, please describe specific nature of changes:

(Please include physical or operational changes including hours, services, occupancy, ownership, etc.)

If this is for a new application, please list previous use of location for the last 5 years:

Retail

Is any license under the ABC Law currently active at this location? yes no

If yes, what is the name of current / previous licensee, license # and expiration date: _____

Have any other licenses under the ABC Law been in effect in the last 10 years at this location?

yes no

If yes, please list DBA names and dates of operation:

308 310 BLEECKER RESTAURANT LLC d/b/a CHOPTANK, OP License Serial # 1235207, Active from 01/04/2010 to 12/31/2011

PREMISES:

By what right does the applicant have possession of the premises?

Own Lease Sub-lease Binding Contract to acquire real property other: _____

Type of Building: Residential Commercial Mixed (Res/Com) Other: _____

Number of floor: 4 Year Built : 1910

Describe neighboring buildings: Residential over commercial

Zoning Designation: C1-6

Zoning Overlay or Special Designation (applicable) 2-6

Block and Lot Number: 588 / 22, 23

Does the premise occupy more than one building, zoning lot, tax lot or more than one floor? yes no

Is the premise located in a historic district? yes no

(if yes, have all exterior changes or changes governed by the Landmarks Preservation Commission (LPC) been approved by the LPC? yes no, please explain : In progress

Will any outside area or sidewalk café be used for the sale or consumption of alcoholic beverages? (including sidewalk, roof and yard space) no yes : explain Sidewalk cafe'

What is the proposed Occupancy? 37

Does the premise currently have a valid Certificate of Occupancy (C of O) and all appropriate permits?

no yes

If yes, what is the maximum occupancy for the premises? 74

If yes, what is the use group for the premises? F-4

If yes, is proposed occupancy permitted? yes no, explain : _____

If your occupancy is 75 or greater, do you plan to apply for Public Assembly permit? yes no

Do you plan to file for changes to the Certificate of Occupancy? yes no
(if yes, please provide copy of application to the NYC DOB)

Will the façade or signage be changed from what currently exist at the premise? no yes

(if yes, please describe: _____

INTERIOR OF PREMISES:

What is the total licensed square footage of the premises? 2000 SF

If more than one floor, please specify square footage by floors: Ground Floor: 1000 SF ; Basement: 1000 SF

If there is a sidewalk café, rear yard, rooftop, or outside space, what is the square footage of the area?

If more than one floor, what is the access between floors? Stairs

How many entrances are there? 1 How many exits? 1 How many bathrooms ? 2

Is there access to other parts of the building? no yes, explain: _____

OVERALL SEATING INFORMATION:

Total number of tables? 12 Total table seats? 24

Total number of bars? 1 Total bar seats? 7

Total number of "other" seats? 6 please explain : Sidewalk Cafe'

Total OVERALL number of seats in Premises : 37

BARs:

How many *stand-up bars / bar seats are being applied for on the premises? Bars 1 Seats 7

How many service bars are being applied for on the premises? 0

Any food counters? no yes, describe : _____

For Alterations and Upgrades:

Please describe all current and existing bars / bar seats and specific changes: _____

* A stand-up bar is any bar or counter (whether seating or not) over which a member of the public can order, pay for and receive food and alcoholic beverages.

PROPOSED METHOD OF OPERATION:

What type of establishment will this be? (check all that apply)

Bar Bar & Food Restaurant Club/ Cabaret Hotel Other: _____

What are the Hours of Operation?

Sunday: Monday: Tuesday: Wednesday: Thursday: Friday: Saturday:
11 to 12 11 to 12 11 to 12 11 to 12 11 to 1 11 to 1 11 to 1

Will the business employ a manager? no yes, name / experience if known : Pier Davide Boi,

GM at the previous location

Will there be security personnel? no yes(if yes, what nights and how many?) _____

Do you have or plan to install French doors, accordion doors or windows that open? no yes

If yes, please describe : _____

Will you have TV's ? no yes (how many?) _____

Type of MUSIC / ENTERTAINMENT: Live Music Live DJ Juke Box Ipod / CDs none

Expected Volume level: Background (quiet) Entertainment level Amplified Music
(check all that apply)

Do you have or plan to install soundproofing? no yes

IF YES, will you be using a professional sound engineer? _____

Please describe your sound system and sound proofing: _____

Will you be permitting: promoted events scheduled performances outside promoters

any events at which a cover fee is charged? private parties NO

Do you have plans to manage or address vehicular traffic and crowd control on the sidewalk caused by your establishment? no yes (if yes, please attach plans)

Will you be utilizing ropes movable barriers other outside equipment (describe) _____

Are your premises within 200 feet of any school, church or place of worship? no yes

If there is a school, church or place of worship within 200 feet of your premises or on the same block, please submit a block plot diagram or area map showing its' location in proximity to your applicant premises (no larger than 8 ½ " x 11").

Indicate the distance in feet from the proposed premise:

Name of School / Church: _____

Address: _____ Distance: _____


Name of School / Church: _____

Address: _____ Distance: _____

Name of School / Church: _____

Address: _____ Distance: _____

Please provide contact information for Residents / Community Board and confirm that if complaints are made you will address it immediately.

Contact Person: Pier Davide Boi Phone: 

Address: 

Email : 

Application submitted on
behalf of the applicant by:



Signature

Print or Type Name Pier Davide Boi

Title General Manager

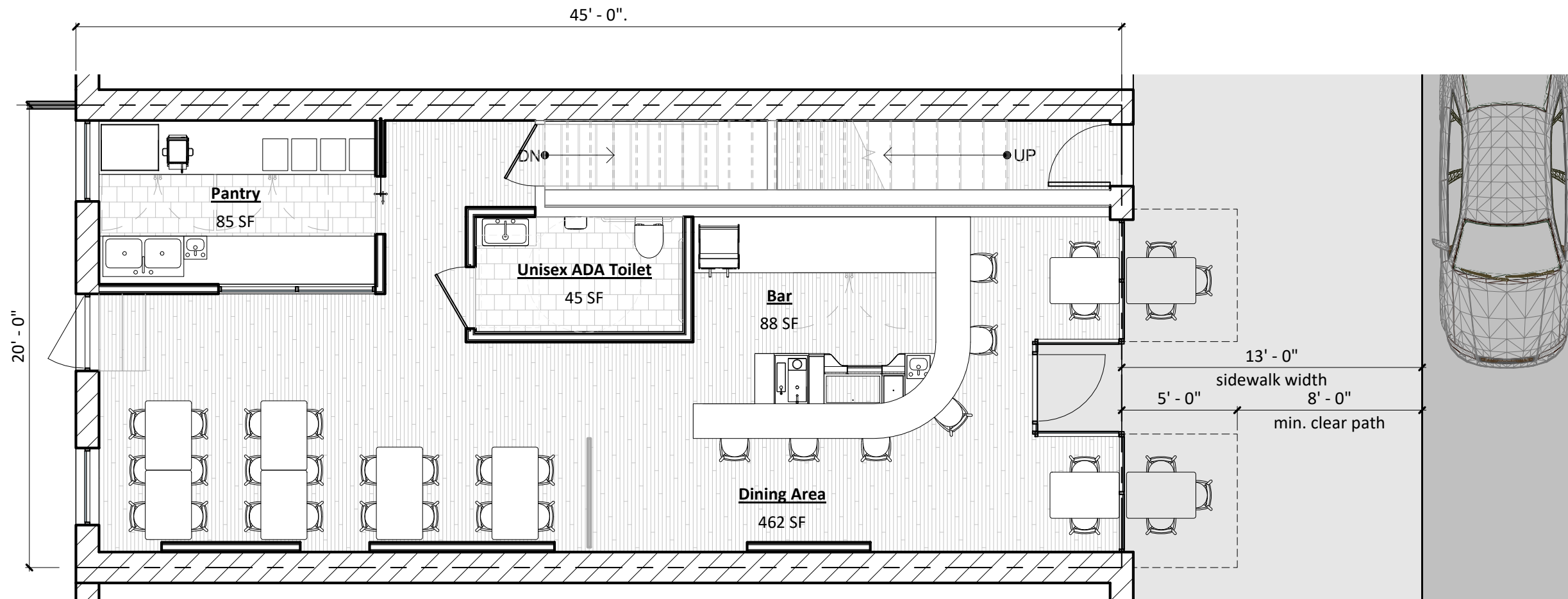
Thank you for your cooperation. Please return this questionnaire along with the other required documents as soon as you can. This will expedite your application and avoid any unnecessary delays. Use additional pages if necessary.



Community Board 2, Manhattan
SLA Licensing Committee
Carter Booth, Co-Chair
Robert Ely, Co-Chair

EXHIBIT 3

Floor plans of the premise



PROPOSED COMMERCIAL SPACE OCCUPANCY:

[EATING AND DRINKING ESTABLISHMENT]

OCCUPANCY LOAD & EGRESS REQUIREMENT SCHEDULE

ROOM NAME	OCCUPANCY	FLOOR AREA	*MAX. SF PER OCC.	MAX. ALLOWED OCCUPANT	ACTUAL DESIGNED NUMBER OF OCCUPANT
DINING AREA	Assembly without fixed seats (A-2)	462 SF	15 (NET)	462 SF / 15 = 31 PERSON	31
BAR AREA	Kitchen Area	88 SF	200 (GROSS)	88 SF / 200 = 1 PERSON	1
PANTRY	Kitchen Area	85 SF	200 (GROSS)	85 SF / 200 = 1 PERSON	1
SIDEWALK AREA					6
CELLAR STORAGE	Accessory Storage Areas, Mechanical Equipment Room	779 SF	300 (GROSS)	779 SF / 300 = 2.6 PERSON	3
TOTAL OCCUPANT LOAD = 42					

* TABLE 1004.1.2 - MAX. FLOOR AREA ALLOWANCE PER OCCUPANT

- BC 1021.2 SINGLE EXITS - ONLY ONE EXIT SHALL BE REQUIRED IN BUILDINGS OR FROM STORIES OF BUILDINGS AS DESCRIBED IN TABLE 1021.2 - (GROUP A-2: 49 OCCUPANTS & 75' TRAVEL DISTANCE)
- BC 1028.7 TRAVEL DISTANCE - SEE TABLE 1028.7 (GROUP A-2: NON SPRINKLERED PRIMARY 100')

EXHIBIT 5

Plans filed or to be filed with
the Buildings Department

Mi Garba West Village



DRAWING LIST

Sheet Number	Sheet Name	Scale
A-102.00	PROPOSED FLOOR PLAN - LEVEL C1	
DM-002.00	DEMOLITION FLOOR PLAN - LEVEL C1	
G-001.00	DRAWING LIST, LOCATION PLAN & LEGENDS	NA
G-002.00	GENERAL NOTES & HANDICAPPED ACCESSIBILITY NOTES	NA
G-003.00	FEMA FIRM PANELS	NA
DM-001.00	DEMOLITION FLOOR PLAN - LEVEL 01	1/4" = 1'-0"
A-101.00	PROPOSED FLOOR PLAN - LEVEL 01	1/4" = 1'-0"
A-601.00	INTERIOR ELEVATIONS	1/4" = 1'-0"
A-701.00	PARTITION TYPES	AS NOTED
A-702.00	DOOR, CEILING & MISC. DETAILS	AS NOTED
A-801.00	REFLECTED CEILING PLAN & LIGHTING FIXTURE SCHEDULE	1/4" = 1'-0"

CONSTRUCTION LEGEND

	EXISTING TO BE DEMOLISHED
	NEW CONSTRUCTION *ALSO SEE BUILDING DEPARTMENT NOTES

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	MTL.	METAL
ALT.	ALTERNATIVE	MIN.	MINIMUM
APPROX.	APPROXIMATE	MISC.	MISCELLANEOUS
AVG.	AVERAGE	MTL.	METAL
@	AT	N.A.	NOT AVAILABLE
B.O.	BOTTOM OF	N.T.S.	NOT TO SCALE
C.L.	CENTERLINE	O.C.	ON CENTER
CLG.	CEILING	OPP.	OPPOSITE
CONT.	CONTINUOUS	OPNG.	OPENING
DEMO.	DEMOLITION, DEMOLISH	P. LAM.	PLASTIC LAMINATE
DET.	DETAIL	PLBG.	PLUMBING
DIM.	DIMENSION	QTY.	QUANTITY
DWG.	DRAWING	REQD.	REQUIRED
EA.	EACH	REV.	REVISION
ELEC.	ELECTRIC(AL)	RM.	ROOM
EQ.	EQUAL	S.F.	SQUARE FEET
EX.	EXISTING	SIM.	SIMILAR
EXT.	EXTERIOR	SPEC.	SPECIFICATION
F.O.	FACE OF	STL.	STEEL
FT.	FOOT, FEET	S.S.	STAINLESS STEEL
FURR.	FURRING, FURRED	T.B.D.	TO BE DETERMINED
GW(B (GYP.))	GYP(SUM) WALLBOARD	TEMP	TEMPORARY, TEMPERED
HT.	HEIGHT	THK.	THICK(NESS)
IN.	INCH(ES)	T.O.S.	TOP OF SLAB
INT.	INTERIOR	TYP.	TYPICAL
MAX.	MAXIMUM	U.O.N.	UNLESS OTHERWISE NOTED
MECH.	MECHANICAL	VAR.	VARIES
MAT.	MATERIAL	V.I.F.	VERIFY IN FIELD
MIN.	MINIMUM	W	WIDTH
MISC.	MISCELLANEOUS	WD.	WOOD

PROJECT INFORMATION

OWNER : [4T USA INC] Pier Davide Boi
 ADDRESS: 310 Bleecker Street
 New York, NY 10014
 BLOCK / LOT: 588 / 22
 ZONING DISTRICT: C1-6
 ZONING MAP: 12a
 OCCUPANCY CODE: RES - OLD CODE
 MULTIPLE DWELLING CLASSIFICATION: HAEA
 LANDMARK: YES
 NO. OF STORIES: 4
 BUILDING HEIGHT: 52 FEET
 EXISTING UNIT AREA: 1,800 SF

PROJECT DESCRIPTION:
 Proposed Interior Renovation in Existing Eating & Drinking Establishment with New Partitions, Finish Work, HVAC and Plumbing on Existing Roughing as per Plan.

SEE CO #: M000094621

NO CHANGE IN USE, NO CHANGE TO EGRESS,
 NO CHANGE TO OCCUPANCY

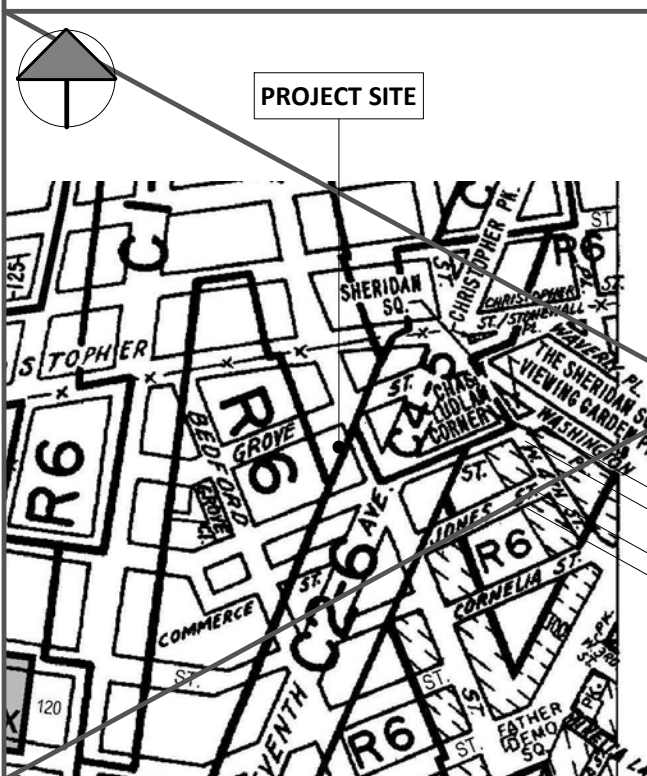
DRAWING LEGEND

NAME	SYMBOL	NAME	SYMBOL		
ROOM TAG		COLUMN			
DOOR TAG		WINDOW TAG			
ELEVATION		CENTER LINE		PARTITION TYPE	
DETAIL		REVISION NUMBER			
INTERIOR ELEVATION		MATERIAL TAG			
ELEVATION / DATUM		ELEVATION CHANGE			

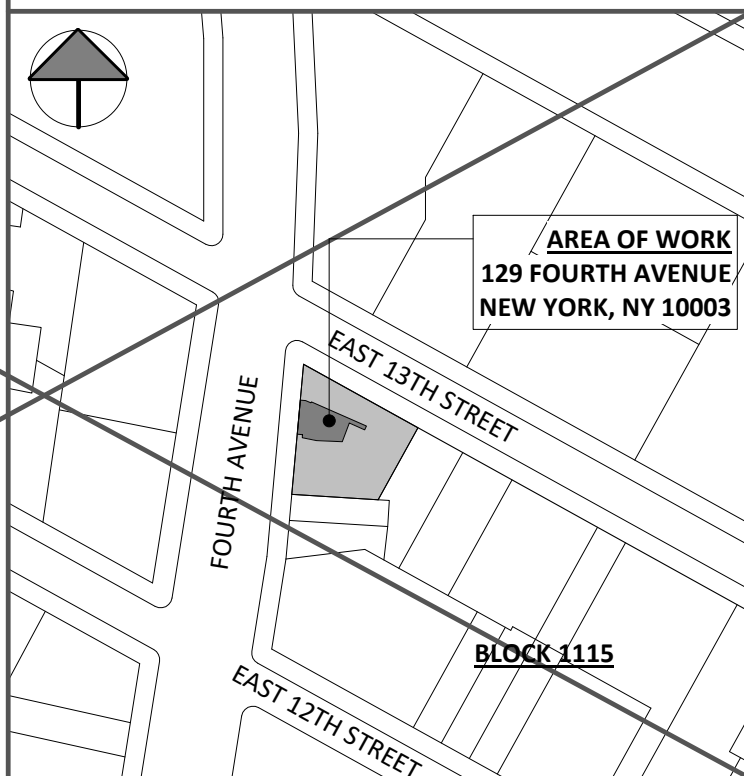
TR1 - SPECIAL INSPECTION

INSPECTION ITEMS	CODE SECTION
FIRE-RESISTANT PENETRATIONS AND JOINTS	BC 1704.27
TR1 - PROGRESS INSPECTION	
ENERGY CODE COMPLIANCE INSPECTIONS	BC 110.3.5
FINAL	28-116.2.4.2, BC 110.3.4 Directive 14 of 1975, and 1 RCNY 101-10

ZONING MAP - 12a



PLOT PLAN



MATERIALS INDICATION

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	CMU AT SMALL SCALE		GRANITE/STONE
	CMU AT LARGE SCALE		STEEL/METAL
	MASONRY		PLYWOOD
	EARTH		ACOUSTIC TILE
	CONCRETE - CAST IN PLACE		GLASS
	CONCRETE - PRECAST		CERAMIC TILE
	GYP. BOARD AREA OR SAND		PLASTIC LAMINATE
	FINISH WOOD - PLAN-ELEVATION		ROUGH WOOD
	FINISH WOOD - SECTION		SHIM WOOD
	RIGID INSULATION		BATT INSULATION

CONSTRUCTION CLASSIFICATION

- EXISTING BUILDING TO REMAIN ARE CLASSIFIED AS: **OLD CODE CLASS 3 NON-FIREPROOF STRUCTURES**
- THE FIRE RESISTANCE RATINGS SHALL BE MAINTAINED IN CONFORMANCE WITH 2014 NYC BUILDING CODE TABLE 601, BC 601 & BC 602.2

LNZ, LLC
 20 Newport Pkwy. #302
 Jersey City, NJ 07310
 p. 917.365.6192

Client

[4T USA INC]

Pier Davide Boi

1140 Bay Street, Suite 2C
 Staten Island, NY 10305
 p. 917.588.8361

MEP Engineer

APEX Energy Solutions, Inc.

16 West 36th Street, #601
 New York, NY 10018
 p. 929.341.0003

Filing Expediter

BMB Building Consulting Inc.

53 Elizabeth Street, Suite #2C
 New York, NY 10013
 p. 212.966.0370

No. Issue/Description Date

Project Title

Mi Garba_West Village

310 Bleecker Street
 New York, NY 10014

Phase

Issued for Construction

Sheet Title

**DRAWING LIST,
 LOCATION PLAN &
 LEGENDS**

NYC DOB EMPLOYEE STAMPS / SIGNATURE

NYC DOB BSCAN:

Scale NA

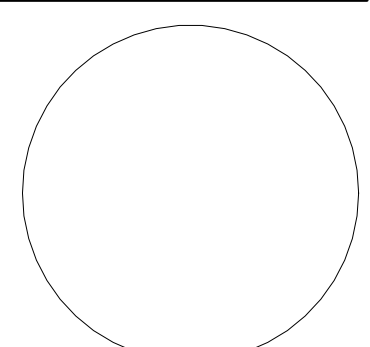
Project Number 02106

Date 04/27/2020

Drawn by

Checked by

Seal & Signature



Drawing Number **G-001.00**

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BUILDING STAFF SHALL REVIEW ON SITE REQUIREMENTS (IF ANY) OF ACCESS PANELS FOR BUILDING VALVES, CLEANOUTS, ETC.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING NEW YORK CITY AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.).
- THE PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL APPLY FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS AS REQUIRED.
- THE CONTRACTOR SHALL MAINTAIN COMPLETE AND UP-TO-DATE DRAWINGS AT THE JOB SITE. DRAWINGS SHALL NOT BE SCALED TO OBTAIN DIMENSIONS.
- THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND ALL OTHER ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE SITE AND HAS FAMILIARIZED HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE ARCHITECT WILL HAVE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS.
- THE CONTRACTOR AT ALL TIMES SHALL KEEP PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS.
- ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES. MAINTAIN REQUIRED EMERGENCY EGRESS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT AND THEIR AGENTS AND EMPLOYEES, FROM AND AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCES OF THE WORK.
- THE OWNER RESERVES THE RIGHT TO AWARD OTHER CONTRACTS IN CONNECTION WITH OTHER PORTIONS OF THE PROJECT. GENERAL CONTRACTOR IS TO COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- THE CONTRACTOR SHALL PAY ALL FEES AND SECURE PERMITS FROM ALL AGENCIES HAVING JURISDICTION AND AT COMPLETION SHALL SEE THAT THE PROJECT IS SIGNED OFF IN THE DEPARTMENT OF BUILDINGS.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE THE CONTRACT LIMITS AND RESTORE ALL SUCH PROPERTY TO ITS CONDITION PRIOR TO THE START OF WORK.
- EACH CONTRACTOR SHALL PERFORM ALL REQUIRED CUTTING AND CHOPPING FOR HIS OWN TRADE, UNLESS OTHERWISE NOTED.
- ALL PARTITIONS TO BE WEDGED TIGHTLY TO SLAB.

26. THE CONTRACTOR SHALL RESTORE TO VALUE SPECIFIED IN APPLICABLE CODES THE INTEGRITY OF EXISTING RATED PARTITIONS AND THE FIRE PROTECTION OF STRUCTURAL MEMBERS THAT ARE DAMAGED DURING CONSTRUCTION.

27. ALL FINISHES SHALL COMPLY WITHIN THE LIMITS FOR FIRE RESISTANCE, FLAMMABILITY AS SPECIFIED IN BC CHAPTER 7.

28. WHERE PIPES, WIRES, CONDUITS, DUCTS, ETC. PIERCE FIRE PROTECTION OF INDIVIDUALLY ENCASED STRUCTURAL MEMBERS, SUCH PENETRATION SHALL NOT EXCEED 2% OF ANY ONE FACT OF SUCH PROTECTION AND SHALL BE CLOSED OFF WITH FITTING METAL ESCUTCHEONS OR PLATES.

29. ALL EXISTING WALLS IN AREAS TO REMAIN AFFECTED BY THIS WORK SHALL BE PROPERLY PATCHED AND REPAIRED AND FULLY PREPARED FOR PAINTING. ALL NEW MATERIALS TO MATCH MATERIALS IN QUALITY AND COLOR AND TEXTURE, WHERE NEW MATERIALS ARE CONTIGUOUS WITH EXISTING.

30. CONTRACTOR TO CHECK FOR EXISTING RISER LOCATIONS. UNDER NO CIRCUMSTANCES SHALL THERE BE CUTTING, MOVING, AND/OR REMOVING OF THE RISERS, SUPPLY, VENT OR DRAIN LINES.

31. THE GENERAL CONTRACTOR SHALL PERFORM ALL REQUIRED NECESSARY PATCHING, REFINISHES, ETC. ARISING FROM CONTRACTOR'S WORK ON SITE.

32. THE CONTRACTOR HAS OVERALL RESPONSIBILITY FOR INSURING THE INTEGRITY OF BUILDING COMPONENTS WHICH MAY BE ALTERED BY THE INSTALLATION OF OWNER'S FURNISHINGS.

33. THE CONTRACTOR SHALL REMOVE AND EXECUTE ALL UNSATISFACTORY WORK AT NO ADDITIONAL COST TO THE OWNER.

34. CONTRACTOR SHALL PROVIDE EQUIPMENT USE PERMITS AS REQUIRED. ALL REQUIRED PERMITS TO BE OBTAINED BY CONTRACTOR.

35. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ALL WORK FURNISHED BY OWNER.

36. **DAMAGE:** ALL WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FROM THE DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSES TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING CAUSED BY REPAIR OF HIS WORK.

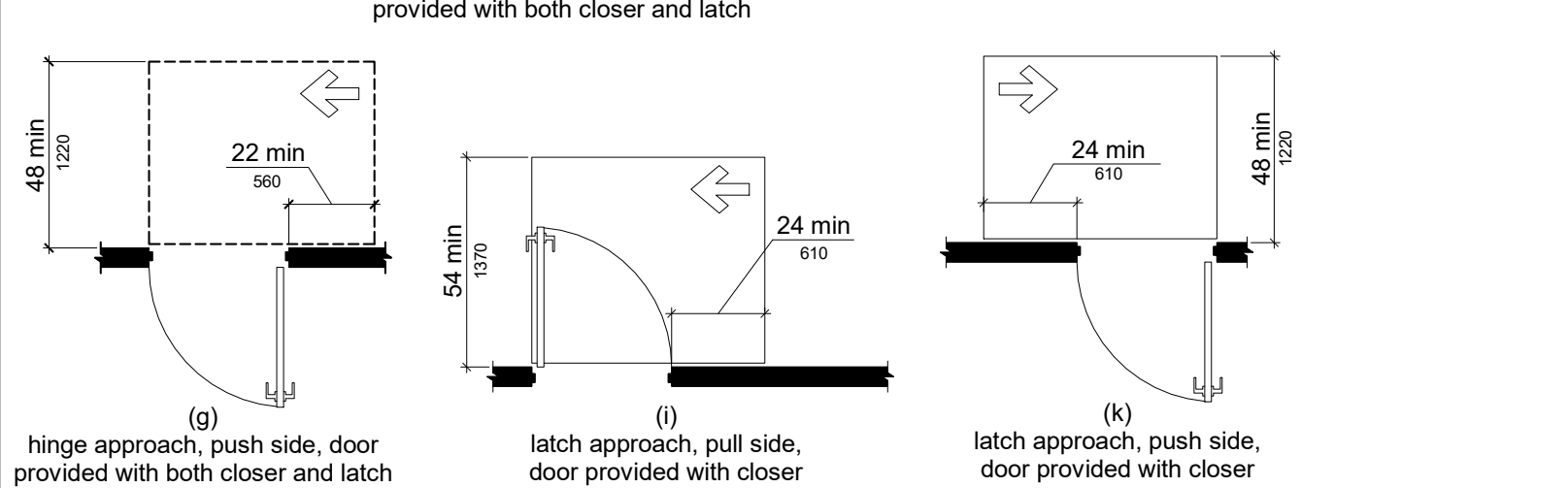
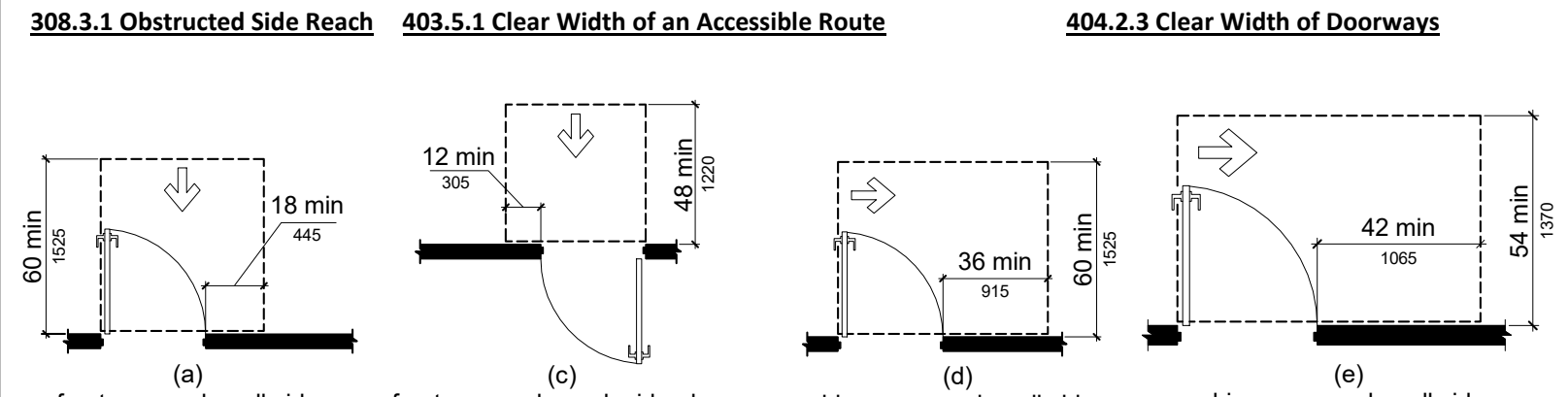
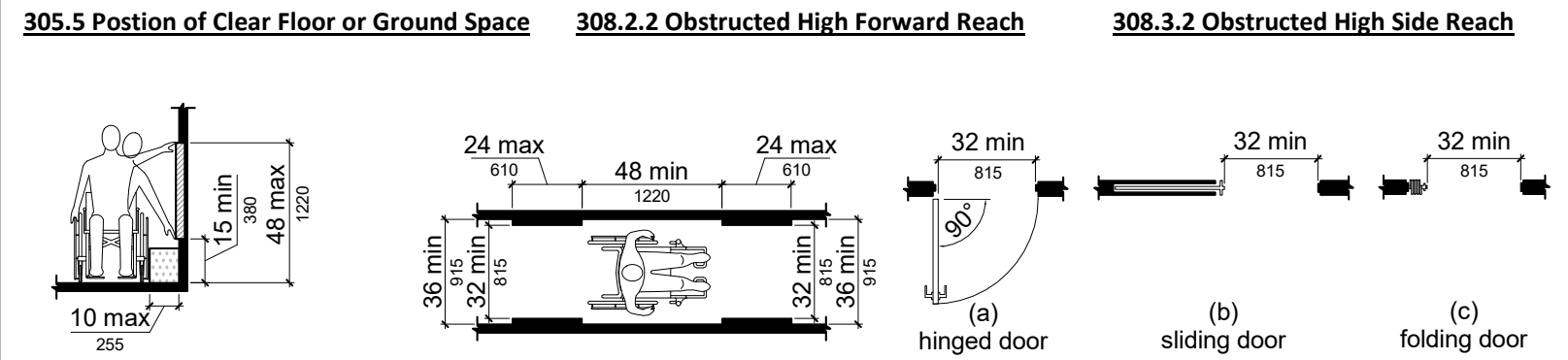
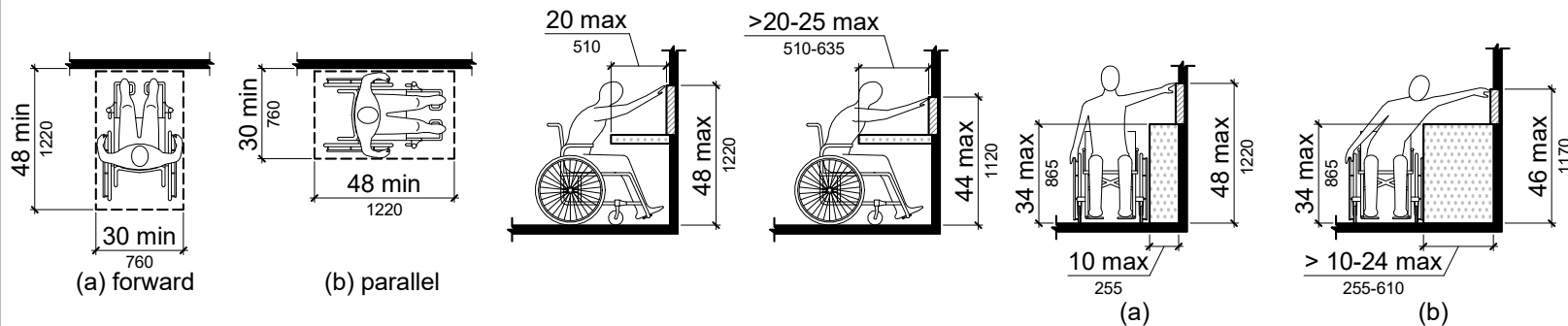
37. **WEATHER PROTECTION:** THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE RAIN, WIND, STORM, FROST, OR HEAT SO AS TO MAINTAIN ALL WORK MATERIALS, APPARATUS AND FIXTURES FROM INJURY OR DAMAGE.

38. **PLANS:** PLANS SUBMITTED BY THE APPLICANT SHALL SHOW COMPLIANCE WITH THE ABOVE ITEMS DURING CONSTRUCTION. DETAILS SUCH AS TEMPORARY FIRE-RATED ASSEMBLIES AND OPENING PROTECTIVE SHALL BE INCLUDED.

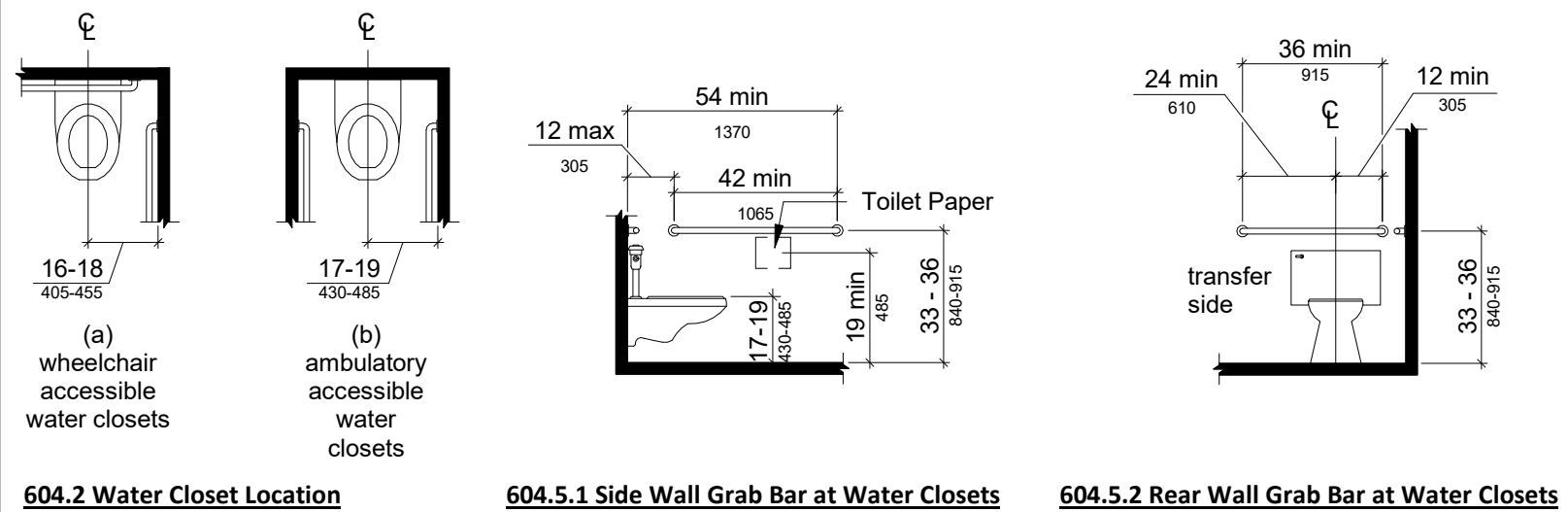
DEMOLITION NOTES

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL FULLY PROTECTED FROM THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED FROM THE SITE DIRECTLY TO THE CONTRACTOR'S CART AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
- ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF CHAPTER 33 OF NYC BUILDING CODE.
- REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
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- THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
- THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.

ADA REQUIREMENTS



404.2.4.1 Maneuvering Clearance at Manual Swinging Doors and Gates



ADA ACCESS NOTES

- DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT CLEAR WIDTH OF DOORWAY IS NOT LESS THAN 32 INCHES.
- LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT LEVER TYPE HARDWARE.
- MAXIMUM EFFORT TO OPERATE FIRE DOORS SHALL BE 15 POUNDS. MAXIMUM EFFORT TO OPERATE OTHER INTERIOR DOORS SHALL BE 5 POUNDS.
- FLOOR, RAMP, AND TREAD MATERIALS SHALL BE SLIP RESISTANT.
- EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED. FLASHING VISUAL WARNING SHALL HAVE A FREQUENCY OF NOT MORE THAN 60 FLASHED A MINUTE.
- THRESHOLDS SHALL BE NOT MORE THAN 1/2" HIGHER THAN ADJACENT FLOORS AND LANDINGS. LEVEL CHANGE BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH SLOPE NO GREATER THAN 1:2.

NYC DOB EMPLOYEE STAMPS / SIGNATURE

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No. Issue/Description Date

Project Title

Mi Garba_West Village

310 Bleecker Street

New York, NY 10014

Phase

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Sheet Title

GENERAL NOTES &
HANDICAPPED
ACCESSIBILITY NOTES

Scale NA

Project Number 02106

Date 04/27/2020

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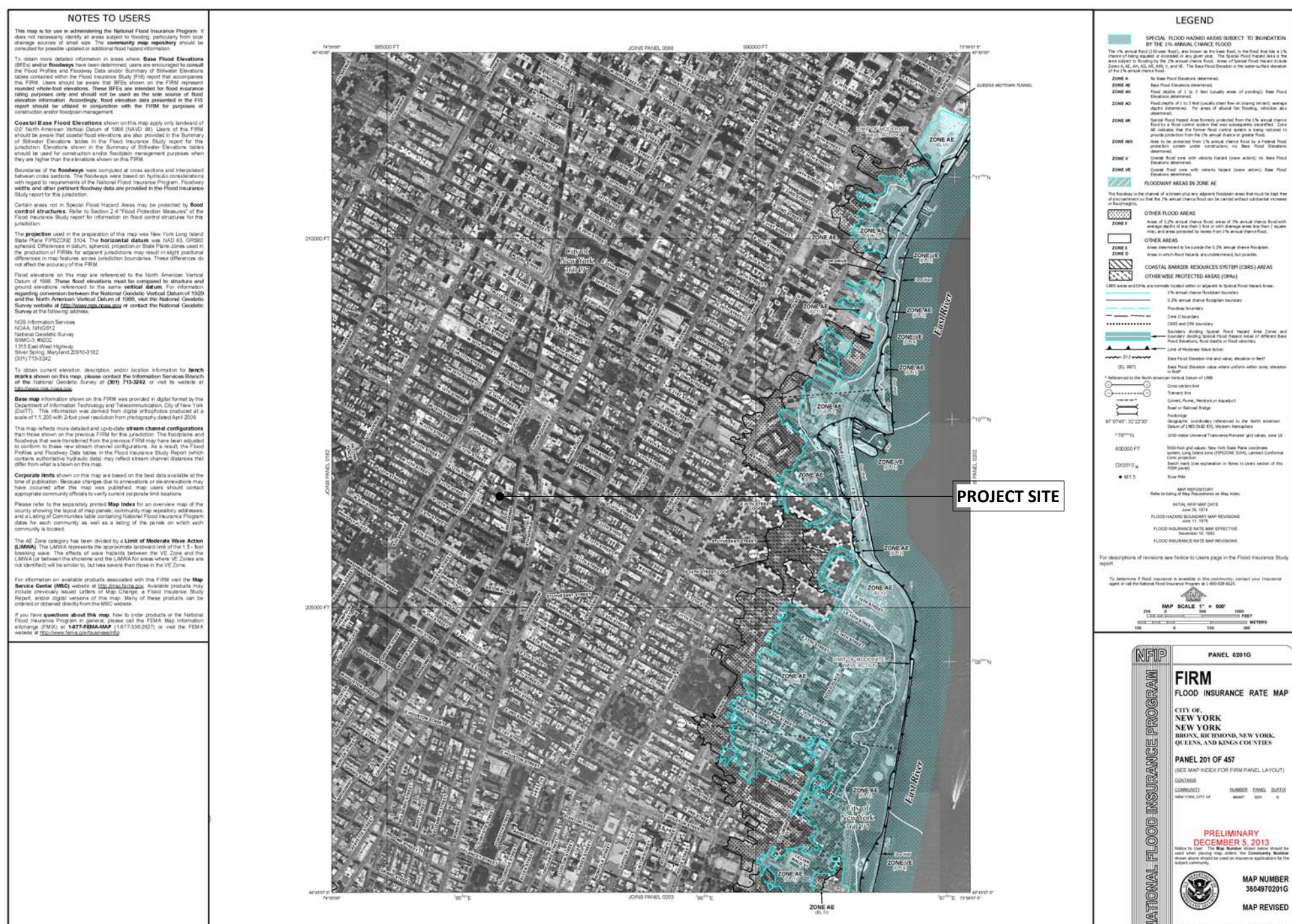
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TO THE BEST OF MY KNOWLEDGE AND PROFESSIONAL JUDGMENT, THE PROPERTY WHERE THE PROJECT RESIDE IS UNDER "OTHER AREAS" OF "ZONE X", AND IS "DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".



1 FEMA FLOOD INSURANCE RATE MAP 2007
3" = 1'-0"



2 FEMA FLOOD INSURANCE RATE MAP 2013
3" = 1'-0"

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Project Title
Mi Garba_West Village

310 Bleecker Street
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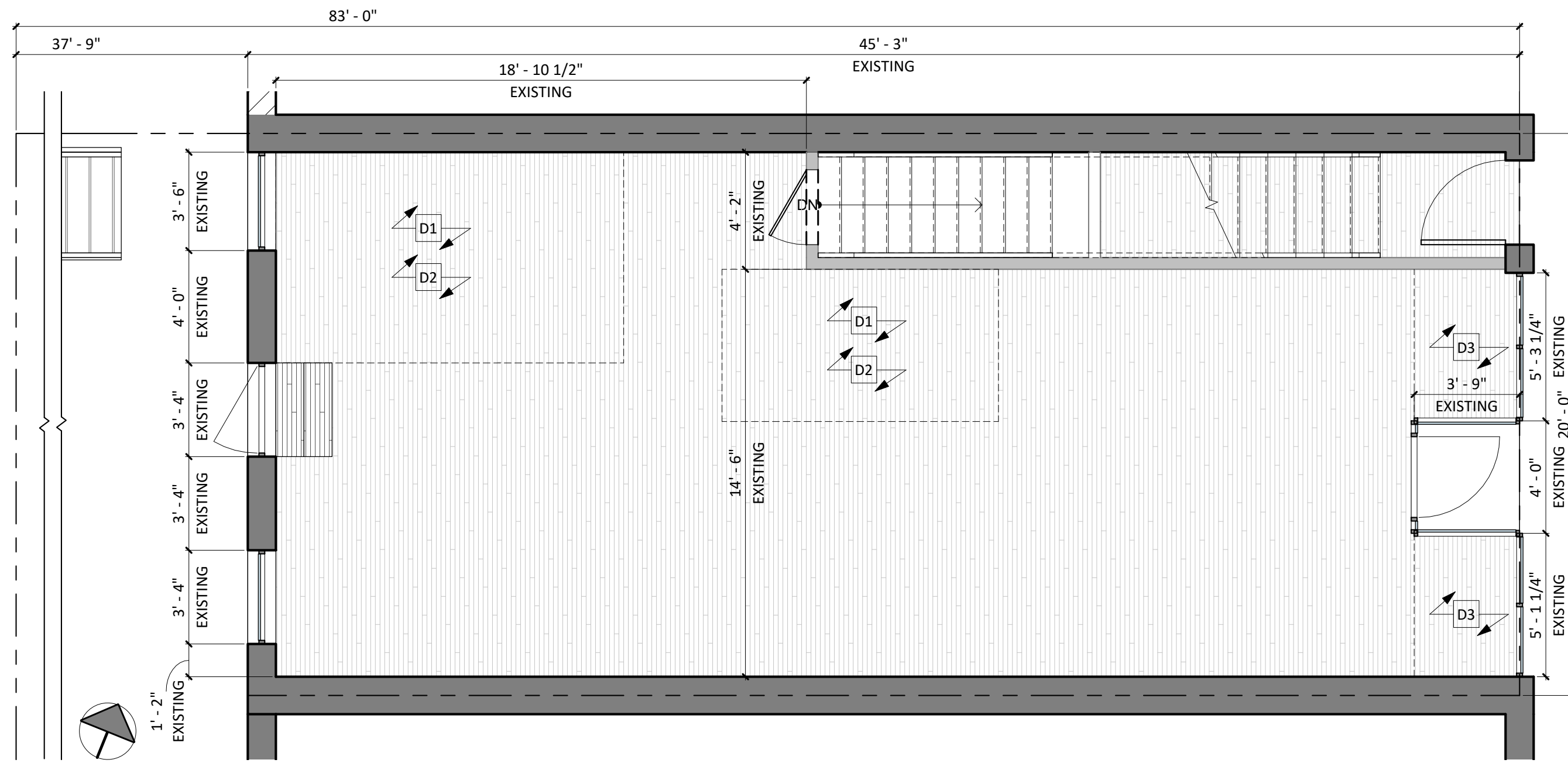
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NYC DOB EMPLOYEE STAMPS / SIGNATURE

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Project Number	02106
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NYC DOB BSCAN:

Drawing Number
G-003.00
Page 3 of 10



1 DEMOLITION FLOOR PLAN - LEVEL 01
1/4" = 1'-0"

DEMOLITION NOTES

1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL FULLY PROTECTED FROM THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
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7. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDING RULES AND REGULATIONS.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
9. THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.

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No.	Issue/Description	Date

Project Title

Mi Garba_West Village

310 Bleecker Street
New York, NY 10014

Phase

Issued for Construction

Sheet Title

**DEMOLITION FLOOR
PLAN - LEVEL 01**

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING SWITCHES TO BE REMOVED, REWIRED AND RELOCATED

REFERENCE NOTES

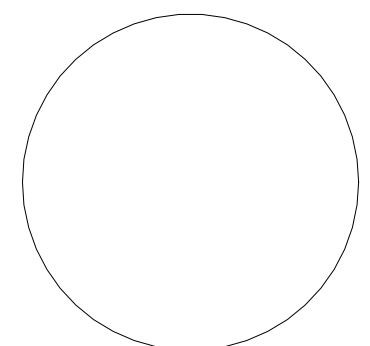
- REMOVE EXISTING FLOORING
- REMOVE EXISTING CEILING AND/OR SPACKLING IN ITS ENTIRELY
- REMOVE ALL MILLWORK

NYC DOB EMPLOYEE STAMPS / SIGNATURE

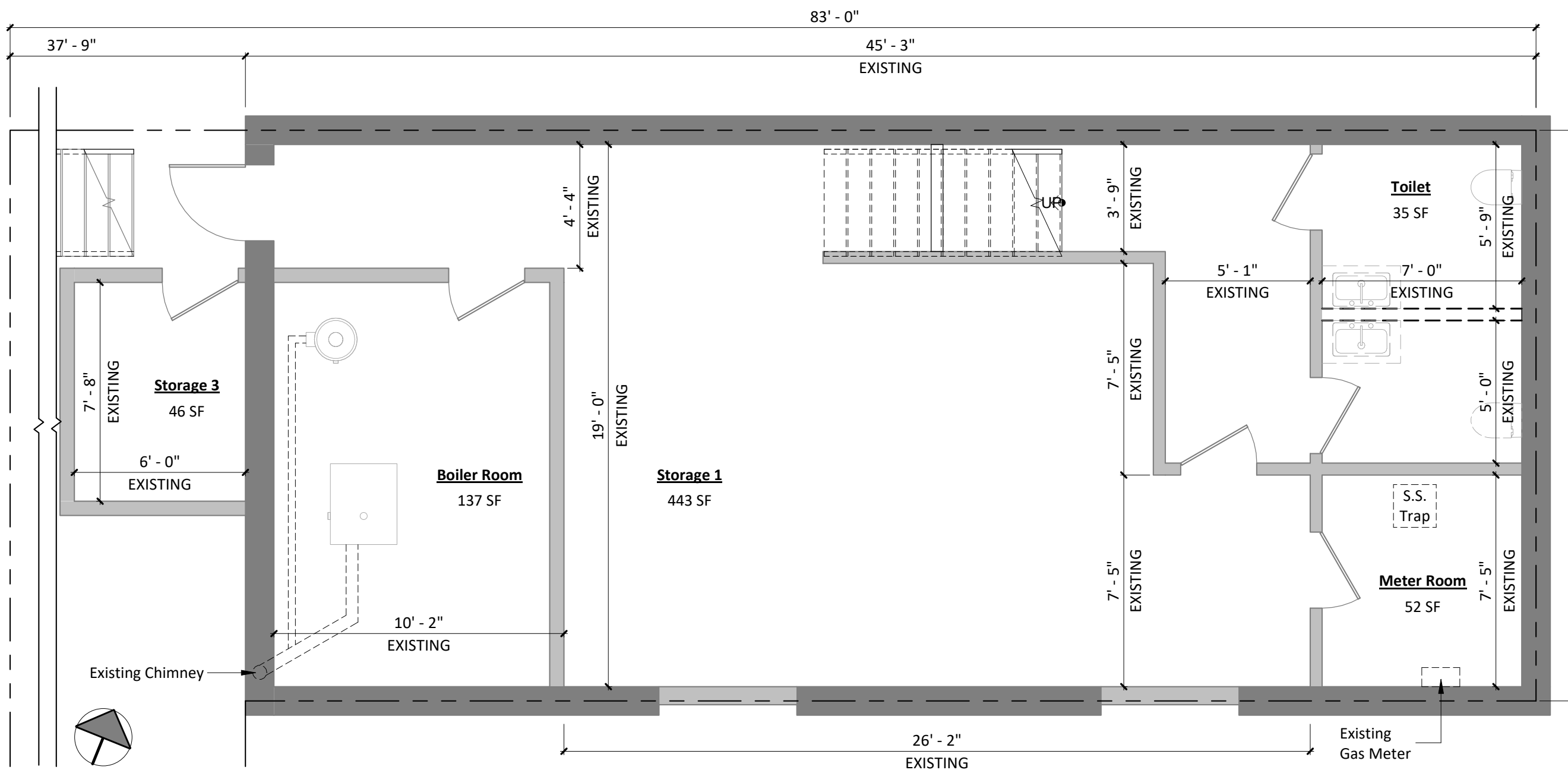
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Project Number	02106
Date	04/27/2020

Drawn by _____
Checked by _____
Seal & Signature



Drawing Number **DM-001.00**



1 DEMOLITION FLOOR PLAN - LEVEL C1
1/4" = 1'-0"

DEMOLITION NOTES

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
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No.	Issue/Description	Date

Project Title

Mi Garba_West Village

310 Bleecker Street
New York, NY 10014

Phase

Issued for Construction

Sheet Title

**DEMOLITION FLOOR
PLAN - LEVEL C1**

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING SWITCHES TO BE REMOVED, REWIRED AND RELOCATED

REFERENCE NOTES

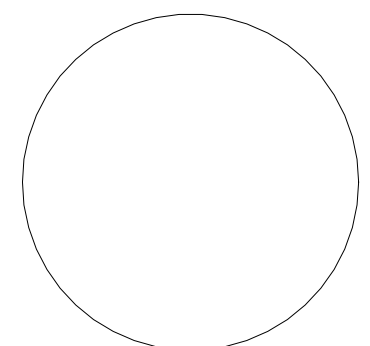
- D1** REMOVE EXISTING FLOORING
- D2** REMOVE EXISTING CEILING AND/OR SPACKLING IN ITS ENTIRELY
- D3** COORDINATE DEMOLITION WALL DIMENSIONS WITH PROPOSED NEW CONSTRUCTION PLAN OPENING AND/OR PROPOSED NEW WALL LOCATION
- D4** REMOVE ALL MILLWORK
- D5** REMOVE ALL BATHROOM FIXTURES AND REPLACE
- D6** REMOVE/CAP EXISTING PLUMBING AS REQUIRED

NYC DOB EMPLOYEE STAMPS / SIGNATURE

NYC DOB BSCAN:

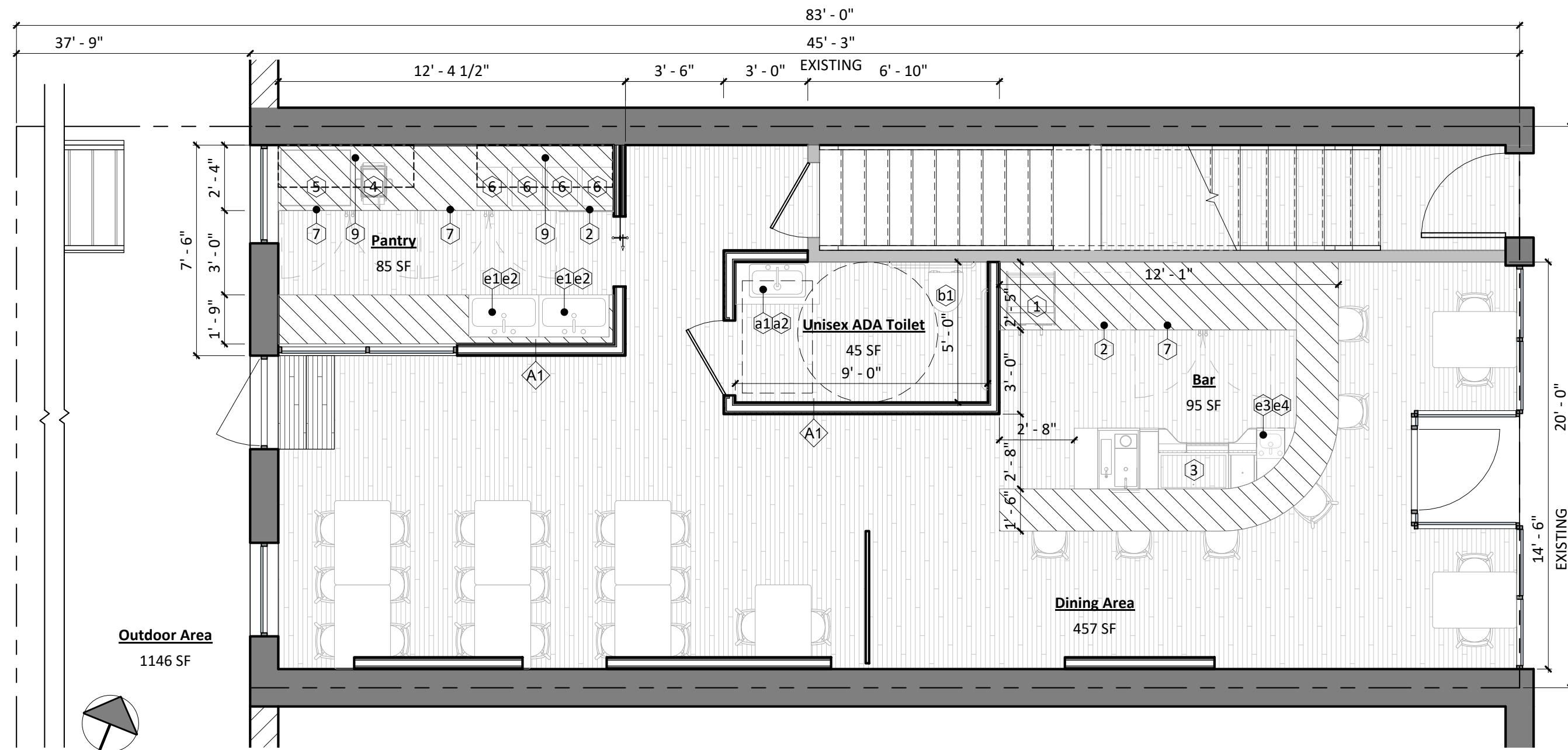
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Project Number	02106
Date	10/06/21
Drawn by	Author
Checked by	Checker

Seal & Signature



Drawing Number **DM-002.00**

Page of



CONSTRUCTION NOTES

- PRIOR TO THE LAYOUT OF NEW WORK, CONTRACTOR TO VERIFY IN THE FIELD FOR ARCHITECTS APPROVAL. ALL PROPOSED DIMENSIONS TO BE FIELD CHECKED AND REVIEWED WITH ARCHITECT PRIOR TO COMMENCEMENT OF LAY-OUT. REPORT ANY AND/OR ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING CONSTRUCTION.
- CONTRACTOR TO COORDINATE ALL M.E.P. TRADES WITH THAT OF ARCHITECTURAL WORK.
- PREPARE COORDINATION DRAWINGS OF ALL TRADES PRIOR TO ORDERING ANY AND/OR ALL MATERIALS INCLUDING LONG LEAD ITEMS.
- REPAIR EXISTING CONSTRUCTION TO MATCH EXISTING/ADJOINING CONSTRUCTION DISTURBED DURING NEW M.E.P. INSTALLATIONS IN AREAS BEYOND CONTRACT LIMIT.
- GENERAL CONTRACTOR TO VERIFY EXISTING FLOOR SLAB IN FIELD TO BE PATCHED AND LEVELED THROUGHOUT. EXISTING SLAB SHALL BE THOROUGHLY CLEANED OF FOREIGN MATERIALS AND PREPARED TO RECEIVE NEW FINISH.
- ALL FINISH LEVELS TO BE ALIGNED ADJACENT TO EACH OTHER AND ALIGN TO ENTRANCE THRESHOLD. PROVIDE MUD SET FOR ALL PORCELAIN TILE AND CERAMIC TILE AREAS.
- PROVIDE REQUIRED BRACING FOR ALL MILLWORK, CABINETS AND ALL OTHER WALL HUNG ITEMS. PROVIDE 3/4" BACKING FOR ALL WALL MOUNTED ITEMS SUCH AS OVERHEAD CABINETS.
- ALL HOLD DIMENSIONS TO BE DECIDED BY THE ARCHITECT PRIOR TO APPROVAL, TYP.
- PATCH AND REPAIR ALL EXISTING WALLS AND COLUMN ENCLOSURE TO REMAIN. PREPARE TO RECEIVE NEW FINISH.
- CONTRACTOR TO VERIFY EXTENT OF ADDITIONAL CONSTRUCTION AND TRADE WORK REQUIREMENTS IN THE FIELD INCLUDING FLOOR BELOW AND ABOVE PATCH, REPAIR AND RESTORE UPON COMPLETION OF NEW WORK.

EQUIPMENT SCHEDULE

No.	Description	Manufacturer	Model	Remarks
①	Espresso Machine	LA CIMBALI	M24	Provide Water Line
②	Dish Washer	ECOLAB	U-HT	Provide Water Line
③	Cocktail Station	PERLICK	PTE68-A	Provide Water Line
④	Panini Griddle	WINCO	EPG-1C	-
⑤	Induction Griddle	WINCO	MA-75NE	-
⑥	Induction Cooker	WINCO	EIC-400	-
⑦	Refrigerator	SPARTAN	SSGBB-58-SL	-
⑧	Microwave Oven	SHARP	R-CD 1200M	-
⑨	Hood	PRESTIGE	UIB58-S2	-
⑩	Refrigerator	TRUE	T-49G-LD	-
⑪	Refrigerator	TRUE	T-23G-HC	-
⑫	Ice Maker	ICE-O-MATIC	ICEU220FA	Provide Water Line
⑬	Hand Dryer	EXCEL DRYER	XLERATOR [XL-5B]	-

PLUMBING FIXTURE & ACCESSORIES SCHEDULE

No.	Description	Manufacturer	Model	Remarks
a1	Toilet Sink	DURAVIT	233565	-
a2	Toilet Sink Faucet	KOHLER	K-99491-4	-
b1	Toilet	DURAVIT	216501	-
e1	Kitchen Sink	MOEN	G18180	Undermount
e2	Kitchen Sink Faucet	MOEN	87807	-
e3	Bar Sink	MOEN	G204502	Undermount
e4	Bar Sink Faucet	KOHLER	K-99491-4	-

1 PROPOSED FLOOR PLAN - LEVEL 01
1/4" = 1'-0"

POWER & COMMUNICATION NOTES

- WHERE OUTLETS ARE SHOWN BACK TO BACK ON THE SAME WALL, ELECTRICIAN TO STAGGER JUNCTION BOX LOCATIONS MINIMALLY TO ACCOMMODATE EACH JUNCTION BOX - V.I.F.
- ALL NEW OUTLET & DATA RECEPTACLES MOUNTED 1'-6" TO THE CENTER LINE A.F.F. OR 4'-0" TO THE CENTER LINE A.F.F. @ COUNTERTOPS U.O.N. ALL NEW OUTLETS TO BE GANGED AND/OR STACKED TOGETHER WITH MINIMUM CLEARANCE WHEREVER NECESSARY.
- ALL COVER PLATES AND DEVICES TO BE WHITE UNLESS OTHERWISE NOTED.
- NEW GFCI RECEPTABLES SHALL BE INSTALLED IN THE BATHROOM & KITCHEN WET AREAS AND ARC FAULT OUTLETS IN SLEEPING AREAS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMISSION AND ARRANGING WORK IN ANY ADJACENT TENANT SPACE (INCLUDING ABOVE & BELOW) WHERE WORK AFFECTING THE COMPLETION OF THE PROJECT IS REQUIRED. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OCCURRED

PROPOSED COMMERCIAL SPACE OCCUPANCY:

[EATING AND DRINKING ESTABLISHMENT]

OCCUPANCY LOAD & EGRESS REQUIREMENT SCHEDULE

ROOM NAME	OCCUPANCY	FLOOR AREA	*MAX. SF PER OCC.	MAX. ALLOWED OCCUPANT	ACTUAL DESIGNED NUMBER OF OCCUPANT
DINING AREA	Assembly without fixed seats (A-2)	455 SF	15 (NET)	455 SF / 15 = 30 PERSON	30
BAR AREA	Kitchen Area	197 SF	200 (GROSS)	197 SF / 200 = 1 PERSON	1
PANTRY	Kitchen Area	197 SF	200 (GROSS)	197 SF / 200 = 1 PERSON	1
OUTDOOR AREA	Assembly without fixed seats (A-2)	1,510 SF	15 (NET)	1,510 SF / 15 = 100 PERSON	12
TOTAL OCCUPANT LOAD = 44					

* TABLE 1004.1.2 - MAX. FLOOR AREA ALLOWANCE PER OCCUPANT

- BC 1021.2 SINGLE EXITS - ONLY ONE EXIT SHALL BE REQUIRED IN BUILDINGS OR FROM STORIES OF BUILDINGS AS DESCRIBED IN TABLE 1021.2 - (GROUP A-2: 49 OCCUPANTS & 75' TRAVEL DISTANCE)
- BC 1028.7 TRAVEL DISTANCE - SEE TABLE 1028.7 (GROUP A-2: SPRINKLERED PRIMARY 150')

CONSTRUCTION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- NEW MILLWORK
- NEW DOORS

REFERENCE NOTES

- C1 REMOVE EXISTING FLOOR FINISH W/ NEW FLOOR FINISH AND SUBSTRATE
- C2 RELOCATE TOILET VENT
- C3 RELOCATE PLUMBING FIXTURE
- C4 EXISTING ELECTRICAL PANEL TO BE RELOCATED. COORDINATE INSTALLATION OF NEW LOCATION
- C5 PROVIDE CONTINUOUS WATERPROOF MEMBRANE AT THIS AREA. (FLOOR & 6" UP TO WALL BASE, TYP.)
- C6 METAL DEVIDER FOR CEMENT FLOORING CONTROL JOINT
- C7 EXPOSED BRICK WALL. REMOVE ALL PAINT, CEMENT, CLEAN, PATCH REPAIR AND SEAL, TYP.
- C8 ALL MILLWORKS & OPEN SHELVES SHALL PROVIDE LACQUER FINISH. ALL CABINETS & DRAWERS TO BE EDGE PULL, TO BE APPROVED BY ARCHITECT

POWER AND COMMUNICATION LEGEND

- DUPLEX POWER OUTLET
- DUPLEX POWER OUTLET w/ USB PORT
- GFCI DUPLEX POWER OUTLET w/ GROUND FAULT INTERRUPTER (GFI)
- QUAD POWER OUTLET
- SPECIAL PURPOSE OR DEDICATED CIRCUIT POWER OUTLET
- TV/CABLE OUTLET
- COMBINATION VOICE/DATA OUTLET

NYC DOB EMPLOYEE STAMPS / SIGNATURE

NYC DOB BSCAN:

Client

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No. Issue/Description Date

Project Title

Mi Garba_West Village

310 Bleecker Street
New York, NY 10014

Phase

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PROPOSED FLOOR PLAN
- LEVEL 01

Scale 1/4" = 1'-0"

Project Number 02106

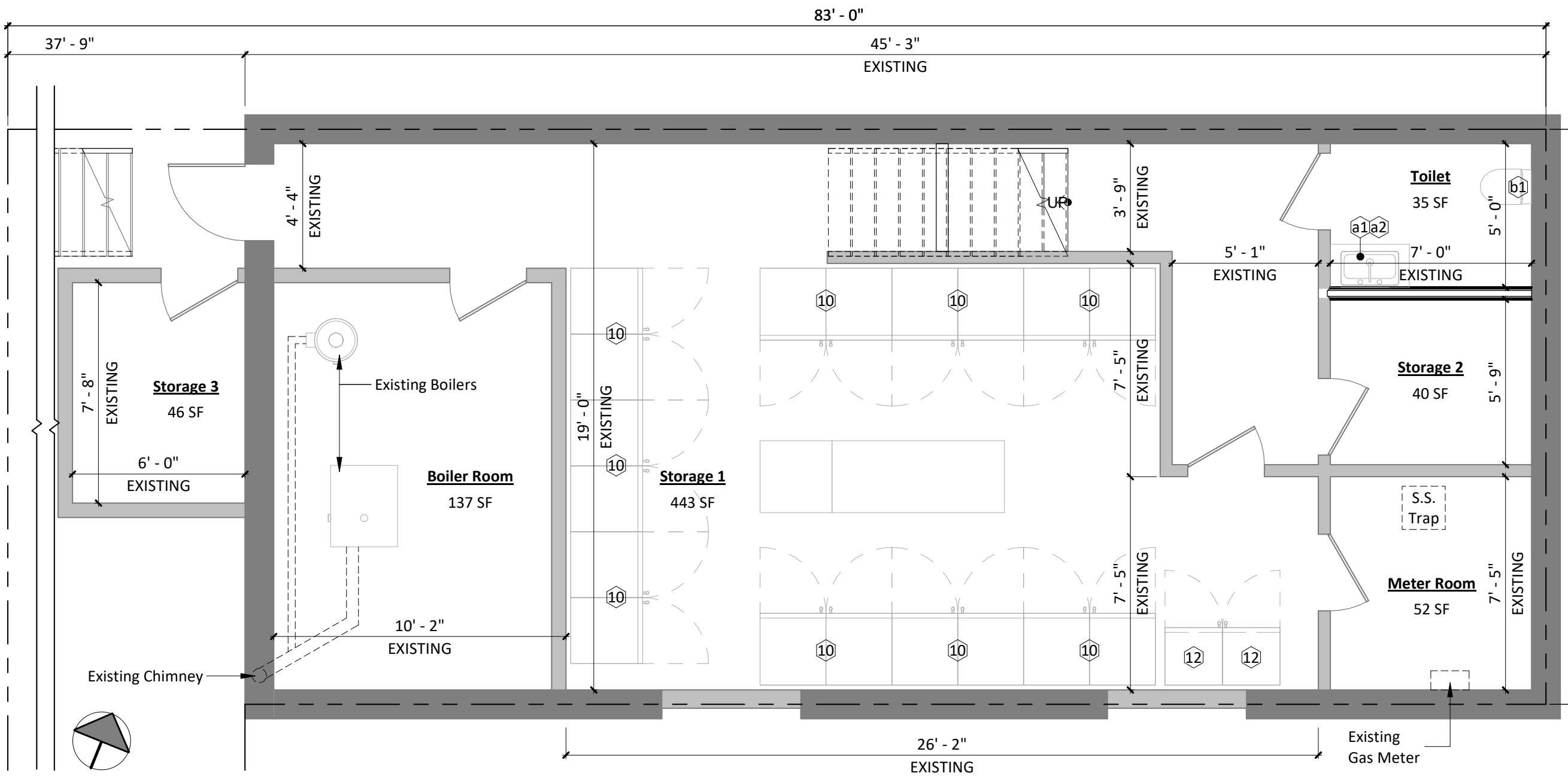
Date 04/27/2020

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Checked by

Seal & Signature

Drawing Number **A-101.00**



1 PROPOSED FLOOR PLAN - LEVEL C1
1/4" = 1'-0"

POWER & COMMUNICATION NOTES

- WHERE OUTLETS ARE SHOWN BACK TO BACK ON THE SAME WALL, ELECTRICIAN TO STAGGER JUNCTION BOX LOCATIONS MINIMALLY TO ACCOMMODATE EACH JUNCTION BOX - V.I.F.
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PROPOSED COMMERCIAL SPACE OCCUPANCY:

[EATING AND DRINKING ESTABLISHMENT]

OCCUPANCY LOAD & EGRESS REQUIREMENT SCHEDULE

ROOM NAME	OCCUPANCY	FLOOR AREA	*MAX. SF PER OCC.	MAX. ALLOWED OCCUPANT	ACTUAL DESIGNED NUMBER OF OCCUPANT
STORAGE 1 + STORAGE 2 + STORAGE 3 + BOILER ROOM + METER ROOM	Accessory Storage Areas, Mechanical Equipment Room	443 SF + 40 SF + 46 SF + 137 SF + 52 SF = 718 SF	300 (GROSS)	718 SF / 300 = 2.39 PERSON	3

- TOTAL OCCUPANT LOAD = 3**
- * TABLE 1004.1.2 - MAX. FLOOR AREA ALLOWANCE PER OCCUPANT
 - BC 1021.2 SINGLE EXITS - ONLY ONE EXIT SHALL BE REQUIRED IN BUILDINGS OR FROM STORIES OF BUILDINGS AS DESCRIBED IN TABLE 1021.2 - (GROUP A-2: 49 OCCUPANTS & 75' TRAVEL DISTANCE)
 - BC 1028.7 TRAVEL DISTANCE - SEE TABLE 1028.7 (GROUP A-2: SPRINKLERED PRIMARY 150')

CONSTRUCTION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- NEW MILLWORK
- NEW DOORS

REFERENCE NOTES

- C1 REMOVE EXISTING FLOOR FINISH W/ NEW FLOOR FINISH AND SUBSTRATE
- C2 RELOCATE TOILET VENT
- C3 RELOCATE PLUMBING FIXTURE
- C4 EXISTING ELECTRICAL PANEL TO BE RELOCATED. COORDINATE INSTALLATION OF NEW LOCATION
- C5 PROVIDE CONTINUOUS WATERPROOF MEMBRANE AT THIS AREA. (FLOOR & 6" UP TO WALL BASE, TYP.)
- C6 METAL DEVIDER FOR CEMENT FLOORING CONTROL JOINT
- C7 EXPOSED BRICK WALL. REMOVE ALL PAINT, CEMENT, CLEAN, PATCH REPAIR AND SEAL, TYP.
- C8 ALL MILLWORKS & OPEN SHELVES SHALL PROVIDE LACQUER FINISH. ALL CABINETS & DRAWERS TO BE EDGE PULL, TO BE APPROVED BY ARCHITECT

POWER AND COMMUNICATION LEGEND

- DUPLIX POWER OUTLET
- DUPLIX POWER OUTLET w/ USB PORT
- GFCI DUPLIX POWER OUTLET w/ GROUND FAULT INTERRUPTER (GFI)
- QUAD POWER OUTLET
- SPECIAL PURPOSE OR DEDICATED CIRCUIT POWER OUTLET
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CONSTRUCTION NOTES

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- CONTRACTOR TO COORDINATE ALL M.E.P. TRADES WITH THAT OF ARCHITECTURAL WORK.
- PREPARE COORDINATION DRAWINGS OF ALL TRADES PRIOR TO ORDERING ANY AND/OR ALL MATERIALS INCLUDING LONG LEAD ITEMS.
- REPAIR EXISTING CONSTRUCTION TO MATCH EXISTING/ADJOINING CONSTRUCTION DISTURBED DURING NEW M.E.P. INSTALLATIONS IN AREAS BEYOND CONTRACT LIMIT.
- GENERAL CONTRACTOR TO VERIFY EXISTING FLOOR SLAB IN FIELD TO BE PATCHED AND LEVELED THROUGHOUT. EXISTING SLAB SHALL BE THOROUGHLY CLEANED OF FOREIGN MATERIALS AND PREPARED TO RECEIVE NEW FINISH.
- ALL FINISH LEVELS TO BE ALIGNED ADJACENT TO EACH OTHER AND ALIGN TO ENTRANCE THRESHOLD. PROVIDE MUD SET FOR ALL PORCELAIN TILE AND CERAMIC TILE AREAS.
- PROVIDE REQUIRED BRACING FOR ALL MILLWORK, CABINETS AND ALL OTHER WALL HUNG ITEMS. PROVIDE 3/4" BACKING FOR ALL WALL MOUNTED ITEMS SUCH AS OVERHEAD CABINETS.
- ALL HOLD DIMENSIONS TO BE DECIDED BY THE ARCHITECT PRIOR TO APPROVAL, TYP.
- PATCH AND REPAIR ALL EXISTING WALLS AND COLUMN ENCLOSURE TO REMAIN. PREPARE TO RECEIVE NEW FINISH.
- CONTRACTOR TO VERIFY EXTENT OF ADDITIONAL CONSTRUCTION AND TRADE WORK REQUIREMENTS IN THE FIELD INCLUDING FLOOR BELOW AND ABOVE PATCH, REPAIR AND RESTORE UPON COMPLETION OF NEW WORK.

EQUIPMENT SCHEDULE

No.	Description	Manufacturer	Model	Remarks
1	Espresso Machine	LA CIMBALI	M24	Provide Water Line
2	Dish Washer	ECOLAB	U-HT	Provide Water Line
3	Cocktail Station	PERLICK	PTE68-A	Provide Water Line
4	Panini Griddle	WINCO	EPG-1C	-
5	Induction Griddle	WINCO	MA-75NE	-
6	Induction Cooker	WINCO	EIC-400	-
7	Refrigerator	SPARTAN	SSGBB-58-SL	-
8	Microwave Oven	SHARP	R-CD 1200M	-
9	Hood	PRESTIGE	UIB58-S2	-
10	Refrigerator	TRUE	T-49G-LD	-
11	Refrigerator	TRUE	T-23G-HC	-
12	Ice Maker	ICE-O-MATIC	ICEU220FA	Provide Water Line
13	Hand Dryer	EXCEL DRYER	XLERATOR [XL-SB]	-

PLUMBING FIXTURE & ACCESSORIES SCHEDULE

No.	Description	Manufacturer	Model	Remarks
a1	Toilet Sink	DURAVIT	233565	-
a2	Toilet Sink Faucet	KOHLER	K-99491-4	-
b1	Toilet	DURAVIT	216501	-
e1	Kitchen Sink	MOEN	G18180	Undermount
e2	Kitchen Sink Faucet	MOEN	87807	-
e3	Bar Sink	MOEN	G204502	Undermount
e4	Bar Sink Faucet	KOHLER	K-99491-4	-

NYC DOB EMPLOYEE STAMPS / SIGNATURE

NYC DOB BSCAN:

Client

[4T USA INC]

Pier Davide Boi

1140 Bay Street, Suite 2C
Staten Island, NY 10305
p. 917.588.8361

MEP Engineer

APEX Energy Solutions, Inc.

16 West 36th Street, #601
New York, NY 10018
p. 929.341.0003

Filing Expediter

BMB Building Consulting Inc.

53 Elizabeth Street, Suite #2C
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No. Issue/Description Date

Project Title

Mi Garba_West Village

310 Bleecker Street
New York, NY 10014

Phase

Issued for Construction

Sheet Title

PROPOSED FLOOR PLAN
- LEVEL C1

Scale As indicated

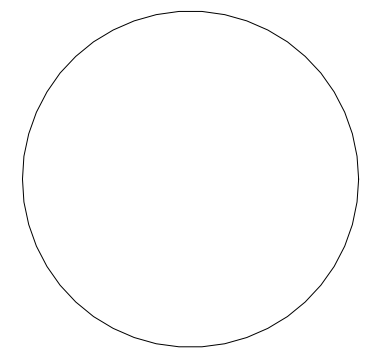
Project Number 02106

Date 10/04/21

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Drawing Number A-102.00

Page of

Client

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Mi Garba_West Village

310 Bleecker Street
 New York, NY 10014

Phase

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Sheet Title

PARTITION TYPES

Scale AS NOTED

Project Number 02106

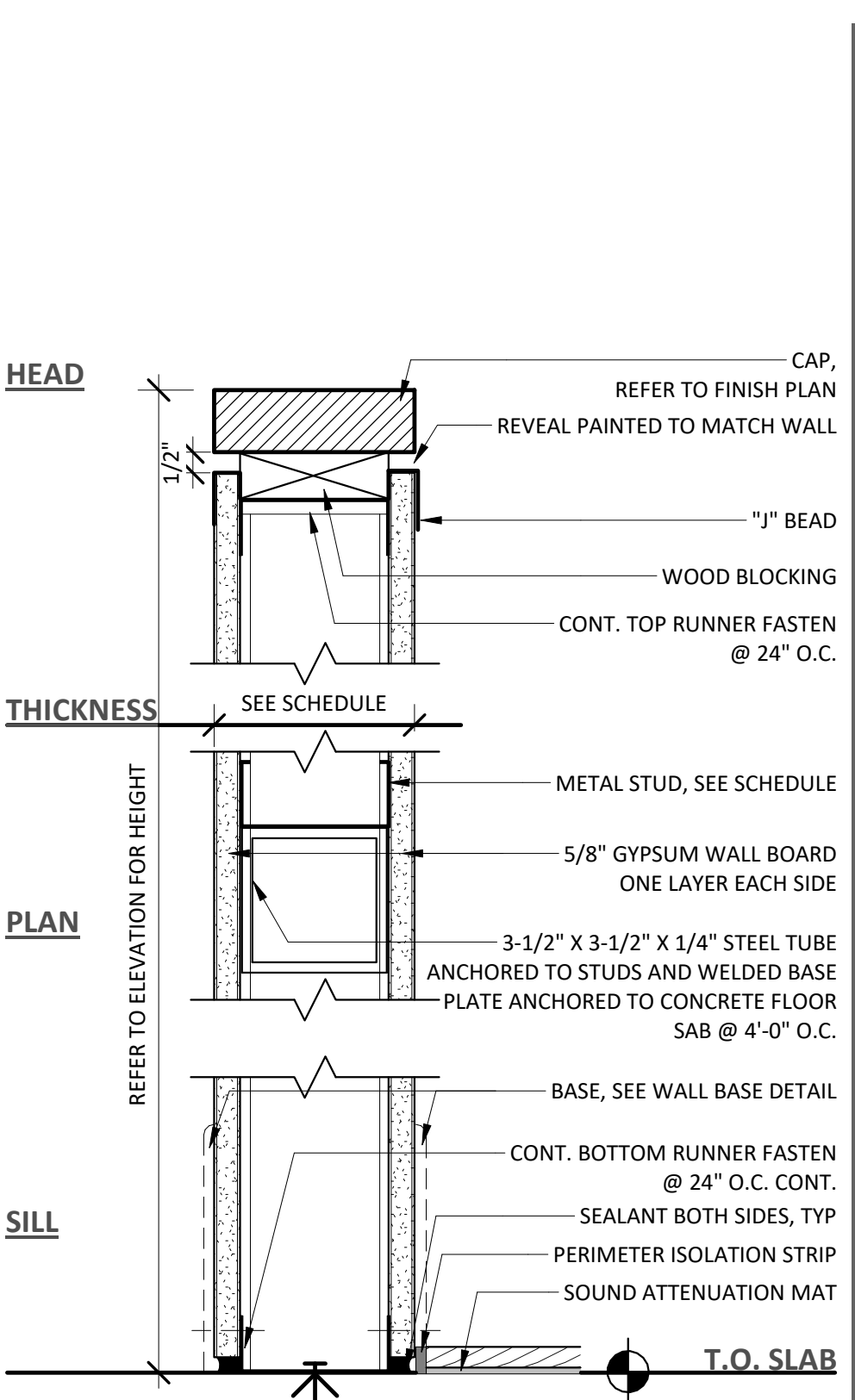
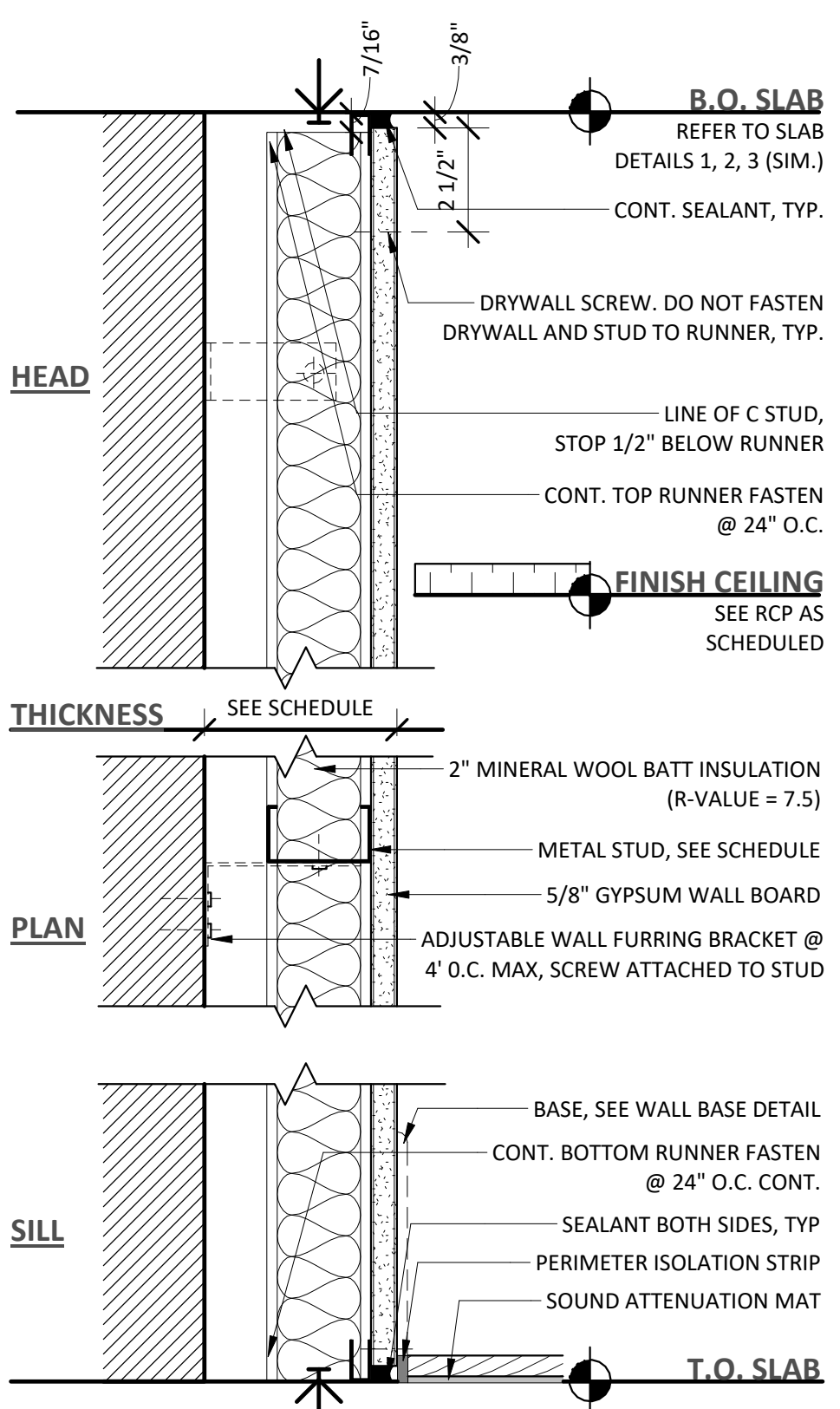
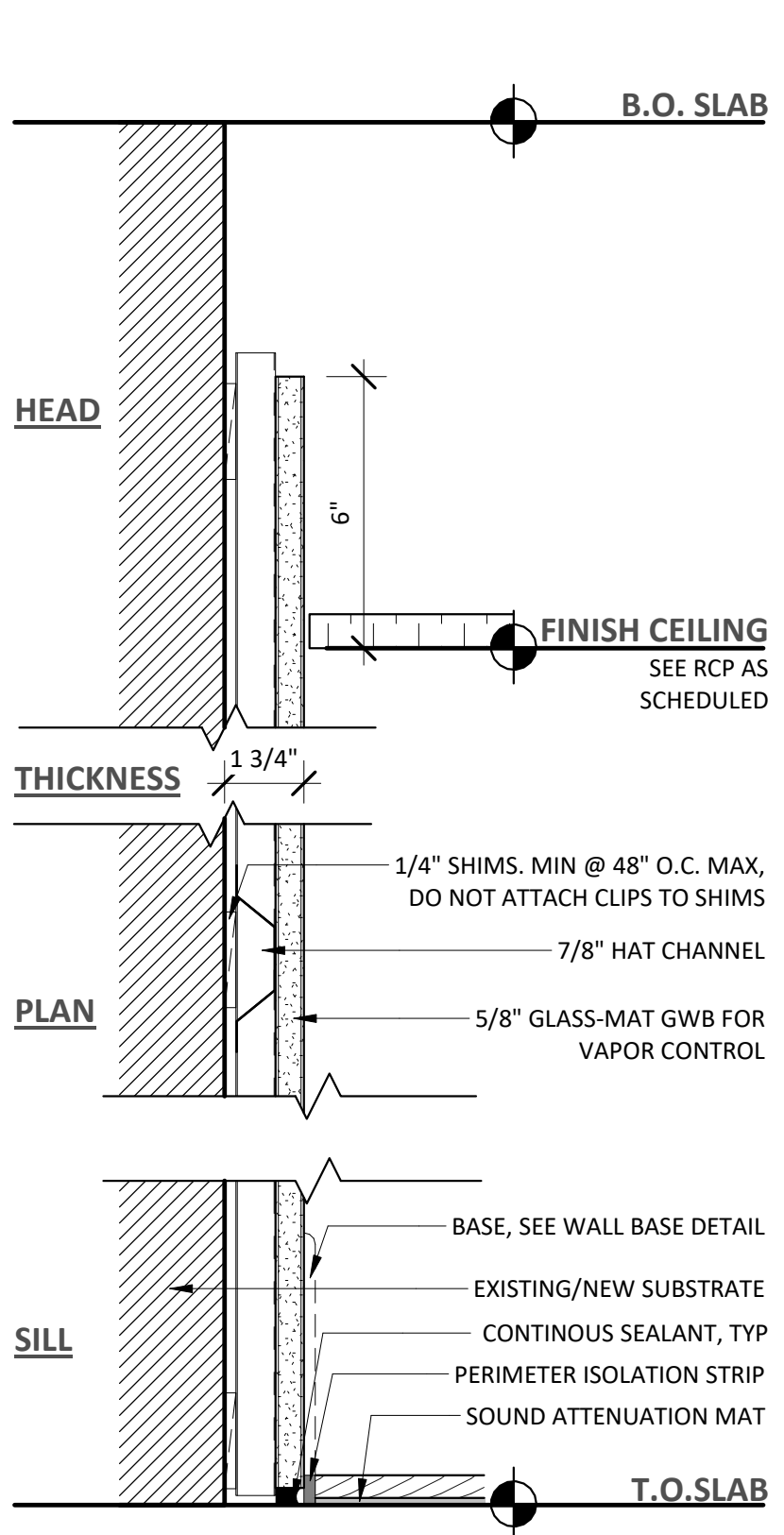
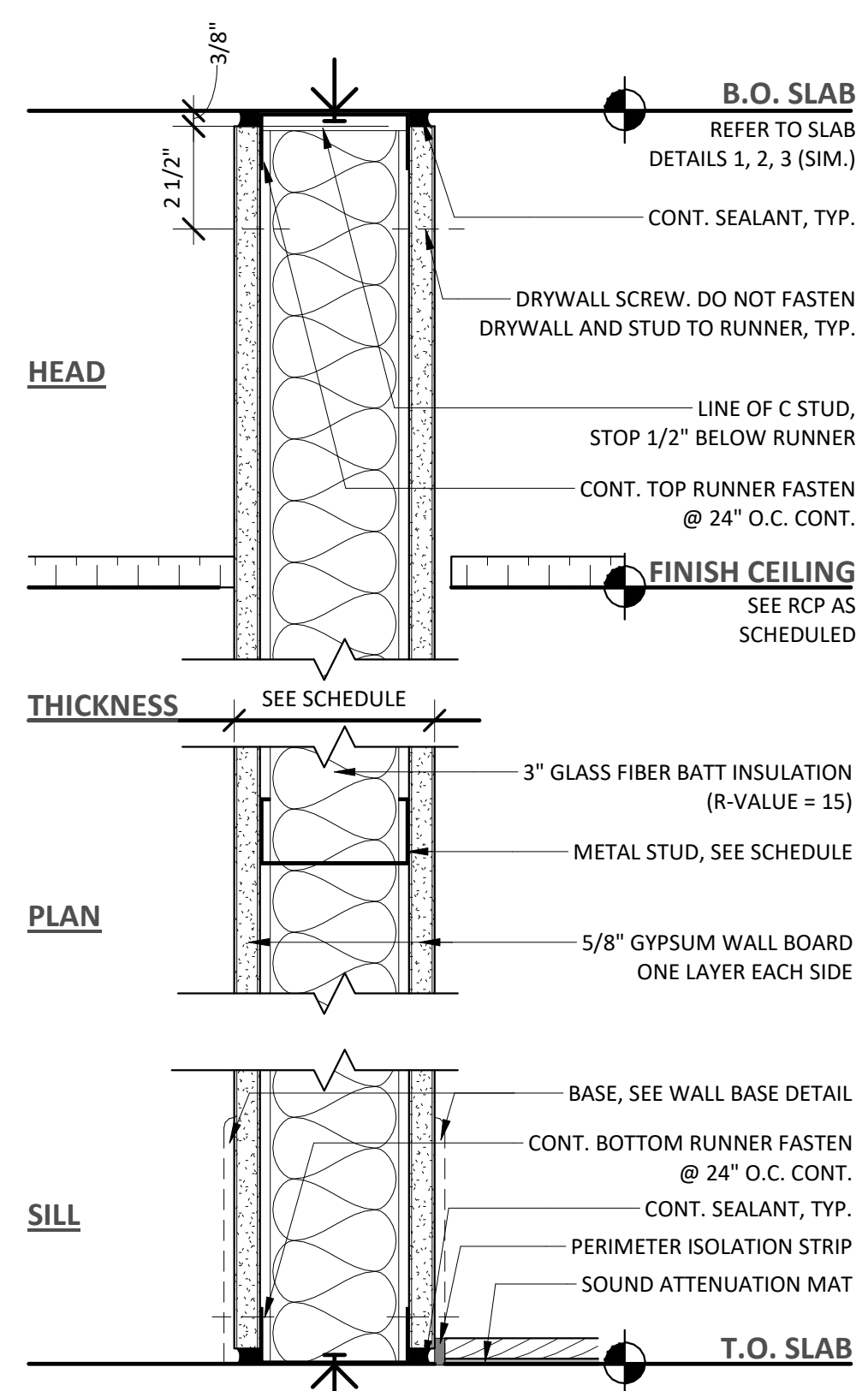
Date 04/27/2020

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Drawing Number **A-701.00**



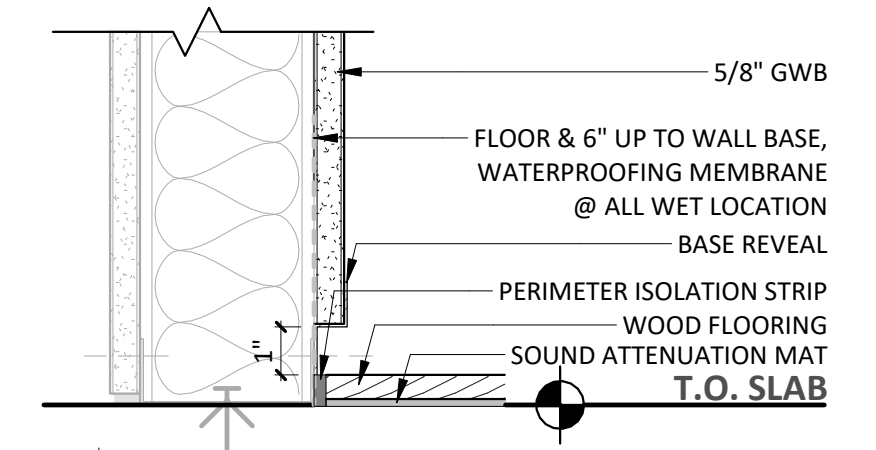
A PARTITION DETAIL
3" = 1'-0"

B FURRING PART. DETAIL
3" = 1'-0"

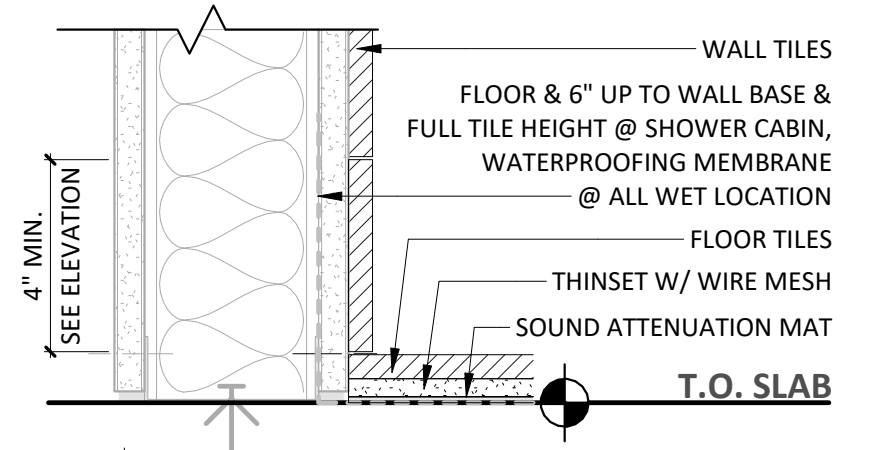
C CHASE WALL DETAIL
3" = 1'-0"

D PARTIAL HEIGHT WALL
3" = 1'-0"

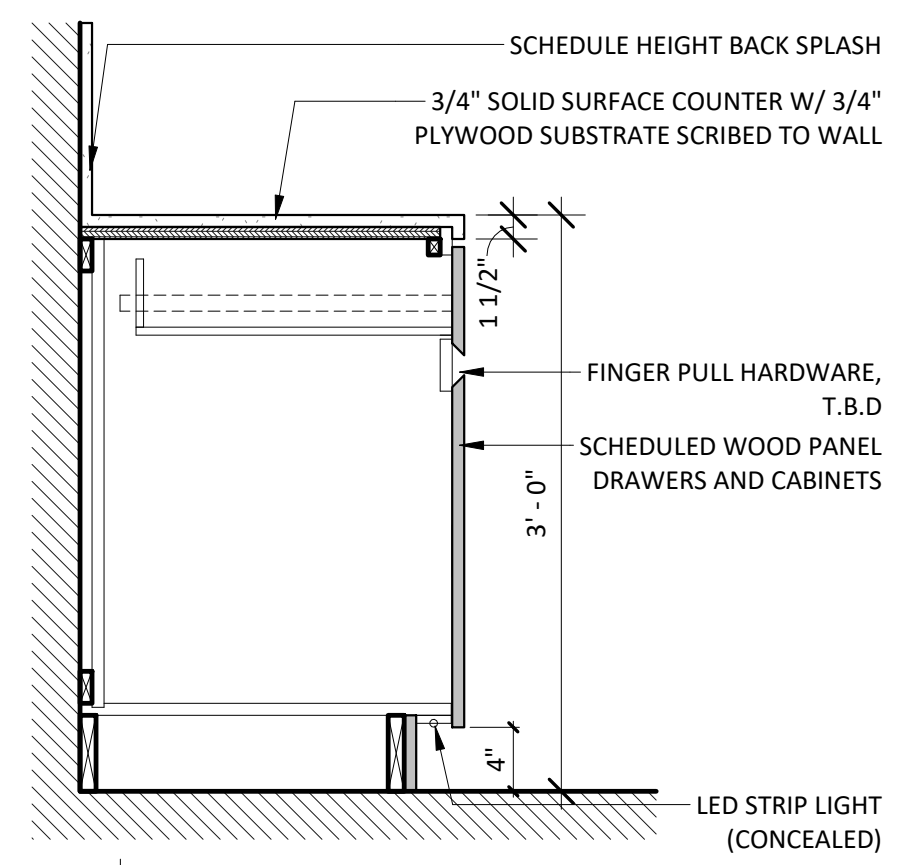
PARTITION SCHEDULE [TYP. DEFLECTION L/240 U.O.N.]										*PERIMETER WALL ASSEMBLY SHALL COMPLY WITH BC 1207
TYPE	STUD	GAUGE	STUD SPACING	LIMITING HEIGHT	PARTITION THICKNESS	STC #	FIRE RATING	REMARKS		
A1	3 5/8"	20	16" o.c.	15'-6"	4 7/8"	48	1 HR	3 1/2" GLASS FIBER BATT INSULATION		
A2	1 5/8"	20	16" o.c.	10'-7"	3 1/8"			DEFLECTION L/120 U.O.N.		
FURRING PARTITION										
B	1 1/2"	20	16" o.c.	NA	VARIES					
CHASE PARTITION										
C	2 1/2"	20	16" o.c.	11'-7"	VARIES					
PARTIAL HEIGHT PARTITION										
D	3 5/8"	20	16" o.c.	15'-6"	4 7/8"					



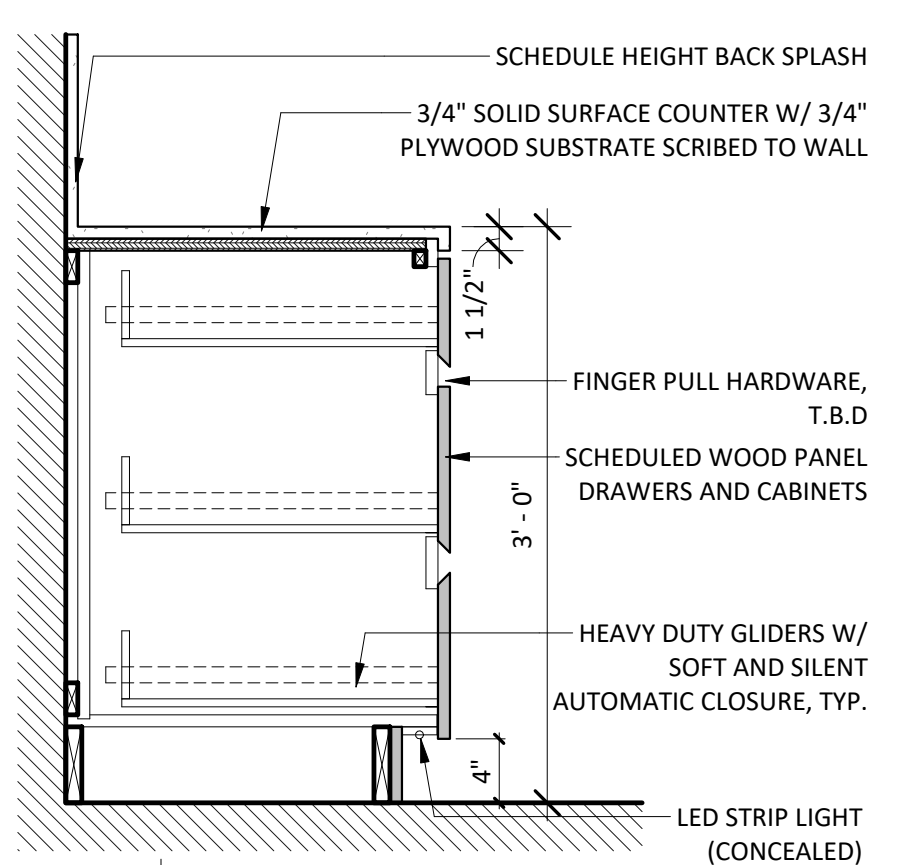
1 WALL BASE DETAIL
3" = 1'-0"



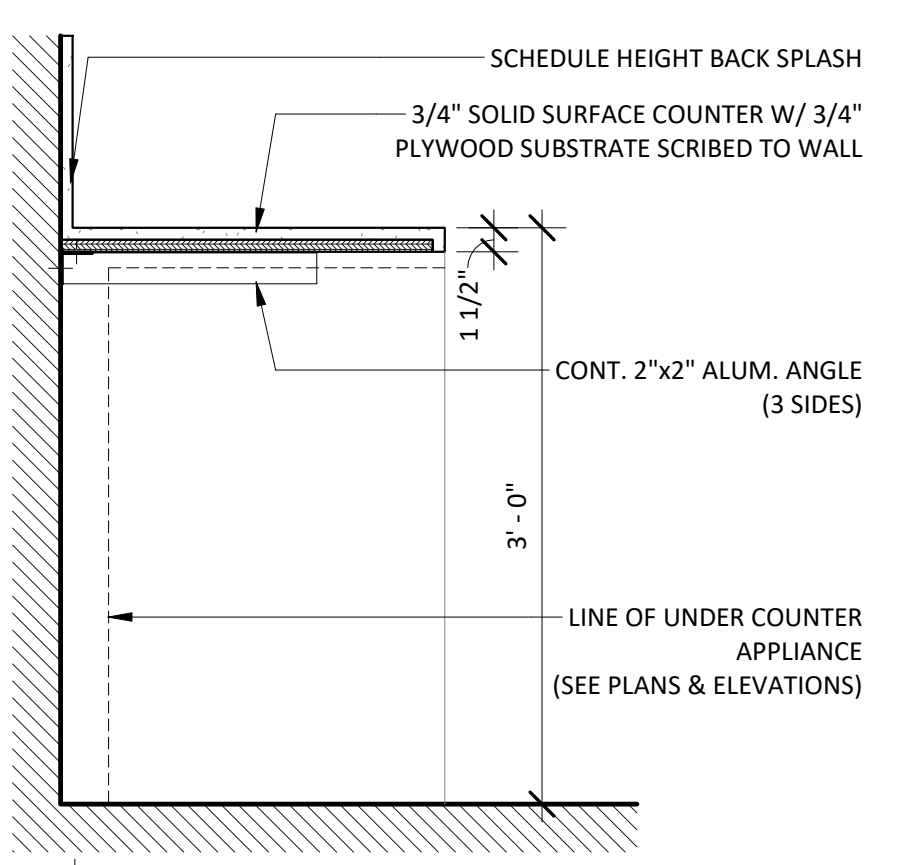
2 WALL BASE DETAIL
3" = 1'-0"



3 DETAILS - MILLWORK (KITCHEN CABINET)
1" = 1'-0"



4 DETAILS - MILLWORK (KITCHEN DRAWERS)
1" = 1'-0"



5 DETAILS - MILLWORK (OPEN COUNTER)
1" = 1'-0"

NYC DOB EMPLOYEE STAMPS / SIGNATURE

NYC DOB BSCAN:

DOOR SCHEDULE

*SINGLE RABBET DOOR FRAMES (FRY REGLET - MINIMALIST DOOR FRAMES OR EQUAL)

ROOM	DOOR NUMBER	FRAME OPENING		FRAME DATA		DOOR DATA				UL RATING LABEL (HRS)	HARDWARE SET	REMARKS
		Width	Height	Head	Jamb	Type	Material	Sill	Thk.			
TOILET	1	2'-8" (clear width)	7' - 0"	H1	J1	A	HM	S1	1 3/4"	-	1	
STORAGE 1	1	2'-8" (clear width)	7' - 0"	H1	J1	A	HM	-	1 3/4"	-	1	
STORAGE 2	2	2' - 6"	7' - 0"	H1	J1	A	HM	-	1 3/4"	1	2	

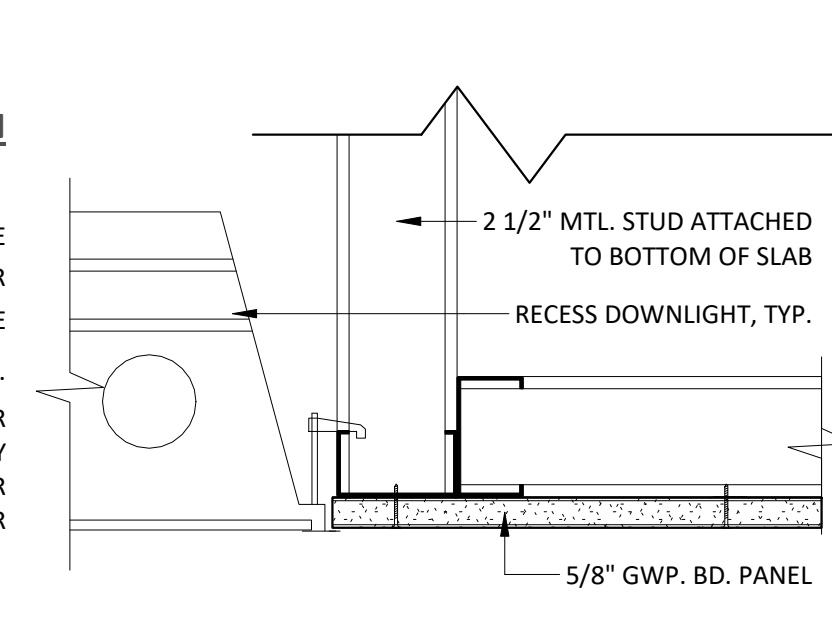
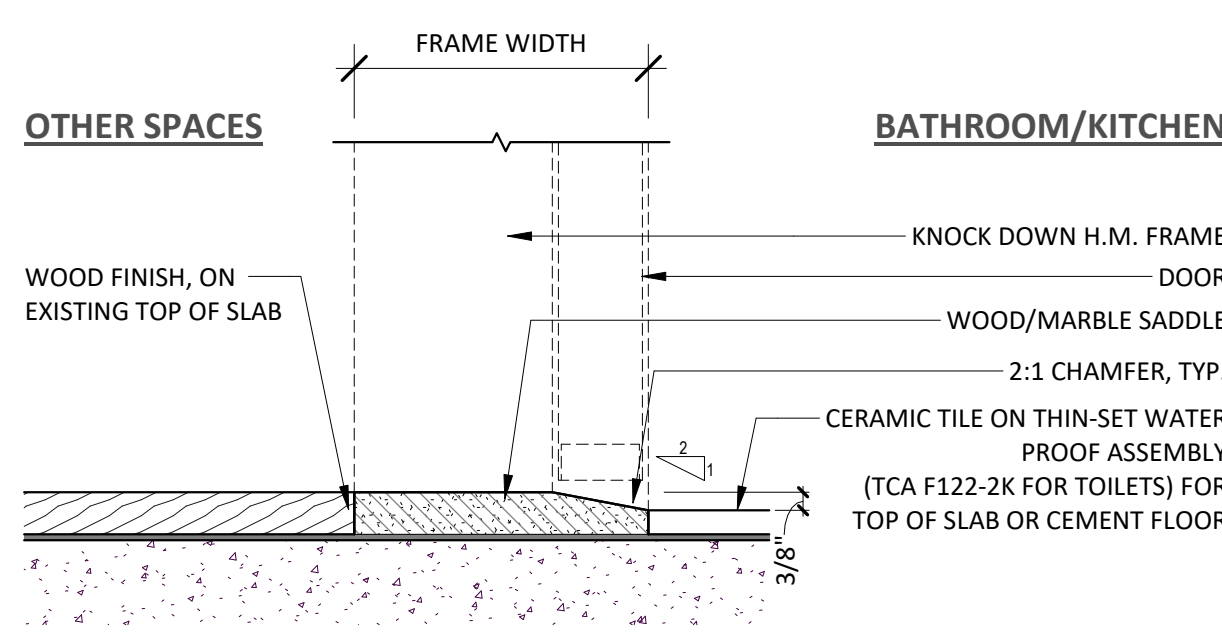
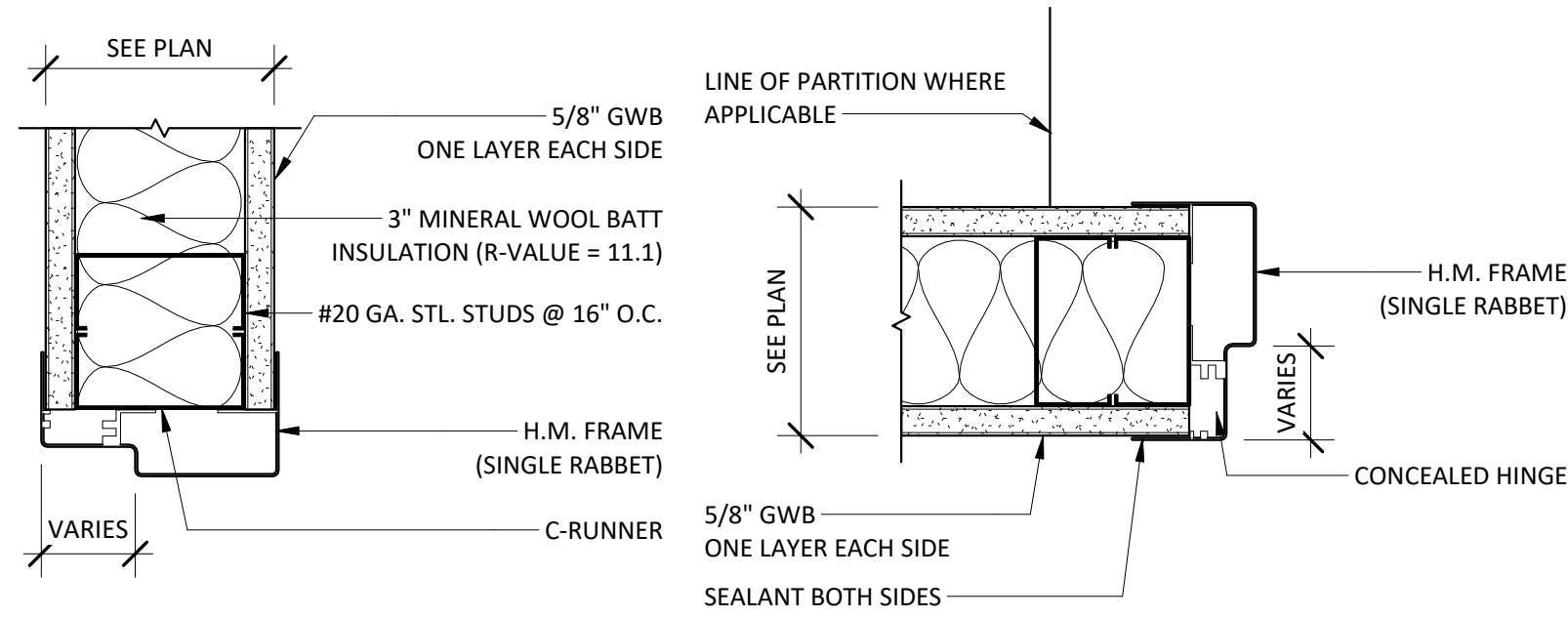
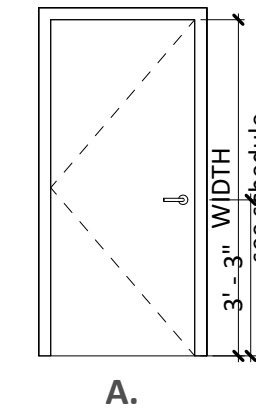
HARDWARE SET

SET #1
 (3) PAIR CONCEALED HINGE - SOSS - MODEL - 216
 (1) PRIVACY DOOR LEVER SET - KWIKSET 155MIL RDT 26D
 (1) DOOR STOP - BLOMUS SKU 65354
 (3) RUBBER BUMPER

SET #2
 (3) PAIR CONCEALED HINGE - SOSS - MODEL - 216
 (1) PASSAGE DOOR LEVER SET - KWIKSET 154MIL RDT 26D
 (1) DOOR STOP - BLOMUS SKU 65354
 (3) RUBBER BUMPER

*ALL CABINETS & DRAWERS HARDWARE, TBD PER ARCHITECT'S APPROVAL

DOOR TYPES

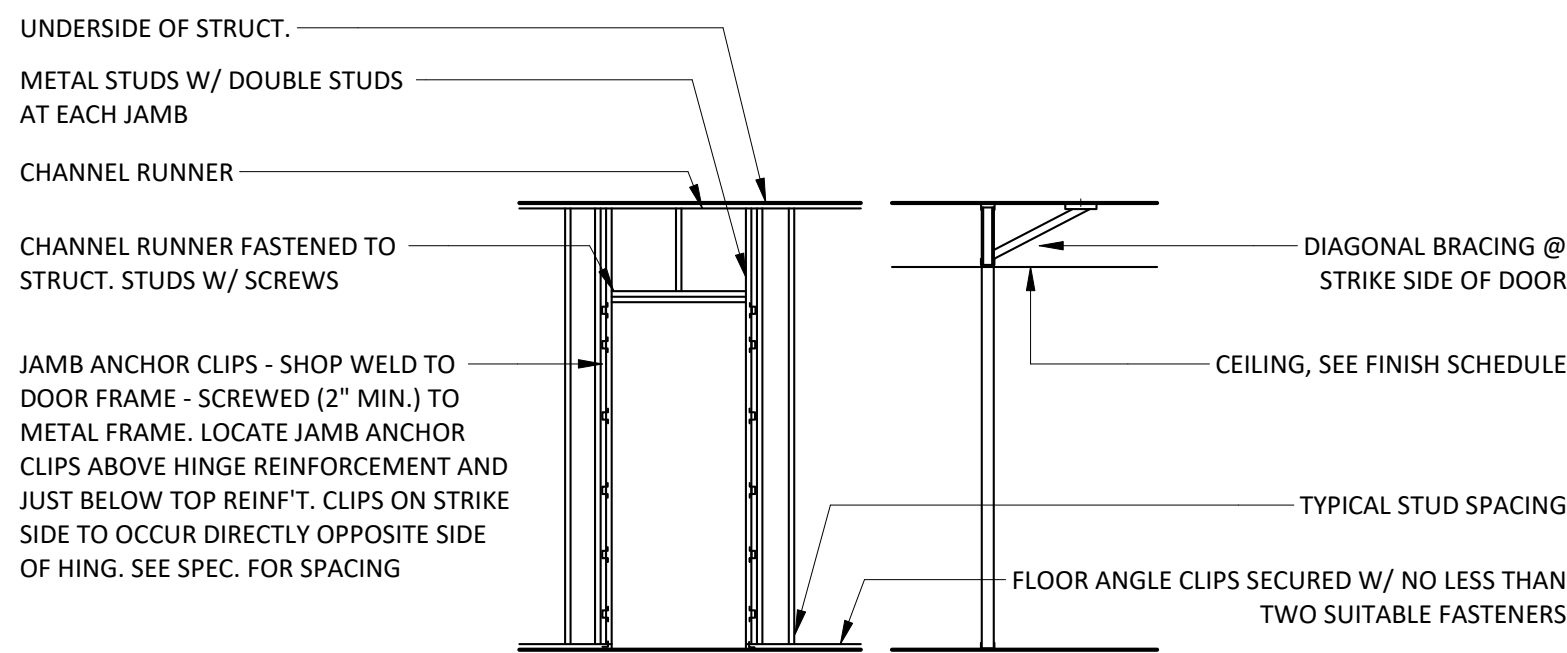


H1 HEAD DETAIL, TYPICAL
3" = 1'-0"

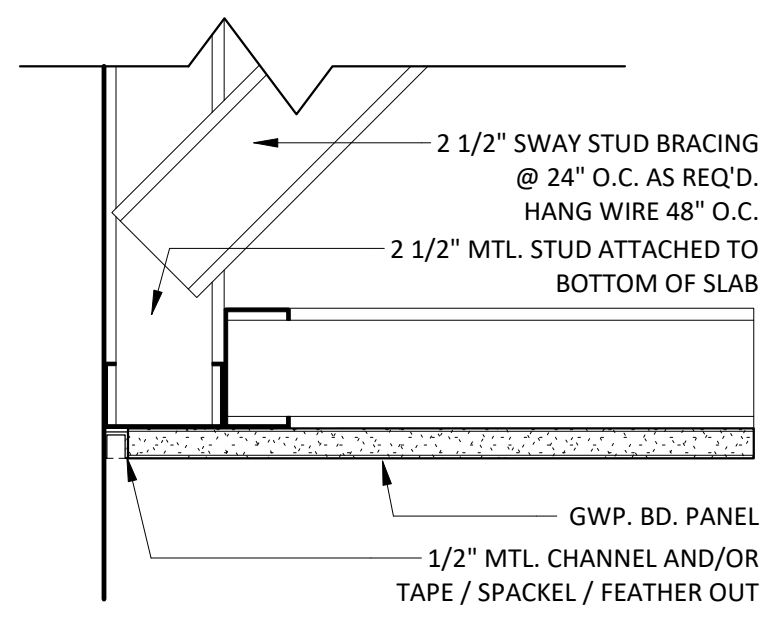
J1 JAMB DETAIL, TYPICAL
3" = 1'-0"

S1 SILL DETAIL, WOOD TO CERAMIC TILE
3" = 1'-0"

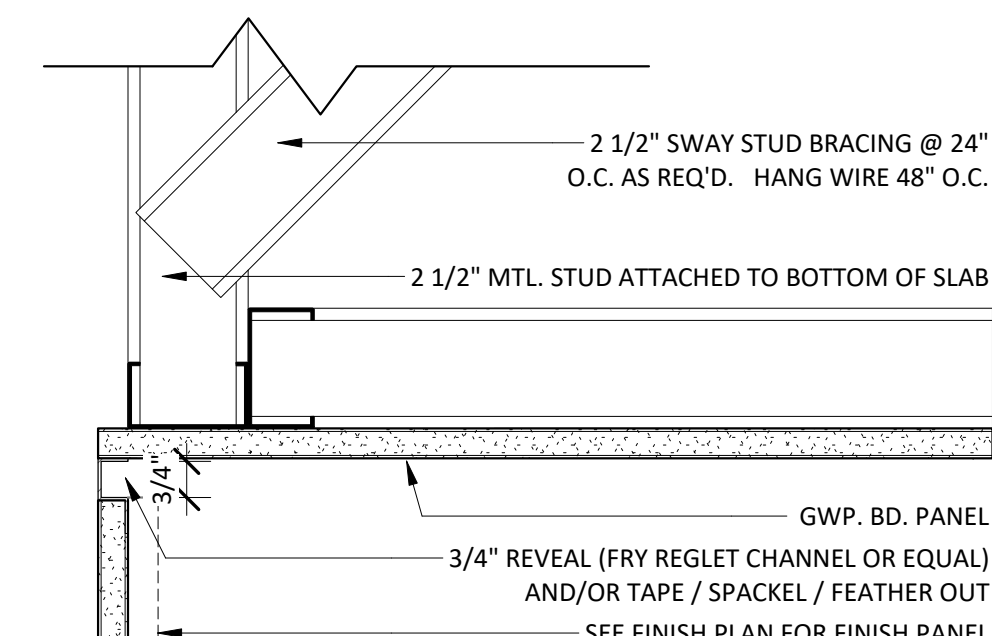
5 CEILING - LIGHT FIXTURE / GWB
3" = 1'-0"



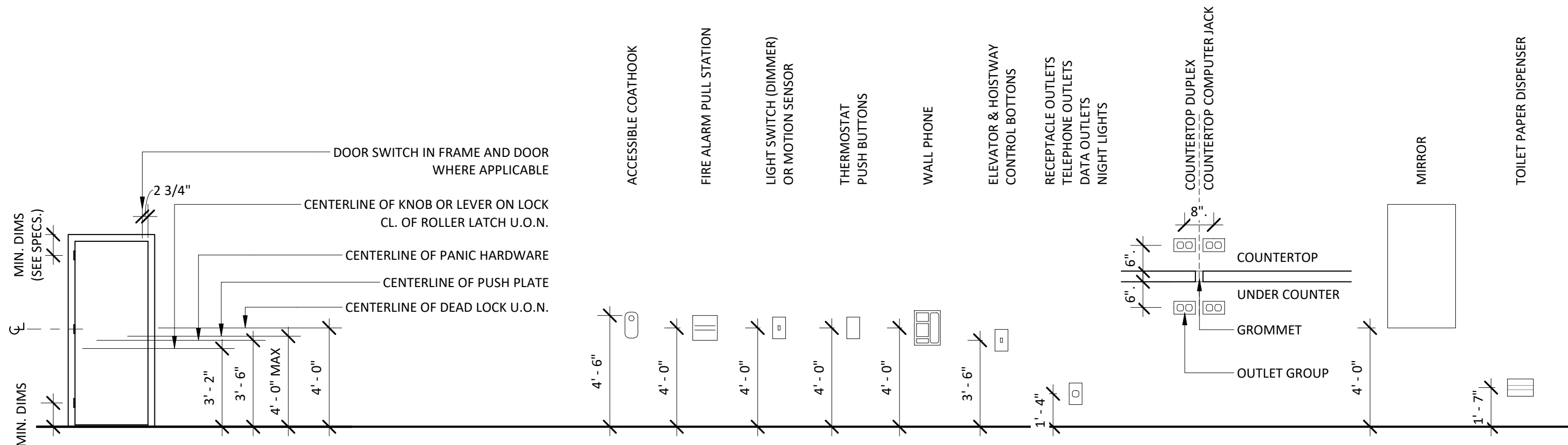
1 TYPICAL DOOR FRAMING DETAILS
1/4" = 1'-0"



3a CEILING - GWB @ WALL
3" = 1'-0"



3b CEILING - GWB @ WALL TYPE B
3" = 1'-0"



2 TYPICAL DOOR HARDWARE MOUNTING HEIGHTS
1/4" = 1'-0"

NYC DOB EMPLOYEE STAMPS / SIGNATURE

NYC DOB BSCAN:

No.	Issue/Description	Date

Project Title
Mi Garba_West Village

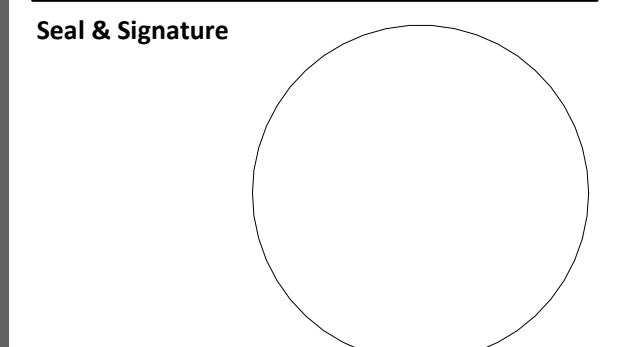
310 Bleecker Street
 New York, NY 10014

Phase
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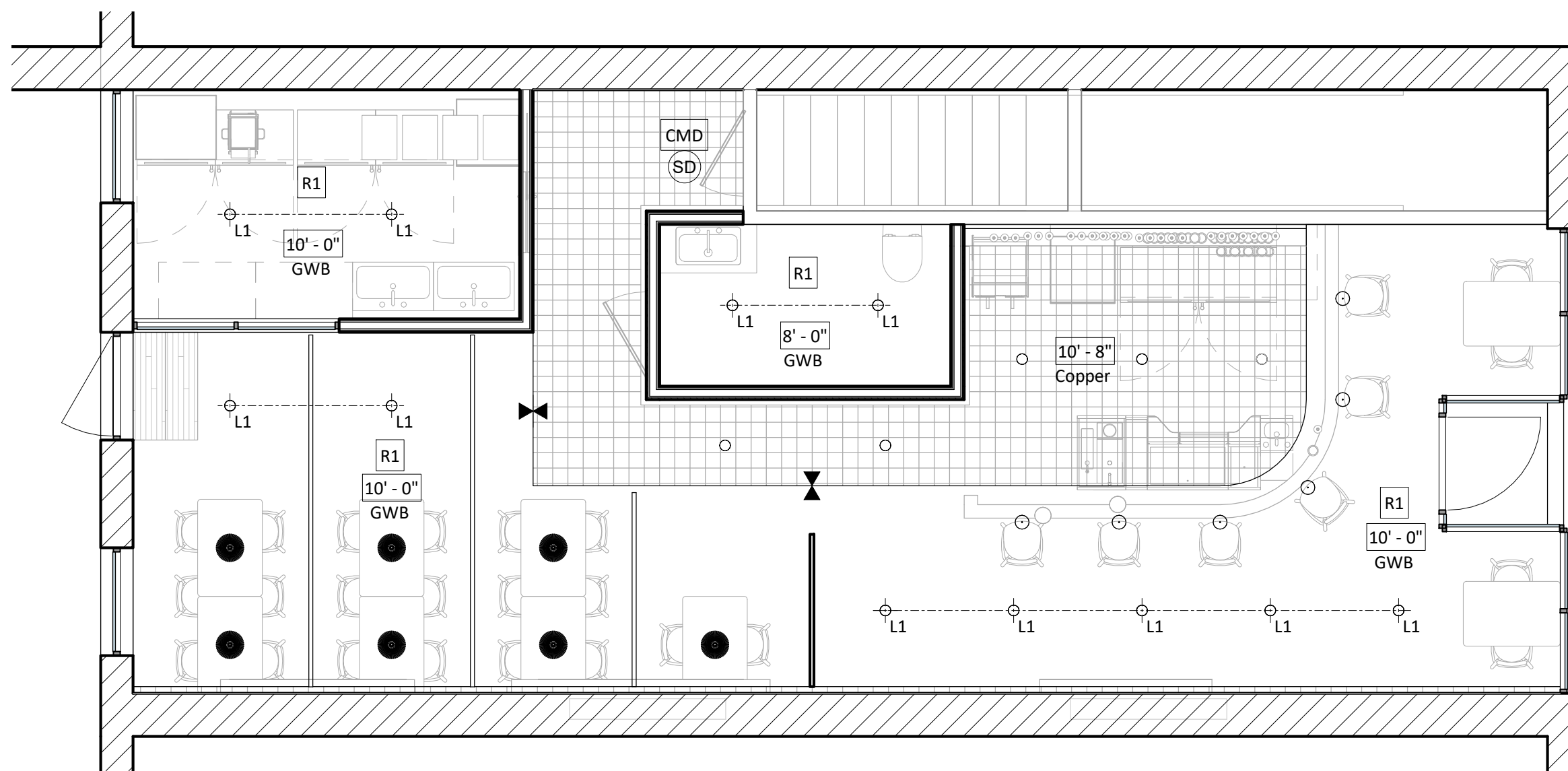
Sheet Title

DOOR, CEILING & MISC. DETAILS

Scale	AS NOTED
Project Number	02106
Date	04/27/2020
Drawn by	
Checked by	
Seal & Signature	



Drawing Number
A-702.00



LIGHTING LEGEND

L1		RECESSED NOM. 4" DIA. APERTURE 8.8W 1001 LUMENS 3000K LED DOWNLIGHT; 0-10V DIMMING [120V; 8.8W] [SEATING AREAS, BAR - DIMMABLE; STORAGE - NON DIM]
L1a		RECESSED NOM. 4" DIA. APERTURE 8.8W 843 LUMENS 3000K LED LENSED DOWNLIGHT; 0-10V DIMMING [120V; 8.8W] [PANTRY]
L1b		RECESSED NOM. 4" DIA. APERTURE 8.8W 843 LUMENS 3000K LED LENSED DOWNLIGHT; WET LOCATION; NON DIMMING [120V; 8.8W] [ADA TOILET]
L1 [EM]		RECESSED NOM. 4" DIA. APERTURE 8.8W 1001 LUMENS 3000K LED DOWNLIGHT AND EMERGENCY BATTERY BACKUP; 0-10V DIMMING [120V; 8.8W] [SEATING AREA & CORRIDOR]
L2		CONTINUOUS 120V LINE VOLTAGE NOM. 3.3W/LF 330 LUMENS/LF 3000K LED TAPE LIGHT; LUTRON DIGITAL OR ELV DIMMING [120V; 3.3W/LF] [SEATING AREA]
L3		CONTINUOUS RECESSED 4" WIDE NOM. 8.3W/LF 750 LUMENS/LF 3000K LED LENSED DOWNLIGHT; 0-10V DIMMING [120V; 8.3W/LF] [SEATING AREA & CORRIDOR]
L4		PENDANT MOUNTED NOM. 6 1/2" DIA. X 14" HIGH 9W PAR16 DECORATIVE DOWNLIGHT RETROFIT WITH 6W 525 LUMENS 2700K GU10 BASE LED LAMP WITH CEMENT DIFFUSER; MTD. AT 6'-0" A.F.F. (V.I.F.) ; 0-10V DIMMING [120V; 9.3W] [BAR]
L5		PENDANT MOUNTED NOM. 17 3/4" DIA. X 7 5/8" HIGH 9.2W 897 LUMENS 2700K LED DECORATED DOWNLIGHT MTD. AT 6'-0" A.F.F. (V.I.F.); 0-10V DIMMING [120V; 9.2W] [SEATING AREA]
L6		LIGHT EMITTING LOW VOLTAGE NOM. 300 LUMENS/ SQ. FT. 3500K LED SHEETS INTEGRATE IN THE MILL WORK BEHIND FROSTED PLEXIGLASS; 0-10V DIMMING [120V; 5.6W/SQ.FT.; TOTAL 400W] [WINE WALL]

No.	Issue/Description	Date

Project Title
Mi Garba_West Village

310 Bleecker Street
 New York, NY 10014

Phase
 Issued for Construction

Sheet Title
**REFLECTED CEILING
 PLAN & LIGHTING
 FIXTURE SCHEDULE**

Scale 1/4" = 1'-0"
Project Number 02106
Date 04/27/2020

Drawn by
Checked by

Seal & Signature

NYC DOB BSCAN:

Drawing Number **A-801.00**
 Page 10 of 10

REFLECTED CEILING PLAN NOTES

1. ALL LIGHTING SWITCHES AND DIMMERS TO BE GANGED AND STACKED TOGETHER AS REQUIRED AND MOUNTED 4'-0" TO THE CENTER LINE A.F.F. U.O.N.
2. ALL CEILING TRANSITION, ALIGNMENT AND LOCATION OF LIGHTING FIXTURES TO BE CHECKED FOR VERIFICATION AND APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
3. ALL DEVICE TO BE WHITE, U.O.N.
4. GENERAL CONTRACTOR TO SUBMIT COORDINATE SHOP DRAWINGS FOR ALL CEILING TRADES, NOTIFY THE ARCHITECT IMMEDIATELY IF CEILING HEIGHT OR DETAILS SHOWN CANNOT BE OBTAINED. NO CEILING INSTALLATION IS TO BEGIN UNTIL CONFLICTS ARE RESOLVED.
5. GENERAL CONTRACTOR SHALL INCLUDE HIS PRICE FOR ANY CEILING TAKE-DOWN AND RE-INSTALLATION FOR REQUIRED ACCESSING IN AREAS NOT INDICATED ON THE DRAWINGS.
6. ALL CLOSETS, WASHER/DRYER DOOR TO INSTALL CLOSET DOOR SWITCH, APPROVED BY ARCHITECT.

REFLECTED CEILING PLAN CODE NOTES

- R1** FINISHED GWB UNDERSIDE OF LIGHTING FIXTURE. TAPE, SPACKLE AND FINISH TO MATCH ADJACENT CEILING.
- R2** CONNECT TO EXISTING EXHAUST SHAFT WITH VENTILATION SYSTEM PER NYC MC 403.3

REFLECTED CEILING PLAN LEGEND

	INDICATE CEILING MATERIAL INDICATE CEILING HEIGHT
	CARBON MONOXIDE DETECTOR & SMOKE DETECTOR
	LIGHT SWITCH @ 4' - 0" A.F.F., U.O.N. D=DIMMER
	SPRINKLER HEAD (EXISTING TO REMAIN)
	THERMOSTAT
	EXHAUST VENT
	WALL MOUNT EXIT SIGN (EXISTING TO REMAIN)
	SECURITY CAMERA

SMOKE DETECTOR NOTES

1. ALL SMOKE DETECTING DEVICES TO BE INSTALLED AS REQUIRED BY NYC CODE AND FIRE DEPARTMENT RULES AND REGULATIONS.
2. EACH DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE DETECTING DEVICES RECEIVING THEIR PRIMARY POWER FROM THE BUILDING WITHOUT SWITCH IN CIRCUIT OTHER THAN THE OVER-CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT.
3. ALL SMOKE DETECTIVE DEVICES TO BE APPROVED BY A NATIONALLY RECOGNIZED INDEPENDENT LABORATORY: UL-217 AND APPEALS WITH PERIODIC FOLLOW-UP SERVICES. ENSURE INSTALLATION AND MAINTENANCE OF SMOKE DETECTIVE DEVICES TO BE COMPLIANT WITH SECTION 907.2 OF THE NYC BUILDING CODE OR SECTIONS 27-978, 27-979, 27-980 AND 27-981 OF THE 1968 BUILDING CODE.
4. SMOKE DETECTIVE DEVICES TO BE IONIZATION CHAMBER TYPE OR PHOTO-ELECTRIC TYPE IN COMPLIANCE WITH REQUIREMENTS OF THE REFERENCE STANDARD RS 17-11 AND INSTALLED TO RS 17-12.
5. ALL SMOKE DETECTIVE DEVICES MUST TO BE INSTALLED WITHIN 15' OF ENTRANCE TO ANY SLEEPING ROOM, AT LEAST 4" FROM WALL FOR CEILING MOUNT, AT LEAST 4" FROM CEILING FOR WALL MOUNT AND IN MECHANICAL SPACES OVER 75 SF TO NFPA 74-190.
6. A CERTIFICATE OF SATISFACTORY INSTALLATION FOR SMOKE DETECTIVE DEVICES MUST BE FILED WITH THE DIVISION OF CODE ENFORCEMENT HPD, 10 DAYS AFTER INSTALLATION.

CARBON MONOXIDE DETECTOR NOTES

1. ALL CARBON MONOXIDE DEVICES TO BE INSTALLED AS REQUIRED IN PROVISIONS OF SECTION 27-2046.1 AND 27-2046.2 OF THE ADMINISTRATIVE CODE OF NYC AND RULES PROMULGATED BY THE HPD.
2. EACH DWELLING UNIT SHALL BE EQUIPPED WITH CARBON MONOXIDE DEVICES RECEIVING THEIR PRIMARY POWER FROM HARD WIRE SYSTEM AS PER NYC LOCAL LAW 7 OF 2004
3. CARBON MONOXIDE DEVICES TO BE UL-2034
4. CARBON MONOXIDE DEVICES TO BE IONIZATION CHAMBER TYPE OR PHOTO-ELECTRIC TYPE AS PER NYC LOCAL LAW 7 OF 2004.
5. ALL CARBON MONOXIDE DEVICES MUST TO BE INSTALLED WITHIN 15' OF ENTRANCE TO ANY SLEEPING ROOM, ON WALL OR CEILING AS PER NYC LOCAL LAW 7 OF 2004. LOCATION AS INDICATED ON PLAN. "COMBO-UNIT" WITH SMOKE DETECTIVE DEVICE MUST BE INSTALLED AT OR NEAR CEILING.
6. A CERTIFICATE OF SATISFACTORY INSTALLATION FOR CARBON MONOXIDE DEVICES MUST BE FILED WITH THE DIVISION OF CODE ENFORCEMENT HPD, 10 DAYS AFTER INSTALLATION.

NYC DOB EMPLOYEE STAMPS / SIGNATURE

NYC DOB BSCAN: