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COMMUNITY BOARD NO. 2, MANHATTAN

3 WASHINGTON SQUARE VILLAGE
NEW YORK, NY 10012-1899

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Greenwich Village ♦ Little Italy ♦ SoHo ♦ NoHo ♦ Hudson Square ♦ Chinatown ♦ Gansevoort Market

COMMUNITY BOARD 2 APPLICATION FOR A LIQUOR LICENSE

Please fill out this questionnaire and return to the Community Board 2 office by fax or mail to arrive at least **5 business days** before the Committee meeting. In addition, bring **10 copies plus supporting material requested** to the SLA committee meeting.

Failure to complete and return the questionnaire and supporting materials on time will result in your item being removed from the agenda.

Failure to provide a completed questionnaire or failure to present before CB2 will result in notifying the State Liquor Authority (SLA) of your noncompliance with the community review process.

If you need to reschedule, please notify the Community Board 2 office no later than the Friday prior to the following months meeting. Speak to Florence Arenas at the Board Office. **A maximum of 1 layover request** will be granted per application. **Failure to reappear without notification will result in a recommendation to deny this application.**

The following supporting materials are **required** for this application:

1. A list of all other licensed premises within 500 ft. of this location including Beer and Wine.
2. Floor plans of the premise, including all tables and chairs and kitchen lay out to be licensed. Please also include any schematics for sidewalk café, backyard garden space and/or rooftop areas if applicable.
3. Provide any plans filed or to be filed with the Buildings Department.
4. Proposed menu, if applicable.
5. Certificate of Occupancy or Letter of No Objection for the premises.
6. Letter of Understanding or Letter of Intent from the Landlord.
7. Provide proof of community outreach with signatures or letters from Residential Tenants at location and from surrounding buildings. (i.e. a letter from the neighborhood block association or petition in support.)
8. A copy of your NYS Liquor Authority application as it will be submitted to the SLA. (excluding financial information)

Meeting Date: _____

APPLICANT INFORMATION:

Name of applicant(s):

HOYA W3 LLC

Trade name (DBA):

Red Feather

Premises address:

82 W 3rd Street, New York NY 10012

Cross Streets and other addresses used for building/premise:

Thompson Street

CONTACT INFORMATION:

Principal(s) Name(s):

Jiahao Gu

Office or Home Address:

[REDACTED]

City, State, Zip: New York NY

[REDACTED]

Telephone #:

[REDACTED]

email :

[REDACTED]

Landlord Name / Contact:

[REDACTED]

Landlord's Telephone and Fax:

[REDACTED]

NAMES OF ALL PRINCIPAL(s):

NAMES / LOCATIONS OF PAST / CURRENT LICENSES HELD

Jerry Cheng

Briefly describe the proposed operation (i.e. "We are a family restaurant that will focus on..."):

We are an Asian fusion restaurant located near Washington Square Park in a neighborhood of restaurants and bars.

Our menu will focus on Chinese cuisine inspired fusion dishes and we plan to pair our food with beer, wine and sake to provide a unique dining experience for the community.

WHAT TYPE(S) OF LICENSE(S) ARE YOU APPLYING FOR (MARK ALL THAT APPLY):

- a new liquor license (Restaurant Tavern / On premise liquor Other)
- an UPGRADE of an existing Liquor License
- an ALTERATION of an existing Liquor License
- a TRANSFER of an existing Liquor License
- a HOTEL Liquor License
- a DCA CABARET License
- a CATERING / CABARET Liquor License
- a BEER and WINE License
- a RENEWAL of an existing Liquor License
- an OFF-PREMISE License (retail)
- OTHER : _____

If upgrade, alteration, or transfer, please describe specific nature of changes:
(Please include physical or operational changes including hours, services, occupancy, ownership, etc.)

If this is for a new application, please list previous use of location for the last 5 years:

It was previously a veitnamnese bar & restaurant called Pho Bar.

Is any license under the ABC Law currently active at this location? yes no

If yes, what is the name of current / previous licensee, license # and expiration date: _____

Have any other licenses under the ABC Law been in effect in the last 10 years at this location?
 yes no

If yes, please list DBA names and dates of operation:

82 W3rd Restaurant LLC DBA Vyne 2010-2014 / Sip & Pine LLC DBA The Madlyn 2010-2019
Legend West Village LLC 2015-2017 / HCM Group DBA Saigon 2017-2020

PREMISES:

By what right does the applicant have possession of the premises?

Own Lease Sub-lease Binding Contract to acquire real property other: _____

Type of Building: Residential Commercial Mixed (Res/Com) Other: _____

Number of floor: 4 Year Built: 1903

Describe neighboring buildings: low Rise Brick.

Zoning Designation: C1-5

Zoning Overlay or Special Designation (applicable) _____

Block and Lot Number: 539, 19

Does the premise occupy more than one building, zoning lot, tax lot or more than one floor? yes no

Is the premise located in a historic district? yes no

(if yes, have all exterior changes or changes governed by the Landmarks Preservation Commission (LPC) been approved by the LPC? yes no, please explain: _____

Will any outside area or sidewalk café be used for the sale or consumption of alcoholic beverages? (including sidewalk, roof and yard space) no yes : explain _____

What is the proposed Occupancy? 50

Does the premise currently have a valid Certificate of Occupancy (C of O) and all appropriate permits?

no yes

If yes, what is the maximum occupancy for the premises? 74

If yes, what is the use group for the premises? _____

If yes, is proposed occupancy permitted? yes no, explain: _____

If your occupancy is 75 or greater, do you plan to apply for Public Assembly permit? yes no

Do you plan to file for changes to the Certificate of Occupancy? yes no
(if yes, please provide copy of application to the NYC DOB)

Will the façade or signage be changed from what currently exist at the premise? no yes

(if yes, please describe: _____

INTERIOR OF PREMISES:

What is the total licensed square footage of the premises? 1000 sq ft

If more than one floor, please specify square footage by floors: _____

If there is a sidewalk café, rear yard, rooftop, or outside space, what is the square footage of the area?

If more than one floor, what is the access between floors? _____

How many entrances are there? 1 How many exits? 1 How many bathrooms ? 2

Is there access to other parts of the building? no ___ yes, explain: _____

OVERALL SEATING INFORMATION:

Total number of tables? 10 Total table seats? 40

Total number of bars? 1 Total bar seats? 10

Total number of "other" seats? _____ please explain : _____

Total OVERALL number of seats in Premises : 50

BARS:

How many *stand-up bars / bar seats are being applied for on the premises? Bars 1 Seats 10

How many service bars are being applied for on the premises? 1

Any food counters? no ___ yes, describe : _____

For Alterations and Upgrades:

Please describe all current and existing bars / bar seats and specific changes: _____

* A stand-up bar is any bar or counter (whether seating or not) over which a member of the public can order, pay for and receive food and alcoholic beverages.

PROPOSED METHOD OF OPERATION:

What type of establishment will this be? (check all that apply)

___ Bar ___ Bar & Food Restaurant ___ Club/ Cabaret ___ Hotel ___ Other: _____

What are the Hours of Operation?

Sunday: 11 to 10 Monday: 11 to 10 Tuesday: 11 to 10 Wednesday: 11 to 10 Thursday: 11 to 10 Friday: 11 to 10 Saturday: 11 to 10

Will the business employ a manager? no yes, name / experience if known: _____

Will there be security personnel? no yes (if yes, what nights and how many?) _____

Do you have or plan to install French doors, accordion doors or windows that open? no yes

If yes, please describe: _____

Will you have TV's? no yes (how many?) 2

Type of MUSIC / ENTERTAINMENT: Live Music Live DJ Juke Box Ipod / CDs none

Expected Volume level: Background (quiet) Entertainment level Amplified Music
(check all that apply)

Do you have or plan to install soundproofing? no yes

IF YES, will you be using a professional sound engineer? _____

Please describe your sound system and sound proofing: _____

Will you be permitting: promoted events scheduled performances outside promoters

any events at which a cover fee is charged? private parties

Do you have plans to manage or address vehicular traffic and crowd control on the sidewalk caused by your establishment? no yes (if yes, please attach plans)

Will you be utilizing ropes movable barriers other outside equipment (describe) _____

Are your premises within 200 feet of any school, church or place of worship? no yes

If there is a school, church or place of worship within 200 feet of your premises or on the same block, please submit a block plot diagram or area map showing its' location in proximity to your applicant premises (no larger than 8 1/2 " x 11").

Indicate the distance in feet from the proposed premise:

Name of School / Church: _____

Address: _____ Distance: _____


Name of School / Church: _____


Address: _____ Distance: _____

Name of School / Church: _____

Address: _____ Distance: _____

Please provide contact information for Residents / Community Board and confirm that if complaints are made you will address it immediately.

Contact Person: Jiahao Gu Phone: 

Address: 

Email: 

Application submitted on behalf of the applicant by:

Signature

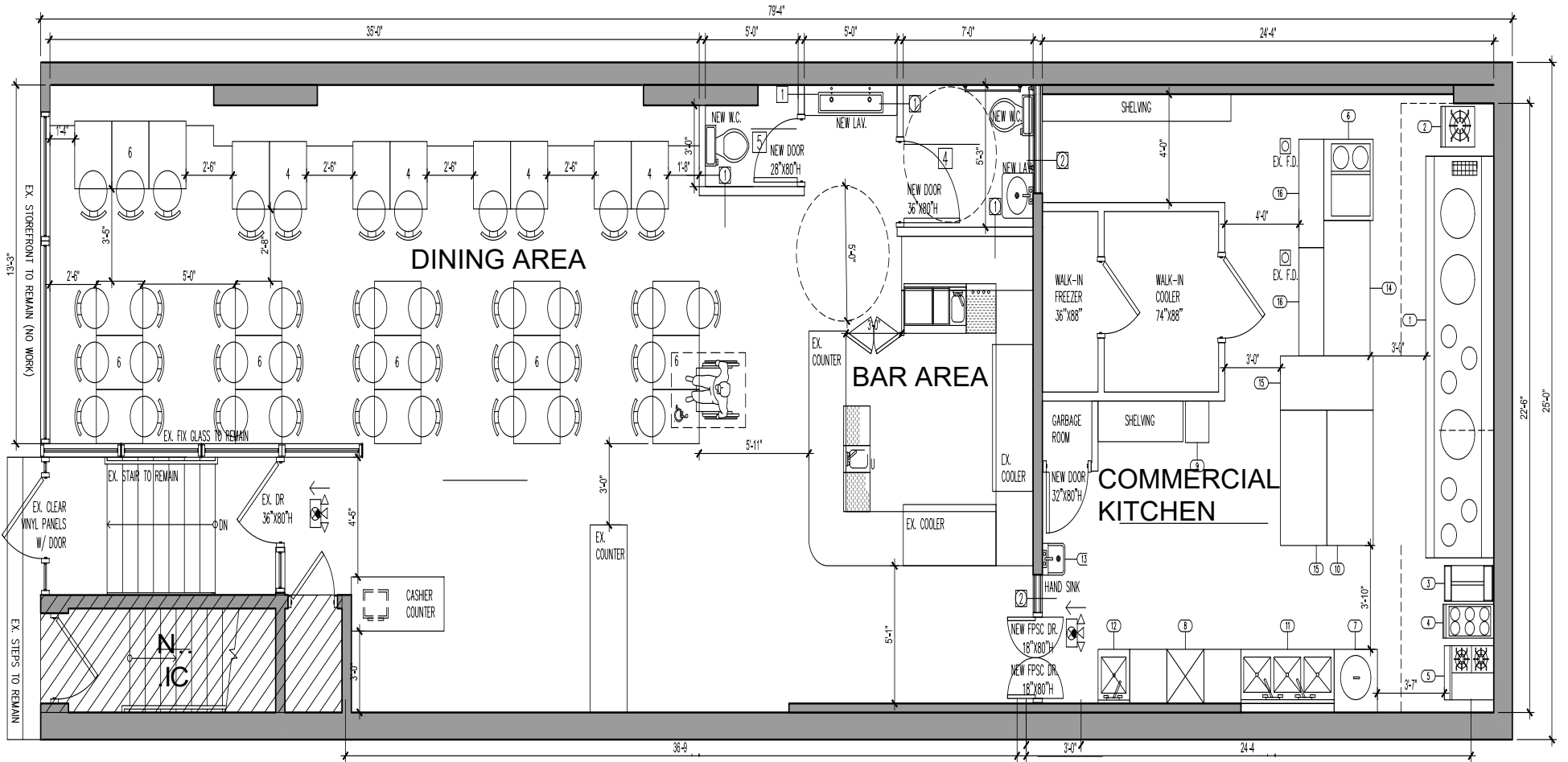
Print or Type Name _____

Title _____

Thank you for your cooperation. Please return this questionnaire along with the other required documents as soon as you can. This will expedite your application and avoid any unnecessary delays. Use additional pages if necessary.



Community Board 2, Manhattan
SLA Licensing Committee
Carter Booth, Co-Chair
Robert Ely, Co-Chair



DRAWING LIST FOR D.O.B

- G-001 GENERAL NOTES, SITE PLAN, FLOOD ZONE MAP
A-001 DEMOLITION PLAN, PROPOSED FLOOR PLAN, NOTES AND SCHEDULE
A-002 DETAILS, SCHEDULE
P-001 RISER DIAGRAM, DETAILS
TPP-001 TENANT PROTECTION PLAN AND NOTES

BUILDING INFORMATION

ADDRESS 82 WEST 3RD STREET, MANHATTAN, NY 10012
FLOORS 1ST FLOOR
LOT# 539
BLOCK# 19
ZONING R2-2, Ct-5
MAP# 12C
BIN# 1008674
CB# 102
OCCUPANCY MIXED RESIDENTIAL & COMMERCIAL BUILDINGS
LANDMARK YES
CONSTRUCTION CLASS 3 (NON-FIREPROOF)

JOB DESCRIPTION

PROPOSED INTERIOR RENOVATION AT 1ST FLOOR OF MIXED RESIDENTIAL & COMMERCIAL BUILDINGS WITH NEW PARTITION WORK, PLUMBING WORK AND FINISHED WORK AS PER PLAN. NO CHANGE IN USE, EGRESS & OCCUPANCY.

SMOKE DETECTOR 2014 NOTES

- 1. SMOKE ALARMS IN GROUPS R-2, R-3, AND I-1. SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-3, AND I-1, REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS WITHIN A DWELLING UNIT AS PER 907.2.10.1.1:
a. ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING PURPOSES WITHIN 15 FEET (4572 MM) FROM THE DOOR TO SUCH ROOM.
b. IN EACH ROOM USED FOR SLEEPING PURPOSES.
c. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BELOW-GRADE STORES AND PENTHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

CARBON MONOXIDE DETECTOR 2014 NOTES

- 1. CARBON MONOXIDE ALARMS OR DETECTORS SHALL BE REQUIRED WITHIN THE FOLLOWING DWELLING UNITS AS PER BC 907.7.1:
a. UNITS ON THE SAME STORY WHERE CARBON MONOXIDE PRODUCING EQUIPMENT OR ENCLOSED PARKING IS LOCATED.
b. UNITS ON THE STORIES ABOVE AND BELOW THE FLOOR WHERE CARBON MONOXIDE-PRODUCING EQUIPMENT OR ENCLOSED PARKING IS LOCATED.
c. UNITS IN A BUILDING CONTAINING A CARBON MONOXIDE PRODUCING FURNACE, BOILER, OR WATER HEATER AS PART OF A CENTRAL SYSTEM.
d. UNITS IN A BUILDING SERVED BY A CARBON MONOXIDE PRODUCING FURNACE, BOILER, OR WATER HEATER AS PART OF A CENTRAL SYSTEM THAT IS LOCATED IN AN ADJOINING OR ATTACHED BUILDING.

FLOOR:

- 1. THE G.C. SHALL PROVIDE AND MAINTAIN ADEQUATE PROTECTION FOR ALL FLOORING FOR THE DURATION OF THE CONTRACT, AND REMOVE ALL PROTECTION WHEN DIRECTED BY ARCHITECT.
2. THE FLOORING CONTRACTOR SHALL FLASH-PATCH ALL SCALES, HOLES OR OTHER IMPERFECTIONS (PROJECTIONS SHALL BE REMOVED AND PATCHED TO PROVIDE A CONTINUOUS SMOOTH FLOOR SURFACE).
3. THE FLOORING CONTRACTOR SHALL NOTIFY ARCHITECT AFTER ALL FLOOR PATCHING IS DONE AND RECEIVE THEIR APPROVAL PRIOR TO INSTALLATION.

PARTITIONS:

- 1. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL PARTITIONS TO MEET BUILDING REGULATIONS, NYC BUILDING CODE AND AS DESIGNED ON ARCHITECT DRAWINGS.
2. THE CONTRACTOR SHALL PROVIDE ALL LINE AND GRADE MARKINGS ON THE FINISH FLOOR OF ALL PARTITIONS FOR ARCHITECT APPROVAL.
3. UNLESS OTHERWISE NOTED, ALL DIMENSIONS FOR PARTITIONS ARE FROM FINISH TO FINISH.

PAINTING AND WALL COVERING:

- 1. UNLESS OTHERWISE SPECIFIED ALL AREAS ARE TO BE PAINTED IN ACCORDANCE WITH WALL FINISH INFORMATION.
2. WALLS SHALL INCLUDE SURFACES FROM FLOOR TO CEILING, INCLUDING PILASTERS, FASCIAS, JAMBS, BUCKS REVEALS, RETURNS AND ALL VERTICAL SURFACES NOT INCLUDED IN CEILING.
3. CEILINGS FOR PAINT SHALL INCLUDE THE GENERAL SURFACE OF THE CEILING, BREAKS, DRAPERY POCKETS, ETC.
4. PAINT COLORS SHALL BE SPECIFIED BY ARCHITECT AND THE PAINTING CONTRACTOR SHALL SUBMIT SAMPLES (12" X 12") FOR APPROVAL BY ARCHITECT 2 WEEKS PRIOR TO INSTALLATION.

GENERAL NOTES

- 1. ALL WORK FOR THIS PROJECT SHALL COMPLY WITH THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA), AMERICANS WITH DISABILITIES ACT, AND WITH THE BUILDING CODE AND APPLICABLE LOCAL LAWS OF THE CITY OF NEW YORK.
2. BUILDING CODE AND APPLICABLE LOCAL LAWS OF THE CITY OF NEW YORK, BUILDING REQUIREMENTS FOR ALTERATIONS SHALL APPLY TO ALL WORK AS REQUIRED.
3. ALL APPLICANT DRAWINGS AND ALL CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.

CABINET WORK:

- 1. ALL CONTRACTORS SHALL CLOSELY COORDINATE ALL WORK WITH THAT OF THE CABINET CONTRACTOR.
2. CONTRACTOR TO COORDINATE INSTALLATION OF ANY REQUIRED IN-WALL BLOCKING FOR CABINET CONTRACTOR.
3. CONTRACTOR TO PROVIDE CABINET CONTRACTOR SUFFICIENT TIMELY NOTICE FOR HIS FIELD DIMENSIONS AND INSTALLATIONS.
4. ALL CABINETRY ATTACHED TO PREMISES SHALL COMPLY WITH THE BUILDING CODE OF THE CITY OF NEW YORK.
5. ALL FINISHED CABINET WOOD AND FINISHES SHALL BE AS NOTED ON DETAILED DRAWINGS CONCERNED.

MANUAL NOTES: C408.2.5.2

- AN OPERATING AND MAINTENANCE MANUAL SHALL BE PROVIDED AND INCLUDE ALL OF THE FOLLOWING:
1. SUBMITTAL DATA STATING EQUIPMENT SIZE AND SELECTED OPTIONS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE.
2. MANUFACTURER'S OPERATION MANUALS AND MAINTENANCE MANUALS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE, EXCEPT EQUIPMENT NOT FURNISHED AS PART OF THE PROJECT. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED.
3. NAME AND ADDRESS OF AT LEAST ONE SERVICE AGENCY.
4. HVAC CONTROLS SYSTEM MAINTENANCE AND CALIBRATION INFORMATION, INCLUDING WIRING DIAGRAMS, SCHEMATICS, AND CONTROL SEQUENCE DESCRIPTION. DESIRED OR FIELD-DETERMINED SETPOINTS SHALL BE PERMANENTLY RECORD ON CONTROL DRAWINGS AT CONTROL DEVICES OR, FOR DIGITAL CONTROL SYSTEMS, IN SYSTEM PROGRAMMING INSTRUCTIONS.

TEMPERATURE CONTROLS NOTES: C404.3

- SERVICE WATER-HEATING EQUIPMENT SHALL BE PROVIDED WITH CONTROL TO ALLOW A SETPOINT OF 110° F (43°C) FOR EQUIPMENT SERVING DWELLING UNITS AND 90° (32°C) FOR EQUIPMENT SERVING OTHER OCCUPANCIES. THE OUTLET TEMPERATURE OF LAVATORIES IN PUBLIC FACILITY REST ROOMS SHALL BE LIMITED TO 100° F (43°C).

HOT WATER SYSTEM CONTROLS NOTES: C404.6

CIRCULATING HOT WATER SYSTEM PUMPS OR HEAT TRACE SHALL BE ARRANGED TO BE TURNED OFF EITHER AUTOMATICALLY OR MANUALLY WHERE THERE IS LIMITED HOT WATER DEMAND. READY ACCESS SHALL BE PROVIDED TO THE OPERATION CONTROLS.

NYCECC COMPLIANCE STATEMENT

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK CITY, USING 2020 CHAPTER C4.

SPECIAL INSPECTIONS ITEMS

- 1. FIRE-RESISTANT PENETRATIONS AND JOINTS BC 1704.27

PROGRESS INSPECTIONS ITEMS

- 1. FIRE-RESISTANCE RATED INSPECTIONS TRS BC 110.3.5
2. FIRE-RESISTANCE RATED CONSTRUCTION BC 110.3.4

ENERGY CODE PROGRESS INSPECTION

- 1. INTERIOR LIGHTING POWER (ICC), (IC3)
2. LIGHTING CONTROLS (IC5)



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BROOKLYN, NEW YORK 11228
TEL: (718) 435.2623
EMAIL: PESIN@GWMAIL.COM

SEAL & SIGNATURE

DATE:
PROJECT No. 2119
DRAWN BY: P.H
CHECKED BY: X.W
DVG No.
G-001.00
CADD FILE No. 1 of 5

NYC BUILDING DEPARTMENT FIRE STOPPING 2014 NOTES:

- 1. DUCT AND PIPE SPACES AND CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ETC. THAT WOULD PERMIT PASSAGE OF FLAME, SMOKE, FLUES, OR HOT GASES FROM ONE FLOOR TO ANOTHER FLOOR OR ROOF SPACES, OR FROM ONE CONCEALED AREA TO ANOTHER, SHALL BE FILLED WITH NON-COMBUSTIBLE MATERIAL AS PER 2014 BUILDING CODE SECT. 716.6.2
2. FIRE STOPPING MAY BE OF COMBUSTIBLE MATERIALS CONSISTING OF WOOD NOT LESS THAN 2" NOMINAL THICKNESS WITH THIGH JOINTS, EXCEPT THAT NON-COMBUSTIBLE FIRE STOPPING SHALL BE USED IN CONCEALED SPACES OF FIRE DIVISIONS AND WHERE IN CONTACT WITH FIREPLACES, FLUES, AND CHIMNEYS ALL HOLLOW PARTITIONS AND FURRED OUT SPACES SHALL BE FIRE STOPPED AT EACH FLOOR LEVEL.
3. FIRESTOPPED SHALL BE THE FULL THICKNESS OF THE HOLLOW FURRED OUT SPACE AS PER SEC 27-345(6).
4. CONCEALED SPACES WITHIN STAIRS CONSTRUCTION SHALL BE FIRE STOPPED BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH FLIGHT OF STAIR SO AS NOT TO COMMUNICATE WITH SPACES IN THE FLOOR, ROOF, OR INTERMEDIATE LANDING CONSTRUCTION AS PER BUILDING CODE 2014

NOTES:

THE PREMISES IS CURRENTLY NOT LOCATED IN FLOOD ZONE PER EFFECTIVE FIRM RELEASED IN 2007. THE APPLICANT HAS BEEN ADVISED BY THE DOB AND ACKNOWLEDGES THAT THE PREMISES IS NOW NOT LOCATED IN FLOOD ZONE PER PRELIMINARY FLOOD MAPS RELEASED IN 2013.

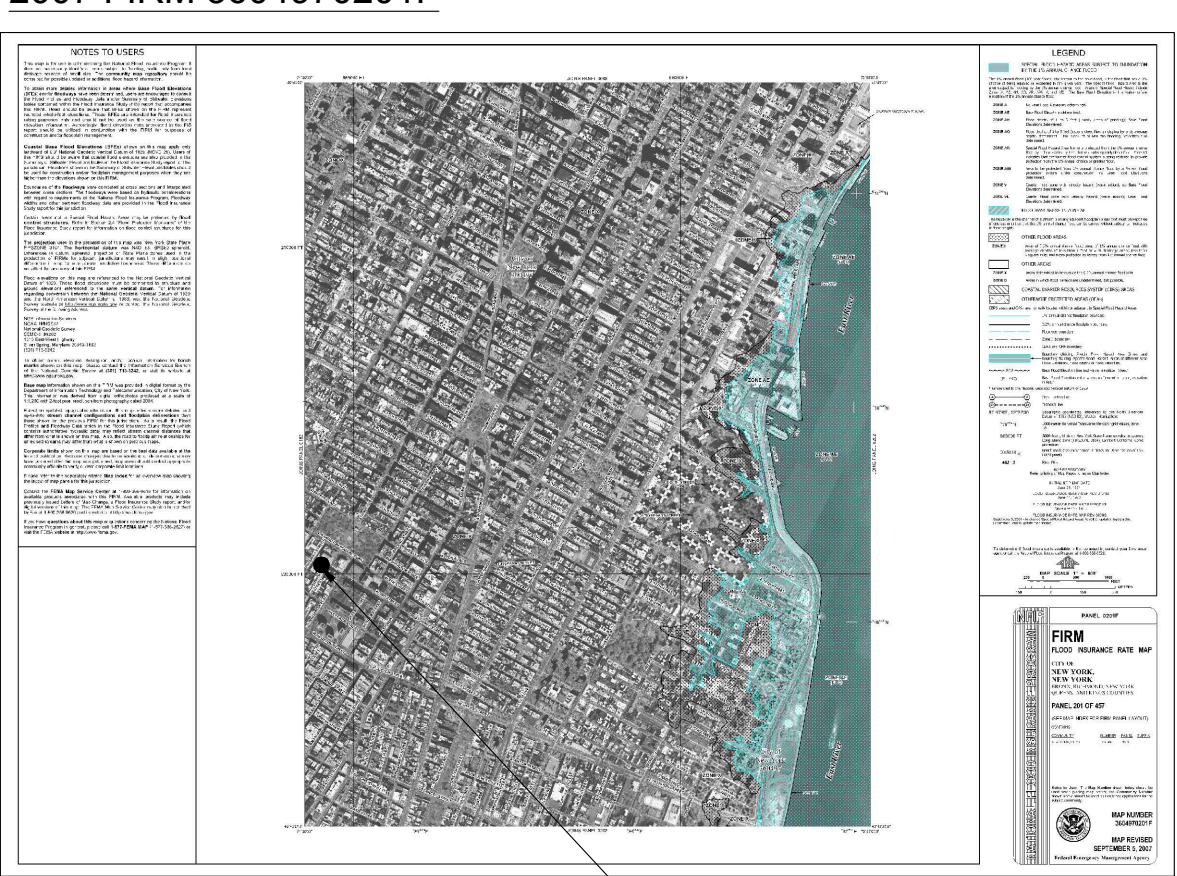
DOB/FEMA NOTES

- 1. THE PREMISES IS NOT LOCATED IN FLOOD ZONE PER PRELIMINARY FIRM RELEASED IN 2013.

FLOOD COMPLIANCE STATEMENT

THE PROPOSED WORK IS NOT IN A FLOOD HAZARD AREA PER BC 28-104.9.2 LL21 OF 2009.

2007 FIRM 3604970201F

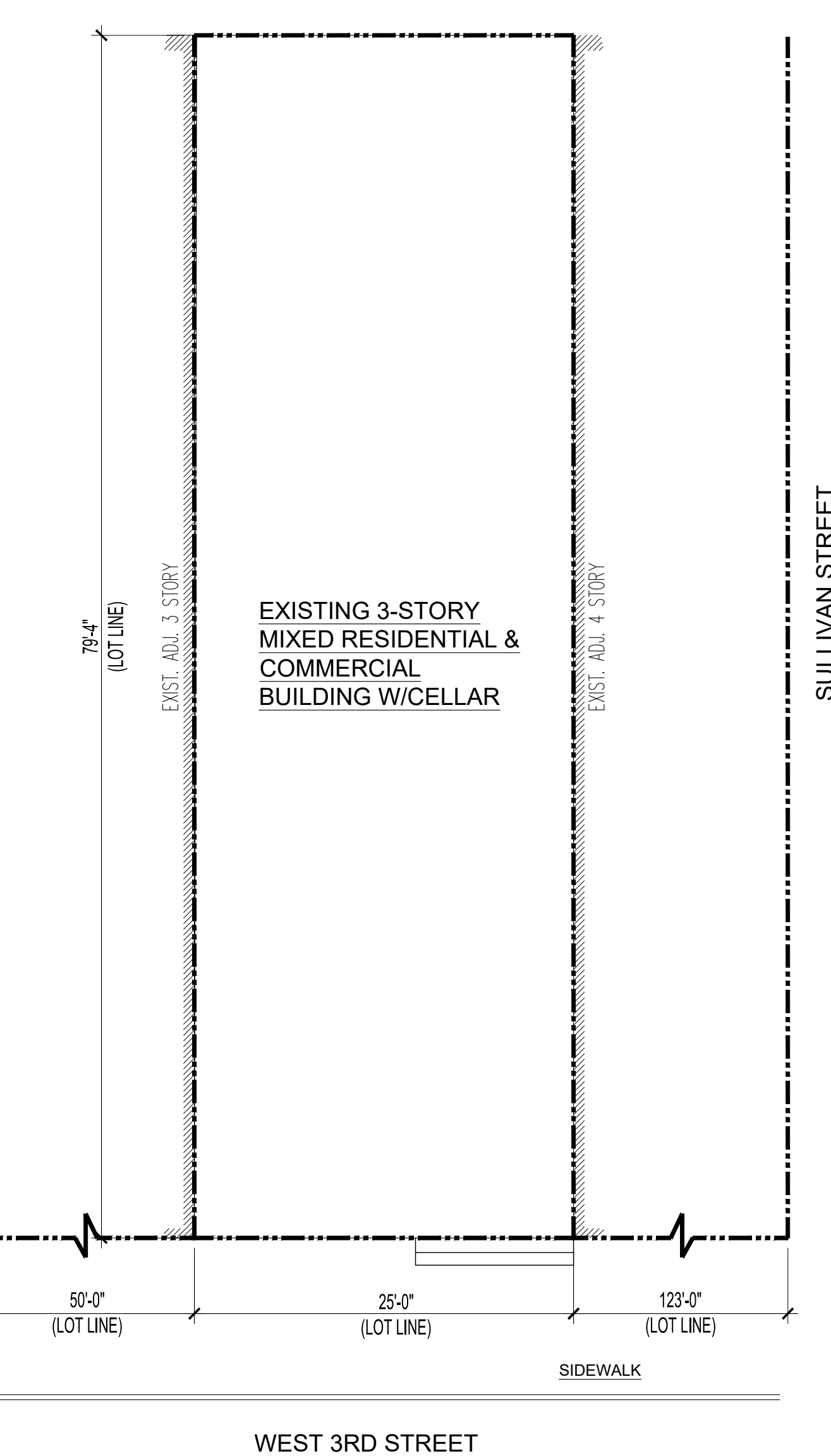


2013 FIRM 3604970201G



CEILING:

- 1. CARRYING CHANNELS FOR THE CEILING SHALL BE CLIPPED AS REQUIRED BY NYC BUILDING CODE.
2. FASCIAE OR ANY BREAK IN THE CEILING HEIGHTS CREATED BY THE INSTALLATION AND/OR ALTERATION OF HEATING, VENTILATING, AIR CONDITIONING OR MECHANICAL DUCTS, PIPING OR OTHER EQUIPMENT SHALL BE FORMED OF GYPSUM WALL BOARD ON FURRING CHANNELS.
3. HUNG CEILING HEIGHTS SHALL BE AS SHOWN ON "REFLECTED CEILING PLANS" AND FINISH SCHEDULE. ANY DEVIATION FROM HEIGHTS SHOWN WILL BE SUBMITTED TO ARCHITECT FOR APPROVAL.



SITE PLAN

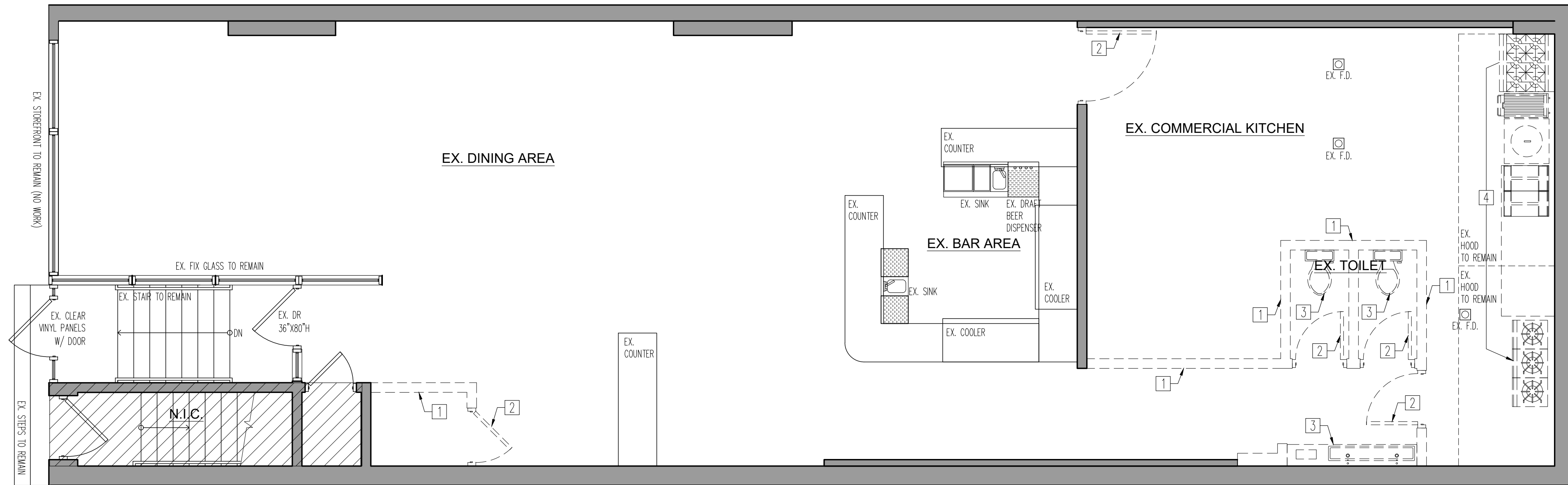
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES:

- DEMOLITION WORK SHALL COMPLY WITH ANS I 10.6 SAFETY REQUIREMENTS FOR DEMOLITION.
- THE CONTRACTOR SHALL VISIT THE SITE AND CAREFULLY EXAMINE THE WORK TO BE DONE SO AS TO BECOME FAMILIAR WITH THE EXIST. CONDITION AND NATURE OF THE SCOPE OF WORK. HE/SHE SHALL REPORT ANY POTENTIAL DIFFICULTIES TO THE OWNER AND ARCHITECT ENGINEER AS SOON AS POSSIBLE.
- THE DEMOLITION DRAWINGS MAY NOT SHOW ALL REMOVALS REQUIRED. THE CONTRACT INCLUDES ALL WORK NECESSARY TO PRODUCE THE FINAL ARRANGEMENT AS SHOWN ON THE ARCHITECTURAL DRAWING.
- PERFORM ALL CUTTING AND ROUGH PATCHING OF EXISTING WALLS PER PLANS. ALL CUTTING OF EXISTING MATERIALS SHALL BE HELD TO THE ABSOLUTE MINIMUM AS REQUIRED TO PROPERLY PERFORM THE WORK. ALL WORK SHALL BE CAREFULLY PERFORMED SO AS NOT TO DAMAGE OR ENDANGER EXISTING WORK TO REMAIN AS NEW WORK. THE GENERAL CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY AND LIABILITY FOR SAFETY AND STRUCTURAL INTEGRITY OF THE WORK TO REMAIN DURING DEMOLITION WORK.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROTECTION OF WORK TO REMAIN WHERE DEMOLITION, REMOVAL, AND/OR NEW WORK IS BEING DONE.
- ALL DEMOLITION AND REMOVAL WORK SHALL BE BROUGHT TO NATURAL STOPPING POINT. ANY MATERIAL REMOVED BY MISTAKE OR IN EXCESS OF REQUIREMENTS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WHERE EXISTING PARTITIONS OR OTHER WORK AREA REMOVED, PROTRUSION OR DEPRESSIONS IN FLOORS, CEILINGS AND WALLS SHALL BE PROPERLY FILLED AND LEVELED FLUSH WITH THE ADJACENT SURFACES.
- DISPOSAL: ALL MATERIALS, DEBRIS AND RUBBISH RESULTING FROM THE DEMOLITION, PREMISES AS THE WORK PROGRESSES AND LEGALLY DISPOSED OF OFF THE SITE IN ACCORDANCE WITH LOCAL AND BUILDING REGULATIONS.

LEGEND & SYMBOLS

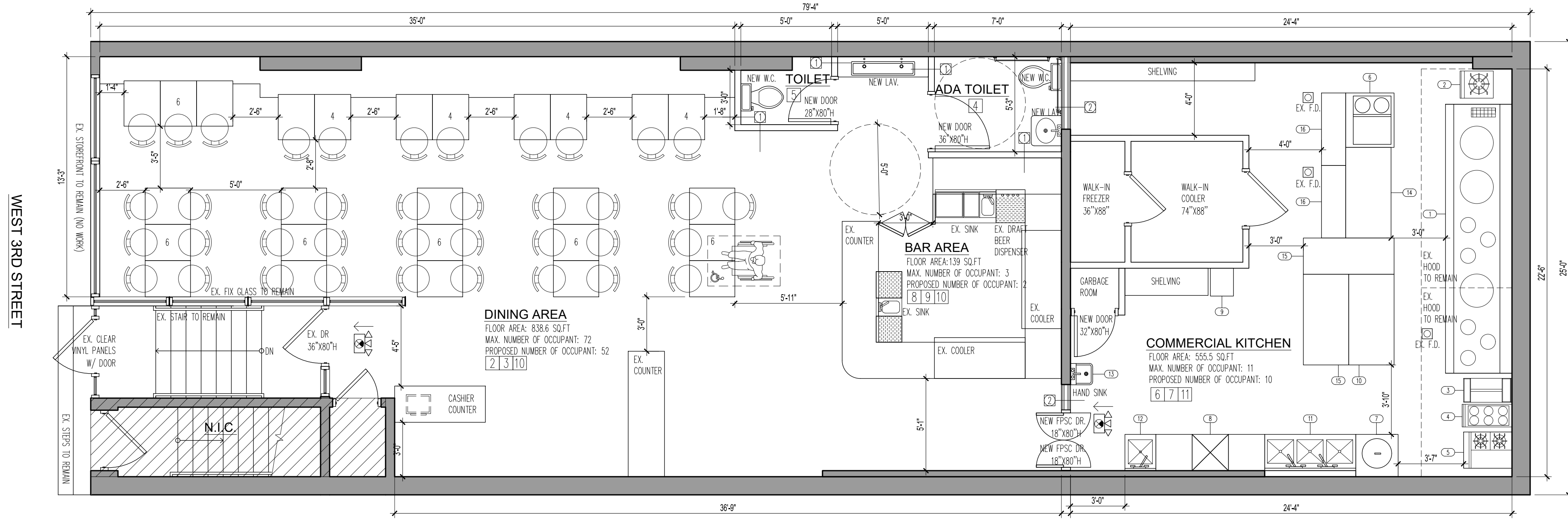
- EXIST. WALL OR INTERIOR PARTITION
- NEW NON-FIRE RATED INTERIOR PARTITION
- NEW 2-HR FIRE RATED INTERIOR PARTITION
- NEW DOOR
- PROPERTY LINE
- ⊙ FLOOR DRAIN (F.D.)
- ⊠ SCOPE OF WORK INDICATOR
- ⊡ WALL TYPE IDENTIFIER
- ⊙ EQUIPMENT IDENTIFIER
- ⊠ EMERGENCY EXT LIGHT



1ST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

1ST FLOOR SCOPE OF WORK

- REMOVE EXISTING PARTITION AS SHOWN
- REMOVE EXISTING DOOR AS SHOWN
- REMOVE EXISTING TOILET PLUMBING FIXTURES, FLOOR TIES AND WALL TIES AS SHOWN
- REMOVE KITCHEN COOKING EQUIPMENT, PLUMBING FIXTURES & APPLIANCES AS SHOWN



1ST FLOOR PROPOSE PLAN
SCALE: 1/4" = 1'-0"

1ST FLOOR SCOPE OF WORK

- INSTALL NEW 2-HR FIRE RATED PARTITION AS PER PLAN (SEE WALL DETAIL @ A-002)
- INSTALL CASHIER COUNTER AS PER PLAN
- PROVIDE SEATING & TABLE @ DINING AREA AS PER PLAN
- INSTALL NEW ADA TOILET PLUMBING FIXTURES, NEW FLOOR TIES AND WALL TIES AS PER PLAN
- INSTALL NEW TOILET PLUMBING FIXTURES, NEW FLOOR TIES AND WALL TIES AS PER PLAN (SEE EQUIPMENT SCHEDULE @ A-100)
- INSTALL NEW KITCHEN COOKING EQUIPMENT, PLUMBING FIXTURES & APPLIANCES AS PER PLAN (SEE EQUIPMENT SCHEDULE @ A-100)
- EXIST. EXHAUST HOOD AS SHOWN TO REMAIN (NO WORK)
- EXISTING BAR COUNTER AS SHOWN TO REMAIN
- EXISTING PLUMBING FIXTURES AS SHOWN TO REMAIN
- EXISTING FLOOR FINISH, WALL FINISH TO REMAIN
- EXISTING 2-HR FIRE RATED CEILING FINISH TO REMAIN, PATCH & PAINT ONLY

| EATING AND DRINKING ESTABLISHMENT: 1ST FLR | | | | |
|--|----------------|--------------------------------------|-----------------------|---------------------------|
| OCCUPANT LOAD (B.C. TABLE 1004.1.1) | | | | |
| OCCUPANCY | NET FLOOR AREA | NET FLOOR AREA PER OCCUPANT | MAX. NO. OF OCCUPANTS | PROPOSED NO. OF OCCUPANTS |
| DINING AREA | 838.6 SF | NUMBER OF FIXED SEATS INSTALLED = 72 | | 52 |
| BAR AREA | 139 SF | 50 SF | 139/50 = 3 | 2 |
| KITCHEN AREA | 555.5 SF | 50 SF | 555.5/50 = 11 | 10 |
| TOILET | 93.8 SF | | | |
| TOTAL | 1,626.9 SF | | | 64 |

ACTUAL PROPOSE TOTAL NUMBER OF SEATING: 52
ACTUAL PROPOSE NUMBER OF EMPLOYEE: 12
PROPOSED TOTAL NUMBER OF PERSON: 64

| EQUIPMENT SCHEDULE | | | | | | | | |
|--------------------|------|---------------------------|--------------------------|-------------|-------|-----|-----------|-------------|
| ITEM | QTY. | EQUIPMENT CATEGORY | MANUFACTORY | MODEL NO. | ELEC. | GAS | BTU | TESTING # |
| 1 | 1 | 9 BURNER CHINESE WOK | PANTIN (OR EQUAL) | PCR-109 | - | ● | 1,500,000 | MEA 288-95E |
| 2 | 1 | STOCK POT STOVE | PITCO (OR EQUAL) | PCS-18-1 | - | ● | 80,000 | MEA 255-83E |
| 3 | 1 | DEEP FRYER | PITCO (OR EQUAL) | PF-45N | - | ● | 90,000 | MEA 255-83E |
| 4 | 1 | NOODLE COOKER | PITCO (OR EQUAL) | PPC-6 | - | ● | 130,000 | MEA 255-83E |
| 5 | 1 | 2 BURNER RANGE W/ GRIDDLE | BLODGETT (OR EQUAL) | BR-2-12G-24 | - | ● | 84,000 | MEA 255-83E |
| 6 | 1 | STEAM TABLE | PITCO (OR EQUAL) | PSLT-3G | - | ● | 20,000 | MEA 255-83E |
| 7 | 1 | RICE COOKER | PANTIN (OR EQUAL) | PCC-6000N | - | ● | 35,000 | MEA 255-83E |
| 8 | 1 | DISH WASHER | ECOLAB (OR EQUAL) | | ● | - | | |
| 9 | 1 | DOUGH MIXER | PANTIN (OR EQUAL) | | ● | - | | |
| 10 | 1 | UNDERCOUNTER COOLER | PANTIN (OR EQUAL) | | ● | - | | |
| 11 | 1 | 3 COMPARTMENT SINK | PANTIN (OR EQUAL) | | - | - | | |
| 12 | 1 | 1 COMPARTMENT SINK | PANTIN (OR EQUAL) | | - | - | | |
| 13 | 1 | HAND SINK | ADVANCE TABCO (OR EQUAL) | | - | - | | |
| 14 | 1 | PREP TABLE | | | - | - | | |
| 15 | 2 | WORK TOP | | | - | - | | |
| 16 | 2 | DISH CABINET | | | - | - | | |

NOTES: ALL TESTING AND MODEL# FOR RESTAURANT EQUIPMENT SHALL BE VERIFIED BY PLUMBING INSPECTOR.

GW

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DOB JOB NO. _____

PROJECT
**82 WEST 3RD STREET
MANHATTAN, NY 10012**

TITLE
**DEMOLITION FLOOR PLAN,
PROPOSE FLOOR PLAN
SCHEDULE**

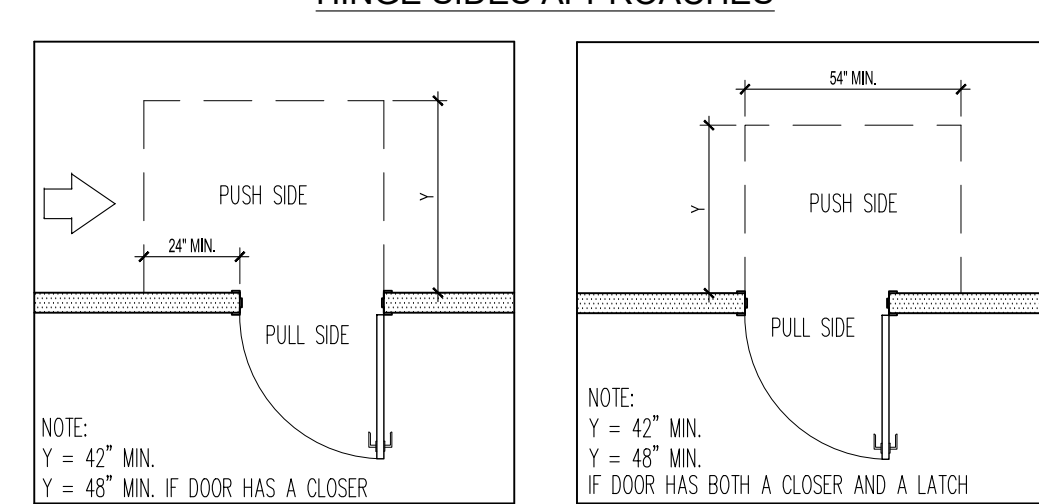
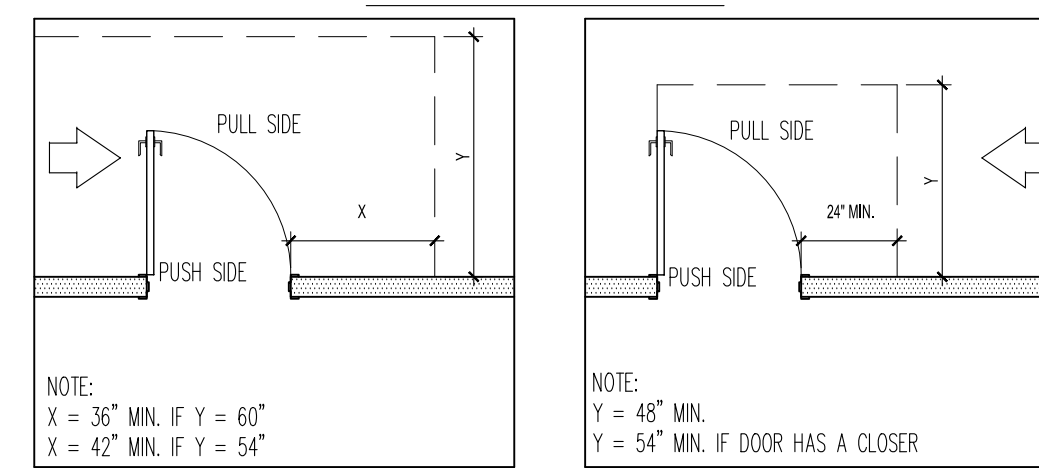
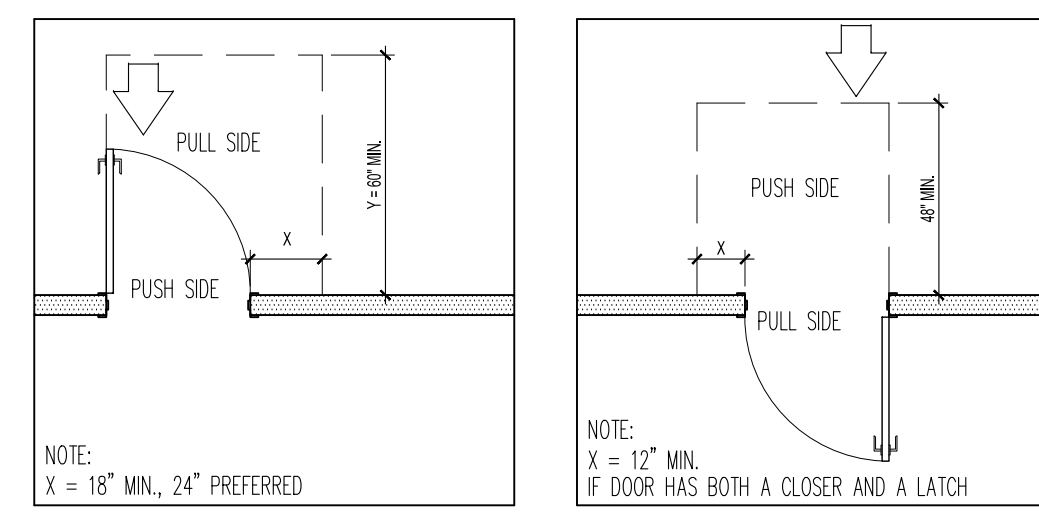
SEAL & SIGNATURE

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PROJECT No. 2119
DRAWN BY: F.H.
CHECKED BY: X.W.
DWG No. **A-001.00**
CADD FILE No. 2 OF 5

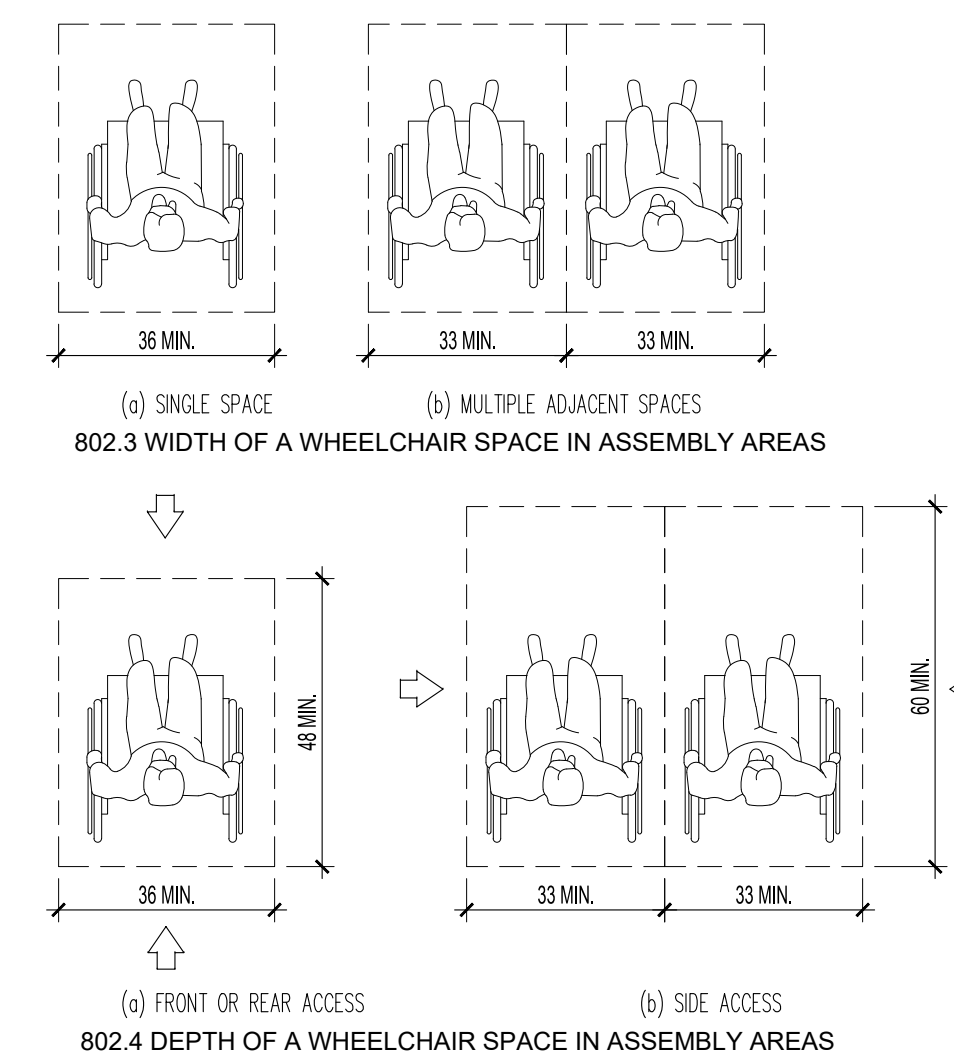
HANDICAPPED COMPLIANCE NOTES

- PROPOSED WORK SHALL COMPLY W/ACCESSIBILITY AND USABILITY REQUIREMENTS OF LOCAL LAW 158/87 FOR HANDICAPPED ACCESS.
- PROPOSED WORK SHALL COMPLY W/ACCESSIBILITY AND USABILITY REQUIREMENTS OF LOCAL LAW #58/87 AND RS 4-6 4.32.4 FOR ACCESS TO THE DISABLED.
- CLEAR FLOOR SPACE FOR TURNING, ACCESSIBLE FIXTURES AND CONTROLS SHALL COMPLY W/4.15 THROUGH 4.21 AND SHALL BE ON AN ACCESSIBLE ROUTE. AN UNOBSTRUCTED TURNING SPACE COMPLYING W/4.2.3 AND 4.2.4.1 SHALL BE PROVIDED WITHIN AN ACCESSIBLE ROOM. THE CLEAR FLOOR SPACES AT FIXTURES AND CONTROLS, THE ACCESSIBLE ROUTE, AND THE TURNING SPACE MAY OVERLAP.
- CONTROLS AND DISPENSERS, IF CONTROLS, DISPENSERS, RECEPTACLES, OR OTHER EQUIPMENT ARE PROVIDED. AT LEAST ONE OF EACH SHALL BE AN ACCESSIBLE ROUTE AND SHALL COMPLY W/4.25.
- FIXTURES TO BE PROVIDED SHALL REQUIRED CLEAR FLOOR SPACE AS PER THE REQUIREMENT OF 4.32.4.2, 4.3 . 4.4. AND 4.5. NEW FIXTURES TO BE SUBJECT TO THE REQUIREMENTS OF 4.32.4 CONCERNING DIMENSIONS AND ADAPTABILITY, AS PER ATTACHED DETAILS.
- CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE W/ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST, AS PER RS 4-8.4.25.4.
- ACCESSIBLE ROUTES TO BE PROVIDED BETWEEN NEW FACILITIES, PROVIDING A MINIMUM OF 36 INCHES OF WIDTH ALONG THE ACCESSIBLE ROUTE AS PER RS 4-6, 4.3.1. AND A MINIMUM OF 32 INCHES OF WIDTH AT DOORWAYS AS PER RS 4-6.4.13.5.
- GENERAL ACCESSIBLE LAVATORY FIXTURE, SINKS, VANITIES IN LAVATORIES SHALL COMPLY W/4.19.
- CLEAR FLOOR SPACE UNDER FIXTURES. A CLEAR FLOOR SPACE 30" BY 48" COMPLYING W/4.24 SHALL BE PROVIDED IN FRONT OF A LAVATORY OR SINK TO ALLOW A FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE.

HANDICAPPED ACCESSIBLE DETAIL



ADA SEATING SPACE (BC 27-531, ANSI A117.1 801)



WHEELCHAIR SPACES NOTES:

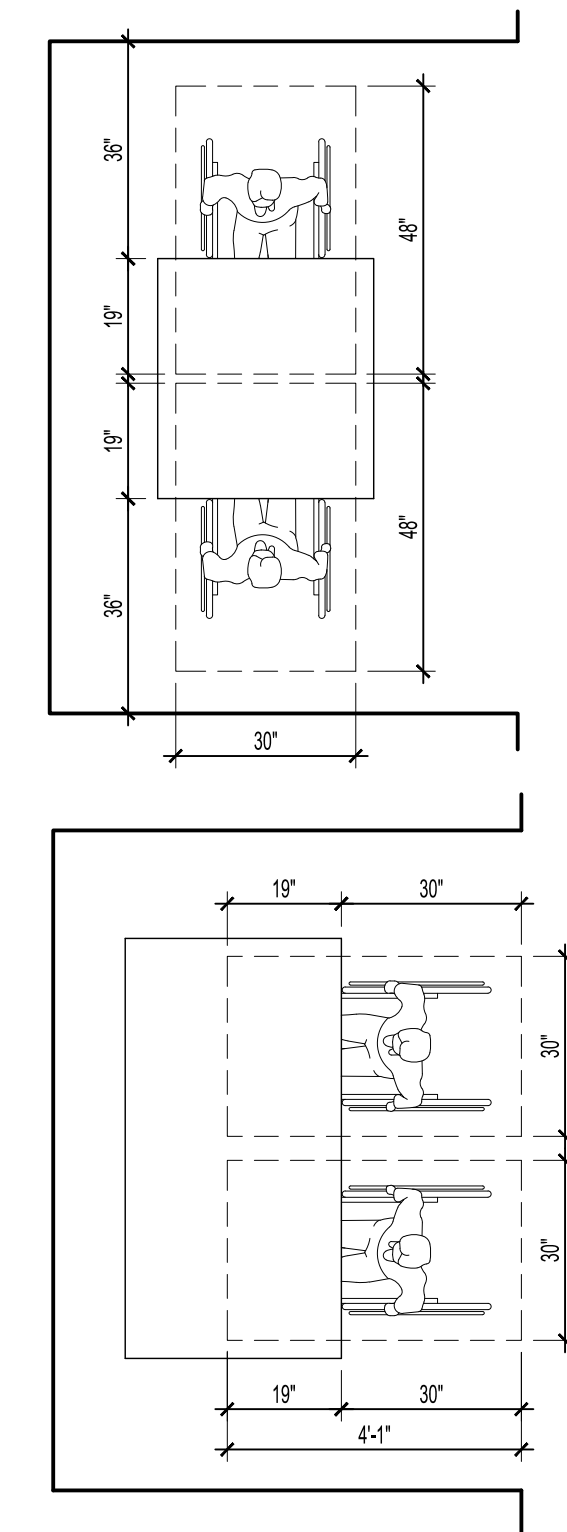
ESTABLISHMENT SHALL COMPLY WITH FEDERAL ADA LAWS INCLUDING ANSI A117.1 2003, LOCAL LAWS 58/87, AND ADA STANDARDS FOR ACCESSIBLE DESIGN BY DEPARTMENT OF JUSTICE SECTION 211, BC 27-531

* VIEWING POSITIONS MUST BE ALLOCATED FOR WHEELCHAIR USERS. THE NUMBER OF SPACE REQUIRED ARE:

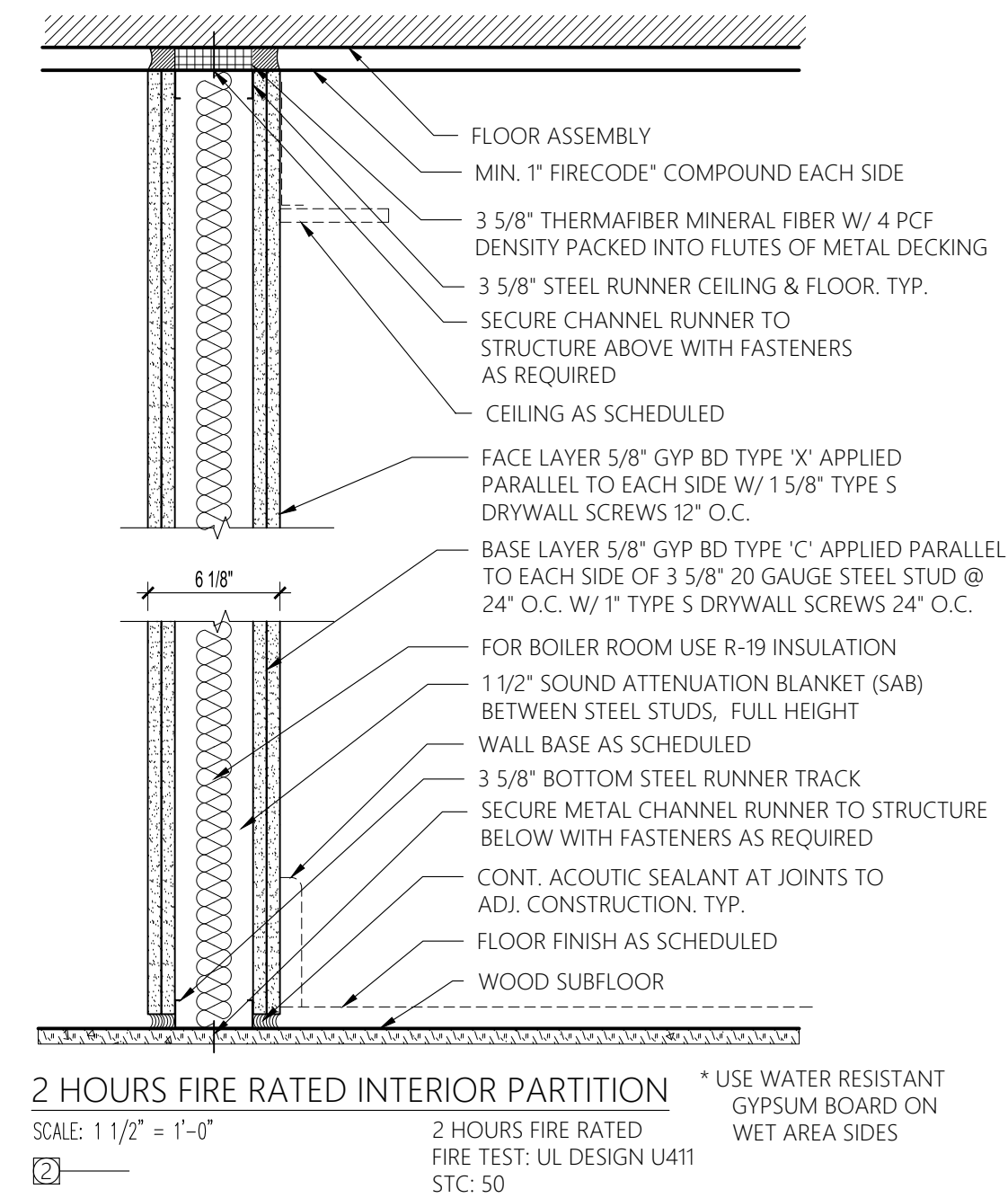
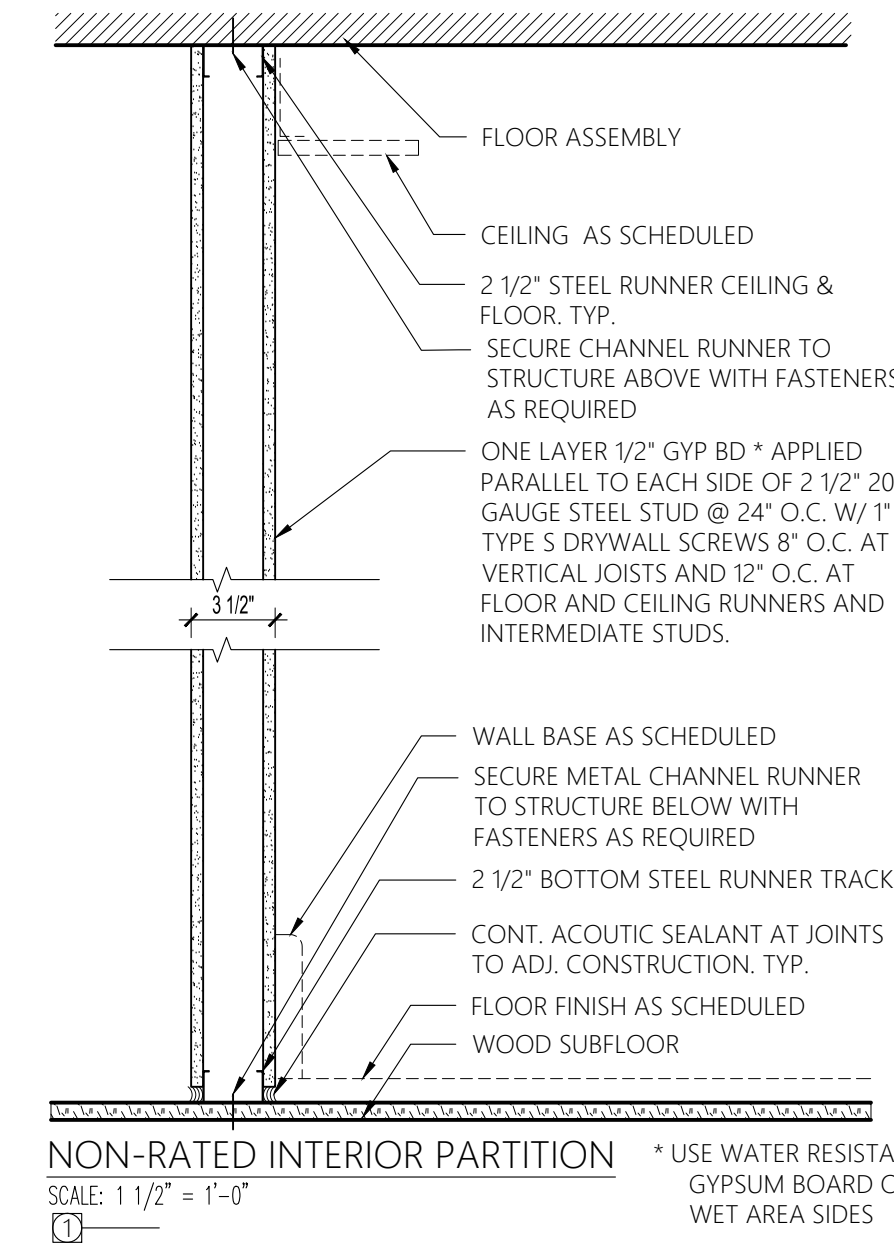
| CAPACITY OF ASSEMBLY SPACE | NUMBER OF VIEWING POSITIONS |
|----------------------------|----------------------------------|
| 1 TO 25 | MINIMUM 1 |
| 26 TO 50 | MINIMUM 2 |
| 51 TO 74 | MINIMUM 3 |
| 75 TO 100 | MINIMUM 4 |
| 101 TO 150 | MINIMUM 5 |
| 151 TO 200 | MINIMUM 6 |
| 201 TO 300 | MINIMUM 7 |
| 301 TO 400 | MINIMUM 8 |
| 401 TO 500 | MINIMUM 9 |
| 501 TO 1000 | 2 PERCENT OF TOTAL |
| OVER 1000 | 20 PLUS 1 FOR EACH 100 OVER 1000 |

WHEELCHAIR USERS THE NUMBER OF SPACE PROVIDED ARE: 6 WHEELCHAIR @ 1ST FLOOR

MINIMUM CLEARANCES FOR SEATING AND TABLES



WALL DETAILS



GW

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PROJECT
82 WEST 3RD STREET
MANHATTAN, NY 10012

TITLE
ADA NOTES,
DETAILS

SEAL & SIGNATURE

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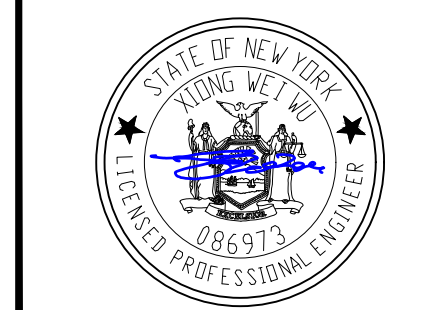
PROJECT No. 2119

DRAWN BY: F.H.

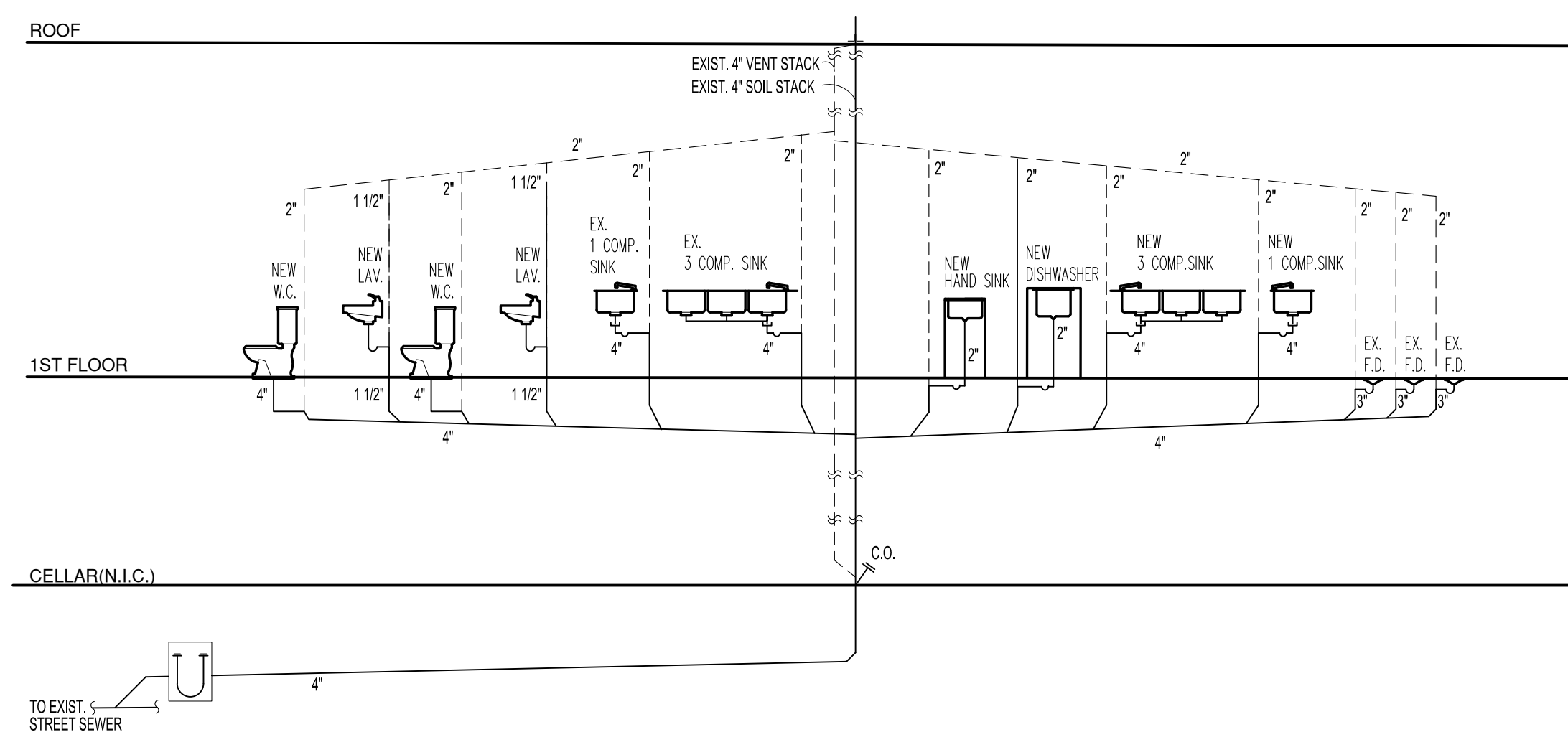
CHECKED BY: X.W.

DWG No. A-002.00

CADD FILE No. 3 OF 5



PLUMBING RISER DIAGRAM

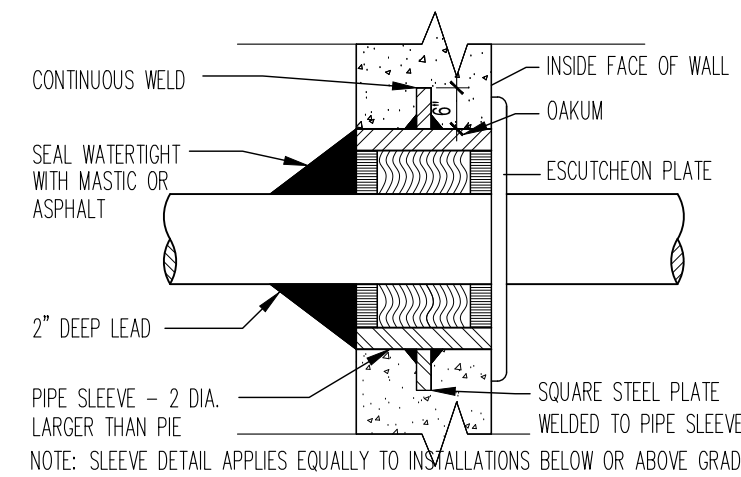


PLUMBING RISER DIAGRAM
SCALE: N.T.S.

FIXTURE CONNECTION SCHEDULE

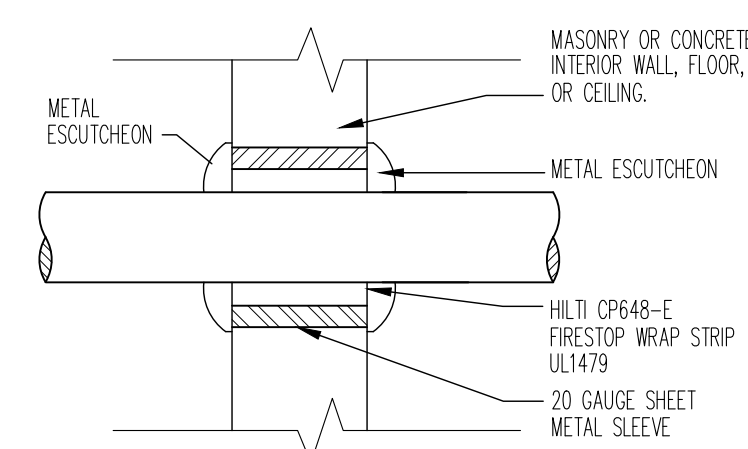
| | TYPE OF FIXTURE | DRAIN (MIN.) | VENT (MIN.) | C.W. (MIN.) | H.W. |
|------|----------------------|--------------|-------------|-------------|------|
| W.C. | WATER CLOSET (FLUSH) | 4 | 2 | 1 | - |
| LAV. | LAVATORY | 2 | 2 | 1/2 | 1/2 |
| SINK | HAND SINK | 2 | 2 | 1/2 | 1/2 |
| SINK | 1 OR 3 COMP. SINK | 2 | 2 | 1/2 | 1/2 |
| F.D. | FLOOR DRAIN | 3 | 2 | - | - |
| DW | DISHWASHER | 2 | 2 | 1/2 | 1/2 |

PLUMBING DETAILS



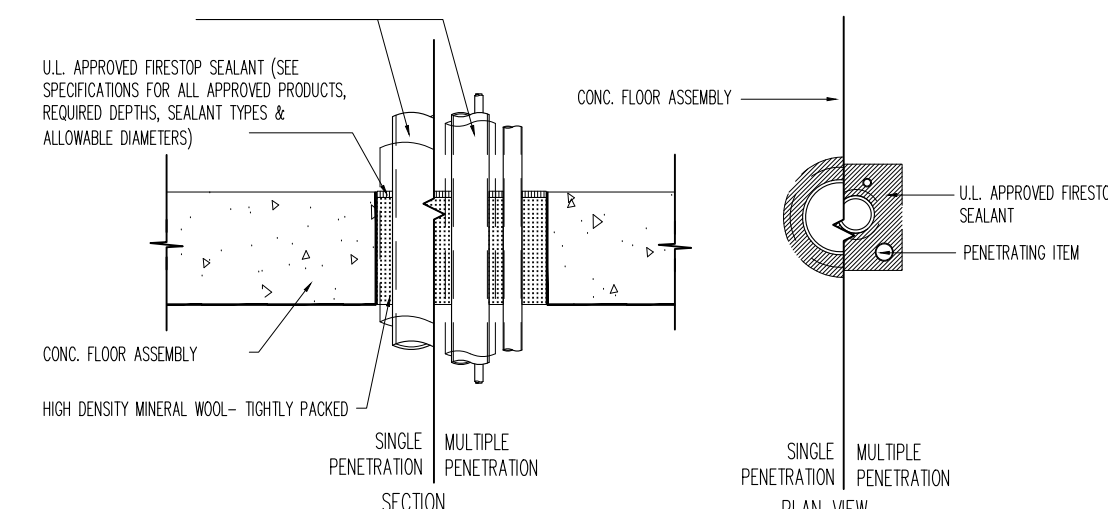
PIPE SLEEVE AT OUTSIDE WALL

SCALE: N.T.S.



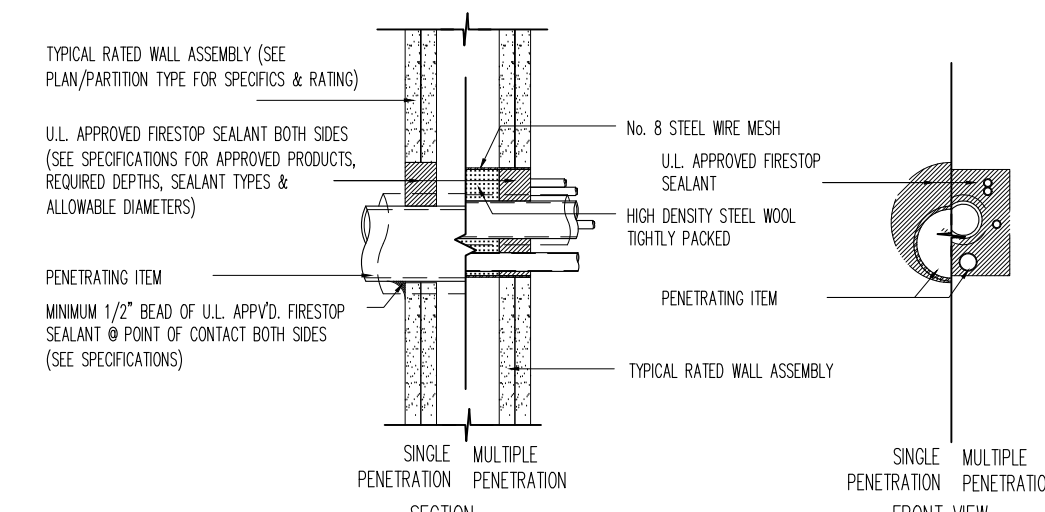
PIPE PENETRATION IN INTERIOR WALL / FLOOR / CEILING

SCALE: N.T.S.



NOTE: TYPICAL @ ALL THROUGH FLOOR PENETRATIONS

N.T.S.



TYPICAL FIRESTOPPING @ THROUGH WALL PENETRATIONS

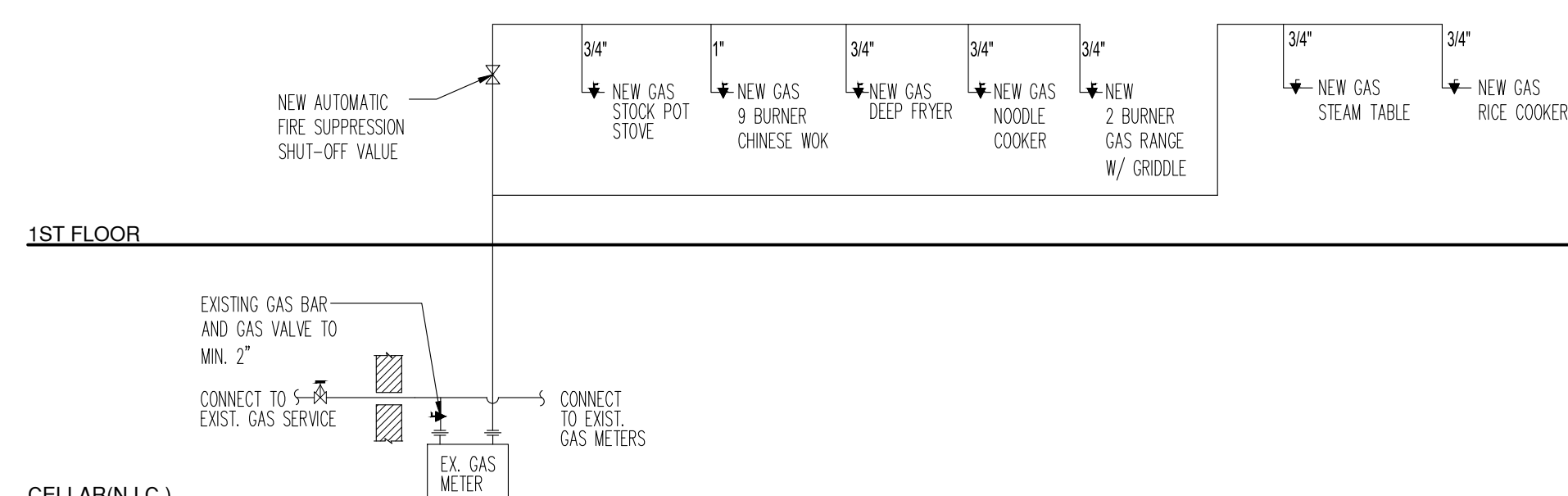
NOTE: TYPICAL @ ALL THROUGH WALL PENETRATIONS IN ALL RATED PARTITIONS

N.T.S.

GAS RISER DIAGRAM

GAS NOTE:

1. ALL REQUIREMENTS FOR THE INSTALLATION OF GAS PIPES SHALL BE IN ACCORDANCE WITH USUAL 221-30 1965 AND ALL AGENCIES HAVING JURISDICTION INCLUDING GAS METER ARRANGEMENT.
2. BRANCH SHALL BE TAKEN OFF THE RISER WITH NOT LESS THAN 42 ELBOW SWING.
3. BRANCH OUTLET PIPES SHALL BE TAKEN FROM THE TOP OR SIDE OR HORIZONTAL LINES AND NOT FROM THE BOTTOM PROVIDED STOP COCK OR VALVE FOR EACH GAS BURNING FIXTURE AND EQUIPMENT REQUIRING GAS.
4. NO GAS MAINS SHALL BE LESS THAN 1/2\"/>



GAS RISER DIAGRAM

SCALE: N.T.S.

NOTE: THIS DRAWING IS FOR GENERAL DESIGN ONLY. NEW YORK CITY LICENSED MASTER PLUMBER TO FOLLOW ALL CODES AND COORDINATE WITH ALL UTILITY COMPANY RULES.

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DATE NO. ISSUE

DOB JOB NO.

PROJECT
**82 WEST 3RD STREET
MANHATTAN, NY 10012**

TITLE
**RISER DIAGRAM
DETAILS**

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| SEAL & SIGNATURE | DATE: --- |
| | PROJECT No. 21.19 |
| | DRAWN BY: F.H. |
| | CHECKED BY: X.W. |
| | DWG No. P-001.00 |
| | CADD FILE No. 4 OF 5 |

TENANT PROTECTION PLAN

TENANT PROTECTION PLAN – NYC BC –SECTION 28-104.8.4 – REVISED AS PER LOCAL LAW 154-2017

28-104.8.4 TENANT PROTECTION PLAN:
 CONSTRUCTION DOCUMENTS FOR ALTERATIONS OF BUILDING IN WHICH ANY DWELLING WILL BE OCCUPIED DURING CONSTRUCTION SHALL INCLUDE A TENANT PROTECTION PLAN. SUCH PLAN SHALL CONTAIN A STATEMENT THAT THE BUILDING CONTAINS DWELLING UNITS THAT WILL BE OCCUPIED DURING CONSTRUCTION AND SHALL INDICATE IN SUFFICIENT DETAIL THE SPECIFIC UNITS THAT ARE OR MAY BE OCCUPIED DURING CONSTRUCTION, THE MEANS AND METHODS TO BE EMPLOYED TO SAFEGUARD THE SAFETY AND HEALTH OF THE OCCUPANTS THROUGHOUT THE CONSTRUCTION, INCLUDING, WHERE APPLICABLE, DETAIL SUCH AS TEMPORARY FIRE-RATED ASSEMBLIES, OPENING PROTECTIVE, OR DUST CONTAINMENT PROCEDURES. SUCH MEANS AND METHODS SHALL BE DESCRIBED WITH PARTICULARITY AND IN NO CASE SHALL TERMS SUCH AS "CODE COMPLIANT," "APPROVED," "PROTECTED," "LEGAL" IN ACCORDANCE WITH "LAW" OR SIMILAR TERMS BE USED AS SUBSTITUTE FOR SUCH DESCRIPTION. THE ELEMENTS OF THE TENANT PROTECTION PLAN MAY VARY DEPENDING ON THE NATURE AND SCOPE OF THE WORK BUT AT A MINIMUM SHALL MAKE DETAILED AND SPECIFIC PROVISIONS FOR:

NUMBER OF DWELLING UNITS TO REMAIN OCCUPIED DURING CONSTRUCTION: 6 DWELLING UNIT
 SPECIFIC UNIT/APARTMENT NUMBERS TO REMAIN OCCUPIED: 2ND FLOOR, 3RD FLOOR AND 4TH FLOOR.

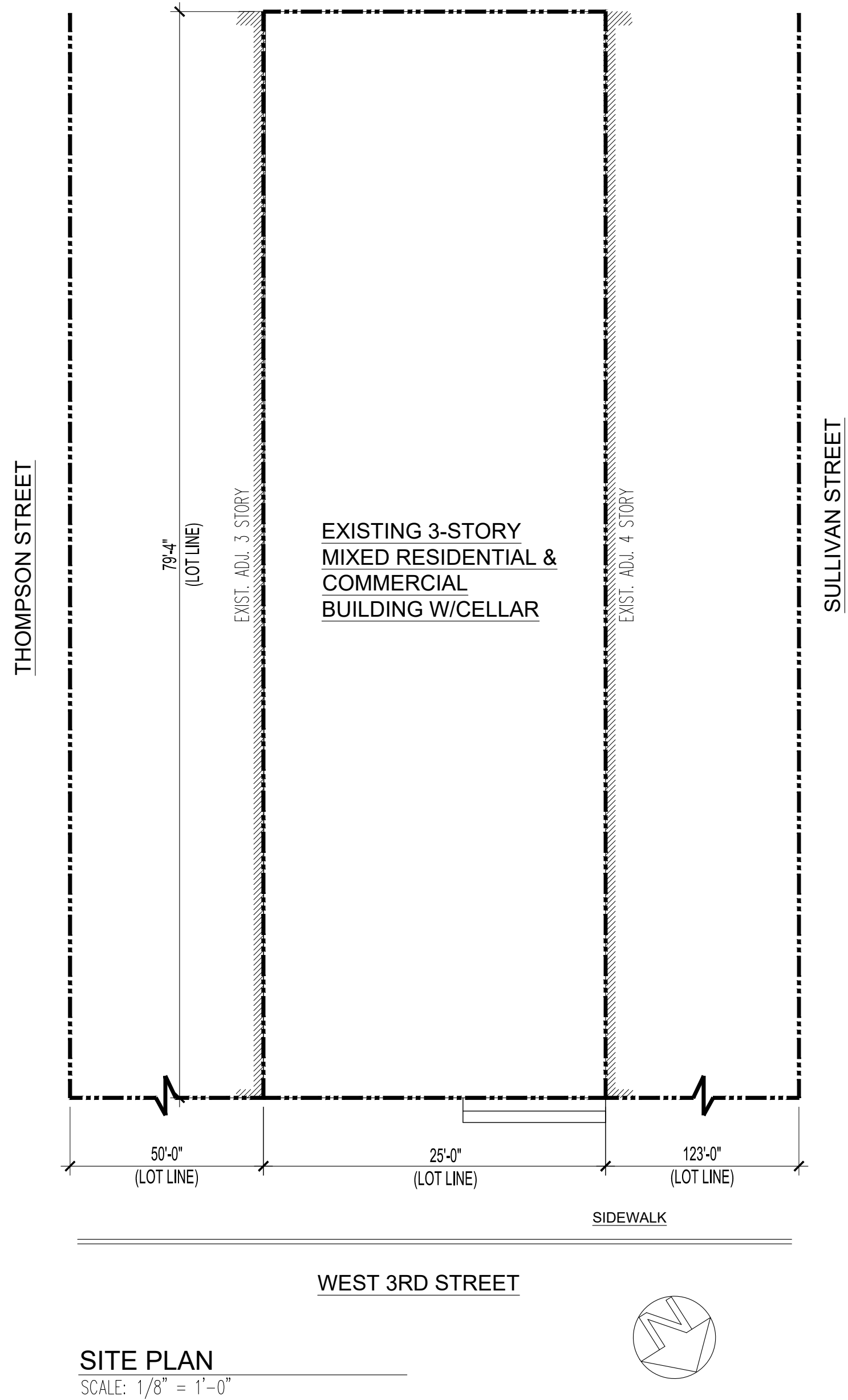
- EGRESS.
 AT ALL TIMES IN THE COURSE OF THE CONSTRUCTION PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY THIS CODE AND THE TENANT PROTECTION PLAN SHALL IDENTIFY EGRESS THAT WILL BE PROVIDED. REQUIRED EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME EXCEPT WHERE APPROVED BY THE COMMISSIONER.
- FIRE SAFETY.
 ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLING, AS WELL AS ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY ENFORCED.
- HEALTH REQUIREMENTS.
 SPECIFICATIONS OF METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL AND MAINTENANCE OF SANITARY FACILITIES, AND LIMITATION OF NOISE TO ACCEPTABLE LEVELS SHALL BE INCLUDED. 3.1 THERE SHALL BE INCLUDED A STATEMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW RELATING TO LEAD AND ASBESTOS.
- COMPLIANCE WITH HOUSING STANDARDS.
 THE REQUIREMENTS OF NEW YORK CITY HOUSING MAINTENANCE CODE, AND, WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.
- STRUCTURAL SAFETY.
 NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER OCCUPANTS.
- NOISE RESTRICTIONS.
 WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED PURSUANT TO THE NEW YORK CITY NOISE CODE, SUCH LIMITATIONS SHALL BE STATED.
- MAINTAINING ESSENTIAL SERVICES.
 DESCRIBE THE MEANS AND METHODS TO BE USED FOR MAINTAINING HEAT, HOT WATER, COLD WATER, GAS, ELECTRICITY, OR OTHER UTILITY SERVICES IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE. SPECIFY IF A DISRUPTION OF ANY SUCH SERVICE IS ANTICIPATED DURING THE WORK, INCLUDING ANTICIPATED DURATION OF SUCH DISRUPTION AND THE MEANS AND METHODS TO BE EMPLOYED TO MINIMIZE SUCH DISRUPTION, INCLUDING THE PROVISION OF SUFFICIENT ALTERNATIVES FOR SUCH SERVICE DURING SUCH DISRUPTION.
- PUBLIC AVAILABILITY OF TENANT PROTECTION PLAN.
 UPON ISSUANCE OF A PERMIT FOR WORK CONTAINING A TENANT PROTECTION PLAN, THE DEPARTMENT SHALL MAKE THE TENANT PROTECTION PLAN PUBLICLY AVAILABLE ON ITS WEBSITE.
- PROVISION OF COPY OF TENANT PROTECTION PLAN TO OCCUPANTS UPON REQUEST.
 THE OWNER OF A BUILDING UNDERGOING WORK FOR WHICH A TENANT PROTECTION PLAN IS REQUIRED BY SECTION 28-104.8.4 SHALL, UPON REQUEST FROM AN OCCUPANT OF A DWELLING UNIT WITHIN SUCH BUILDING, PROVIDE SUCH OCCUPANT WITH A PAPER COPY OF THE TENANT PROTECTION PLAN APPROVED BY THE DEPARTMENT.
- NOTICE TO OCCUPANTS.
 UPON ISSUANCE OF A PERMIT FOR WORK CONTAINING A TENANT PROTECTION PLAN, THE OWNER SHALL (i) DISTRIBUTE A NOTICE REGARDING SUCH PLAN TO EACH OCCUPIED DWELLING UNIT OR (ii) POST A NOTICE REGARDING SUCH PLAN IN A CONSPICUOUS MANNER IN THE BUILDING LOBBY, AS WELL AS ON EACH FLOOR WITHIN TEN FEET OF THE ELEVATOR, OR IN A BUILDING WHERE THERE IS NO ELEVATOR, WITHIN TEN FEET OF OR IN THE MAIN STAIRWELL ON SUCH FLOOR. THE NOTICE SHALL BE IN A FORM CREATED OR APPROVED BY THE DEPARTMENT AND SHALL INCLUDE:
 - A STATEMENT THAT OCCUPANTS OF THE BUILDING MAY OBTAIN A PAPER COPY OF SUCH PLAN FROM THE OWNER AND MAY ACCESS SUCH PLAN ON THE DEPARTMENT WEBSITE;
 - THE NAME AND CONTACT INFORMATION FOR THE SITE SAFETY MANAGER, SITE SAFETY COORDINATOR OR SUPERINTENDENT OF CONSTRUCTION REQUIRED BY SECTION 3301.3 OF THE NEW YORK CITY BUILDING CODE, AS APPLICABLE, OR, IF THERE IS NO SITE SAFETY MANAGER, SITE SAFETY COORDINATOR OR SUPERINTENDENT OF CONSTRUCTION, THE NAME AND CONTACT INFORMATION OF THE OWNER OF THE BUILDING OR SUCH OWNER'S DESIGNEE;
 - A STATEMENT THAT OCCUPANTS OF THE BUILDING MAY CALL 311 TO MAKE COMPLAINTS ABOUT THE WORK.

- EGRESS**
 - ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.
 - ALL ESCAPE ROUTES MUST BE EASILY IDENTIFIABLE, WITH INSTRUCTIONS ABOUT THE MEANS OF ESCAPE DISPLAYED.
 - AT THE END OF THE EACH WORK DAY ALL MATERIAL WILL BE CLEANED AND THE MEAN OF EGRESS WILL BE FULLY FUNCTIONAL.
 - WORK WILL BE PERFORMED DURING LOW OCCUPANCY HOURS.
 - REFER TO DRAWING FOR KEY PLAN IDENTIFYING EGRESS PATH, ALL OCCUPANT SHALL HAVE ACCESS TO THE EGRESS PATH AND THIS WILL BE POSTED ALONG WITH THE REST OF THE TPP1 IN A CONSPICUOUS MANNER IN THE BUILDING.
 - NO MODIFICATION TO EGRESS SHALL BE REQUIRED FOR THIS PROJECT.
- FIRE SAFETY**
 - ALL REQUIRED FIRE RATINGS SHALL BE MAINTAINED DURING CONSTRUCTION AND NO TEMPORARY FIRE WALLS SHALL BE REQUIRED. ALL WORK TO BE CONFINED TO LABELED AREAS OF WORK PER PLAN.
 - ALL FLAMMABLE CONSTRUCTION MATERIALS WILL BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURERS CONTAINERS. ALL FLAMMABLE MATERIALS TO BE USED AND STORES IN AN ADEQUATELY VENTILATED SPACE. SUCH MATERIALS ARE TO BE KEPT AWAY FROM HEAT.
 - ALL MATERIALS STORED AT CONSTRUCTION AREAS, AND/OR IN ANY AREA OF THE BUILDING, ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
 - ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE ARE EXPOSED CONDUITS. DOORS TO PUBLIC HALLWAYS SHALL BE REMAIN.
- HEALTH REQUIREMENTS**
 - GENERAL CONTRACTOR SHALL SEAL OFF WORK AREAS WITH PLASTIC SHEETING TO MINIMIZE & CONTROL SPREAD OF DUST AND PEST. ADDITIONALLY, A TACK MAT SHALL BE INSTALLED AT ALL ENTRY POINTS INTO THE CONSTRUCTION SITE TO PREVENT THE SPREAD OF DUST VIA FOOT TRAFFIC.
 - ALL DOORS TO WORK AREAS SHALL STAY CLOSED DURING CONSTRUCTION TO PREVENT DUST, DIRT & NOISE AS MUCH AS POSSIBLE FROM PERMEATING OTHER PARTS OF THE BUILDING DURING PROGRESS OF THE ALTERATIONS.
 - CLEAN UP SHALL OCCUR AT THE END OF EACH WORK DAY. CLEAN UP SHALL INCLUDE WORK RELATED TO MINIMIZE PESTS.
 - CONTRACTOR SHALL BROOM CLEAN EACH NIGHT AFTER WORK HAS CEASED, THE AREAS OF THE UNIT IN WHICH THE WORK IS BEING PERFORMED AS WELL AS AREAS ADJACENT THERE TO AND ANY OTHER AFFECTED AREAS OF THE BUILDING.
 - STREET CONTAINERS OR DUMPSTER FOR STORAGE OF RUBBISH SHALL NOT BE PLACED OUTSIDE THE BUILDING WITHOUT PRIOR WRITTEN CONSENT AND OR CONDITIONS & TERMS AS SPECIFIED BY BUILDING MANAGEMENT AND OR OWNERSHIP.
 - CONTRACTOR SHALL PROVIDE AND MAINTAIN SANITARY FACILITIES.

- 3.1. LEAD AND ASBESTOS**
 - LEAD AND ASBESTOS MEANS AND METHODS, COMPLIANCE PRACTICES, AND NOTIFICATION
 - 3.1.1 AN ACPIS ASBESTOS REPORT WAS ISSUED AND SUBMITTED WITH THE CONSTRUCTION DOCUMENTS.
 - 3.1.2 TREATMENT OF LOCATIONS CONTAINING LEAD WILL BE HANDLED PER THE LOCAL LAW 1 2004 GUIDE FOR WORK AT LEAD POSITIVE AREAS.
 - 3.1.3 MEANS AND METHODS FOR DUST MITIGATION, DISPOSAL OF CONSTRUCTION DEBRIS, AND LEAD ABATEMENT INCLUDE:
 - ENCLOSING WORK AREAS WITH PLASTIC PROTECTION TO CONTAIN DUST.
 - LEAD PAINT WILL NOT BE DRY SCRAPPED OR SANDED.
 - WETTING ANY AREAS NEAR LEAD IDENTIFIED ELEMENTS PRIOR TO BEGINNING WORK.
 - ALL SURFACES WHERE PAINT HAS BEEN DISTURBED MUST BE SEALED AND FINISHED WITH APPROPRIATE MATERIALS.
 - UNDERLYING SURFACE SUBSTRATES MUST BE DRY AND PROTECTED FROM FUTURE MOISTURE BEFORE APPLYING A NEW PROTECTIVE COATING OR PAINT, AND ALL PAINTS AND COATINGS MUST BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - FOLLOW PROPER WORKING PROTOCOL FOR WORKING AT LEAD CONTAMINATED AREA AS OUTLINED IN LOCAL LAW 1 2004 GUIDE.
 - ALL DEBRIS WILL BE SEALED WITHIN THE APARTMENT AND MAINTAINED IN A SEALED CART. TRANSPORT WILL BE FROM APARTMENT TO ELEVATOR TO BASEMENT. ALL REMOVAL DONE DURING LOW OCCUPANCY HOURS ON MONDAYS, TUESDAYS AND WEDNESDAYS FROM 8AM TO 4PM.
 - USE OF HEPA VACUUMS AND HEPA AIR PURIFIERS IN ENCLOSED AREAS OF WORK WITH POTENTIAL LEAD DISTURBANCE.
 - PERIODIC CLEANING WITH HEPA VACUUMS AND WET MOPS IN AREAS OF WORK WITH LEAD DISTURBANCE DURING WORK HOURS.
 - SAFE REMOVAL OF POTENTIAL LEAD IDENTIFIED DEBRIS INCLUDING WETTING AND SECURING IN PLASTIC BAGS PRIOR TO REMOVAL.
 - AFTER REMOVAL OF DEBRIS, ADDITIONAL WET MOP CLEANING WITH APPROPRIATE CLEANING SOLUTION.
 - VISUAL INSPECTION FOR POTENTIAL LEAD CONTAINING DUST AND DEBRIS DURING WORK AND AFTER COMPLETION OF WORK.

- COMPLIANCE WITH HOUSING STANDARDS**
 - ALL WORK SHALL COMPLY WITH APPLICABLE PORTIONS OF THE NYC HOUSING MAINTENANCE CODE AND NYS MULTIPLE DWELLING LAW DURING CONSTRUCTION. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK CITY ADMINISTRATIVE BUILDING CODE, ARTICLE 28, AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
- STRUCTURAL SAFETY**
 - NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE OCCUPANTS. ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS, AS WELL AS ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY OBSERVED.
- NOISE RESTRICTIONS.**
 - WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED PURSUANT TO THE NEW YORK CITY NOISE CONTROL CODE, WORK IS PERMITTED MONDAY TO FRIDAY 7AM TO 4PM.
 - HOURS OF CONSTRUCTION ARE TO BE 8:00AM TO 5:00PM MONDAY THROUGH FRIDAY
 - AN AFTER-HOURS VARIANCE MUST BE OBTAINED FROM THE NYC DEPARTMENT OF BUILDINGS PRIOR TO COMMENCING ANY CONSTRUCTION
 - BEYOND THE PERMITTED TIMES IDENTIFIED ABOVE.

- MAINTAINING ESSENTIAL SERVICES**
 - HEAT, AND GAS TO REMAIN UNINTERRUPTED AND UNAFFECTED AS THEY ARE NOT IN THIS SCOPE OF WORK. WATER SERVICES WILL BE TEMPORARILY INTERRUPTED, TENANTS WILL BE GIVEN 72-HOUR NOTICES THAT WILL INCLUDE DAY AND TIME OF INTERRUPTIONS. SERVICE WILL BE REESTABLISHED UPON COMPLETION OF WORK. CONSTRUCTION OPERATIONS SHALL BE CONFINED TO NORMAL WORKING HOURS, 7 AM - 6 PM, MONDAY - FRIDAY, EXCEPT THAT WORK SHALL NOT BE DONE ON LEGAL HOLIDAYS OR PER SPECIFIC GUIDELINES SET FORTH BY THE BUILDING.
- OTHER REQUIREMENTS**
 - [§ 28-104.8.4.1] § 28-120.1.1 PUBLIC AVAILABILITY OF TENANT PROTECTION PLAN. UPON ISSUANCE OF A PERMIT FOR WORK CONTAINING A TENANT PROTECTION PLAN, THE DEPARTMENT SHALL MAKE THE TENANT PROTECTION PLAN PUBLICLY AVAILABLE ON ITS WEBSITE.
 - [§ 28-104.8.4.2] § 28-120.1.2 PROVISION OF COPY OF TENANT PROTECTION PLAN TO OCCUPANTS UPON REQUEST. THE OWNER OF A BUILDING UNDERGOING WORK FOR WHICH A TENANT PROTECTION PLAN IS REQUIRED BY SECTION [28-104.8.4] 28-120.1 SHALL, UPON REQUEST FROM AN OCCUPANT OF A DWELLING UNIT WITHIN SUCH BUILDING, PROVIDE SUCH OCCUPANT WITH A PAPER COPY OF THE TENANT PROTECTION PLAN APPROVED BY THE DEPARTMENT.
 - [§ 28-104.8.4.3] § 28-120.1.3 NOTICE TO OCCUPANTS. UPON ISSUANCE OF A PERMIT FOR WORK CONTAINING A TENANT PROTECTION PLAN, THE OWNER SHALL (i) DISTRIBUTE A NOTICE REGARDING SUCH PLAN TO EACH OCCUPIED DWELLING UNIT [OR] AND (ii) POST A NOTICE REGARDING SUCH PLAN IN A CONSPICUOUS MANNER IN THE BUILDING LOBBY, AS WELL AS ON EACH FLOOR WITHIN TEN FEET OF THE ELEVATOR, OR IN A BUILDING WHERE THERE IS NO ELEVATOR, WITHIN TEN FEET OF OR IN THE MAIN STAIRWELL ON SUCH FLOOR.



SITE PLAN
 SCALE: 1/8" = 1'-0"

GW GREAT WALL
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DOB JOB NO. _____
 PROJECT _____

82 WEST 3RD STREET
MANHATTAN, NY 10012

TITLE
TENANT PROTECTION PLAN
AND NOTES

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| SEAL & SIGNATURE | DATE: --- |
| | PROJECT No. 2119 |
| | DRAWN BY: F.H. |
| | CHECKED BY: X.W. |
| | DWG No. TPP-001.00 |
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