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Antony Wong, Treasurer Keen Berger, Secretary Erik Coler, Assistant Secretary

COMMUNITY BOARD NO. 2, MANHATTAN

3 WASHINGTON SQUARE VILLAGE NEW YORK, NY 10012-1899 www.cb2manhattan.org

COMMUNITY BOARD 2 APPLICATION FOR A LIQUOR LICENSE

Please fill out this questionnaire and return to the Community Board 2 office by fax or mail to arrive at least <u>5</u> <u>business days</u> before the Committee meeting. In addition, bring <u>10 copies</u> plus supporting material requested to the SLA committee meeting.

Failure to complete and return the questionnaire and supporting materials on time will result in your item being removed from the agenda.

Failure to provide a completed questionnaire or failure to present before CB2 will result in notifying the State Liquor Authority (SLA) of your noncompliance with the community review process.

If you need to reschedule, please notify the Community Board 2 office no later than the Friday prior to the following months meeting. Speak to Florence Arenas at the Board Office. A maximum of 1 layover request will be granted per application. Failure to reappear without notification will result in a recommendation to deny this application.

The following supporting materials are required for this application:

- 1. A list of all other licensed premises within 500 ft. of this location including Beer and Wine
- Floor plans of the premise, including all tables and chairs and kitchen lay out to be licensed. Please also include any schematics for sidewalk café, backyard garden space and/or rooftop areas if applicable.
- 3. Provide any plans filed or to be filed with the Buildings Department.
- 4. Proposed menu, if applicable.
- 5. Certificate of Occupancy or Letter of No Objection for the premises.
- 6. Letter of Understanding or Letter of Intent from the Landlord.
- 7. Provide proof of community outreach with signatures or letters from Residential Tenants at location and from surrounding buildings. (i.e. a letter from the neighborhood block association or petition in support.)
- 8. A copy of your NYS Liquor Authority application as it will be submitted to the SLA. (excluding financial information)

Meeting Date:	
APPLICANT INFORMATION:	
Name of applicant(s): HOYA W3 LLC	
Trade name (DBA): Red Feather	
Premises address: 82 W 3rd Street, New York NY 10012	
Cross Streets and other addresses used for building/premise:	٠
Thompson Street	_
CONTACT INFORMATION:	
Principal(s) Name(s): Jiahao Gu	
Office or Home Address:	
City, State, Zip: New York NY	
Telephone #: email :	_
Landlard Name / Contact:	
Landlord's Telephone and Fax:	
NAMES OF ALL PRINCIPAL(s): NAMES / LOCATIONS OF PAST / CURRENT LICENSES HELD	
Jerry Cheng	
Briefly describe the proposed operation (i.e. "We are a family restaurant that will focus on"):	
We are an Asian fusion restaurant located near Washington Square Park in a neighborhood of restaurants and	bars
Our menu will focus on Chinese cuisine inspired fusion dishes and we plan to pair our food with beer, wine and sake to pro-	ovide
a unique dining experience for the community.	

WHAT TYPE(S) OF LICENSE(S) ARE YOU APPLYING FOR (MARK ALL THAT APPLY):
✓ a new liquor license(✓ Restaurant Tavern / On premise liquor Other)
an UPGRADE of an existing Liquor License
an ALTERATION of an existing Liquor License
a TRANSFER of an existing Liquor License
a HOTEL Liquor License
a DCA CABARET License
a CATERING / CABARET Liquor License
a BEER and WINE License
a RENEWAL of an existing Liquor License
an OFF-PREMISE License (retail)
OTHER :
If this is for a new application, please list previous use of location for the last 5 years:
It was preivously a veitnanmese bar & restaurant called Pho Bar.
Is any license under the ABC Law currently active at this location? yes no
If yes, what is the name of current / previous licensee, license # and expiration date:
Have any other licenses under the ABC Law been in effect in the last 10 years at this location? ✓ yesno
If yes, please list DBA names and dates of operation:
82 W3rd Restaurant UC DBA Vyne 2010-2012 Sip & Pine LC PBA The Mallyn 2010-20 Legard Wasse Village UC 2015-2017 HCM Group DBA Saigon 2017-2020
Legard Wass Village LL 2015-2017 / HCM Group PBA Saigon 2017-2020

PREMISES:

By what right does the applicant have possession of the premises?
Own Lease Sub-lease Binding Contract to acquire real property other:
Type of Building: Residential Commercial Mixed (Res/Com) Other:
Number of floor: 4 Year Built : 1903
Describe neighboring buildings: LOW Rise Brick.
Zoning Designation: <u>C/- 5</u>
Zoning Overlay or Special Designation (applicable)
Block and Lot Number: 539 / 19
Does the premise occupy more than one building, zoning lot, tax lot or more than one floor?yesno
Is the premise located in a historic district? yes no
(if yes, have all exterior changes or changes governed by the Landmarks Preservation Commission (LPC) been approved by the LPC? yes no, please explain :
Will any outside area or sidewalk café be used for the sale or consumption of alcoholic beverages? (including sidewalk, roof and yard space) no yes : explain
What is the proposed Occupancy?50
Does the premise currently have a valid Certificate of Occupancy (C of O) and all appropriate permits?
noyes
If yes, what is the maximum occupancy for the premises? 74
If yes, what is the use group for the premises?
If yes, is proposed occupancy permitted? yes no, explain :
If your occupancy is 75 or greater, do you plan to apply for Public Assembly permit? yesno
Do you plan to file for changes to the Certificate of Occupancy? yes no (if yes, please provide copy of application to the NYC DOB)
Will the façade or signage be changed from what currently exist at the premise? no yes
(if yes, please describe:

INTERIOR OF PREMISES:					
What is the total licensed square footage of the premises? 1000 sq ft	_				
If more than one floor, please specify square footage by floors:					
f there is a sidewalk café, rear yard, rooftop, or outside space, what is the square footage of the area?					
If more than one floor, what is the access between floors?					
How many entrances are there? 1 How many exits? 1 How many bathrooms	? 2				
Is there access to other parts of the building? 🗸 no yes, explain:					
OVERALL SEATING INFORMATION:					
Total number of tables? <u>10</u> Total table seats? <u>40</u>					
Total number of bars? Total bar seats?10					
Total number of "other" seats? please explain :					
Total OVERALL number of seats in Premises :50					
BARS:					
How many * stand-up bars / bar seats are being applied for on the premises? Bars $\frac{1}{1}$ Se	ats <u>10</u>				
How many service bars are being applied for on the premises? 1					
Any food counters? 🗸 no yes, describe :					
For Alterations and Upgrades:					
Please describe all current and existing bars / bar seats and specific changes:					

PROPOSED METHOD OF OPERATION:

What typ	e of establishme	nt will this be? (cl	neck all that apply)			
Bar	Bar & Food	✓ Restaurant	Club/ Cabaret	Hotel	Other:	

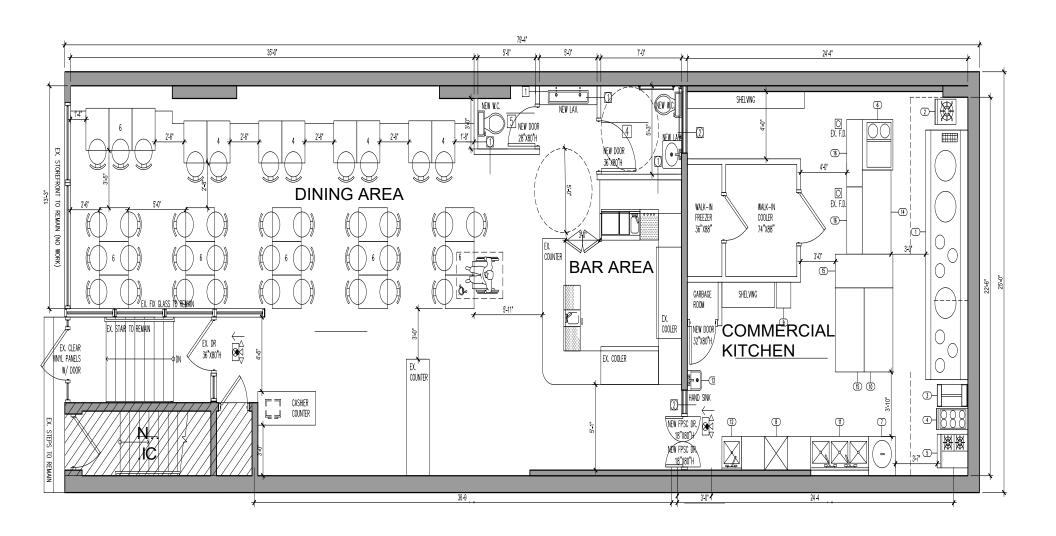
^{*} A stand-up bar is any bar or counter (whether seating or not) over which a member of the public can order, pay for and receive food and alcoholic beverages.

What are the	e Hours of Op	eration?				
Sunday:	Monday:	Tuesday:	Wednesday:	Thursday:	Friday:	Saturday:
			11 to 0			
Will the busi	ness employ a	a manager? _	no $\sqrt{}$ yes,	name / experie	nce if known :	
Will there be Do you have	e security pers e or plan to ins	onnel? <u>V</u> no stall French do	o yes(if ye ors, accordion do	s, what nights a oors or windows	nd how many' that open? _	?) no yes
If yes, please	e describe : _					
Will you have	e TV's ?	no yes ((how many?)	2		
						lpod / CDsnone
Expected Vo		<u>✓</u> Backgrour	nd (quiet) E	ntertainment lev	/el Ampli	fied Music
Do you have	or plan to ins	tall soundproc	ofing? <u> </u>	yes		
IF YES, will	you be using a	a professional	sound engineer?			
Please desc	ribe your sour	nd system and	sound proofing:	•		
Do you have establishmen. Will you be to the accordance of the ac	ents at which are plans to man nt? no utilizing temises within a school, chur mit a block plane larger than	a cover fee is on age or addres yes (if yes opes modes modes of any of the diagram of the size with	es, please attach ovable barriers school, church of worship within r area map shov	rivate parties and crowd conplans)other outsider place of wors	trol on the side	ewalk caused by your (describe)
		•	posea premise.			

Name of School / Church:	
Address:	Distance:
Name of School / Church:	
Address:	
Please provide contact information for Reside you will address it immediately.	nts / Community Board and confirm that if complaints are made
Contact Person: Jiahao Gu	Phone:
Address:	
Арр	olication submitted on alf of the applicant by:
 	Signature
Print or Type Name	e
Tit	le

Thank you for your cooperation. Please return this questionnaire along with the other required documents as soon as you can. This will expedite your application and avoid any unnecessary delays. Use additional pages if necessary.

Community Board 2, Manhattan SLA Licensing Committee Carter Booth, Co-Chair Robert Ely, Co-Chair



DRAWING LIST FOR D.O.B

GENERAL NOTES. SITE PLAN. FLOOD ZONE MAP DEMOLITION PLAN. PROPOSED FLOOR PLAN. NOTES AND SCHEDULE A-002 DETAILS, SCHEDULE

RISER DIAGRAM, DETAILS P-001 TENANT PROTECTION PLAN AND NOTES

BUILDING INFORMATION

82 WEST 3RD STREET, MANHATTAN, NY 10012 **FLOORS** 1ST FLOOR 539 BLOCK# R7-2, C1-5 ZONE# 1008674

MIXED RESIDENTIAL & COMMERCIAL BUILDINGS OCCUPANCY LANDMARK

CONSTRUCTION CLASS 3 (NON-FIREPROOF)

JOB DESCRIPTION

PROPOSED INTERIOR RENOVATION AT 1ST FLOOR OF MIXED RESIDENTIAL & COMMERCIAL BUILDINGS WITH NEW PARTITION WORK, PLUMBING WORK AND FINISHED WORK AS PER PLAN. NO CHANGE IN USE, EGRESS & OCCUPANCY.

SMOKE DETECTOR 2014 NOTES

1. SMOKE ALARMS IN GROUPS R-2, R-3, AND I-1. SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-3, AND I-1, REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS WITHIN A DWELLING UNIT AS PER 907.2.10.1.1

a. ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING PURPOSES WITHIN 15 FEET (4572 MM) FROM THE DOOR TO SUCH ROOM b. IN EACH ROOM USED FOR SLEEPING PURPOSES.

c. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BELOW-GRADE STORIES AND PENTHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. 2. SMOKE ALARMS OR DETECTORS SHALL COMPLY WITH THE POWER SOURCE, INTERCONNECTION, AND ACCEPTANCE TESTING REQUIREMENTS AS REQUIRED FOR SMOKE ALARMS IN ACCORDANCE WITH SECTIONS BC 907.2.10.2 THROUGH BC 907.2.10.4. 3. SMOKE ALARMS SHALL BE PROVIDED WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN

ACCORDANCE WITH ICC/ANSI A117.1. SMOKE ALARMS SHOULD BE UL LISTED. 4. SMOKE ALARMS OR DETECTORS INSTALLATION SHALL FOLLOW THE MANUFACTURER'S INSTRUCTIONS.

CARBON MONOXIDE DETECTOR 2014 NOTES

1. CARBON MONOXIDE ALARMS OR DETECTORS SHALL BE REQUIRED WITHIN THE FOLLOWING DWELLING UNITS AS PER BC 908.7.1.1:

a. UNITS ON THE SAME STORY WHERE CARBON MONOXIDE PRODUCING EQUIPMENT OR ENCLOSED PARKING IS LOCATED. b. UNITS ON THE STORIES ABOVE AND BELOW THE FLOOR WHERE CARBON MONOXIDE-PRODUCING EQUIPMENT OR ENCLOSED

c. UNITS IN A BUILDING CONTAINING A CARBON MONOXIDE PRODUCING FURNACE, BOILER, OR WATER HEATER AS PART OF A CENTRAL SYSTEM.

d. UNITS IN A BUILDING SERVED BY A CARBON MONOXIDE PRODUCING FURNACE, BOILER, OR WATER HEATER AS PART OF A

CENTRAL SYSTEM THAT IS LOCATED IN AN ADJOINING OR ATTACHED BUILDING. 2. CO DETECTORS MUST BE INSTALLED WITHIN 15 FEET OF THE PRIMARY ENTRANCE OF EACH BEDROOM. CARBON MONOXIDE ALARMS OR DETECTORS SHALL BE LOCATED WITHIN DWELLING UNITS AS FOLLOWS AS PER 808.7.1.1.1:

a) OUTSIDE OF ANY ROOM USED FOR SLEEPING PURPOSES, WITHIN 15 FEET (4572 MM) OF THE ENTRANCE TO SUCH ROOM. b) IN ANY ROOM USED FOR SLEEPING PURPOSES. c) ON ANY STORY WITHIN A DWELLING UNIT, INCLUDING BELOW-GRADE STORIES AND PENTHOUSES OF ANY AREA, BUT NOT

INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. 3. CO DETECTORS DO NOT HAVE TO BE INSTALLED ON OR NEAR THE CEILING. THEY CAN BE INSTALLED AT OTHER ROOM LOCATIONS AND AT HEIGHTS RECOMMENDED BY THE MANUFACTURER.

NEAR GAS STOVES, GAS DRYERS, ETC. 5. DETECTORS SHOULD NOT BE PLACED IN AREAS LIKELY TO BE DAMAGED BY CHILDREN OR PETS.

6. CARBON MONOXIDE ALARMS OR DETECTORS SHALL COMPLY WITH THE POWER SOURCE, INTERCONNECTION, AND ACCEPTANCE TESTING REQUIREMENTS AS REQUIRED FOR SMOKE ALARMS IN ACCORDANCE WITH SECTIONS BC 907.2.10.2 THROUGH BC 907.2.10.4. TO SAME CAUSED BY HIS WORK OR WORKMEN MUST BE MADE GOOD WITHOUT DELAY.

1. THE G.C. SHALL PROVIDE AND MAINTAIN ADEQUATE PROTECTION FOR ALL FLOORING FOR THE DURATION OF THE CONTRACT. AND REMOVE ALL PROTECTION WHEN DIRECTED BY ARCHITECT. 2. THE FLOORING CONTRACTOR SHALL FLASH-PATCH ALL CRACKS, HOLES OR OTHER IMPERFECTIONS (PROJECTIONS SHALL BE

REMOVED AND PATCHED TO PROVIDE A CONTINUOUS SMOOTH FLOOR SURFACE). 3. THE FLOORING CONTRACTOR SHALL NOTIFY ARCHITECT AFTER ALL FLOOR PATCHING IS DONE AND RECEIVE THEIR APPROVAL PRIOR TO INSTALLATION.

4. BASE SHALL HAVE PRE-FORMED INTERNAL AND EXTERNAL CORNERS.

5. UPON COMPLETION, ALL WORK SHALL BE CLEANED BY THE FLOORING CONTRACTOR, REMOVING ALL SPOTS OF ADHESIVE AND SURFACE STAINS AND ALL SCRAPS. CARTONS AND CONTAINERS SHALL BE REMOVED FROM THE BUILDING. 6. THE G.C. SHALL PROVIDE AND MAINTAIN ADEQUATE PROTECTION FOR ALL FLOORING WORK FOR THE DURATION OF THE

CONTRACT. AND REMOVE ALL PROTECTION WHEN DIRECTED BY ARCHITECT. 7. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL VINYL COMPOSITION TILE AS INDICATED. THE TILES SHALL BE LAID IN SQUARE PATTERN WITH COURSES PARALLEL TO WALLS. THE TILE SHALL BE LAID WITH TIGHT BUTT JOINTS. THE ADHESIVE USED FOR CEMENTING THE TILE SHALL BE APPLIED FAR ENOUGH IN ADVANCE OF THE TILE SETTING TO PERMIT THE ADHESIVE TO REACH ITS INITIAL SET BUT NOT ITS FINAL SET. ALL TILE SHALL BE AS SPECIFIED. TILE HAVING CHIPPED OR ROUNDED CORNERS SHALL BE REJECTED, AND, IF LAID, SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE TILES. ALL WORKMANSHIP SHALL BE OF THE BEST QUALITY AND WHEN WORK IS COMPLETED, SHALL BE FREE OF BUCKLES, BUBBLES, OPEN JOINTS AND OTHER IMPERFECTIONS. 8. ALL TILES SHALL BE CLEANED, WAXED AND BUFFED 72 HOURS AFTER COMPLETION OF THE INSTALLATION. (BY FLOORING

PARTITIONS:

1. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL PARTITIONS TO MEET BUILDING REGULATIONS, NYC BUILDING CODE AND AS DESIGNED ON ARCHITECT DRAWINGS. 2. THE CONTRACTOR SHALL PROVIDE ALL LINE AND GRADE MARKINGS ON THE FINISH FLOOR OF ALL PARTITIONS FOR ARCHITECT

3. UNLESS OTHERWISE NOTED, ALL DIMENSIONS FOR PARTITIONS ARE FROM FINISH TO FINISH. 4. WALLS SHOWN ALIGNED WITH BASE BUILDING STRUCTURE SHALL BE FLUSH AND SMOOTH WITH BASE BUILDING STRUCTURE

UNLESS OTHERWISE INDICATED. 5. THE CONTRACTOR SHALL USE METAL CORNER BEADS AT ALL EXPOSED CORNERS AND EXPOSED ENDS IN PLED ASTER AND

6. ALL PARTITIONS SHALL BE ANCHORED FIRMLY AS PER MANUFACTURER'S HANDBOOK SPECIFICATIONS AND AS REQUIRED BY THE NEW YORK CITY BUILDING CODE.

PAINTING AND WALL COVERING:

1. UNLESS OTHERWISE SPECIFIED ALL AREAS ARE TO BE PAINTED IN ACCORDANCE WITH WALL FINISH INFORMATION. 2. WALLS SHALL INCLUDE SURFACES FROM FLOOR TO CEILING, INCLUDING PILASTERS, FASCIAS, JAMBS, BUCKS REVEALS, RETURNS

AND ALL VERTICAL SURFACES NOT INCLUDED IN CEILING. 3. CEILINGS FOR PAINT SHALL INCLUDE THE GENERAL SURFACE OF THE CEILING, BREAKS, DRAPERY POCKETS, ETC. 4. PAINT COLORS SHALL BE SPECIFIED BY ARCHITECT AND THE PAINTING CONTRACTOR SHALL SUBMIT SAMPLES (12" X 12") FOR APPROVAL BY ARCHITECT 2 WEEKS PRIOR TO INSTALLATION.

5. ALL WALLS AND CEILINGS SHALL BE PROPERLY PREPARED, SPECKLED, SANDED, ETC. TO PROVIDE A PERFECTLY SMOOTH FINISH AND SURFACE. 6. THE PAINTING CONTRACTOR SHALL, UPON COMPLETION, REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR

SPLATTERED ON SURFACES, INCLUDING LIGHT FIXTURES, DIFFUSERS AND REGISTERS, SLAB FITTINGS, ETC. HE SHALL REMOVE ALL ELECTRICAL SWITCH PLATES AND OUTLET PLATES, SURFACE HARDWARE, ETC. FROM EXISTING CORE AREAS, BEFORE PAINTING, PROTECTING AND REPLACING SAME WHEN PAINTING HAS BEEN COMPLETED. 7. THE CONTRACTOR AND ARCHITECT SHALL EXAMINE ALL AREAS OF CONSTRUCTION AFTER COMPLETION OF WORK BY ALL TRADES

(INCLUDING TELEPHONE INSTALLATION, FLOORING, ETC.) AND APPROVE ALL NECESSARY "TOUCH-UP" PAINTING AND/OR PATCHING. ALL WALLS TO RECEIVE WALL COVERING SHALL BE PROPERLY SIZED AND/OR PRIMED AS REQUIRED. 8. ALL WALL COVERING SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATION OR INSTRUCTIONS AND SHALL BE FREE OF

ANY BUBBLES OR UNEVENNESS: SEAMS SHALL BE PERFECTLY FLAT. 9. WHERE WALL COVERING HAS A PATTERN, THE PATTERN SHALL BE MATCHED TO PROVIDE A CONTINUOUS APPEARANCE.

10. WHERE NO PATTERN EXISTS, BUT WALL COVERING HAS A COLOR NAP, WALL COVERING SHALL BE INSTALLED IN ONE DIRECTION. WHERE REQUIRED, TESTED BY CONTRACTOR AND BY THE AUTHORITIES HAVING JURISDICTION TO INSURE THEIR PROPER 11. ALL WALL COVERING INSTALLATION IS SUBJECT TO THE APPROVAL BY ARCHITECT. ANY REPLACEMENTS REQUIRED DUE TO DAMAGED MATERIAL OR UNACCEPTABLE INSTALLATION SHALL BE MADE PROMPTLY AT NO ADDITIONAL COST TO THE OWNER. 12. THE PAINTING CONTRACTOR SHALL EXAMINE ALL SURFACES AFTER COMPLETION OF WORK BY ALL TRADES AND PROVIDE NECESSARY "TOUCH-UP" PAINTING AND/OR PATCHING.

GENERAL NOTES

1. ALL WORK FOR THIS PROJECT SHALL COMPLY WITH THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA). AMERICANS WITH DISABILITIES ACT, AND WITH THE BUILDING CODE AND APPLICABLE LOCAL LAWS OF THE CITY OF NEW YORK.

2. BUILDING CODE AND APPLICABLE LOCAL LAWS OF THE CITY OF NEW YORK. BUILDING REQUIREMENTS FOR ALTERATIONS SHALL APPLY TO ALL WORK AS REQUIRED. 3. ALL APPLICANT DRAWINGS AND ALL CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED OF BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.

4. ALL WORK LISTED IN THESE CONSTRUCTION NOTES AND SHOWN OR IMPLIED ON ALL DRAWINGS SHALL BE COORDINATED BY THE GENERAL CONTRACTOR AND SUPPLIED AND INSTALLED BY SELECTED SUBCONTRACTOR. 5. ALL CONTRACTORS SHALL NOTIFY ARCHITECT IMMEDIATELY IF THEY CANNOT COMPLY WITH ALL NOTES CALLED FOR ON

THESE PAGES AND ON ALL OTHER ARCHITECT DRAWING OR DOCUMENTS. 6. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, THESE NOTES, AND FIELD CONDITIONS, BEFORE SUBMITTING A PROPOSAL, AND REQUEST CLARIFICATION. 7. BEFORE SUBMITTING A PROPOSAL, ALL CONTRACTORS SHALL VISIT THE PREMISES. FAMILIARIZE THEMSELVES WITH EXISTING

CONDITIONS AND SATISFY THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE 8. THE SUBMISSION OF A PROPOSAL SHALL BE CONSTRUCTED AS EVIDENCE THAT SUCH EXAMINATION HAS BEEN MADE AND LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIAL OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN

HAD SUCH AN EXAMINATION BEEN MADE, WILL NOT BE RECOGNIZED 9. THE GENERAL CONTRACTOR SHALL DETERMINE THE BUILDING REQUIREMENTS FOR CONSTRUCTION, WHICH WILL INDICATE WHEN AND HOW DELIVERIES CAN BE MADE (SEE BELOW), WHAT PHASES OF CONSTRUCTION CAN BE DONE ON REGULAR OR OVERTIME, INSURANCE REQUIREMENTS AND IN GENERAL, ANY SPECIAL BUILDING REQUIREMENTS WHICH WILL AFFECT THEIR WORK. IF OVERTIME WORK IS REQUIRED BY ANY TRADE, APPROVAL MUST BE ABSTAINED PRIOR TO THE EXECUTION OF ANY 9.1 ALL COMMUNICATION WITH BUILDING OWNER, ARCHITECT, OR ENGINEERS SHALL BE DONE THROUGH THE GENERAL

CONTRACTOR 10. EACH CONTRACTOR SHALL MAKE ALL REQUIRED ARRANGEMENTS FOR DELIVERY OF EQUIPMENT AND/ OR MATERIALS. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO CHECK THE BUILDING REQUIREMENTS GOVERNING WORK ON THE PREMISES, INCLUDING THE FOLLOWING:

10.1 DATE AND TIME OF DELIVERY SHALL BE ESTABLISHED IN CONJUNCTION WITH THE PERSONS HAVING JURISDICTION OVER PREMISES (OVERTIME CHARGES AND / OR ANY NECESSARY EXPENSE SHALL BE PAID BY CONTRACTOR REQUIRING THIS SERVICE).

10.2 BUILDING CONDITIONS, INCLUDING SIZE AND LOADING CAPACITY OF ELEVATORS, SIZE OF DOORWAYS, CORRIDORS, WINDOW OPENINGS, ETC. SHALL BE CHECKED FOR ITEMS BEING DELIVERED BY THE CONTRACTOR REQUESTING DELIVERY. 10.3 ALL CHARGES INVOLVING THE INSTALLATION AND/OR OPERATION OF HOIST SYSTEM IF REQUIRED, SHALL BE BORNE B' THE CONTRACTOR USING THE SYSTEM. CHARGES INVOLVING THE TEMPORARY REMOVAL AND REINSTALLATION OR WINDOW SASH AND/OR FIXED PANELS REQUIRED FOR DELIVERY SHALL BE BORNE BY THE CONTRACTOR.

11. PRIOR TO BEGINNING ANY WORK, THE CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE SHOWING THE CHRONOLOGICAL PHASES OF WORK, AND ALL RELATED WORK FOR THE COMPLETION OF THE PROJECT. THIS SCHEDULE SHALL INDICATE ALL ORDERING LEAD-TIME, LENGTH OF TIME FOR EACH PHASE, ITS START AND COMPLETION, WITH A PROJECTED

12. THE CONTRACTOR SHALL FURNISH FIELD PROGRESS REPORTS TO ARCHITECT FOR ALL PHASES OF CONSTRUCTION. 13. THE CONTRACTOR, THE SUB-CONTRACTOR, AND ANY OTHER CONTRACTOR INVOLVED IN THIS PROJECT SHALL TAKE NOTE THAT ANY COST CAUSED BY DEFECTIVE OR ILL-TIMED WORK, AS RESULT OF, BUT NOT LIMITED TO INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING SHALL BE BORNE BY THE PARTY RESPONSIBLE. 14. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS, FROM ALL SUB-CONTRACTOR'S EMPLOYEES, INCLUDING THAT RUBBISH WHICH IS FROM NON-CONTACT WORK SUCH AS OWNER SUPPLIES MATERIALS, SALES OFFICE

FURNISHINGS, DATA AND TELEPHONE COMPANY INSTALLATION, ETC. 15. THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED AND CONNECTED WHERE SO REQUIRED. 16. WHERE THE TERMS "APPROVED EQUAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF ARCHITECT P.C. FOR EACH PROPOSED SUBSTITUTION, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND/ OR FULL SIZE SAMPLES

FOR INSPECTION. 17. THE CONTRACTOR SHALL PROVIDE CUTS OF ALL FIXTURES AND EQUIPMENT CALLED FOR ON ARCHITECT P.C DRAWINGS, I.E. LIGHT FIXTURES, HARDWARE, ETC.

18. THE CONTRACTOR SHALL PROVIDE ALL FABRICATION SHOP DRAWINGS AND FIXTURE CUTS TO ARCHITECT P.C FOR APPROVAL. ALL SHOP DRAWINGS AND CUTS SIGNED "APPROVED" SHALL SUPERSEDE ORIGINATING DRAWINGS IN DESIGN APPEARANCE ONLY. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS IN THEIR DRAWINGS. 19. ALL LUMBER TO BE PERMANENTLY INSTALLED AS PART OF THE PROJECT SHALL BE FIREPROOFED AND COMPLY WITH NEW YORK CITY BUILDING CODE REQUIREMENTS

4. TO ENSURE PROPER OPERATION, DO NOT INSTALL CO DETECTORS NEXT TO BATHROOMS, WHICH ARE SOURCES OF HUMIDITY, OR 20. THE CONTRACTOR SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM LEAVING THE JOB SITE. JOB SITE SHALL BE KEPT BROOM CLEAN AT ALL TIMES DURING THE PROJECT, OR CREATE A POTENTIAL FIRE HAZARD.

21. THE CONTRACTOR SHALL PROPERLY PROTECT THE BUILDING AND ANY ADJOINING PROPERTY OR WORK AND ANY DAMAGE

22. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE CLIENT. 23. THE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY TO THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND

24. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS, SPECIFICATIONS AND SKETCHES ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES. 25. THE CONTRACTOR, UPON ACCEPTANCE OF THE DRAWINGS, ASSUMES RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS AND THEY WILL BE EXPECTED TO COMPLY WITH THE SPIRIT, AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN. 26. THE CONTRACTORS SHALL SUBMIT CERTIFICATES TO ARCHITECT UPON COMPLETION OF WORK, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

26.1 FIREPROOF WOOD TEST REPORT (IF REQUIRED). 26.2 ELECTRICAL, PLUMBING AND AIR-CONDITIONING. CERTIFICATES ISSUED BY THE APPROPRIATE NYC AGENCIES HAVING JURISDICTION.

26.3 ALL EQUIPMENT USE PERMITS. 26.4 EVIDENCE THAT ALL EQUIPMENT AND/OR MATERIALS CARRY NYC BOARD OF STANDARDS & APPEALS OR MEA APPROVAL. (EQUIPMENT AND / OR MATERIALS THAT DO NOT CARRY BS&A OR MEA APPROVAL ARE NOT ACCEPTABLE). 26.5 LIEN WAIVERS FROM ALL SUB-CONTRACTORS.

26.6 COPIES OF EQUIPMENT USE PERMITS. ALL REQUIRED EXITS, WAY MA OF APPROACH THERETO, AND WAY OF TRAVEL FROM THE EXIT INTO THE STREET SHALL CONTINUOUSLY BE MAINTAINED FREE FROM ALL OBSTRUCTIONS AND IMPEDIMENTS FOR UNOBSTRUCTED EGRESS IN THE CASE OF FIRE OR OTHER EMERGENCY. 27. ALL REQUIRED EXITS. WAY OF APPROACH THERETO. AND WAY OF TRAVEL FROM THE EXIT INTO THE STREET SHALL CONTINUOUSLY BE MAINTAINED FREE FROM ALL OBSTRUCTIONS AND IMPEDIMENTS FOR UNOBSTRUCTED 28. DURING THE ENTIRE PERIOD OF CONSTRUCTION, THE TELEPHONE NUMBERS OF THE CLOSET AVAILABLE PHYSICIANS,

HOSPITALS, OR AMBULANCES SHALL BE CONSPICUOUSLY POSTED. A TELEPHONE SHALL BE INSTALLED BY THE CONTRACTOR FOR THESE PURPOSES. 29. THE CONTRACTOR SHALL REPAIR AND FILL ANY PENETRATIONS THROUGH THE CORE WALL, FLOOR OR THE EXTERIOR CURTAIN WALL WITH MATCHING ADJACENT FINISH AND CONSTRUCTION. 30. THE CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS AS REQUIRED BY THE FEDERAL OCCUPATIONAL

SAFETY AND HEALTH ACT (OSHA), BY FIRE DEPARTMENT REGULATIONS. 31. THE CONTRACTOR IS RESPONSIBLE FOR PICKING UP THE BUILDING PERMIT AS WELL AS ALL SIGN-UPS AND EQUIPMENT

32. THE CONTRACTOR SHALL PROVIDE SPACE ON SITE FOR WEEKLY PROJECT CONFERENCE. THIS CONFERENCE WILL BE ATTENDED BY ANY SUB-CONTRACTORS REPRESENTATIVE INVOLVED WITH THE PROJECT AT THAT TIME. MINUTES WILL BE TAKEN BY THE CONTRACTORS REPRESENTATIVE WITH THE PREVIOUS WEEKS MINUTES DISTRIBUTED FOR REVIEW AND COMMENT AT THE OPENING OF THE MEETING. SCHEDULE FOR THE MEETING WILL BE ARRANGED PRIOR TO THE BEGINNING OF CONSTRICTION. THE

CONTRACTOR SHALL PERFORM ALL NOISY WORK ON REGULAR HOURS 33. THE CONTRACTOR SHALL INSTALL AND MAINTAIN A SIDEWALK SHED AS REQUIRED BY THE CITY OF NEW YORK. 34. THE CONTRACTOR SHALL REMOVE ANY AND ALL DEBRIS FROM THE SIDEWALK OR STREET ADJACENT TO THE PROPERTY, AS WELL AS ANY DEBRIS ORIGINATING FROM THE SITE THAT HAS MIGRATED TO ADJACENT PROPERTIES. 35. DEMOLITION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

36. THE CONTRACTOR SHALL COORDINATE FURNISHING A SYSTEM OF TEMPORARY LIGHTS AND 120V RECEPTACLES FOR SMALL HAND TOOLS THROUGHOUT THE SPACE UNDER CONSTRUCTION FOR THE DURATION OF THE PROJECT.

. CARRYING CHANNELS FOR THE CEILING SHALL BE CLIPPED AS REQUIRED BY NYC BUILDING CODE. 2. FASCIAS OR ANY BREAK IN THE CEILING HEIGHTS CREATED BY THE INSTALLATION AND/OR ALTERATION OF HEATING, VENTILATING, AIR CONDITIONING OR MECHANICAL DUCTS, PIPING OR OTHER EQUIPMENT SHALL BE FORMED OF GYPSUM WALL BOARD ON FURRING CHANNELS.

3. HUNG CEILING HEIGHTS SHALL BE AS SHOWN ON "REFLECTED CEILING PLANS" AND FINISH SCHEDULE. ANY DEVIATION FROM HEIGHTS SHOWN WILL BE SUBMITTED TO ARCHITECT FOR APPROVAL. 4. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF THE CABINET, PLUMBING, HVAC, ELECTRICAL CONTRACTORS, DATA AND THE TELEPHONE COMPANY WHEREVER THEIR RESPECTIVE WORK IS CONTIGUOUS. PRICE SHALL INCLUDE BRIDGING OF BLACK IRON FOR DUCTWORK, COLLARS, LIGHT FIXTURES, ETC. CLEARANCE FOR RECESSED LIGHTING WILL

BE MAINTAINED AND COORDINATED AS REQUIRED BY ALL SUB-CONTRACTORS. 5. PRIOR TO CLOSING UP ANY CEILING, ALL PLENUM SYSTEMS (HVAC, PLUMBING AND ELECTRIC) SHALL BE INSPECTED AND

INSTALLATION AND FUNCTION. 6. THE CEILING CONTRACTOR SHALL PROVIDE CUTOUTS AND OTHER SPECIAL PROVISIONS IN ACOUSTICAL WORK AS REQUIRED FOR LIGHTING FIXTURES, REGISTERS, DIFFUSERS AND OTHER INSERTED ITEMS.

7. SUSPENDED CEILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW YORK CITY BUILDING CODE. 8. ALL DRYWALL ABUTTING CEILING TILES SHALL HAVE 'J' BEADS TAPED AND SPACKLED. 9. CONTRACTOR SHALL PROVIDE A MARKED-UP PLAN INDICATION THE PROPOSED LOCATION OF ALL ACCESS DOORS FOR APPROVAL BY ARCHITECT, NO EQUIPMENT SHALL BE INSTALLED, ACCESS DOORS LOCATED, OR SERVICES INSTALLED UNTIL THE ARCHITECT HAS APPROVED THE PROPOSED ACCESS DOORS LOCATION. ANY MODIFICATIONS TO THE APPROVED ACCESS TO THE DOOR PLAN SHALL BE MADE IN WRITING AND SUBMITTED TO THE ARCHITECT. ANY REMEDIAL WORK REQUIRED TO MOVE OR REPOUTE EXISTING SERVICES DUE TO A REVISION TO THE APPROVED ACCESS DOOR LOCATION PLAN SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND ALL ASSOCIATED COSTS, SHALL BE BARE BY THE CONTRACTOR.

CABINET WORK:

1. ALL CONTRACTORS SHALL CLOSELY COORDINATE ALL WORK WITH THAT OF THE CABINET CONTRACTOR. 2. CONTRACTOR TO COORDINATE INSTALLATION OF ANY REQUIRED IN-WALL BLOCKING FOR CABINET CONTRACTOR. 3. CONTRACTOR TO PROVIDE CABINET CONTRACTOR SUFFICIENT TIMELY NOTICE FOR HIS FIELD DIMENSIONS AND

4. ALL CABINETRY ATTACHED TO PREMISES SHALL COMPLY WITH THE BUILDING CODE OF THE CITY OF NEW YORK. 5. ALL FINISHED CABINET WOOD AND FINISHES SHALL BE AS NOTED ON DETAILED DRAWINGS CONCERNED. 6. THE CABINET CONTRACTOR SHALL SHOP-PRIME OR FINISH AS INDICATED ALL ITEMS SHOWN IN DETAIL DRAWINGS

7. ALL BLOCKING REQUIRED SHALL BE SCRIBED TO WALL OR CEILING. CABINET CONTRACTOR SHALL CHECK JOB PROGRESS AND COORDINATE WITH OTHER TRADES INVOLVED.

8. THE CABINET CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL. 9. THE CABINET CONTRACTOR SHALL SUBMIT SAMPLES TO ARCHITECT FOR APPROVAL. 10. THE CABINET CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. 11. WHERE MEMBERS ARE MITERED OR BUTTED, THEY SHALL BE JOINED AND SECURED IN A MANNER TO INSURE AGAINST THE

12. ALL FINISHED WORK SHALL, AS FAR AS PRACTICAL, BE ASSEMBLED AND FINISHED IN THE SHOP AND DELIVERED TO THE BUILDING READY TO FRECT IN PLACE. 13. ALL OF THE WORK SHALL BE FABRICATED, ASSEMBLED, FINISHED AND ERECTED IN THE BEST METHOD KNOWN TO THE

CABINET TRADE. SURFACES AND ARISES SHALL BE TRUE, STRAIGHT AND FREE FROM ALL MACHINE AND TOOL MARKINGS. BRUISES, INDENTATIONS, CHIPS OR ABRASIONS. 14. ALL FINISHED WOODS AND VENEERS SHALL BE FREE FROM KNOTS, SHAKES OR OTHER DEFECTS AFFECTING EITHER DURABILITY OR APPEARANCE AND SHALL BE CAREFULLY SELECTED FOR GRAIN AND COLOR SO THAT THERE WILL BE NO

MARKED VARIATION AT JOINTS BETWEEN VENEERS. 15. NO UNFINISHED PLYWOOD OR PARTICLE BOARD ENDS WILL BE ACCEPTED. ALL ENDS SHALL BE TAPED IN A SIMILAR VENEER OR EDGED AS INDICATED ON CABINETRY DETAILS.

16. CONTRACTOR SHALL VERIFY ELEVATOR AND DOOR OPENINGS TO INSURE EASY DELIVERY OF CABINETRY WORK. CABINETRY CONTRACTOR SHALL WARRANT HIS WORK FOR ONE YEAR FROM DATE OF MOVE—IN AND SHALL MAKE 17. ALL NECESSARY REPAIRS REQUIRED DURING THAT PERIOD OF TIME TO HIS WORK. ALL ITEMS OF MILLWORK INDICATED ON THE DRAWINGS AND/OR SPECIFICATIONS SHALL BE PERFORMED BY SKILLED MECHANICS USING THE BEST TECHNIQUES KNOWN TO THE TRADE AND IN CONFORMANCE WITH ALL TRADE STANDARDS. SPECIFICALLY THE PREMIUM GRADE QUALITY STANDARDS AND THE GUIDELINES FOR HIGH PRESSURE LAMINATE OF THE ARCHITECTURAL WOODWORK INSTITUTE 18. ALL OWNER SUPPLIED CABINETRY WILL BE DELIVERED AS A SINGLE CURB SIDE DELIVERY VIA A TRACTOR TRAILER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR: ARRANGING THE DELIVERY WITH THE MANUFACTURER, CLEARING A SPOT AT THE CURB TO RECEIVE THE DELIVERY, UNLOADING THE TRUCK, STORING THE MATERIALS, ALL NECESSARY PERMITTING,

NYC BUILDING DEPARTMENT FIRE STOPPING 2014 NOTES:

1. DUCT AND PIPE SPACES AND CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ETC. THAT WOULD PERMIT PASSAGE OF FLAME, SMOKE, FUMES, OR HOT GASES FROM ONE FLOOR TO ANOTHER FLOOR OR ROOF SPACES, OR FROM ONE CONCEALED AREA TO ANOTHER, SHALL BE FILLED WITH NON-COMBUSTIBLE MATERIAL AS PER 2014 BUILDING CODE SECT. 716.6.2

2. FIRE STOPPING MAY BE OF COMBUSTIBLE MATERIALS CONSISTING OF WOOD NOT LESS THAN 2" NOMINAL THICKNESS WITH THIGH JOINTS, EXCEPT THAT NON-COMBUSTIBLE FIRE STOPPING SHALL BE USED IN CONCEALED SPACES OF FIRE DIVISIONS AND WHERE IN CONTACT WITH FIREPLACES, FLUES, AND CHIMNEYS ALL HOLLOW PARTITIONS AND

FURRED OUT SPACES SHALL BE FIRE STOPPED AT EACH FLOOR LEVEL. 3. FIRESTOPPED SHALL BE THE FULL THICKNESS OF THE HOLLOW FURRED OUT SPACE AS PER SEC 27-345(b). 4. CONCEALED SPACES WITHIN STAIRS CONSTRUCTION SHALL BE FIRE STOPPED BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH FLIGHT OF STAIR SO AS NOT TO COMMUNICATE WITH SPACES IN THE FLOOR, ROOF, OR

INTERMEDIATE LANDING CONSTRUCTION AS PER BUILDING CODE 2014 5. CEILINGS THAT CONTRIBUTE TO THE REQUIRED FIRE-RESISTANCE RATING OF A FLOOR OR ROOF ASSEMBLY SHALL BE CONTINUOUS BETWEEN EXTERIOR WALLS. VERTICAL FIRE DIVISIONS, FIRE SEPARATIONS, CORRIDOR PARTITIONS OR ANY OTHER PARTITIONS HAVING AT LEAST THE SAME FIRE RESISTANCE RATING AS THE CEILING. THE CONCEALED SPACE ABOVE SUCH CEILING SHALL BE FIRE STOPPED INTO AREAS NOT EXCEEDING 3000 S.F. FOR THE FULL HEIGHT OF THE CONCEALED SPACE. 2014 BUILDING CODE SECT. 716.6.2

NOTES:

THE PREMISES IS CURRENTLY NOT LOCATED IN FLOOD ZONE PER EFFECTIVE FIRM RELEASED IN 2007. THE APPLICANT HAS BEEN ADVISED BY THE DOB AND ACKNOWLEDGES THAT THE PREMISES IS NOW NOT LOCATED IN FLOOD ZONE PER PRELIMINARY FLOOD MAPS RELEASED IN 2013.

DOB/FEMA NOTES

1. THE PREMISES IS NOT LOCATED IN FLOOD ZONE PER PRELIMINARY FIRM RELEASED IN 2013.

FLOOD COMPLIANCE STATEMENT

THE PROPOSE WORK IS NOT IN A FLOOD HAZARD AREA PER BC 28-104.9.2 LL21 OF 2009.

2007 FIRM 3604970201F



PROPOSE PROPERTY NOT IN FLOOD ZONE AREA

2013 FIRM 3604970201G



MANUAL NOTES: C408.2.5.2

AN OPERATING AND MAINTENANCE MANUAL SHALL BE PROVIDED AND INCLUDE ALL OF THE FOLLOWING:

1. SUBMITTAL DATA STATING EQUIPMENT SIZE AND SELECTED OPTIONS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE 2. MANUFACTURER'S OPERATION MANUALS AND MAINTENANCE MANUALS FOR EACH PIECE OF EQUIPMENT REQUIRING

MAINTENANCE, EXCEPT EQUIPMENT NOT FURNISHED AS PART OF THE PROJECT. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED 3. NAME AND ADDRESS OF AT LEAST ONE SERVICE AGENCY. 4. HVAC CONTROLS SYSTEM MAINTENANCE AND CALIBRATION INFORMATION, INCLUDING WIRING DIAGRAMS, SCHEMATICS.

AND CONTROL SEQUENCE DESCRIPTION. DESIRED OR FIELD-DETERMINED SETPOINTS SHALL BE PERMANENTLY RECORDED ON CONTROL DRAWINGS AT CONTROL DEVICES OR, FOR DIGITAL CONTROL SYSTEMS, IN SYSTEM PROGRAMMING 5. A NARRATIVE OF HOW EACH SYSTEM IS INTENDED TO OPERATE, INCLUDING RECOMMENDED SETPOINTS.

SERVICE WATER-HEATING EQUIPMENT SHALL BE PROVIDE WITH CONTROL TO ALLOW A SETPOINT OF 110° F (43°C) FOR EQUIPMENT SERVING DWELLING UNITS AND 90°F (32°C) FOR EQUIPMENT SERVING OTHER OCCUPANCIES. THE OUTLET TEMPERATURE OF LAVATORIES IN PUBLIC FACILITY REST ROOMS SHALL BE LIMITED TO 100° F (43°C)

HOT WATER SYSTEM CONTROLS NOTES: C404.6 CIRCULATING HOT WATER SYSTEM PUMPS OR HEAT TRACE SHALL BE ARRANGED TO BE TURNED OFF EITHER AUTOMATICALLY OR MANUALLY WHE THERE IS LIMITED HOT WATER DEMAND. READY ACCESS SHALL BE PROVIDE TO

TEMPERATURE CONTROLS NOTES: C404.3

NYCECC COMPLIANCE STATEMENT

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK CITY, USING 2020 CHAPTER C4.

SPECIAL INSPECTIONS ITEMS

1. FIRE-RESISTANT PENETRATIONS AND JOINTS BC 1704.27

PROGRESS INSPECTIONS ITEMS

ENERGY CODE COMPLIANCE INSPECTIONS TR8 BC 110.3.5 2. FIRE-RESISTANCE RATED CONSTRUCTION BC 110.3.4

ENERGY CODE PROGRESS INSPECTION

1. INTERIOR LIGHTING POWER 2. LIGHTING CONTROLS

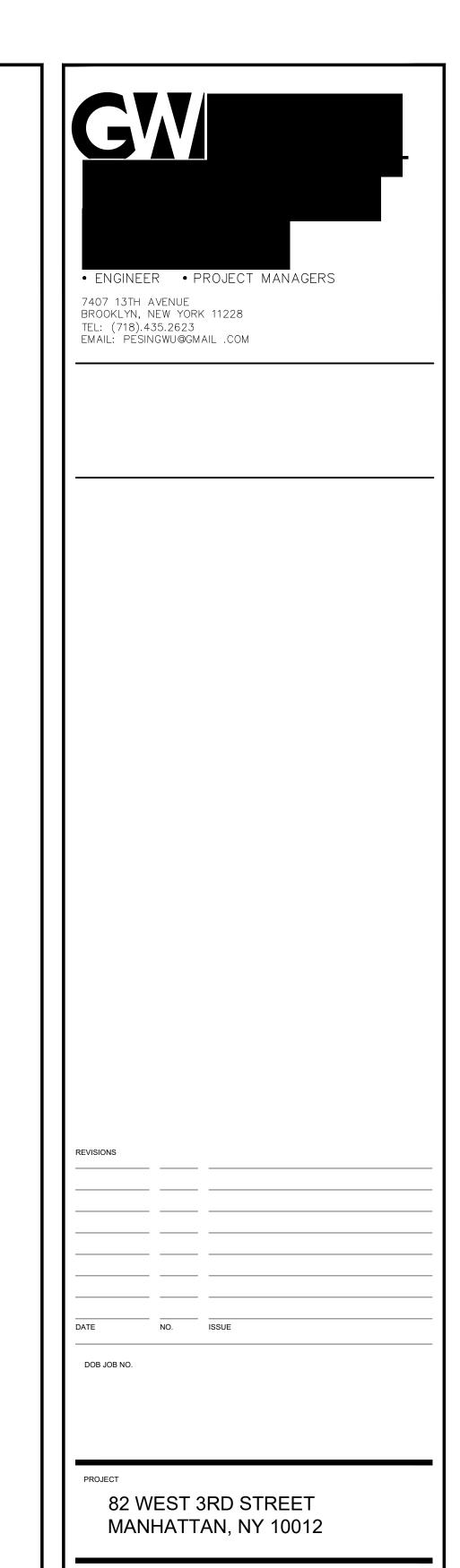
(IC2), (IIC3) (IIC5)

EXISTING 3-STORY MIXED RESIDENTIAL & COMMERCIAL BUILDING W/CELLAR (LOT LINE) (LOT LINE) SIDEWALK

WEST 3RD STREET

SITE PLAN SCALE: 1/8" = 1'-0'





GENERAL NOTES SITE PLAN FLOOD ZONE MAP

SEAL & SIGNATURE

21.19 PROJECT No. CHECKED BY:

G-001.00 CADD FILE No.

GENERAL DEMOLITION NOTES:

1. DEMOLITION WORK SHALL COMPLY WITH ANSI A 10.6 SAFETY REQUIREMENTS FOR DEMOLITION.
2. THE CONTRACTOR SHALL VISIT THE SITE AND CAREFULLY EXAMINE THE WORK TO BE DONE
SO AS THE BECOME FAMILIAR WITH THE EXIST. CONDITION AND NATURE OF THE SCOPE OF
WORK. HE/SHE SHALL REPORT ANY POTENTIAL DIFFICULTIES TO THE OWNER AND ARCHITECT

ENGINEER AS SOON AS POSSIBLE.
3. THE DEMOLITION DRAWINGS MAY NOT SHOW ALL REMOVALS REQUIRED. THE CONTRACT INCLUDES ALL WORK NECESSARY TO PRODUCE THE FINAL ARRANGEMENT AS SHOWN ON THE

4. PERFORM ALL CUTTING AND ROUGH PATCHING OF EXISTING WALLS PER PLANS. ALL CUTTING OF EXISTING MATERIALS SHALL BE HELD TO THE ABSOLUTE MINIMUM AS REQUIRED TO PROPERLY PERFORM THE WORK. ALL WORK SHALL BE CAREFULLY PERFORMED SO AS NOT TO DAMAGE OR ENDANGER EXISTING WORK TO REMAIN AS NEW WORK. THE GENERAL CONTRACTOR SHALL ASSUME COMPLETE. RESPONSIBILITY AND LIABILITY FOR SAFETY AND STRUCTURAL INTEGRITY OF THE WORK TO REMAIN DURING DEMOLITION WORK.

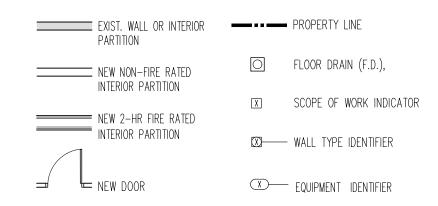
5. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROTECTION OF WORK TO REMAIN WHERE DEMOLITION, REMOVAL, AND/OR NEW WORK IS BEING DONE.
6. ALL DEMOLITION AND REMOVAL WORK SHALL BE BROUGHT TO NATURAL STOPPING POINT. ANY MATERIAL REMOVED BY MISTAKE OR IN EXCESS OF REQUIREMENTS SHALL BE REPLACED AT

7.WHERE EXISTING PARTITIONS OR OTHER WORK AREA REMOVED, PROTUBERANCE OR DEPRESSIONS IN FLOORS, CEILINGS AND WALLS SHALL BE PROPERLY FILLED AND LEVELED FLUSH WITH THE ADJACENT SURFACES.

8. DISPOSAL: ALL MATERIALS, DEBRIS AND RUBBISH RESULTING FROM THE DEMOLITION, PREMISES AS THE WORK PROGRESSES AND LEGALLY DISPOSED OF OFF THE SITE IN ACCORDANCE WITH LOCAL AND BUILDING REGULATIONS.

LEGEND & SYMBOLS

ARCHITECTURAL DRAWING.



EMERGENCY EXIT LIGHT



1ST FLOOR DEMOLITION PLAN

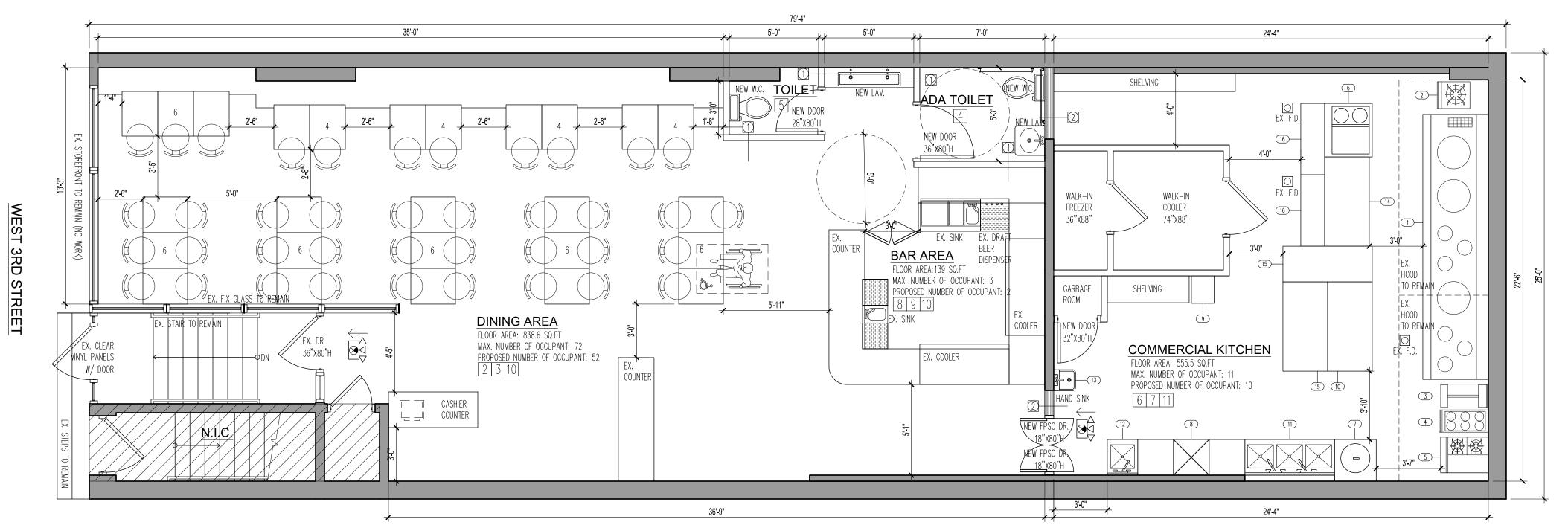
SCALE: 1/4" = 1'-0"

1ST FLOOR SCOPE OF WORK

1. REMOVE EXISTING PARTITION AS SHOWN

2. REMOVE EXISTING DOOR AS SHOWN.
3. REMOVE EXISTING TOLLET PLLIMBING FIXTURES FLOOR TIES AND W

3. REMOVE EXISTING TOILET PLUMBING FIXTURES, FLOOR TIES AND WALL TIES AS SHOWN.
4. REMOVE KITCHEN COOKING EQUIPMENT, PLUMBING FIXTURES & APPLIANCES AS SHOWN.



1ST FLOOR PROPOSE PLAN SCALE: 1/4" = 1'-0"

1ST FLOOR SCOPE OF WORK

1. INSTALL NEW 2-HR FIRE RATED PARTITION AS PER PLAN.(SEE WALL DETAIL @ A-002)
2. INSTALL CASHIER COUNTER AS PER PLAN.

3. PROVIDE SEATING & TABLE @ DINING AREA AS PER PLAN.

[4.] INSTALL NEW ADA TOILET PLUMBING FIXTURES, NEW FLOOR TIES AND WALL TIES AS PER PLAN.
[5.] INSTALL NEW TOILET PLUMBING FIXTURES, NEW FLOOR TIES AND WALL TIES AS PER PLAN.
[6.] INSTALL NEW KITCHEN COOKING EQUIPMENT, PLUMBING FIXTURES & APPLIANCES AS PER PLAN.

(SEE EQUIPMENT SCHEDULE @ A-110)

7. EXIST. EXHAUST HOOD AS SHOWN TO REMAIN. (NO WORK)

8. EXISTING BAR COUNTER AS SHOWN TO REMAIN.

EXISTING PLUMBING FIXTURES AS SHOWN TO REMAIN.
EXISTING FLOOR FINISH, WALL FINISH TO REMAIN.

111 EXISTING 2-HR FIRE RATED CEILING FINISH TO REMAIN, PATCH & PAINT ONLY.

OCCUPANT LOAD (B.C. TABLE 1004.1.1) NET FLOOR AREA NET FLOOR AREA MAX. NO. OF OCCUPANTS PROPOSED NO. OCCUPANCY OF OCCUPANTS PER OCCUPANT DINING AREA 838.6 SF NUMBER OF FIXED SEATS INSTALLED = 72 139/50 = 3139 SF 50 SF KITCHEN AREA 555.5 SF 50 SF 555.5/50 = 11 93.8 SF 64 1,626.9 SF TOTAL

EATING AND DRINKING ESTABLISHMENT: 1ST FLR

ACTUAL PROPOSE TOTAL NUMBER OF SEATING: 52

ACTUAL PROPOSE NUMBER OF EMPLOYEE: 12

PROPOSED TOTAL NUMBER OF PERSON: 64

1	1	9 BURNER CHINESE WOK	PANTIN (OR EQUAL)	PCR-109	_	•	1,500,000	MEA 288-95E
2	1	STOCK POT STOVE	PITCO (OR EQUAL)	PCS-18-1	_	•	80,000	MEA 255-83E
3	1	DEEP FRYER	PITCO (OR EQUAL)	PF-45N	_	•	90,000	MEA 255-83E
4	1	NOODLE COOKER	PITCO (OR EQUAL)	PPC-6	_	•	130,000	MEA 255-83E
5	1	2 BURNER RANGE W/ GRIDDLE	BLODGETT (OR EQUAL)	BR-2-12G-24	_	•	84,000	MEA 255-83E
6	1	STEAM TABLE	PITCO (OR EQUAL)	PSLT-3G	_	•	20,000	MEA 255-83E
7	1	RICE COOKER	PANTIN (OR EQUAL)	PGC-6000N	_	•	35,000	MEA 255-83E
8	1	DISH WASHER	ECOLAB (OR EQUAL)		•	_		
9	1	DOUGH MIXER	PANTIN (OR EQUAL)		•	-		
10	1	UNDERCOUNTER COOLER	PANTIN (OR EQUAL)		•	-		
11	1	3 COMPARTMENT SINK	PANTIN (OR EQUAL)		_	_		
12	1	1 COMPARTMENT SINK	PANTIN (OR EQUAL)		_	_		
13	1	HAND SINK	ADVANCE TABCO (OR EQUAL)		_	-		
14	1	PREP TABLE			_	-		
15	2	WORK TOP			_	_		

MANUFACTORY

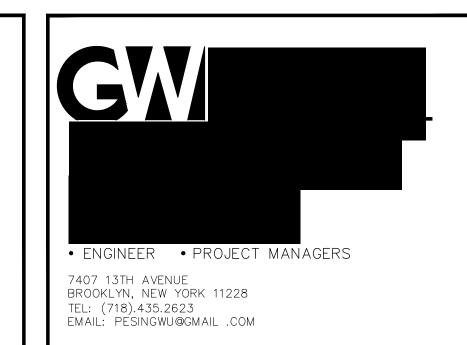
MODEL NO. | ELEC. | GAS

NOTES: ALL TESTING AND MODEL# FOR RESTAURANT EQUIPMENT SHALL BE VERIFIED BY PLUMBING INSPECTOR.

EQUIPMENT SCHEDULE

ITEM QTY. EQUIPMENT CATEGORY

16 2 DISH CABINET



REVISIONS		
DATE	NO.	ISSUE
DOB JOB NO.		

82 WEST 3RD STREET
MANHATTAN, NY 10012

DEMOLITION FLOOR PLAN, PROPOSE FLOOR PLAN SCHEDULE

TESTING #

BTU



 DATE:

 PROJECT No.
 21.19

 DRAWN BY:
 F.H

 CHECKED BY:
 X.W

DWG No.

A-001.00

CADD FILE No. 2 OF 5

HANDICAPPED COMPLIANCE NOTES

1. PROPOSED WORK SHALL COMPLY W/ACCESSIBILITY AND USABILITY REQUIREMENTS OF LOCAL LAW 158/87 FOR HANDICAPPED 2. PROPOSED WORK SHALL COMPLY W/ACCESSIBILITY AND USABILITY REQUIREMENTS OF LOCAL LAW #58/87 AND RS 4-6 4.32.4

FOR ACCESS TO THE DISABLED. 3. CLEAR FLOOR SPACE FOR TURNING. ACCESSIBLE FIXTURES AND CONTROLS SHALL COMPLY W/4.15 THROUGH 4.21 AND SHALL BE ON AN ACCESSIBLE ROUTE. AN UNOBSTRUCTED TURNING SPACE COMPLYING W/4.2.3. AND 4.2.4.1 SHALL BE PROVIDED WITHIN AN ACCESSIBLE ROOM. THE CLEAR FLOOR SPACES AT FIXTURES AND CONTROLS, THE ACCESSIBLE ROUTE, AND THE TURNING

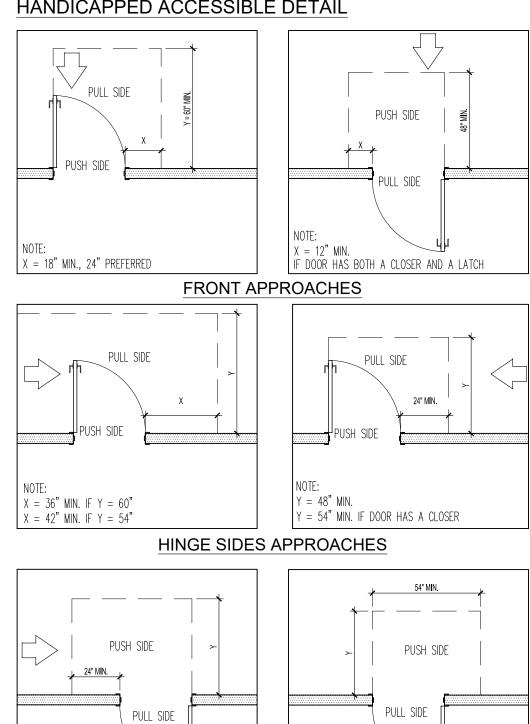
4. CONTROLS AND DISPENSERS. IF CONTROLS, DISPENSERS, RECEPTACLES, OR OTHER EQUIPMENT ARE PROVIDE. AT LEAST ONE OF EACH SHALL BE AN ACCESSIBLE ROUTE AND SHALL COMPLY W/4.25.

5. FIXTURES TO BE PROVIDED SHALL REQUIRED CLEAR FLOOR SPACE AS PER THE REQUIREMENT OF 4.32.4.2, 4.3 . 4.4. AND 4.5. NEW FIXTURES TO BE SUBJECT TO THE REQUIREMENTS OF 4.32.4 CONCERNING DIMENSIONS AND ADAPTABILITY, AS PER ATTACHED DETAILS.

6. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE W/ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST, AS PER RS 4-8,4.25.4. 7. ACCESSIBLE ROUTES TO BE PROVIDED BETWEEN NEW FACILITIES, PROVIDING A MINIMUM OF 36 INCHES OF WIDTH ALONG THE

ACCESSIBLE ROUTE AS PER RS 4-6, 4.3.1. AND A MINIMUM OF 32 INCHES OF WIDTH AT DOORWAYS AS PER RS 4-6,4.13.5. 8. GENERAL ACCESSIBLE LAVATORY FIXTURE, SINKS, VANITIES IN LAVATORIES SHALL COMPLY W/4.19. 9. CLEAR FLOOR SPACE UNDER FIXTURES. A CLEAR FLOOR SPACE 30" BY 48" COMPLYING W/4.24. SHALL BE PROVIDED IN FRONT OF A LAVATORY OR SINK TO ALLOW A FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE.

HANDICAPPED ACCESSIBLE DETAIL



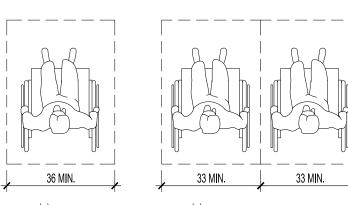
LATCH-SIDE APPROACHES MANEUVERING CLEARANCES AT SWINGING DOORS

Y = 48" MIN. IF DOOR HAS A CLOSER

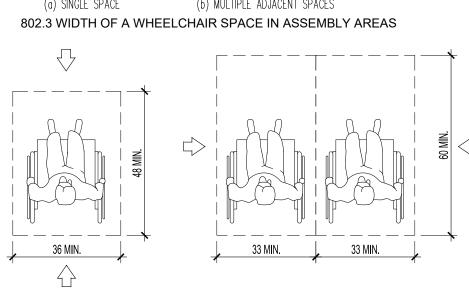
Y = 42" MIN.

IF DOOR HAS BOTH A CLOSER AND A LATCH

ADA SEATING SPACE (BC 27-531, ANSI A117.1 801)



(b) MULTIPLE ADJACENT SPACES (a) SINGLE SPACE



(a) FRONT OR REAR ACCESS (b) SIDE ACCESS 802.4 DEPTH OF A WHEELCHAIR SPACE IN ASSEMBLY AREAS

SEATING AND TABLES

+ -- -- -- --

4'-1"

MINIMUM CLEARANCES FOR

WHEELCHAIR SPACES NOTES:

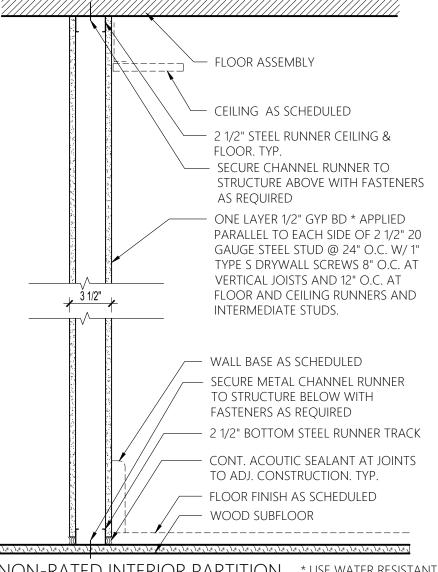
ESTABLISHMENT SHALL COMPLY WITH FEDERAL ADA LAWS INCLUDING ANSI A117.1 2003, LOCAL LAWS 58/87, AND ADA STANDARDS FOR ACCESSIBLE DESIGN BY DEPARTMENT OF JUSTICE SECTION 211, BC 27-531 * VIEWING POSITIONS MUST BE ALLOCATED FOR WHEELCHAIR USERS THE NUMBER OF SPACE REQUIRED ARE: CAPACITY OF ASSEMBLY SPACE NUMBER OF VIEWING POSITIONS

1 TO 25 MINIMUM 1 26 TO 50 MINIMUM 2 51 TO 74 MINIMUM 3 75 TO 100 MINIMUM 4 101 TO 150 MINIMUM 5 MINIMUM 6 201 TO 300 MINIMUM 7 301 TO 400 MINIMUM 8 401 TO 500 MINIMUM 9 501 TO 1000 2 PERCENT OF TOTAL

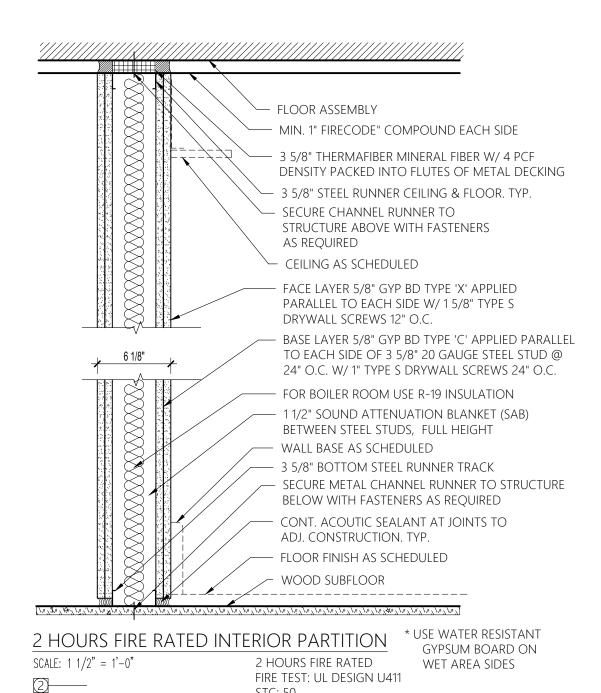
OVER 1000 20 PLUS 1 FOR EACH 100 OVER 1000

WHEELCHAIR USERS THE NUMBER OF SPACE PROVIDED ARE: 6 WHEELCHAIR @ 1ST FLOOR

WALL DETAILS



NON-RATED INTERIOR PARTITION * USE WATER RESISTANT GYPSUM BOARD ON SCALE: $1 \frac{1}{2}$ " = 1'-0" WET AREA SIDES



STC: 50



• ENGINEER • PROJECT MANAGERS

7407 13TH AVENUE BROOKLYN, NEW YORK 11228 TEL: (718).435.2623 EMAIL: PÉSINGWU@GMAIL .COM

DOB JOB NO.

ADA NOTES,

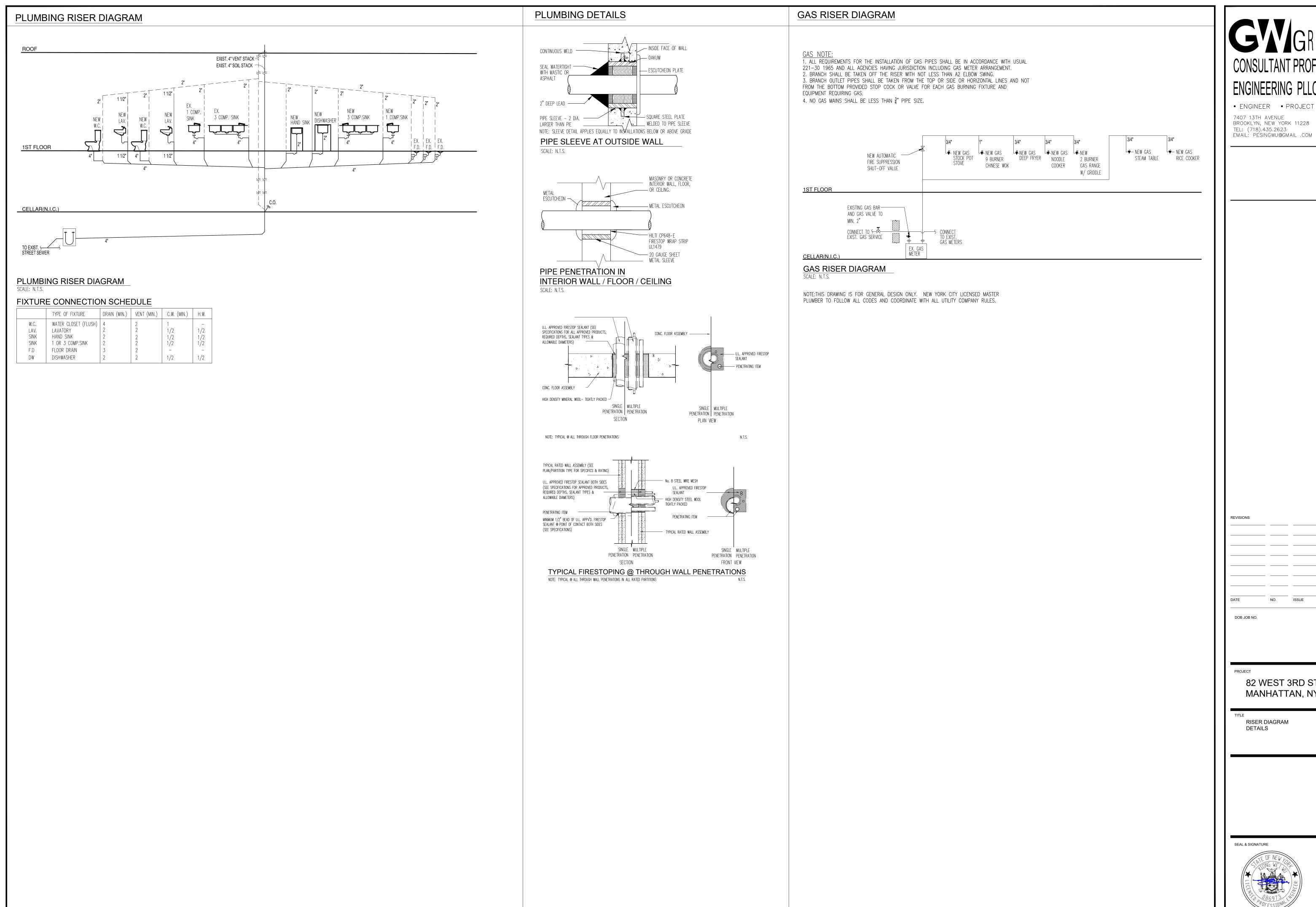
82 WEST 3RD STREET MANHATTAN, NY 10012

DETAILS



PROJECT No. 21.19 DRAWN BY: CHECKED BY: X.W DWG No.

A-002.00 CADD FILE No.



CONSULTANT PROFESSIONAL ENGINEERING PLLC.

• ENGINEER • PROJECT MANAGERS 7407 13TH AVENUE BROOKLYN, NEW YORK 11228

DOB JOB NO.

82 WEST 3RD STREET MANHATTAN, NY 10012

RISER DIAGRAM DETAILS

SEAL & SIGNATURE



PROJECT No. 21.19 DRAWN BY: CHECKED BY: X.W

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TENANT PROTECTION PLAN

TENANT PROTECTION PLAN - NYC BC -SECTION 28-104.8.4 - REVISED AS PER LOCAL LAW 154-2017

28-104.8.4 TENANT PROTECTION PLAN:

CONSTRUCTION DOCUMENTS FOR ALTERATIONS OF BUILDING IN WHICH ANY DWELLING WILL BE OCCUPIED DURING CONSTRUCTION SHALL INCLUDE A TENANT PROTECTION PLAN. SUCH PLAN SHALL CONTAIN A STATEMENT THAT THE BUILDING CONTAINS DWELLING UNITS THAT WILL BE OCCUPIED DURING CONSTRUCTION AND SHALL INDICATE IN SUFFICIENT DETAIL THE SPECIFIC UNITS THAT ARE OR MAY BE OCCUPIED DURING CONSTRUCTION, THE MEANS AND METHODS TO BE EMPLOYED TO SAFEGUARD THE SAFETY AND HEALTH OF THE OCCUPANTS THROUGHOUT THE CONSTRUCTION, INCLUDING, WHERE APPLICABLE, DETAIL SUCH AS TEMPORARY FIRE-RATED ASSEMBLIES, OPENING PROTECTIVE, OR DUST CONTAINMENT PROCEDURES, SUCH MEANS AND METHODS SHALL BE DESCRIBED WITH PARTICULARITY AND IN NO CASE SHALL TERMS SUCH AS "CODE COMPLAINT", "APPROVED". "PROTECTED", "LEGAL" IN ACCORDANCE WITH "LAW" OR SIMILAR TERMS BE USED AS SUBSTITUTE FOR SUCH DESCRIPTION. THE ELEMENTS OF THE TENANT PROTECTION PLAN MAY VARY DEPENDING ON THE NATURE AND SCOPE OF THE WORK BUT AT A MINIMUM SHALL MAKE DETAILED AND SPECIFIC PROVISIONS FOR:

NUMBER OF DWELLING UNITS TO REMAIN OCCUPIED DURING CONSTRUCTION: 6 DWELLING UNIT

SPECIFIC UNIT/APARTMENT NUMBERS TO REMAIN OCCUPIED: 2ND FLOOR, 3RD FLOOR AND 4TH FLOOR.

AT ALL TIMES IN THE COURSE OF THE CONSTRUCTION PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY THIS CODE AND THE TENANT PROTECTION PLAN HALL IDENTIFY EGRESS THAT WILL BE PROVIDED. REQUIRED EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME EXCEPT WHERE APPROVED BY THE COMMISSIONER.

2. FIRE SAFETY. ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLING, AS WELL AS ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY ENFORCED.

SPECIFICATIONS OF METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL AND MAINTENANCE OF SANITARY FACILITIES, AND LIMITATION OF NOISE TO ACCEPTABLE LEVELS SHALL BE INCLUDED. 3.1 THERE SHALL BE INCLUDED A STATEMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW RELATING TO LEAD AND ASBESTOS.

THE REQUIREMENTS OF NEW YORK CITY HOUSING MAINTENANCE CODE, AND, WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.

STRUCTURAL SAFETY. NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER OCCUPANTS.

WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED PURSUANT TO THE NEW YORK CITY NOISE CODE, SUCH LIMITATIONS SHALL BE STATED.

7. MAINTAINING ESSENTIAL SERVICES. DESCRIBE THE MEANS AND METHODS TO BE USED FOR MAINTAINING HEAT, HOT WATER, COLD WATER, GAS, ELECTRICITY, OR OTHER UTILITY SERVICES IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE. SPECIFY IF A DISRUPTION OF ANY SUCH SERVICE IS ANTICIPATED DURING THE WORK, INCLUDING ANTICIPATED DURATION OF SUCH DISRUPTION AND THE MEANS AND METHODS TO BE EMPLOYED TO MINIMIZE SUCH DISRUPTION, INCLUDING THE PROVISION OF SUFFICIENT ALTERNATIVES FOR SUCH SERVICE DURING SUCH DISRUPTION. 8. PUBLIC AVAILABILITY OF TENANT PROTECTION PLAN.

UPON ISSUANCE OF A PERMIT FOR WORK CONTAINING A TENANT PROTECTION PLAN, THE DEPARTMENT SHALL MAKE THE TENANT PROTECTION PLAN PUBLICLY AVAILABLE ON ITS WFBSITE.

9. PROVISION OF COPY OF TENANT PROTECTION PLAN TO OCCUPANTS UPON REQUEST. THE OWNER OF A BUILDING UNDERGOING WORK FOR WHICH A TENANT PROTECTION PLAN IS REQUIRED BY SECTION 28-104.8.4 SHALL. UPON REQUEST FROM AN OCCUPANT OF A DWELLING UNIT WITHIN SUCH BUILDING, PROVIDE SUCH OCCUPANT WITH A PAPER COPY OF THE TENANT PROTECTION PLAN APPROVED BY THE DEPARTMENT.

10. NOTICE TO OCCUPANTS. UPON ISSUANCE OF A PERMIT FOR WORK CONTAINING A TENANT PROTECTION PLAN, THE OWNER SHALL (I) DISTRIBUTE A NOTICE REGARDING SUCH PLAN TO EACH OCCUPIED DWELLING UNIT OR (II) POST A NOTICE REGARDING SUCH PLAN IN A CONSPICUOUS MANNER IN THE BUILDING LOBBY. AS WELL AS ON EACH FLOOR WITHIN TEN FEET OF THE ELEVATOR, OR IN A BUILDING WHERE THERE IS NO ELEVATOR, WITHIN TEN FEET OF OR IN THE MAIN STAIRWELL ON SUCH FLOOR. THE NOTICE SHALL BE IN A FORM CREATED OR APPROVED BY THE DEPARTMENT AND SHALL INCLUDE:

A. A STATEMENT THAT OCCUPANTS OF THE BUILDING MAY OBTAIN A PAPER COPY OF SUCH PLAN FROM THE OWNER AND MAY ACCESS SUCH PLAN ON THE DEPARTMENT WEBSITE; B. THE NAME AND CONTACT INFORMATION FOR THE SITE SAFETY MANAGER, SITE SAFETY COORDINATOR OR SUPERINTENDENT OF CONSTRUCTION REQUIRED BY SECTION 3301.3 OF THE NEW YORK CITY BUILDING CODE, AS APPLICABLE, OR, IF THERE IS NO SITE SAFETY MANAGER, SITE SAFETY COORDINATOR OR SUPERINTENDENT OF CONSTRUCTION, THE

NAME AND CONTACT INFORMATION OF THE OWNER OF THE BUILDING OR SUCH OWNER'S DESIGNEE; C. A STATEMENT THAT OCCUPANTS OF THE BUILDING MAY CALL 311 TO MAKE COMPLAINTS ABOUT THE WORK.

- ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- ALL ESCAPE ROUTES MUST BE EASILY IDENTIFIABLE, WITH INSTRUCTIONS ABOUT THE MEANS OF ESCAPE DISPLAYED. AT THE END OF THE EACH WORK DAY ALL MATERIAL WILL BE CLEANED AND THE MEAN OF EGRESS WILL BE FULLY FUNCTIONAL.
- WORK WILL BE PERFORMED DURING LOW OCCUPANCY HOURS.
- REFER TO DRAWING FOR KEY PLAIN IDENTIFYING EGRESS PATH, ALL OCCUPANT SHALL HAVE ACCESS TO THE EGRESS PATH AND THIS WILL BE POSTED ALONG WOT THE REST OF THE TPP1 IN A CONSPICUOUS MANNER IN THE BUILDING.
- 6. NO MODIFICATION TO EGRESS SHALL BE REQUIRED FOR THIS PROJECT.

FIRE SAFETY

- ALL REQUIRED FIRE RATINGS SHALL BE MAINTAINED DURING CONSTRUCTION AND NO TEMPORARY FIRE WALLS SHALL BE REQUIRED. ALL WORK TO BE CONFINED TO LABELED
- AREAS OF WORK□PER PLAN. ALL FLAMMABLE CONSTRUCTION MATERIALS WILL BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURERS'CONTAINERS. ALL FLAMMABLE MATERIALS TO BE USED AND STORES IN AN ADEQUATELY VENTILATED SPACE. SUCH MATERIALS ARE TO BE KEPT AWAY FROM HEAT.
- 3. ALL MATERIALS STORED AT CONSTRUCTION AREAS, AND/OR IN ANY AREA OF THE BUILDING, ARE TO BE SECURED IN A LOCKED AREA, ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
- 4. ALL ELECTRICAL POWER TO BE SHUTGOFF WHERE THERE ARE EXPOSED CONDUITS, DOORS TO PUBLIC HALLWAYS SHALL BE REMAIN.

HEALTH REQUIREMENTS

- GENERAL CONTRACTOR SHALL SEAL OFF WORK AREAS W/PLASTIC SHEETING TO MINIMIZE & CONTROL SPREAD OF DUST AND PEST. ADDITIONALLY, A TACK MAT SHALL BE
- INSTALLED AT ALL ENTRY POINTS INTO THE CONSTRUCTION SITE TO PREVENT THE SPREAD OF DUST VIA FOOT TRAFFIC. ALL DOORS TO WORK AREAS SHALL STAY CLOSED DURING CONSTRUCTION TO PREVENT DUST, DIRT & NOISE AS MUCH AS POSSIBLE FROM PERMEATING OTHER PARTS OF
- THE BUILDING DURING PROGRESS OF THE ALTERATIONS.
- CLEAN UP SHALL OCCUR AT THE END OF EACH WORK DAY. CLEAN UP SHALL INCLUDE WORK RELATED TO MINIMIZE PESTS. CONTRACTOR SHALL BROOM CLEAN EACH NIGHT AFTER WORK HAS CEASED, THE AREAS OF THE UNIT IN WHICH THE WORK IS BEING PERFORMED AS WELL AS AREAS
- ADJACENT THERE TO AND ANY OTHER AFFECTED AREAS OF THE BUILDING. STREET CONTAINERS OR DUMPSTER FOR STORAGE OF RUBBISH SHALL NOT BE PLACED OUTSIDE THE BUILDING WITHOUT PRIOR WRITTEN CONSENT AND OR CONDITIONS &
- TERMS AS SPECIFIED BY BUILDING MANAGEMENT AND OR OWNERSHIP. 6. CONTRACTOR SHALL PROVIDE AND MAINTAIN SANITARY FACILITIES.

3.1. LEAD AND ASBESTOS

- * LEAD AND ASBESTOS MEANS AND METHODS. COMPLIANCE PRACTICES. AND NOTIFICATION.
- * 3.1.1 AN ACP5 ASBESTOS REPORT WAS ISSUED AND SUBMITTED WITH THE CONSTRUCTION DOCUMENTS.
- * 3.1 .2 TREATMENT OF LOCATIONS CONTAINING LEAD WILL BE HANDLED PER THE LOCAL LAW 1 2004 GUIDE FOR WORK AT LEAD POSITIVE AREAS.
- * 3.1.3 MEANS AND METHODS FOR DUST MITIGATION, DISPOSAL OF CONSTRUCTION DEBRIS, AND LEAD ABATEMENT INCLUDE: -ENCLOSING WORK AREAS WITH PLASTIC PROTECTION TO CONTAIN DUST.
- -LEAD PAINT WILL NOT BE DRY SCRAPED OR SANDED.
- -WETTING ANY AREAS NEAR LEAD IDENTIFIED ELEMENTS PRIOR TO BEGINNING WORK.
- -ALL SURFACES WHERE PAINT HAS BEEN DISTURBED MUST BE SEALED AND FINISHED WITH APPROPRIATE MATERIALS.
- -UNDERLYING SURFACE SUBSTRATES MUST BE DRY AND PROTECTED FROM FUTURE MOISTURE BEFORE APPLYING A NEW PROTECTIVE COATING OR PAINT, AND ALL PAINTS AND COATINGS MUST BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- -FOLLOW PROPER WORKING PROTOCOL FOR WORKING AT LEAD CONTAMINATED AREA AS OUTLINED IN LOCAL LAW 1 2004 GUIDE.
- -ALL DEBRIS WILL BE SEALED WITHIN THE APARTMENT AND MAINTAINED IN A SEALED CART. TRANSPORT WILL BE FROM APARTMENT TO ELEVATOR TO BASEMENT. ALL REMOVAL DONE DURING LOW OCCUPANCY HOURS ON MONDAYS, TUESDAYS AND WEDNESDAYS FROM 8AM TO 4PM.
 - -USE OF HEPA VACUUMS AND HEPA AIR PURIFIERS IN ENCLOSED AREAS OF WORK WITH POTENTIAL LEAD DISTURBANCE. -PERIODIC CLEANING WITH HEPA VACUUMS AND WET MOPS IN AREAS OF WORK WITH LEAD DISTURBANCE DURING WORK HOURS.
- -SAFE REMOVAL OF POTENTIAL LEAD IDENTIFIED DEBRIS INCLUDING WETTING AND SECURING IN PLASTIC BAGS PRIOR TO REMOVAL.
- -AFTER REMOVAL OF DEBRIS, ADDITIONAL WET MOP CLEANING WITH APPROPRIATE CLEANING SOLUTION. -VISUAL INSPECTION FOR POTENTIAL LEAD CONTAINING DUST AND DEBRIS DURING WORK AND AFTER COMPLETION OF WORK.

COMPLIANCE WITH HOUSING STANDARDS

1. ALL WORK SHALL COMPLY WITH APPLICABLE PORTIONS OF THE NYC HOUSING MAINTENANCE CODE AND NYS MULTIPLE DWELLING LAW DURING CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK CITY ADMINISTRATIVE BUILDING CODE, ARTICLE 28, AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.

STRUCTURAL SAFETY

NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE OCCUPANTS. ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS, AS WELL AS ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY OBSERVED.

NOISE RESTRICTIONS.

WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED PURSUANT TO THE NEW YORK CITY NOISE CONTROL CODE, WORK IS PERMITTED MONDAY TO FRIDAY 7AM TO 4PM.

-HOURS OF CONSTRUCTION ARE TO BE 8:00AM TO 5:00PM MONDAY THROUGH FRIDAY -AN AFTER⊒HOURS VARIANCE MUST BE OBTAINED FROM THE NYC DEPARTMENT OF BUILDINGS PRIOR TO COMMENCING ANY CONSTRUCTION

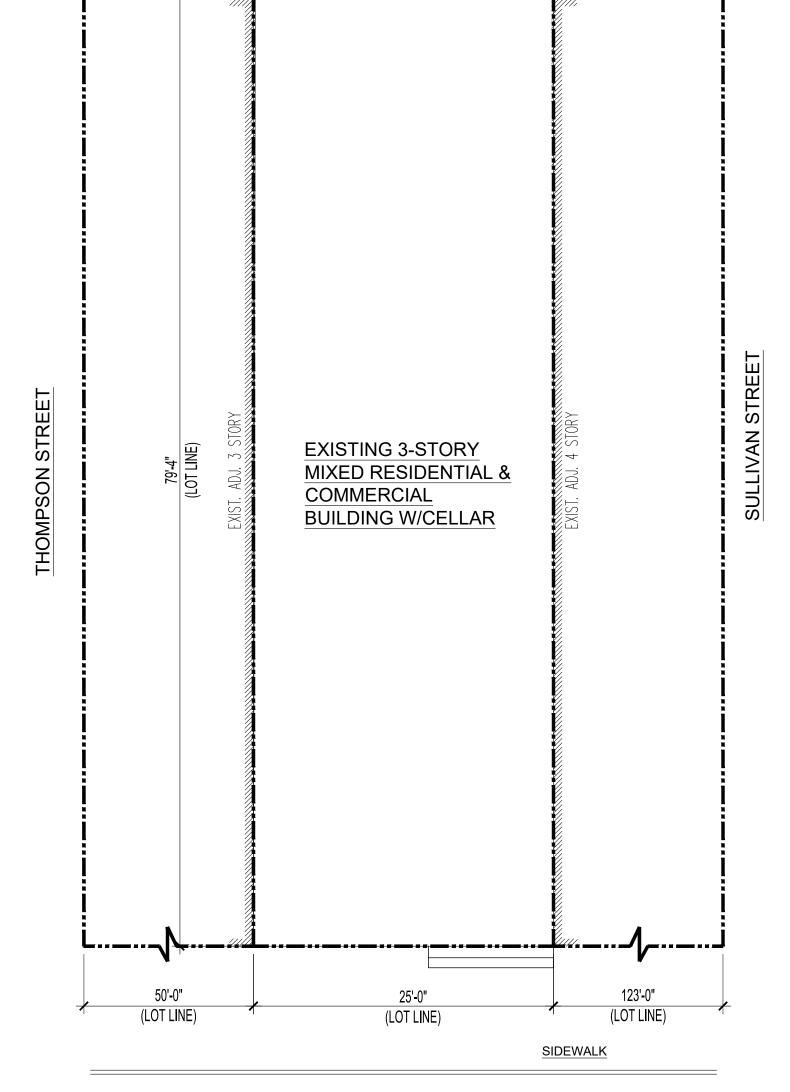
-BEYOND THE PERMITTED TIMES IDENTIFIED ABOVE. MAINTAINING ESSENTIAL SERVICES

HEAT, AND GAS TO REMAIN UNINTERRUPTED AND UNAFFECTED AS THEY ARE NOT IN THIS SCOPE OF WORK. WATER SERVICES WILL BE TEMPORARILY INTERRUPTED, TENANTS WILL BE GIVEN 72 THOUR NOTICES THAT WILL INCLUDE DAY AND TIME OF INTERRUPTIONS. SERVICE WILL BE REESTABLISHED UPON COMPLETION OF WORK, CONSTRUCTION OPERATIONS SHALL BE CONFINED TO NORMAL WORKING HOURS, 7 AM 🛮 6 PM, MONDAY 🗆 FRIDAY, EXCEPT THAT WORK SHALL NOT BE DONE ON LEGAL HOLIDAYS OR PER SPECIFIC GUIDELINES SET FORTH BY THE BUILDING.

0THER REQUIREMENTS

STAIRWELL ON SUCH FLOOR.

- [\$ 28-104.8.4.1] \$ 28-120.1.1 PUBLIC AVAILABILITY OF TENANT PROTECTION PLAN. UPON ISSUANCE OF A PERMIT FOR WORK CONTAINING A TENANT PROTECTION PLAN, THE
- DEPARTMENT SHALL MAKE THE TENANT PROTECTION PLAN PUBLICLY AVAILABLE ON ITS WEBSITE.
- 2. [\$ 28-104.8.4.2] \$ 28 120.1.2 PROVISION OF COPY OF TENANT PROTECTION PLAN TO OCCUPANTS UPON REQUEST. THE OWNER OF A BUILDING UNDERGOING WORK FOR WHICH A TENANT PROTECTION PLAN IS REQUIRED BY SECTION [28:104.8.4] 28:120.1 SHALL, UPON REQUEST FROM AN OCCUPANT OF A DWELLING UNIT WITHIN SUCH BUILDING, PROVIDE SUCH OCCUPANT WITH A PAPER COPY OF THE TENANT PROTECTION PLAN APPROVED BY THE DEPARTMENT.
- 3. 10. [\$ 28-104.8.4.3] \$ 28 120.1.3 NOTICE TO OCCUPANTS. UPON ISSUANCE OF A PERMIT FOR WORK CONTAINING A TENANT PROTECTION PLAN, THE OWNER SHALL (I) DISTRIBUTE A NOTICE REGARDING SUCH PLAN TO EACH OCCUPIED DWELLING UNIT [OR] AND (II) POST A NOTICE REGARDING SUCH PLAN IN A CONSPICUOUS MANNER IN THE BUILDING LOBBY, AS WELL AS ON EACH FLOOR WITHIN TEN FEET OF THE ELEVATOR, OR IN A BUILDING WHERE THERE IS NO ELEVATOR, WITHIN TEN FEET OF OR IN THE MAIN



WEST 3RD STREET

SITE PLAN



• ENGINEER • PROJECT MANAGERS 7407 13TH AVENUE BROOKLYN, NEW YORK 11228 TEL: (718).435.2623 EMAIL: PESINGWU@GMAIL .COM NO. ISSUE DOB JOB NO. 82 WEST 3RD STREET MANHATTAN, NY 10012 TENANT PROTECTION PLAN AND NOTES SEAL & SIGNATURE 21.19 PROJECT No. DRAWN BY: CHECKED BY: TPP-001.00 CADD FILE No.