

Public Hearing Presentation

396 West Street, New York, NY

Community Board 2:

Landmarks Preservation Commission:

MANCINI:

Site



Site Building Aerial View



396 West Street



396 West St New York, NY 10014

The Otteroom

THE ELK

Casal's Ferrime
Takeout Delivery

Jeri Noodle Bar
Takeout Delivery

Malaysia Trattoria
Takeout Delivery

Mark Seliger Photographers

Caramel Sound
Music & Light
Lighting Store

Rockbar NYC

The Apple

Drift In
Temporarily closed

Hudson River Park Trust
www.hudsonriverparktrust.org

Christopher Street Pier

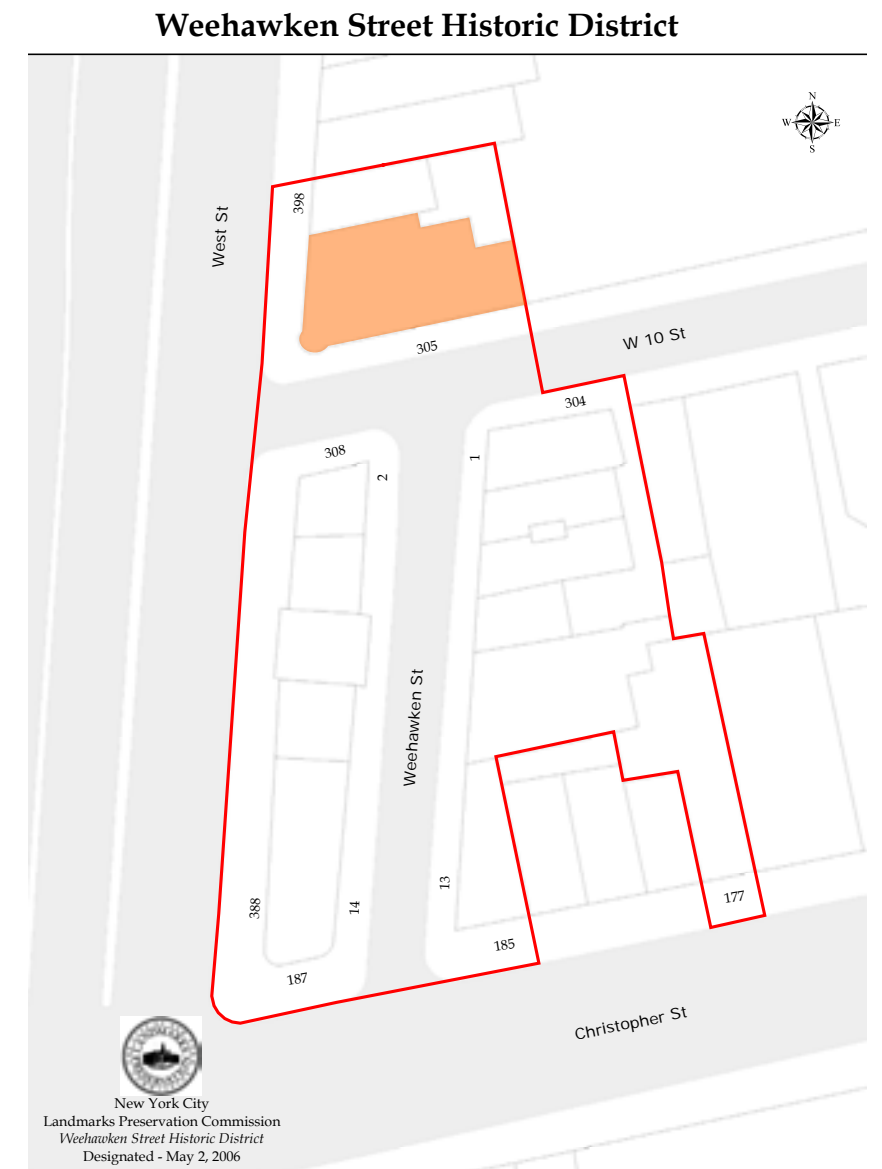
Bailey House Inn

Site

Building and the Weehawken Street Historic District



Corner at West Street and West 10th Street



NYC LPC Designation Report

Site Zoning Information

ZONING COMPUTATIONS

LOCATION: 396 WEST STREET NEW YORK, NY 10014 BLOCK: 636 LOT: 41
 AKA: 305 WEST 10TH STREET BIN#: 1011987 ZIP: 10014

ZONING DISTRICT: C1-6A MAP#: 12A LANDMARK: YES
 FLOOD ZONE: YES (AE) NAVORS OF 1ST FL: 6.26' BFE / DFE: 12' / 13'
 EXISTING # OF STORIES: 3 EXISTING HEIGHT: 37' - 2" YEAR BUILT: 1904

EXISTING OCCUPANCY: HOTEL - MOTEL (H4)
 C. OF C. # 83406 DATED 03/07/1983

PROPOSED OCCUPANCY: COMMERCIAL BUILDING (RETAIL / OFFICES) - U.G.: 6

EXISTING LOT AREA: 3,612.00 SF

BULK REGULATIONS:

MAXIMUM ALLOWABLE FAR: 2.00 ZR 33 - 122

MAXIMUM ALLOWABLE FLOOR AREA:
 COMMERCIAL USES: 3612.00 SF X 2.00 = 7224.00 SF

EXISTING FLOOR AREA: 10,112 SF (6,514 SF WITHOUT 1ST FLOOR) EXISTING NON-COMPLYING

PROPOSED FLOOR AREA: 8,192 SF

NOTE: EXISTING 1ST FLOOR IS 51% UNDER DFE, CONSIDERED PART OF CELLAR AND THUS ONLY A 2 STORY BUILDING FOR FAR PURPOSE. (ZR 64 - 11). FOR BUILDING CODE PURPOSES, 1ST FLOOR COUNT AS A STORY AND TOWARDS HEIGHT.

YARD REGULATIONS:

MINIMUM REQUIRED SIDE YARD: NONE ZR 33 - 25

EXISTING / PROPOSED SIDE YARDS: NONE COMPLIES

MINIMUM REQUIRED REAR YARD: NONE ZR 33 - 26

EXISTING / PROPOSED REAR YARD: NONE COMPLIES

HEIGHT AND SETBACK REGULATIONS: ZR 33 - 432

INITIAL SETBACK ABOVE MAX. HEIGHT OF FRONT WALL: 15'
 MAX. HEIGHT OF FRONT WALL: 60' OR 4 STORIES

SKY EXPOSURE PLANE: ZR 33 - 26

HEIGHT ABOVE STREET: 60'
 SLOPE: 5:6 VERTICAL TO 1:0 HORIZONTAL

EXISTING / PROPOSED HEIGHT AND SETBACK: SEE PLOT DIAGRAM

PARKING REGULATIONS: ZR 36 - 2

PARKING REGULATIONS DO NOT APPLY SINCE THIS IS AN EXISTING BUILDING AND NOT A NEW DEVELOPMENT OR ENLARGEMENT.

EXISTING / PROPOSED PARKING: NONE COMPLIES

LOADING BERTH REQUIREMENTS: NONE ZR 36 - 62 & ZR 36 - 63

EXISTING / PROPOSED CONDITIONS: NO EXISTING LOADING BERTHS AND NONE PROPOSED

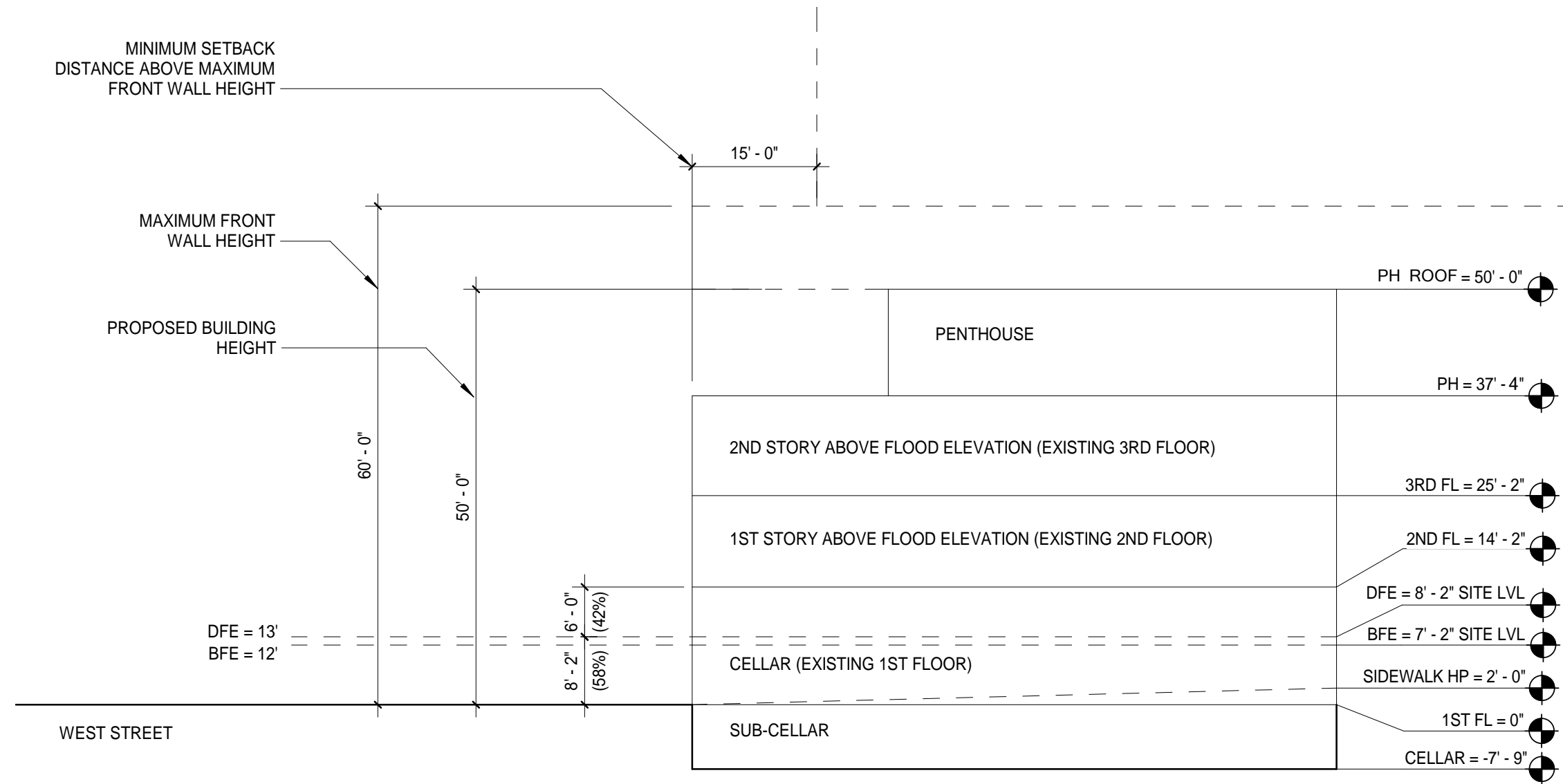
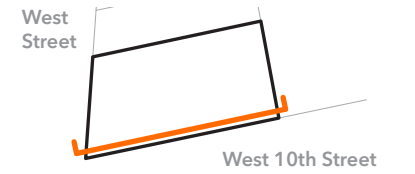
NOTE: WE ARE SEEKING A WAIVER BASED ON ZR 36 - 65 WAIVER OF REQUIREMENTS FOR ALL ZONING LOTS WHERE ACCESS WOULD BE FORBIDDEN.



Zoning Computation

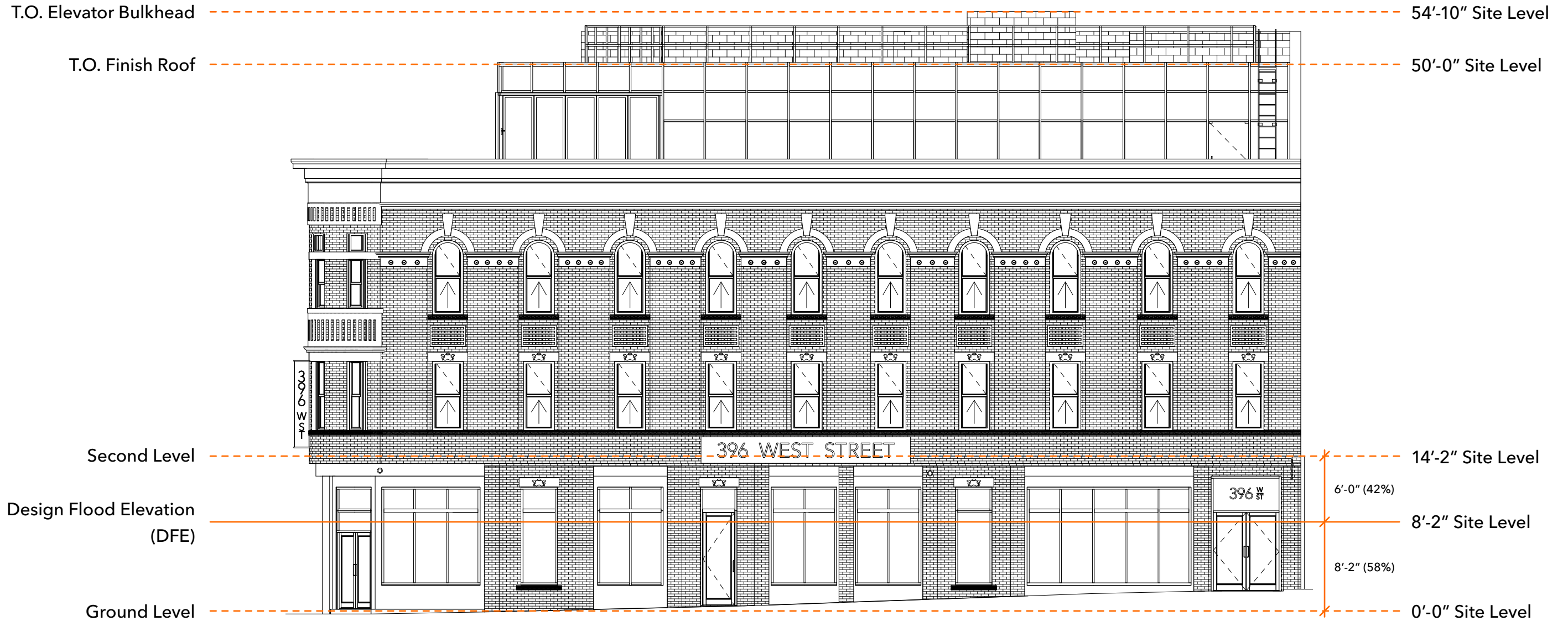
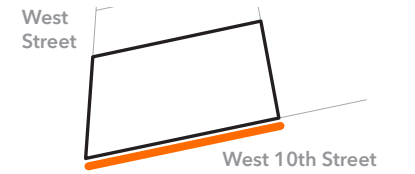
Zoning Plan from ZoLa

Site Zoning Section Diagram



Zoning Section Diagram (NTS)

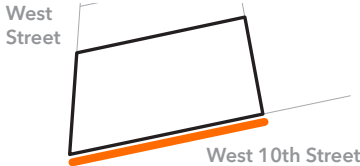
Site Elevation Study



Elevation Study
(NTS)

Site

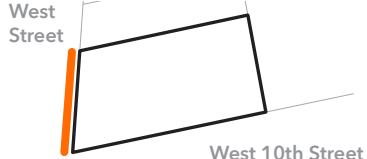
Existing Facade - South (Google Maps 2019)



South Facade (2019)

Site

Existing Facade - West (Google Maps 2019)



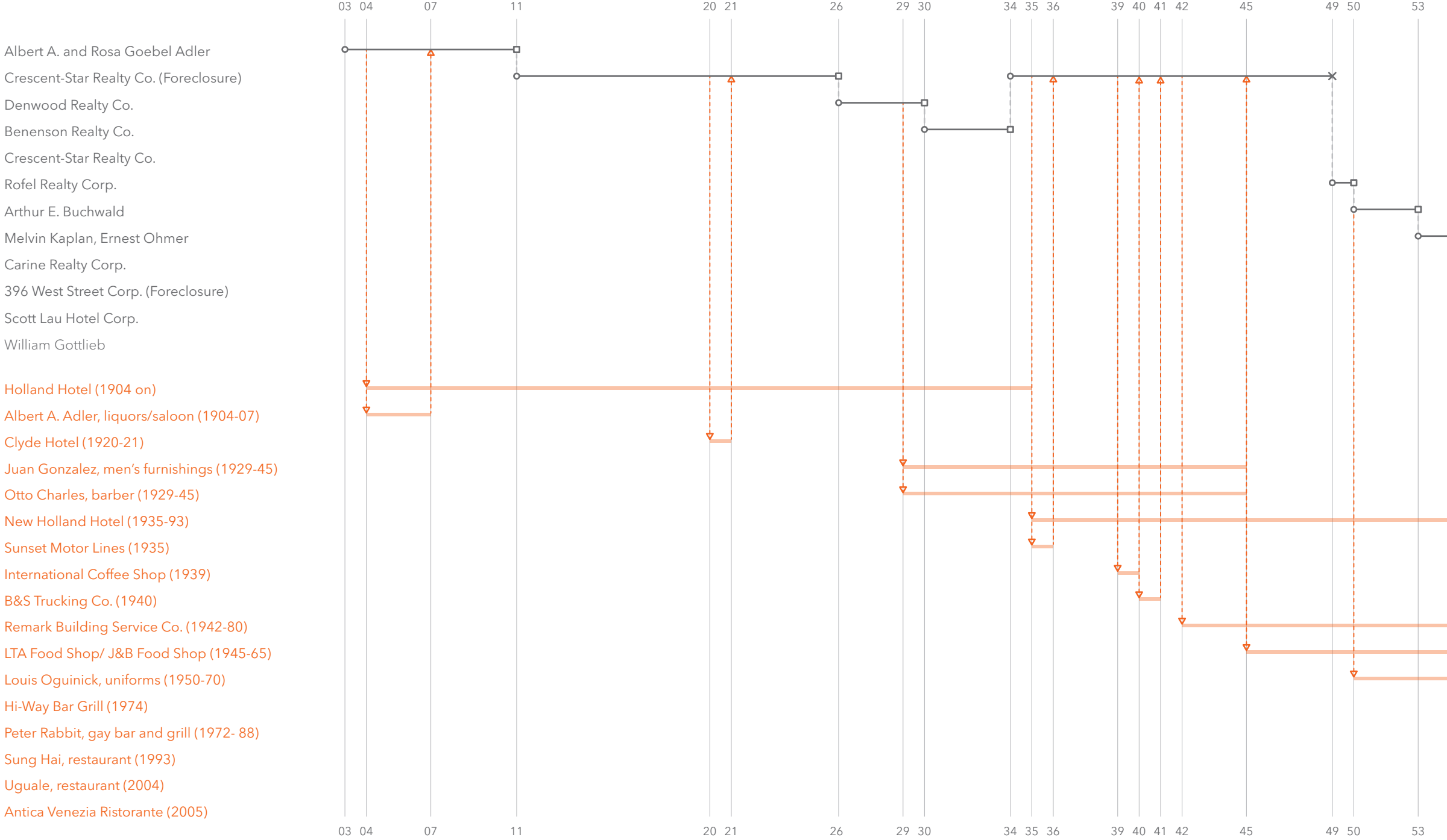
West Facade (2019)

Building History



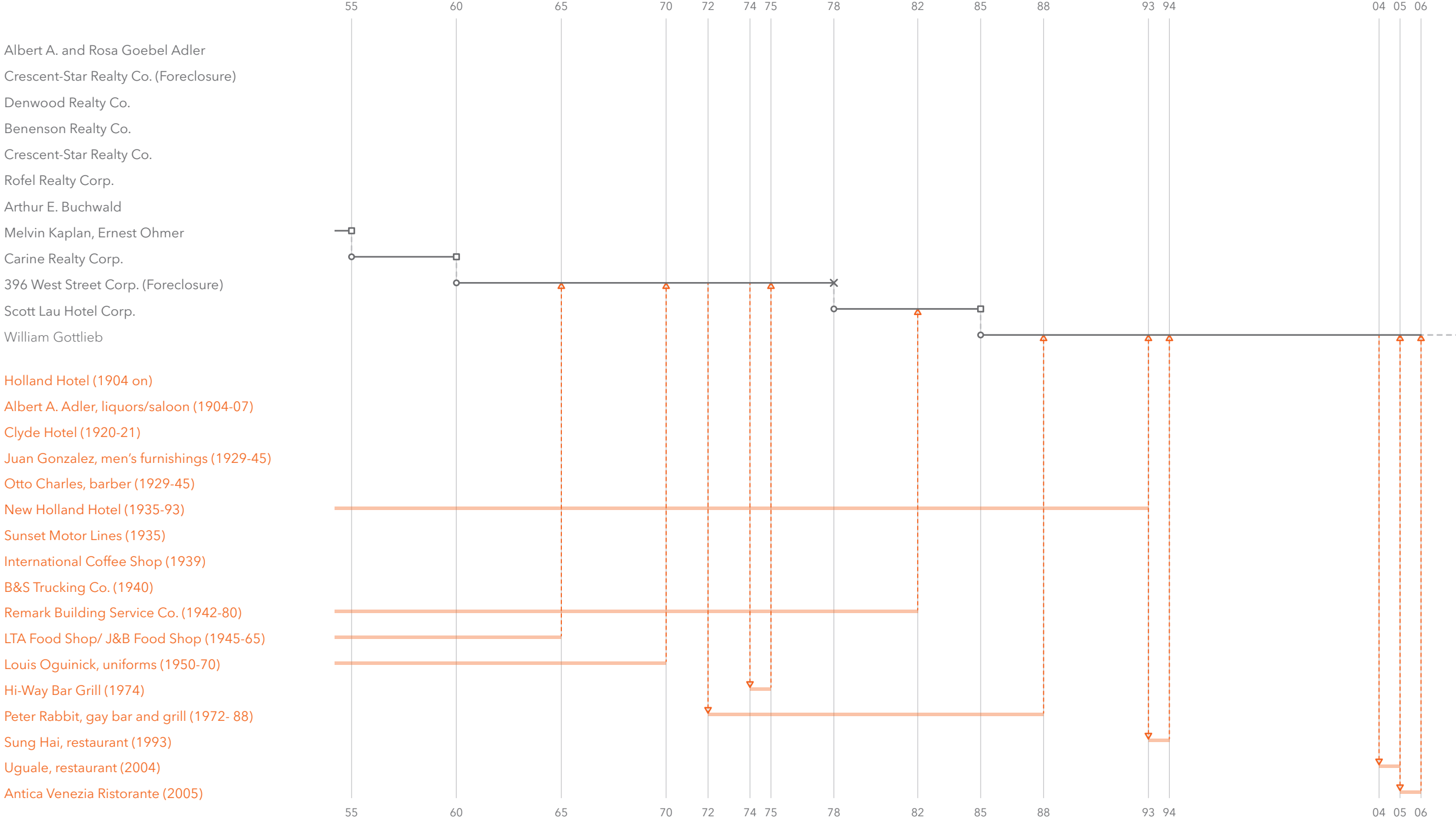
Building History

Ownership and Tenant Timeline (1903-1953)



Building History

Ownership and Tenant Timeline (1954-)



Building History

Building Facades Evolution

* Presumed by Photos



1927 (NYPL Digital Collection)

Materials: Buff Brick, Terracotta (Painted*), Pressed Metal Cornice (Painted*),
Wooden Door & Window Framing



1932 (NYPL Digital Collection)

Materials: Buff Brick, Terracotta (Painted*), Pressed Metal Cornice (Painted*),
Wooden Door & Window Framing



Building History

Building Facades Evolution

* Presumed by Photos



1941 (Tax Photo)

Materials: Buff Brick (Painted*), Terracotta (Painted*), Pressed Metal Cornice (Painted*), Wooden Door & Window Framing



1980 (Tax Photo)

Materials: Buff Brick (Painted*), Terracotta (Painted*), Pressed Metal Cornice (Painted*), Metal Door & Window Framing



Building History

Building Facades Evolution

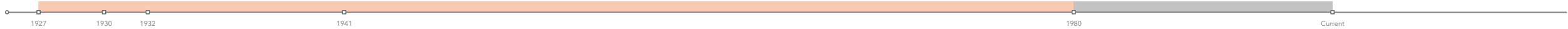


2021 (Current Condition)

Materials: Buff Brick (Painted), Terracotta (Painted), Pressed Metal Cornice (Painted), Aluminum Door & Window Framing

Building History

Ground Floor Storefront Study



1927~1980

Tenant: Holland Hotel / New Holland Hotel
 Sub-Tenant: Juan Gonzalez, men's furnishings
 Sub-Tenant: Otto Charles, barber

Sub-Tenant: Sunset Motor Lines
 Sub-Tenant: International Coffee Shop

Sub-Tenant: B&S Trucking Co.
 Sub-Tenant: Remark Building Service Co.

Sub-Tenant: LTA Food Shop/ J&B Food Shop
 Sub-Tenant: Louis Oguinick, uniforms
 Sub-Tenant: Hi-Way Bar Grill

1980

Tenant: New Holland Hotel
 Sub-Tenant: Peter Rabbit, gay bar and grill

1993~Current

Tenant: Sung Hai, restaurant
 Tenant: Uguale, restaurant
 Tenant: Antica Venezia Ristorante



Source: 1927 NYPL Digital Collection



Source: 1930 Museum of City of New York



Source: 1932 NYPL Digital Collection



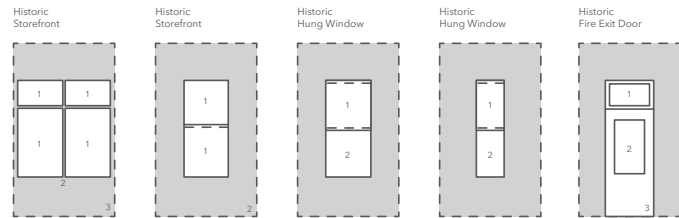
Source: 1941 NYPL Digital Collection



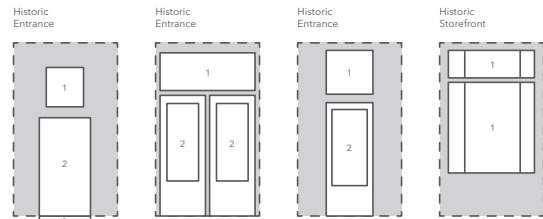
Source: 1980 Tax Photo



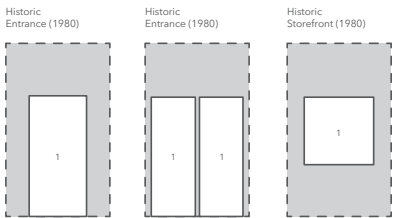
Source: 2021 Google Maps



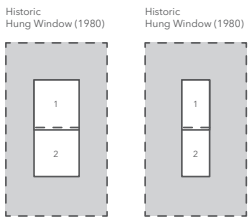
Historic Storefront: 1. Fixed Window, 2. Thin Frame Profile, 3. Dark Color Finish
 Historic Storefront: 1. Hung Window, 2. Dark Color Finish
 Historic Hung Window: 1. Operable Pane
 Historic Hung Window: 1. Operable Pane
 Historic Fire Exit Door: 1. Fixed Pane, 2. Vision Panel, 3. Door



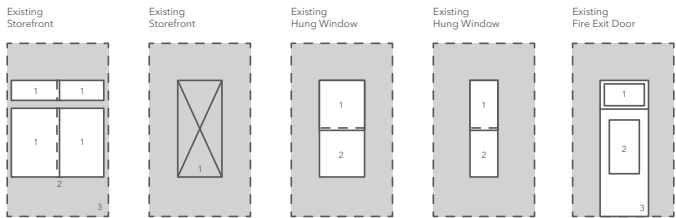
Historic Entrance: 1. Transom Window, 2. Solid Door Panel, 3. Below Grade
 Historic Entrance: 1. Transom Window, 2. Vision Door Panel
 Historic Entrance: 1. Fixed Window, 2. Vision Door Panel
 Historic Storefront: 1. Fixed Window



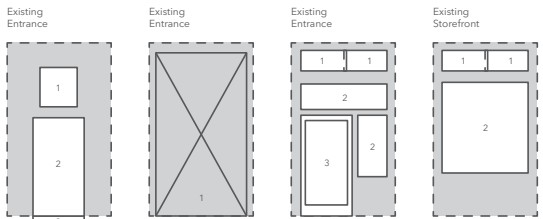
Historic Entrance (1980): 1. Solid Door Panel
 Historic Entrance (1980): 1. Solid Door Panel
 Historic Storefront (1980): 1. Fixed Window



Historic Hung Window (1980): 1. Fixed Pane, 2. Operable Pane
 Historic Hung Window (1980): 1. Fixed Pane, 2. Operable Pane



Existing Storefront: 1. Slide Window, 2. Thin Frame Profile, 3. Dark Color Finish
 Existing Storefront: 1. Infill
 Existing Hung Window: 1. Fixed Pane, 2. Operable Pane
 Existing Hung Window: 1. Fixed Pane, 2. Operable Pane
 Existing Fire Exit Door: 1. Fixed Pane, 2. Vision Panel, 3. Door



Existing Entrance: 1. Transom Window, 2. Solid Door Panel, 3. Below Grade
 Existing Entrance: 1. Infill
 Existing Entrance: 1. Fixed Window, 2. Vision Door Panel
 Existing Storefront: 1. Slide Window, 2. Fixed Window

Scope



Scope

Project Goals & Objectives

To Make the Building Safer , Code Compliant, and Flood-Resilient

- ADA Compliant Access and Circulation
- Upgrades to Required Fire Ratings
- Upgrades MEP Systems
- Upgrades Fire Protection Systems
- Upgrades for Flood Resilience

To Restore the Building Envelope in Keeping with its Historic Design

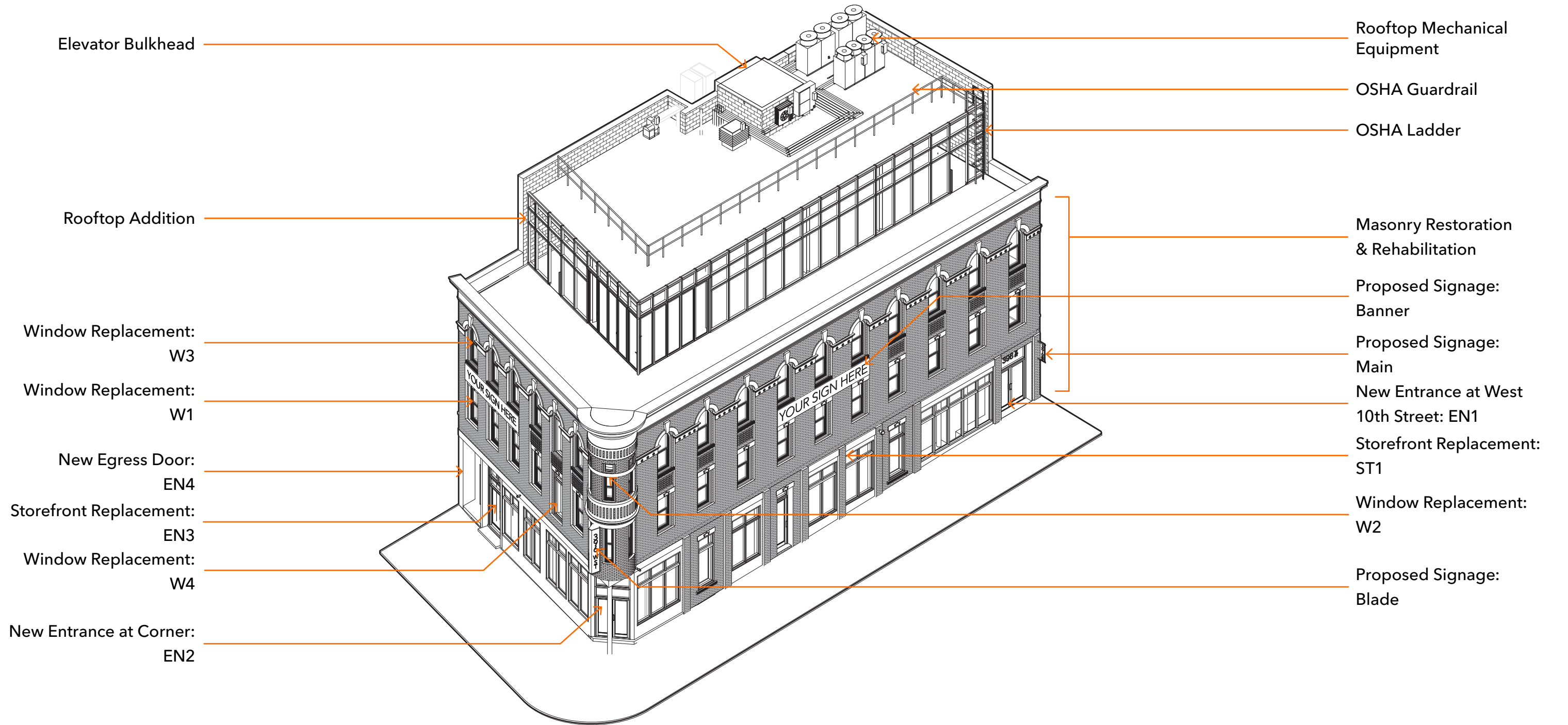
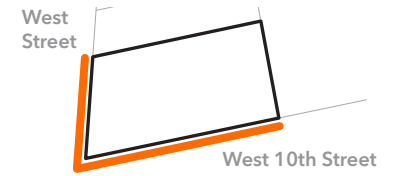
- Facade Repair
- Repairs of Structural Issues on Facade
- Re-establish Historic Entrances and Storefront configuration

To Promote Wellness and Interior Comfort through Building Upgrades

- Increased Access to Fresh Air and Natural Light at the Rooftop Addition
- Increased Access to Fresh Air at New Roof Terrace
- Upgrades Mechanical Systems to Improve Interior Comfort

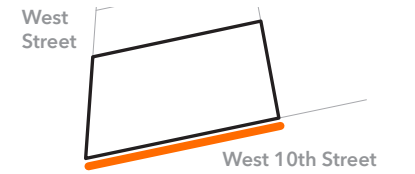
Scope

Proposed Interventions - Axon



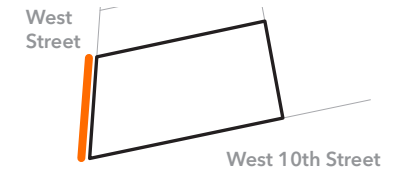
Scope

Proposed Interventions - South Elevation



Scope

Proposed Interventions - West Elevation

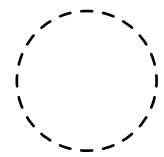


Scope

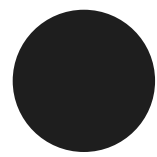
Materials and Finishes

* All Finishes To Be Tested In Small Mockup Areas

Storefront & Window & Curtain Wall System

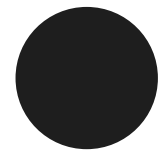


Clear IGU

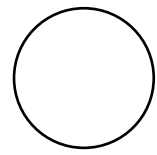


Powder Coated Atlantic Gray Aluminum (Kawneer)

Signage

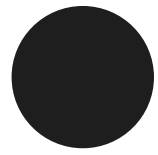


Atlantic Gray Metal Panel (Color Match)



White Painted Plastic Letter

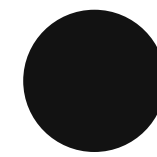
Security Camera Housing



Atlantic Gray (Color Match)

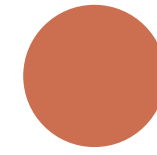
Page 106 Security Camera Cutsheet

Galvanized Sheet Metal (Cornice)



Tnemec Chembuild Series 135 Black 35GR

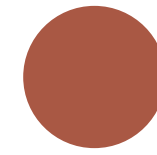
Masonry



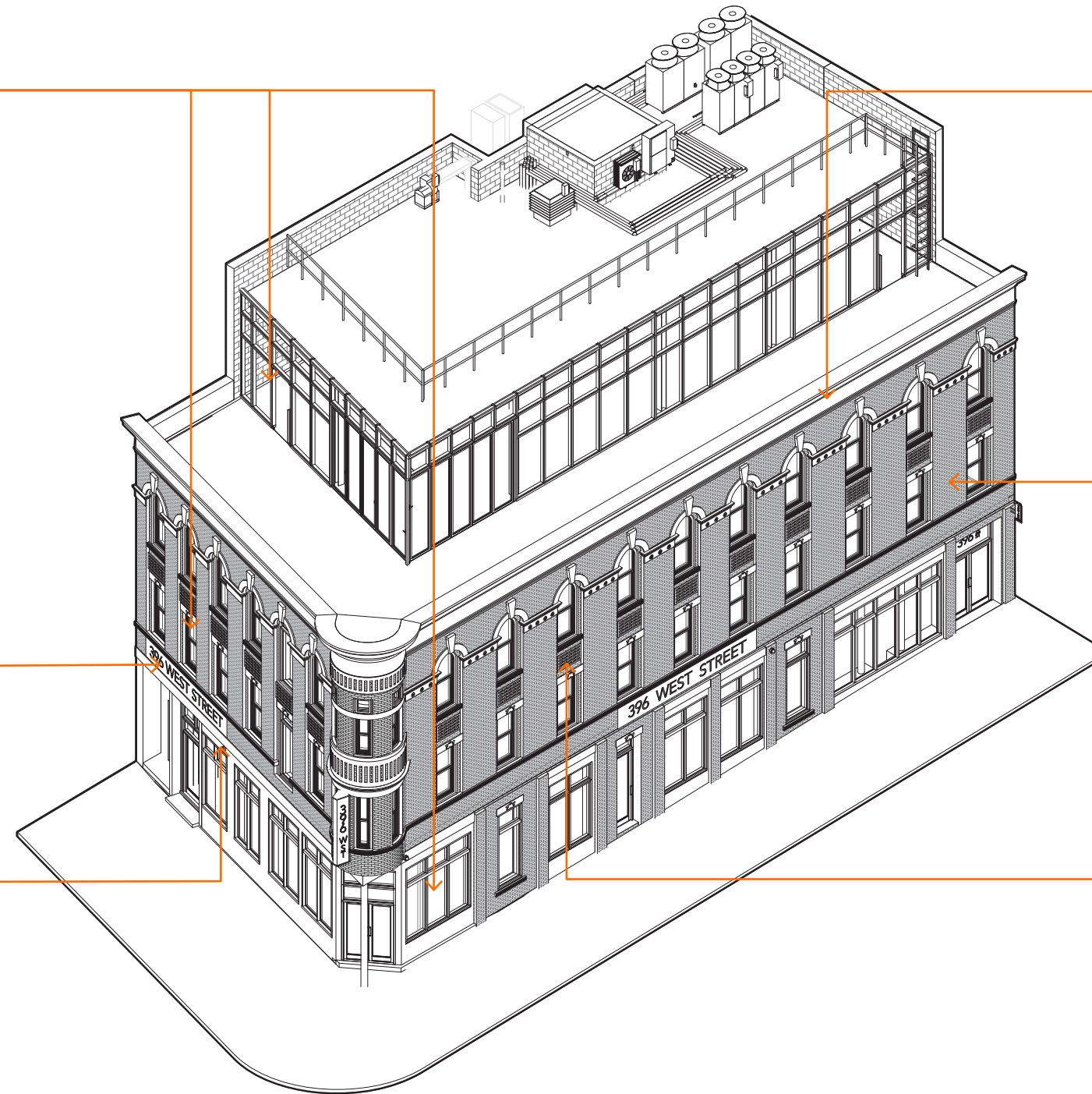
Edison Coatings Elasto Wall 351 (Color Match with BEHR Tiki Torch M180-6)

Page 97 Masonry Mortar Specifications
Page 98 Unit Masonry Specifications
Page 104 Sealants & Caulking Specifications

Terracotta



Keim Restauero Mineral System Lasur + Fixativ (Color Match with Benjamin Moore Egyptian Clay CSP-1140)



Masonry Restoration & Rehabilitation



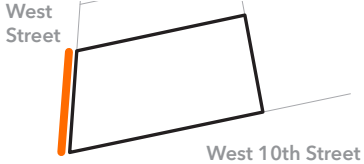
Masonry Restoration & Rehabilitation

Elevation Diagram - South



Masonry Restoration & Rehabilitation

Elevation Diagram - West



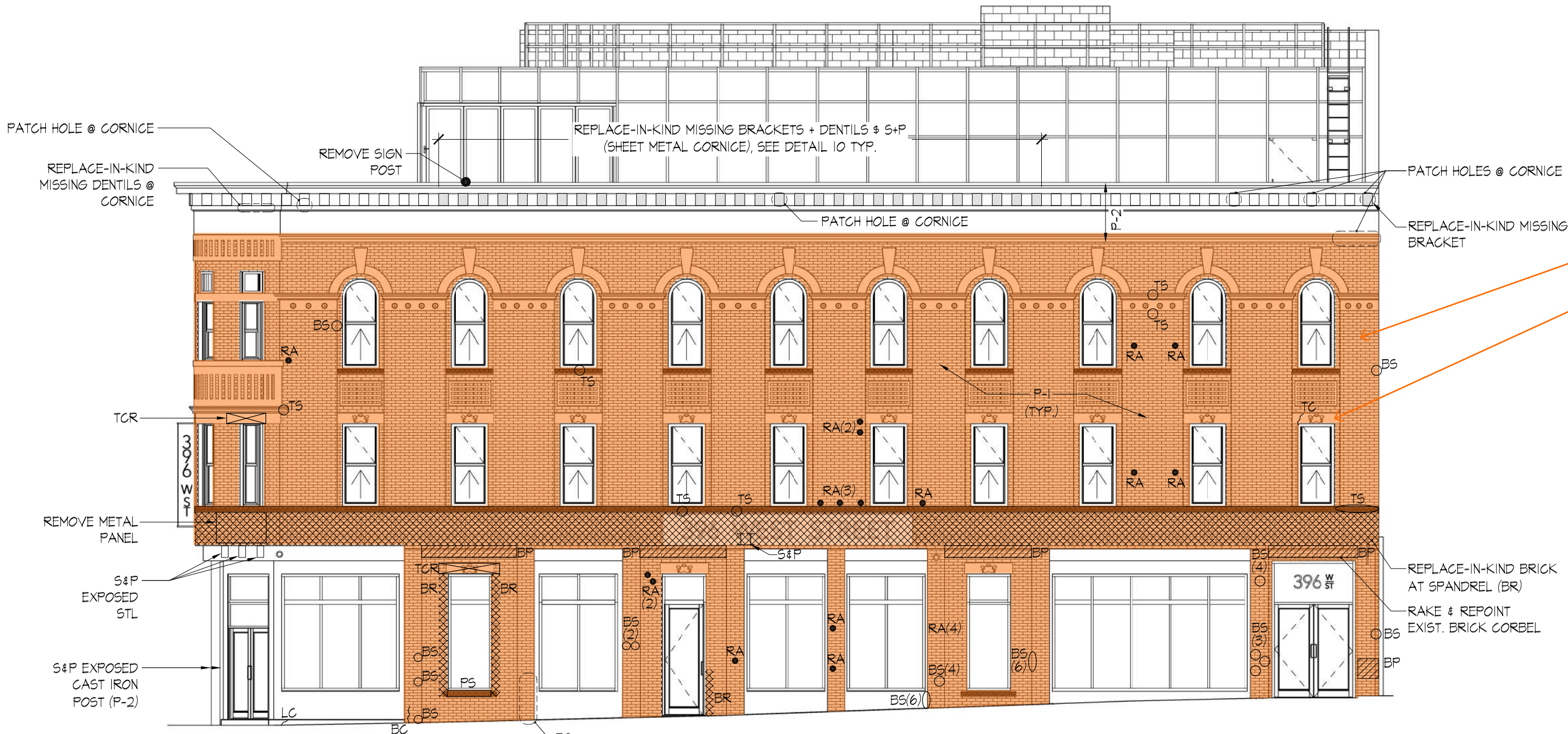
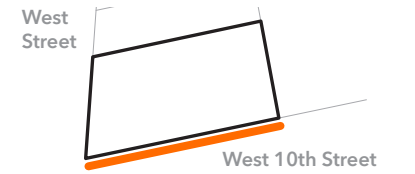
Masonry Restoration & Rehabilitation

South Facade - Existing



Masonry Restoration & Rehabilitation

South Elevation - Proposed Rehabilitative Treatment



- BEHR Tiki Torch M180-6 (Brick)
- Benjamin Moore Egyptian Clay CSP-1140 (Terracotta)

| | | |
|--------|--|-----------------------|
| BP | | Page 94 Detail 1 |
| (X) | | Page 94 Detail 2 |
| BC | | Page 94 Detail 3 |
| BR | | Page 94 Detail 5/5A |
| LC | | Page 94 Detail 4 |
| P-1 | | See Specifications |
| PS | | Page 96 Detail 10 |
| Px | | See Elevation |
| RA | | Page 95 Detail 6 |
| SQL | | Page 95 Detail 7 |
| S&P | | See Specifications |
| TCOJ | | Page 94 Detail 1B |
| TC/TCI | | Page 94/95 Detail 4/8 |
| TS | | Page 96 Detail 9 |
| TCR | | See Specifications |

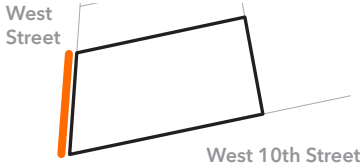
- Notes:**
1. Rake & Repoint All Terracotta Joints (TCOJ)
 2. Scrape + Paint (S+P) Exposed Steel w/ Tnemec 'Chembuild' 135 or Equal (P-2)
 3. Power Wash Exist. Brick & Terracotta (500 PSI Max.) & Repaint w/ Edison Products Breathable Acrylic Coating or Equal (P-1)
 4. Power Wash Exist. Pressed Galv. Sht. Mtl. (500 PSI Max.) Cornice. Solder All Open Seams. Repaint w/ Tnemec 'Chembuild' 135 or Equal
 5. For Cornice Repair. Contractor to Match the Existing Cornice Components by Taking Accurate Field Measurements, Matching the Material and by Providing Shop Drawings for the Architect's Review

Page 102 Masonry Cleaning Specifications



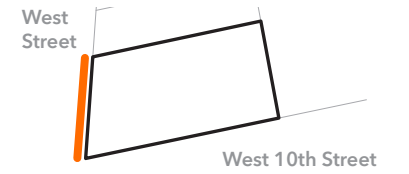
Masonry Restoration & Rehabilitation

West Facade - Existing



Masonry Restoration & Rehabilitation

West Elevation - Proposed Rehabilitative Treatment



- BEHR Tiki Torch M180-6 (Brick)
- Benjamin Moore Egyptian Clay CSP-1140 (Terracotta)

| | | |
|--------|--|-----------------------|
| BP | | Page 94 Detail 1 |
| (X) | | Page 94 Detail 2 |
| BC | | Page 94 Detail 3 |
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| Px | | See Elevation |
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| SQJ | | Page 95 Detail 7 |
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| TC/TCI | | Page 94/95 Detail 4/8 |
| TS | | Page 96 Detail 9 |
| TCR | | See Specifications |

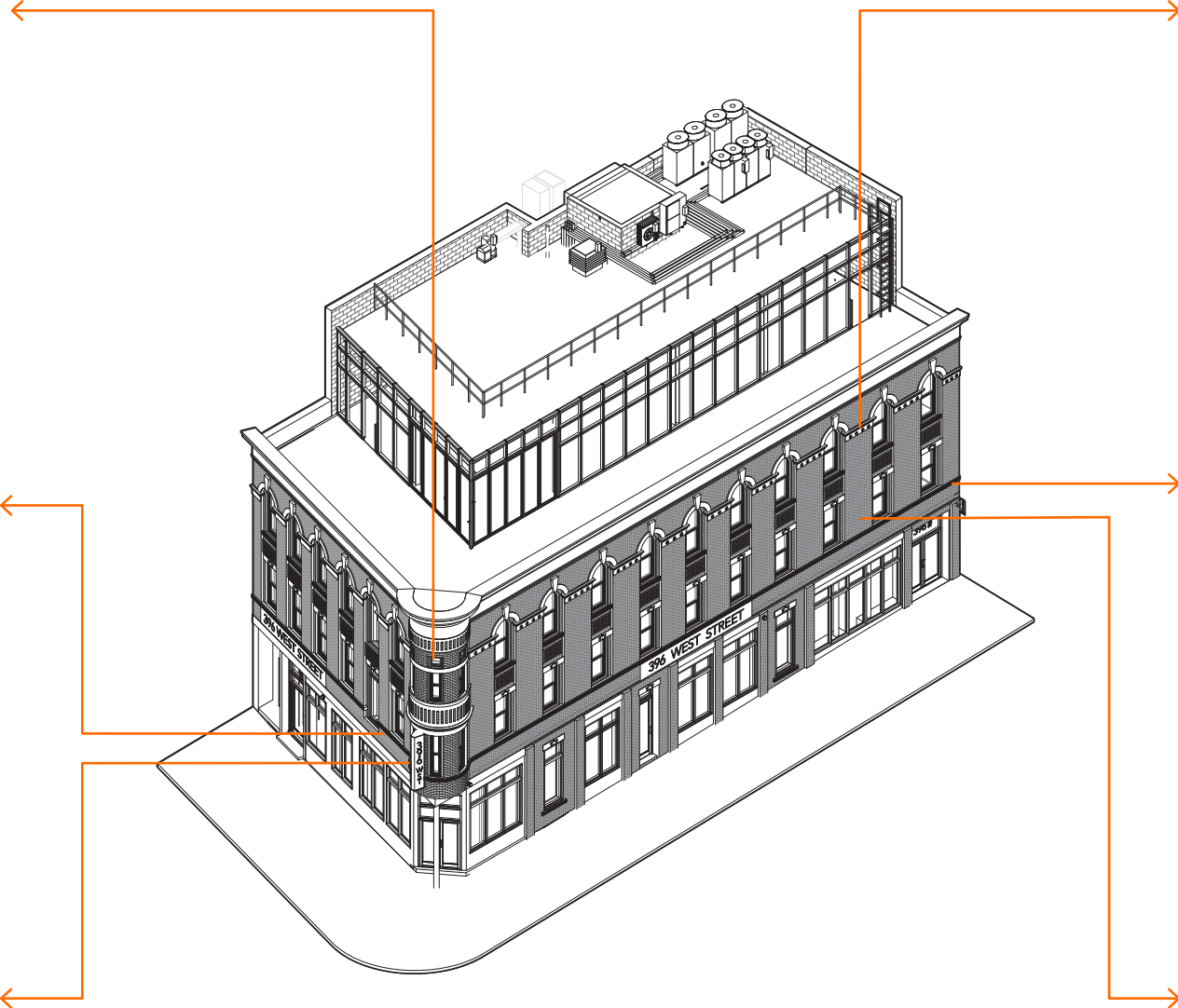
Notes:

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Page 102 Masonry Cleaning Specifications

Masonry Restoration & Rehabilitation

Existing Mortar Pointing Conditions



Window



Window

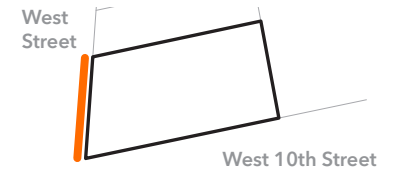
Elevation Diagram - South



* Contemporary Interpenetration of Ornament Details at Sill and Lintel

Window

Elevation Diagram - West



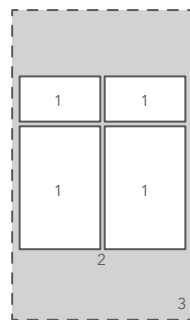
Window

Historic/Existing/Proposed Analysis - ST1 & ST2

Historic (1927/1932/1941)



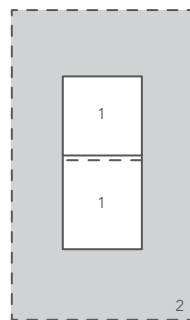
Historic Storefront



- 1. Fixed Window
- 2. Thin Frame Profile
- 3. Dark Color Finish

ST1-Historic
(Fixed Windows)

Historic Storefront



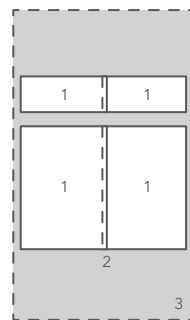
- 1. Hung Window
- 2. Dark Color Finish

ST2-Historic

Existing (2019)



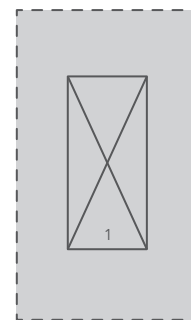
Existing Storefront



- 1. Slide Window
- 2. Thin Frame Profile
- 3. Dark Color Finish

ST1-Existing
(Slide Windows)

Existing Storefront



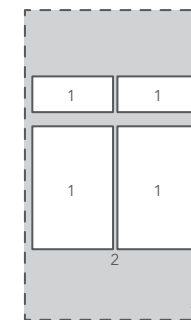
- 1. Infill

ST2-Existing

Proposed



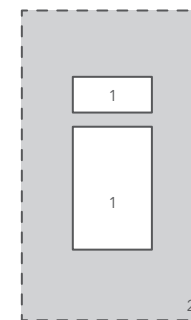
Proposed Storefront: ST1



- 1. Fixed Window
- 2. Thin Frame Profile
- 3. Dark Color Finish

ST1
(Fixed Windows)

Proposed Storefront: ST2



- 1. Fixed Window
- 2. Dark Color Finish

ST2

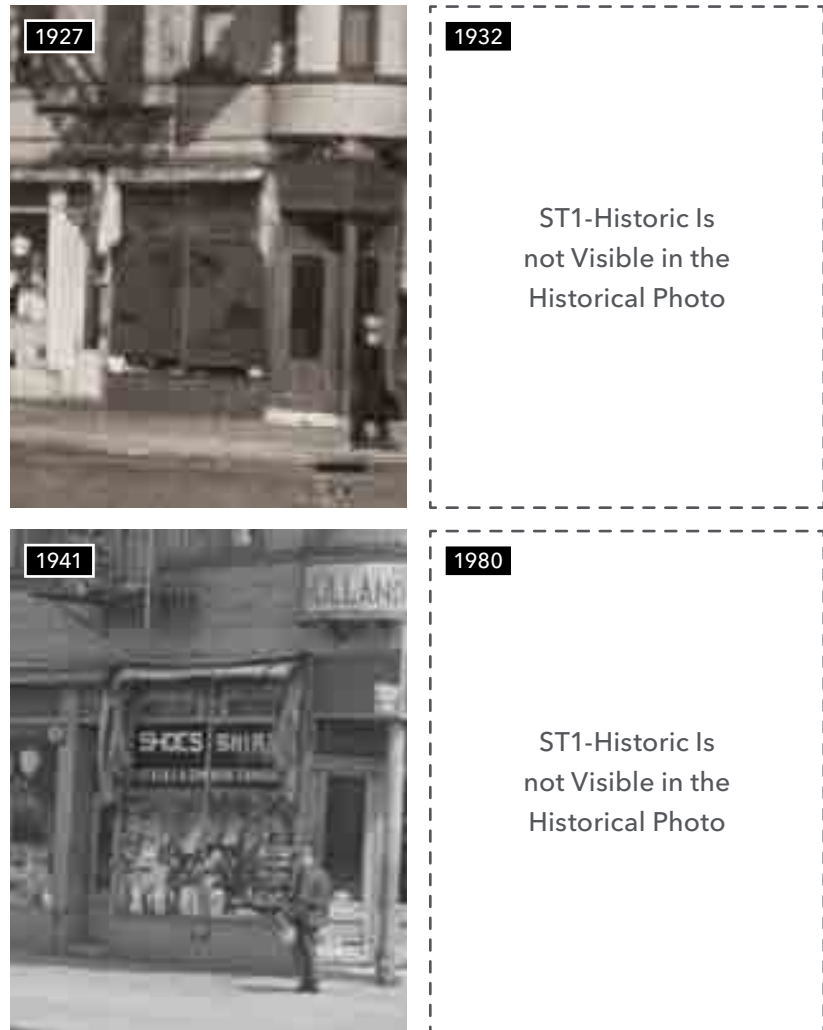
Window

Historic/Existing/Proposed - ST1

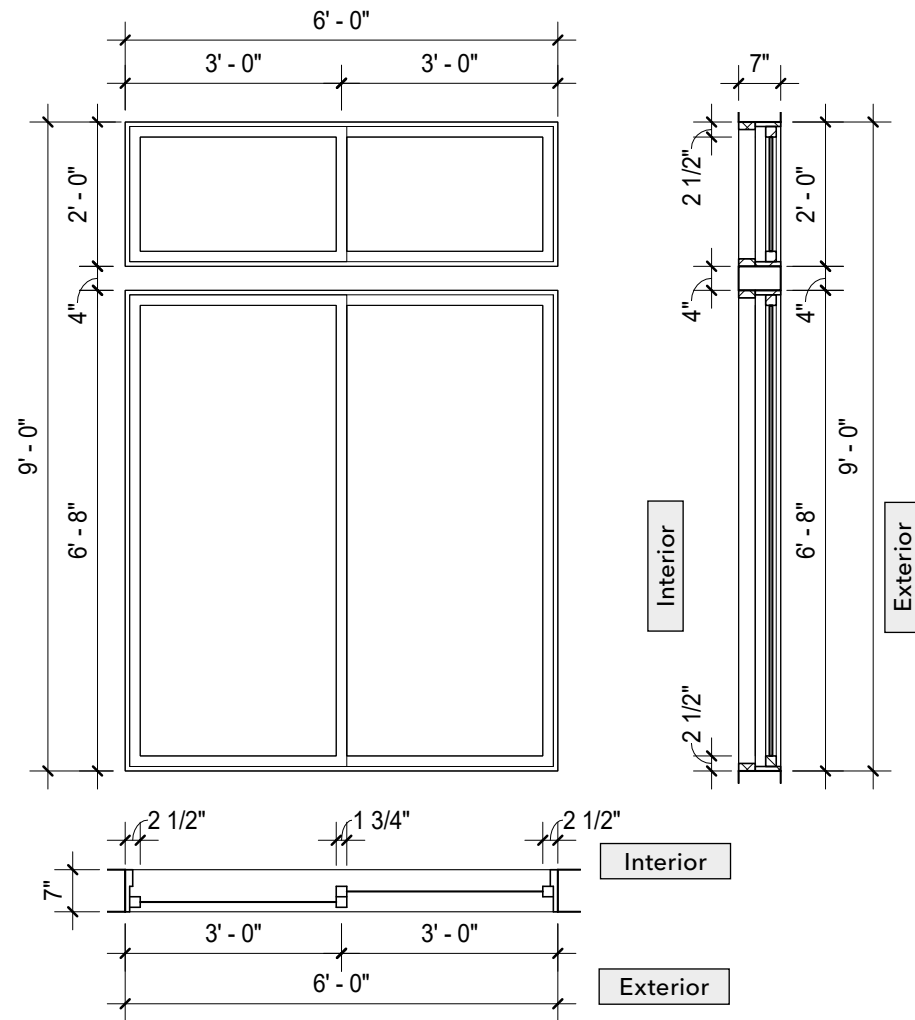
Historic (1927/1941)

Existing (2021)

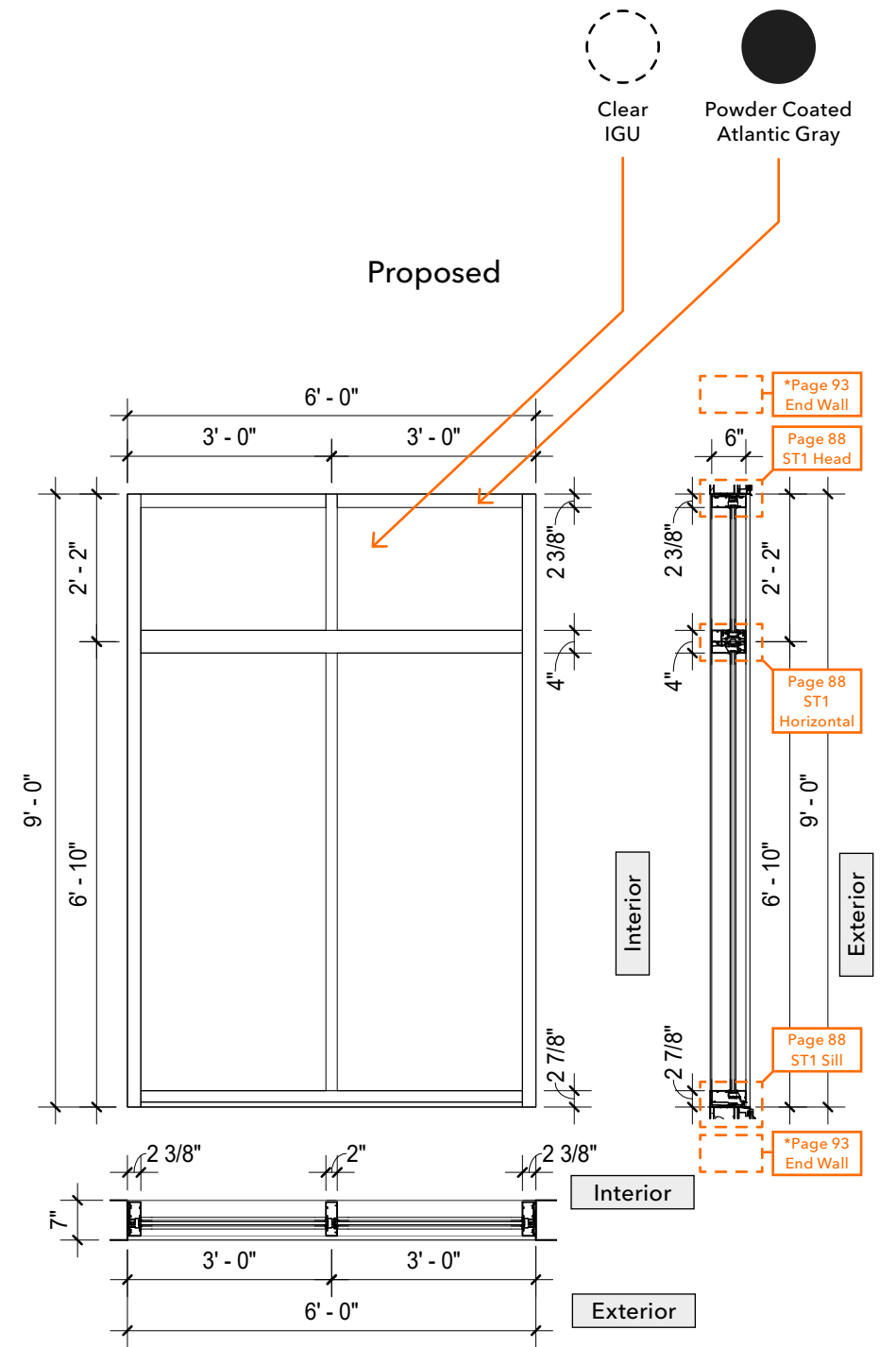
Proposed



Historic Storefront: ST1-Historic
(Photo)



Existing Storefront: ST1-Existing
(3/8" = 1'-0")



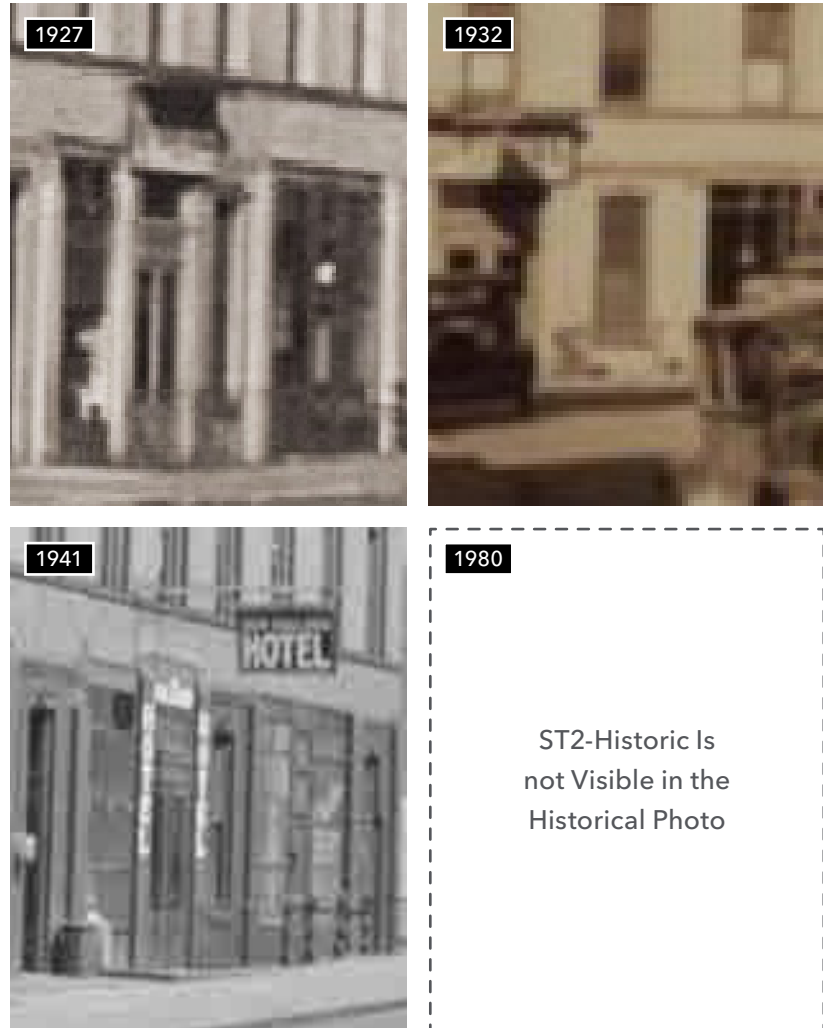
Proposed Storefront: ST1
(3/8" = 1'-0")

* See Page 93 for Details of New Metal Wall to Existing Structures

Window

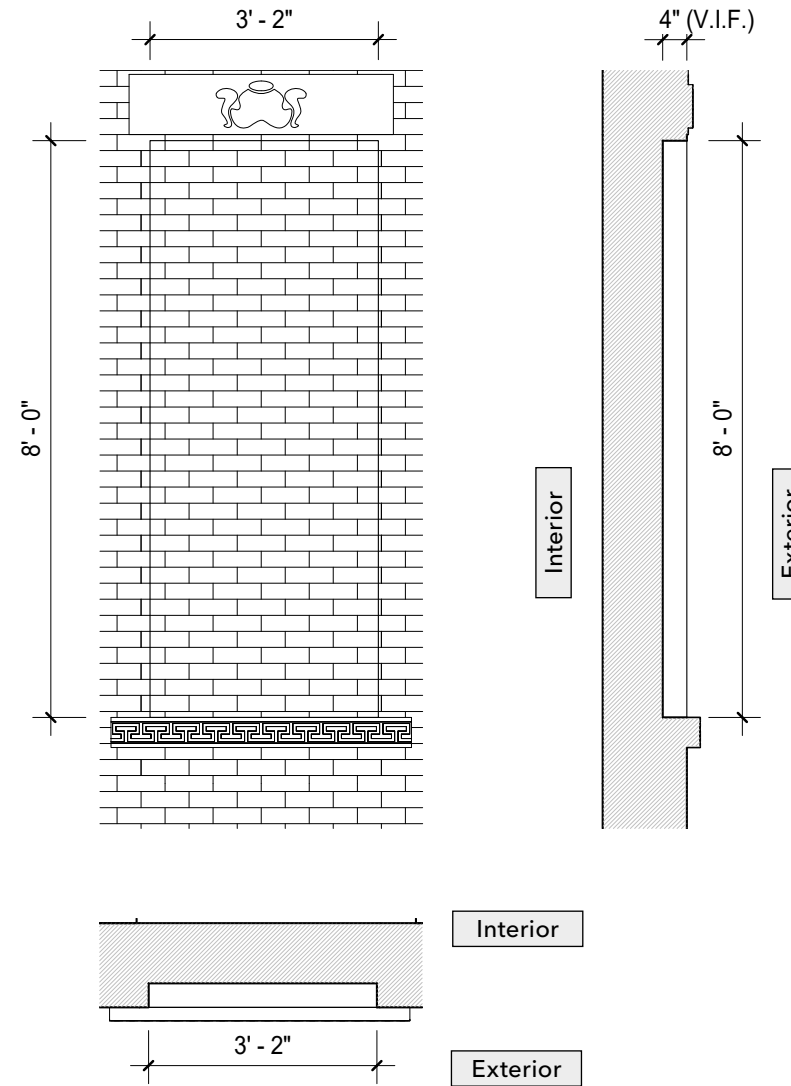
Historic/Existing/Proposed - ST2

Historic (1927/1932/1941)



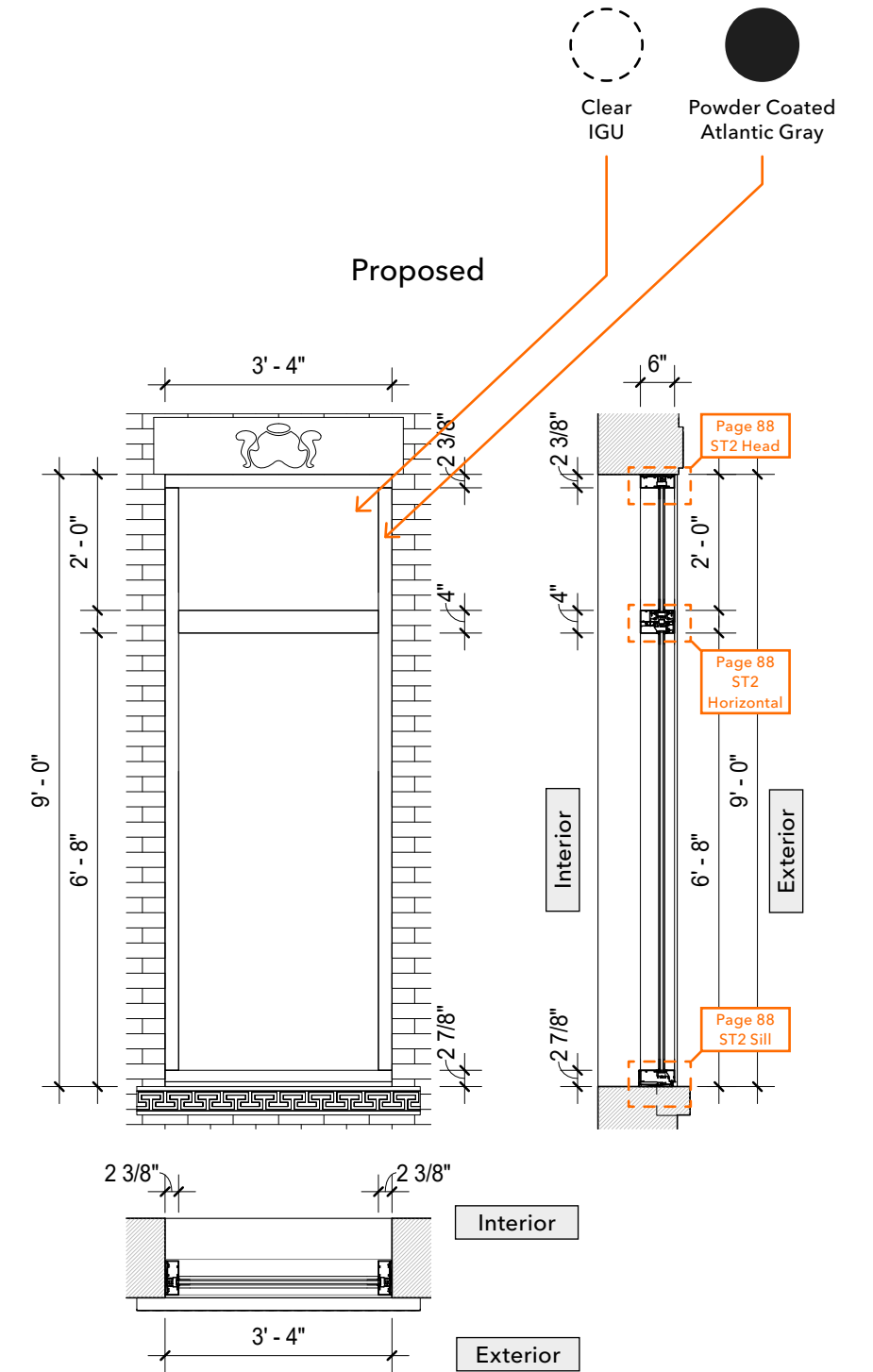
Historic Storefront: ST2-Historic
(Photo)

Existing (2021)



Existing Storefront: ST2-Existing
(3/8" = 1'-0")

Proposed



Proposed Storefront: ST2
(3/8" = 1'-0")

Window

Historic/Existing/Proposed Analysis - W1, W2 & W3

Historic (1927/1932/1941/1980)



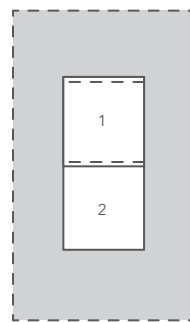
Existing (2019)



Proposed



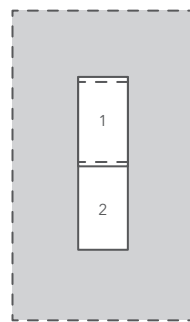
Historic Hung Window



1. Operable Pane

W1-Historic
(Wood Frame)

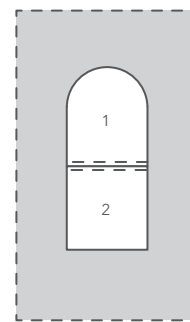
Historic Hung Window



1. Operable Pane

W2-Historic
(Wood Frame)

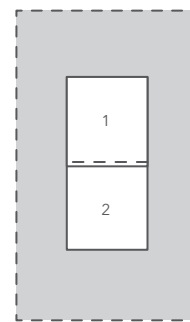
Historic Hung Window: W3



1. Operable Pane

W3-Historic
(Wood Frame)

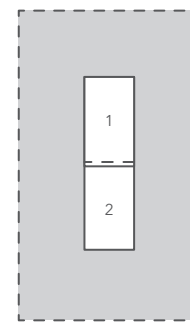
Existing Hung Window



1. Fixed Pane
2. Operable Pane

W1-Existing
(Alum. Frame)

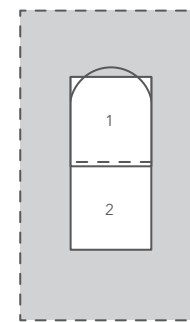
Existing Hung Window



1. Fixed Pane
2. Operable Pane

W2-Existing
(Alum. Frame)

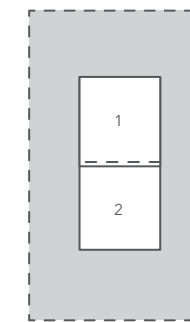
Historic Hung Window: W3



1. Fixed Pane
2. Operable Pane

W3-Existing
(Alum. Frame)

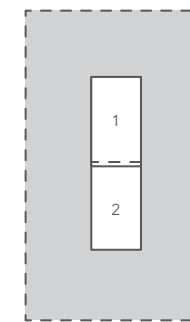
Proposed Hung Window: W1



1. Fixed Pane
2. Operable Pane

W1
(Alum. Frame)

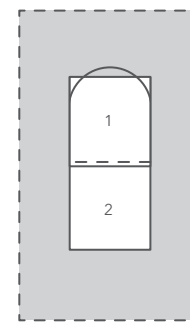
Proposed Hung Window: W2



1. Fixed Pane
2. Operable Pane

W2
(Alum. Frame)

Proposed Hung Window: W3



1. Fixed Pane
2. Operable Pane

W3
(Alum. Frame)

Window

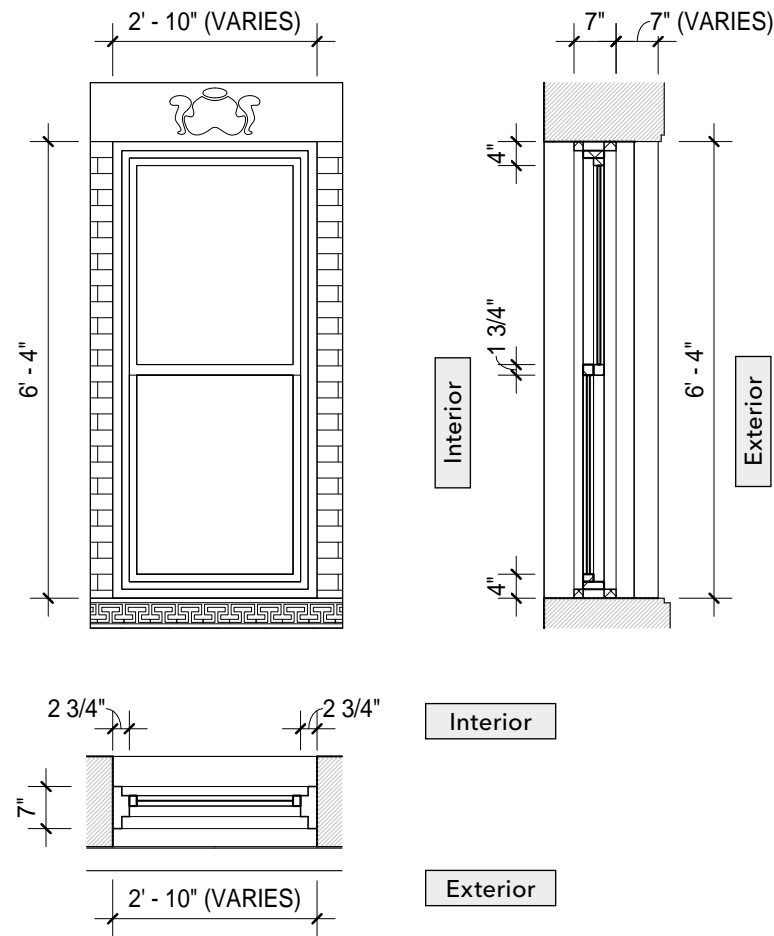
Historic/Existing/Proposed - W1

Historic (1927/1932/1941/1980)



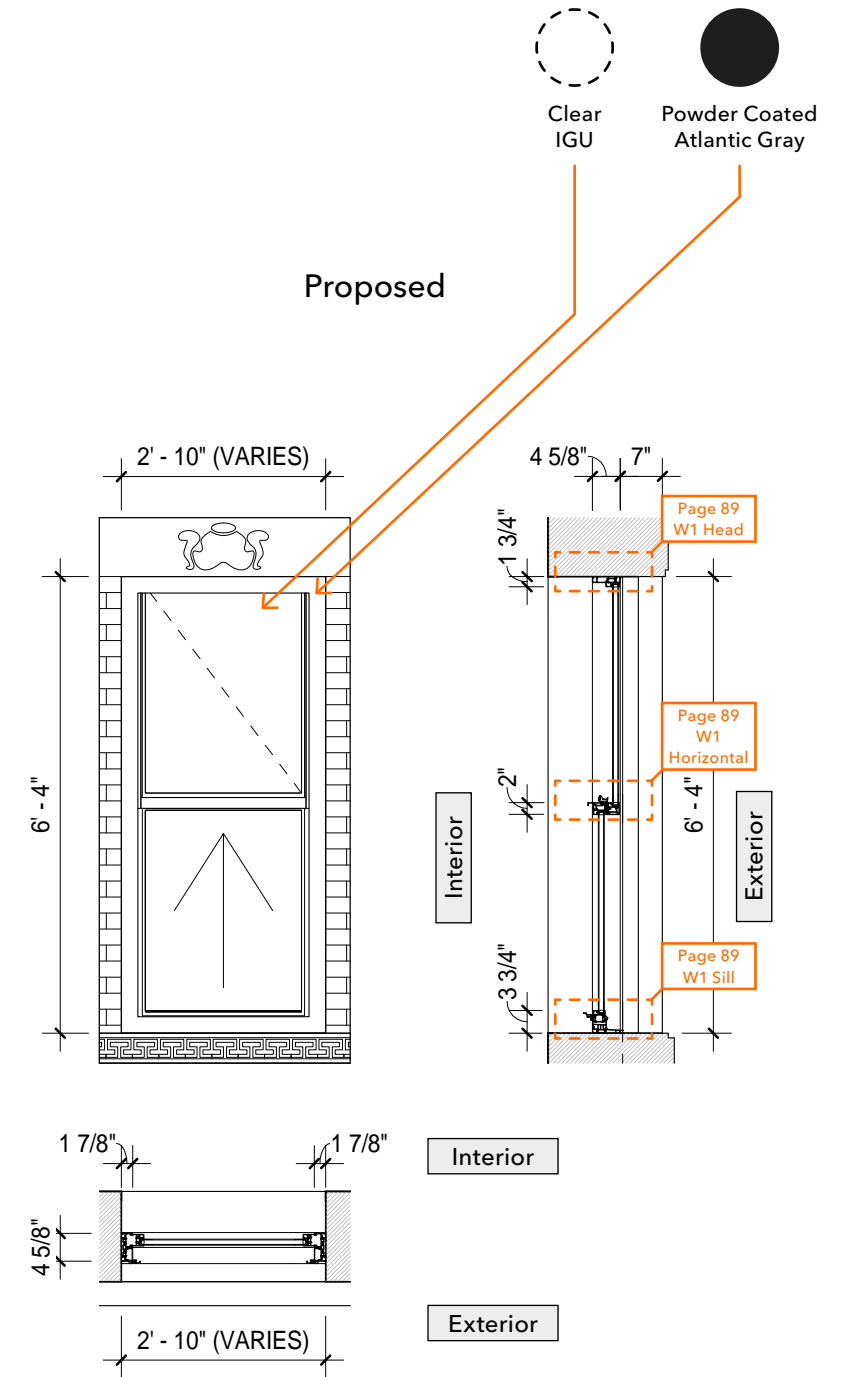
Historic Hung Window: W1-Historic
(Photo)

Existing (2021)



Existing Hung Window: W1-Existing
(3/8" = 1'-0")

Proposed



Proposed Hung Window: W1
(3/8" = 1'-0")

Window

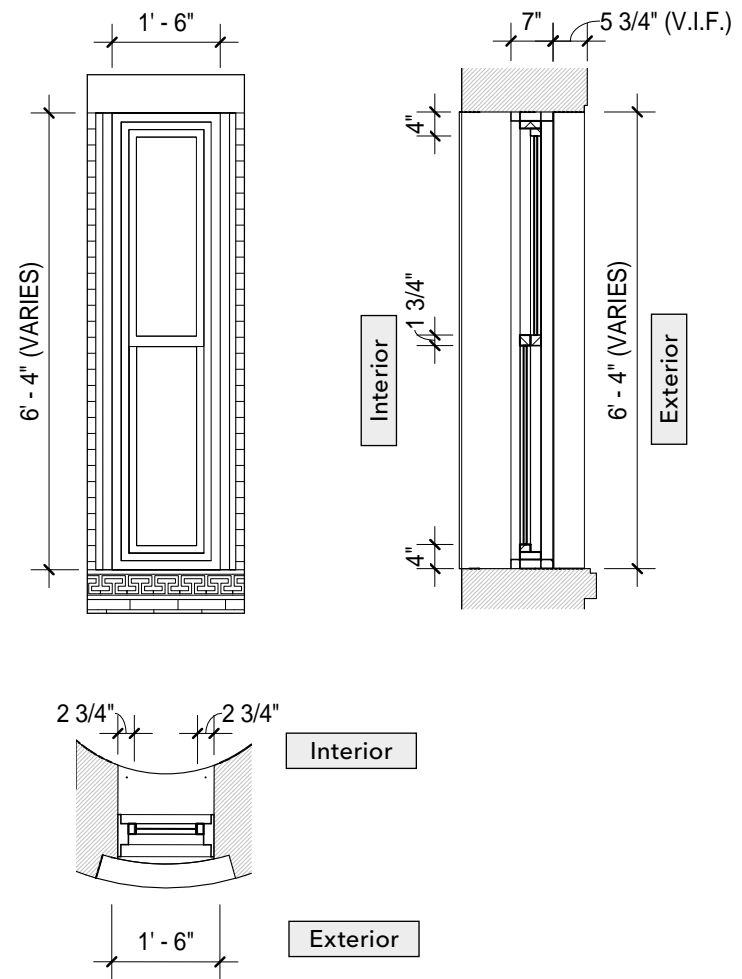
Historic/Existing/Proposed - W2

Historic (1927/1932/1941/1980)



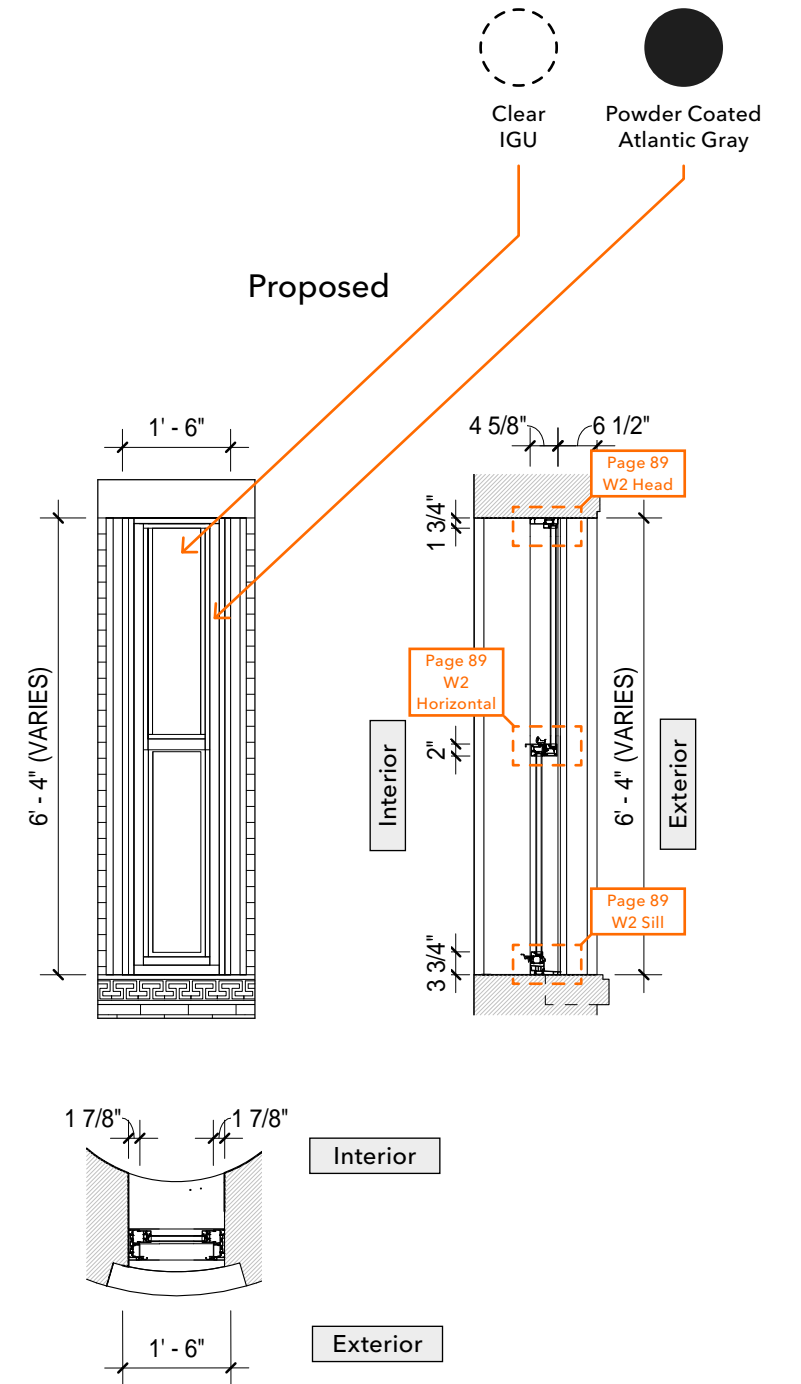
Historic Hung Window: W2-Historic
(Photo)

Existing (2021)



Existing Hung Window: W2-Existing
(3/8" = 1'-0")

Proposed



Proposed Hung Window: W2
(3/8" = 1'-0")

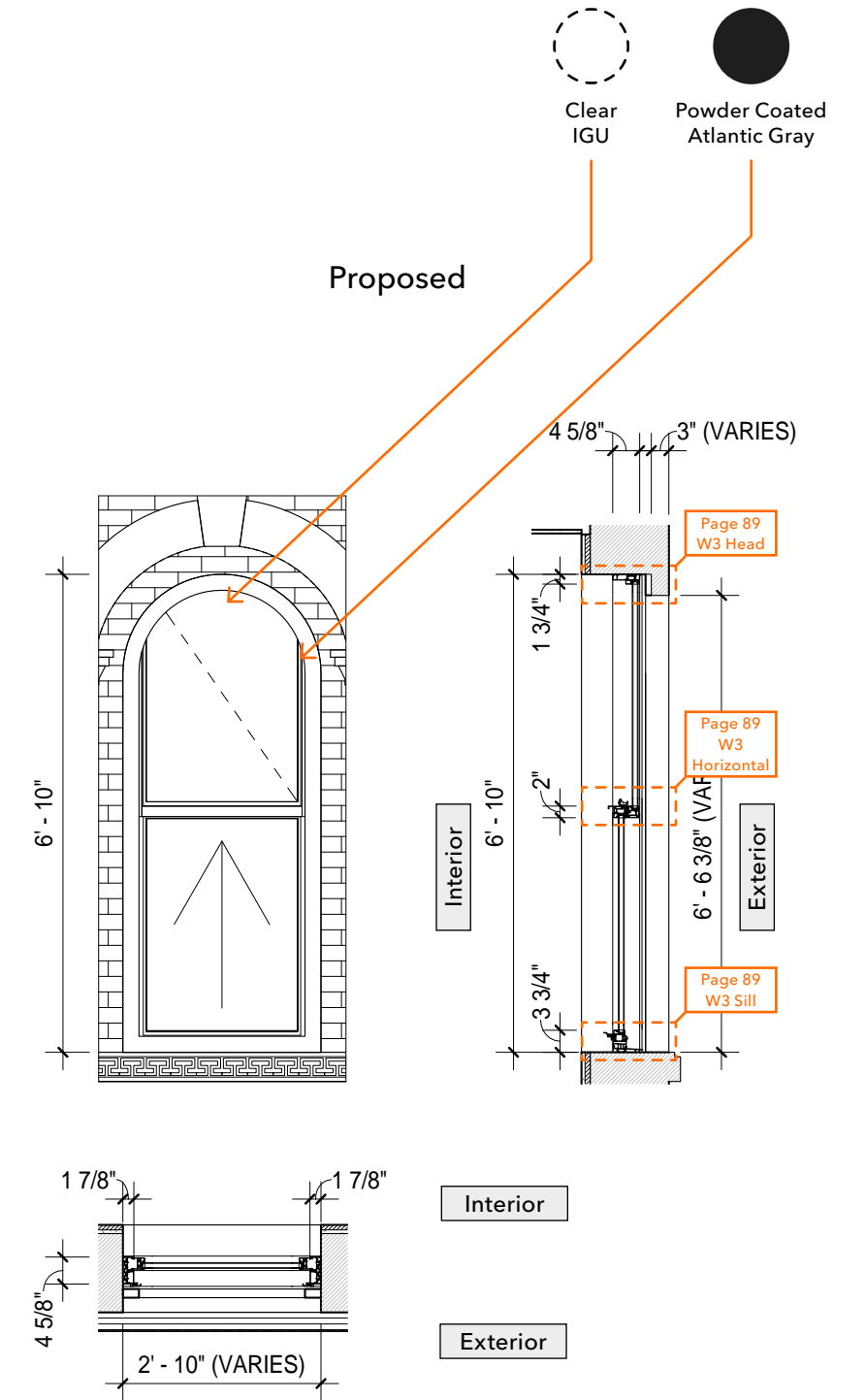
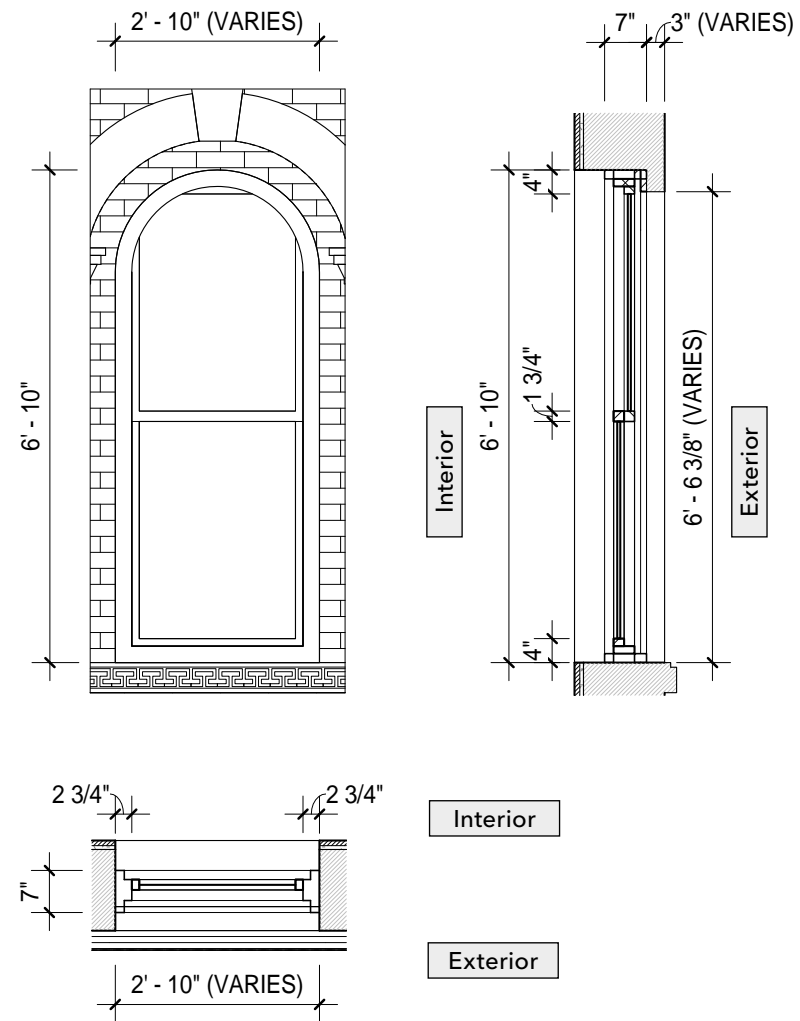
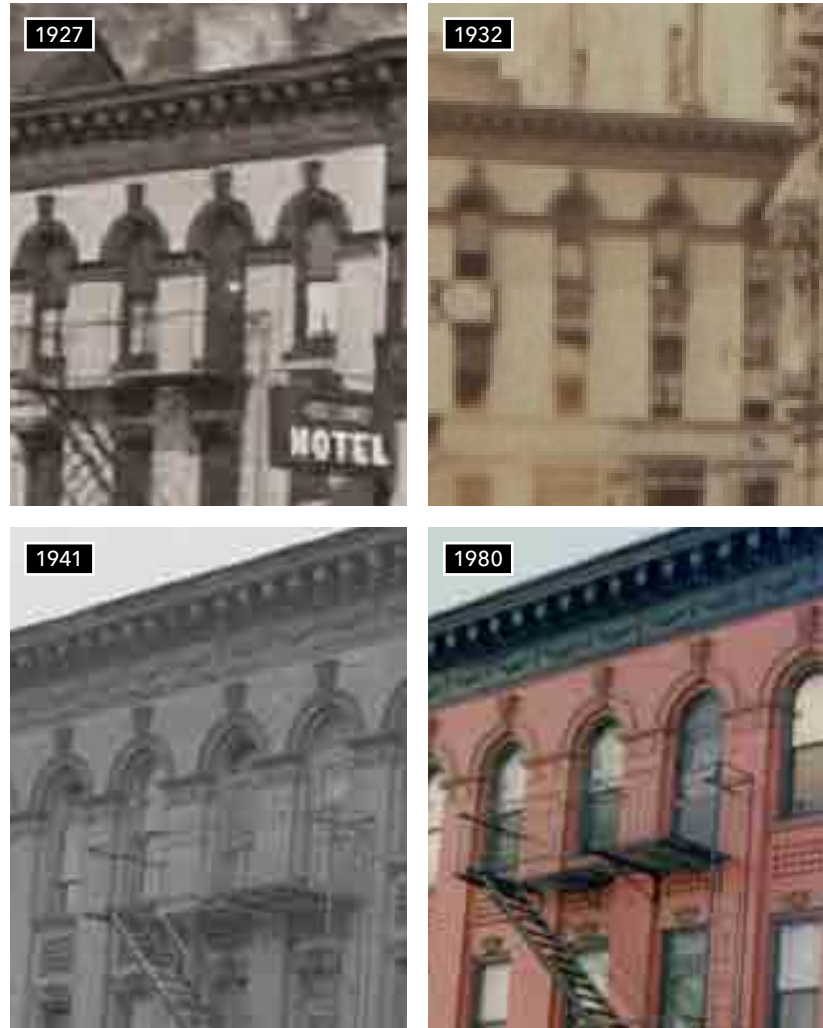
Window

Historic/Existing/Proposed - W3

Historic (1927/1932/1941/1980)

Existing (2021)

Proposed



Historic Hung Window: W3-Historic
(Photo)

Existing Hung Window: W3-Existing
(3/8" = 1'-0")

Proposed Hung Window: W3
(3/8" = 1'-0")

Window

Historic/Existing/Proposed Analysis - W4 & W5

Historic (1927/1941/1980)



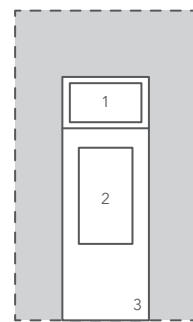
Existing (2021)



Proposed



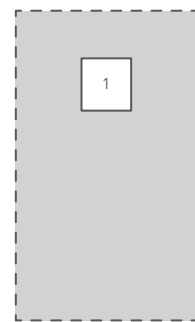
Historic Fire Exit Door



- 1. Fixed Pane
- 2. Vision Panel
- 3. Door

W4-Historic (Door)

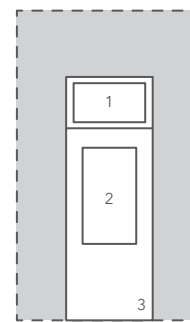
Historic Fixed Window



- 1. Fixed Window

W5-Historic (Wood Frame)

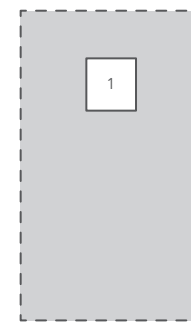
Existing Fire Exit Door



- 1. Fixed Pane
- 2. Vision Panel
- 3. Door

W4-Existing (Door)

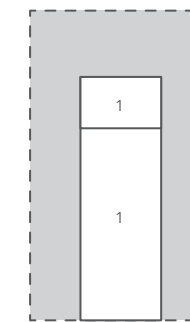
Existing Fixed Window: W5



- 1. Fixed Window

W5-Historic (Alum. Frame)

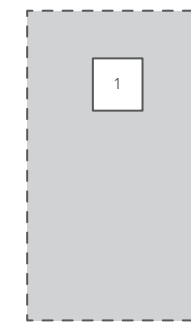
Proposed Fixed Window



- 1. Fixed Pane

W4 (Fixed Window)

Proposed Fixed Window: W5



- 1. Fixed Window

W5-Historic (Alum. Frame)

Window

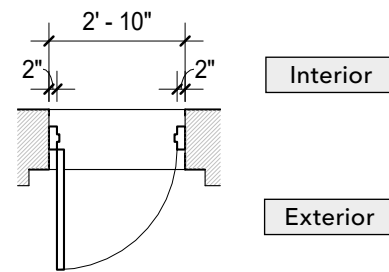
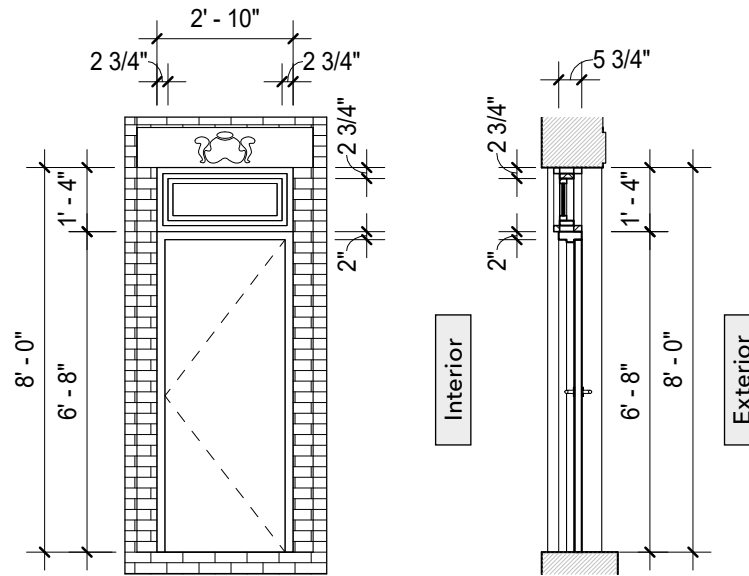
Historic/Existing/Proposed - W4

Historic (1927/1941/1980)



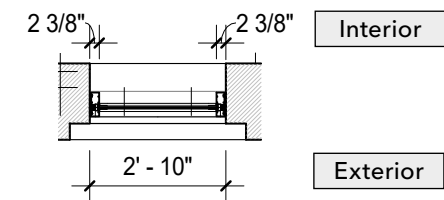
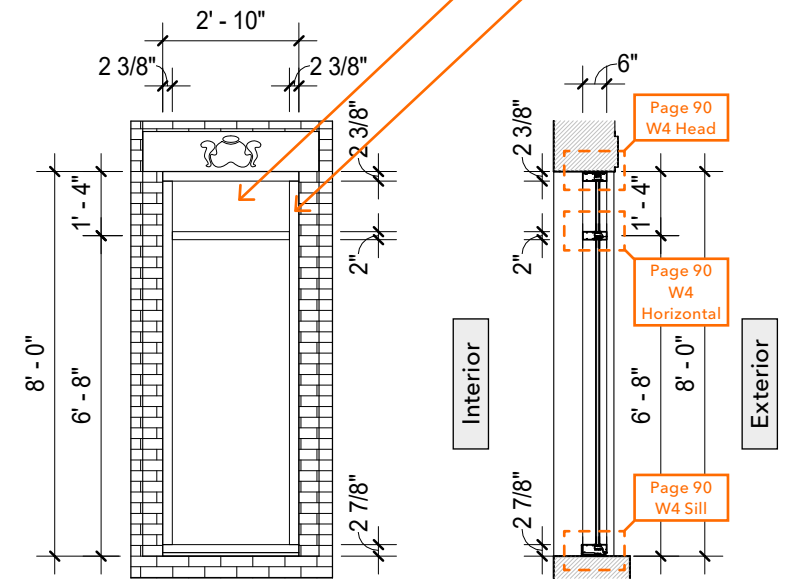
Historic Fire Exit Door
(Photo)

Existing (2021)



Existing Fire Exit Door
(1/4" = 1'-0")

Proposed



Proposed Fixed Window W4
(1/4" = 1'-0")

Window

Historic/Existing/Proposed - W5

Historic (1927/1941/1980)

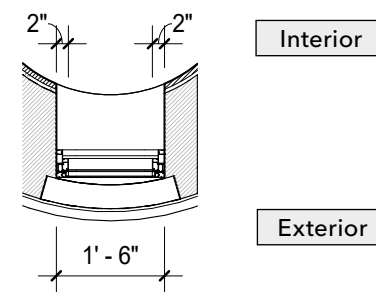
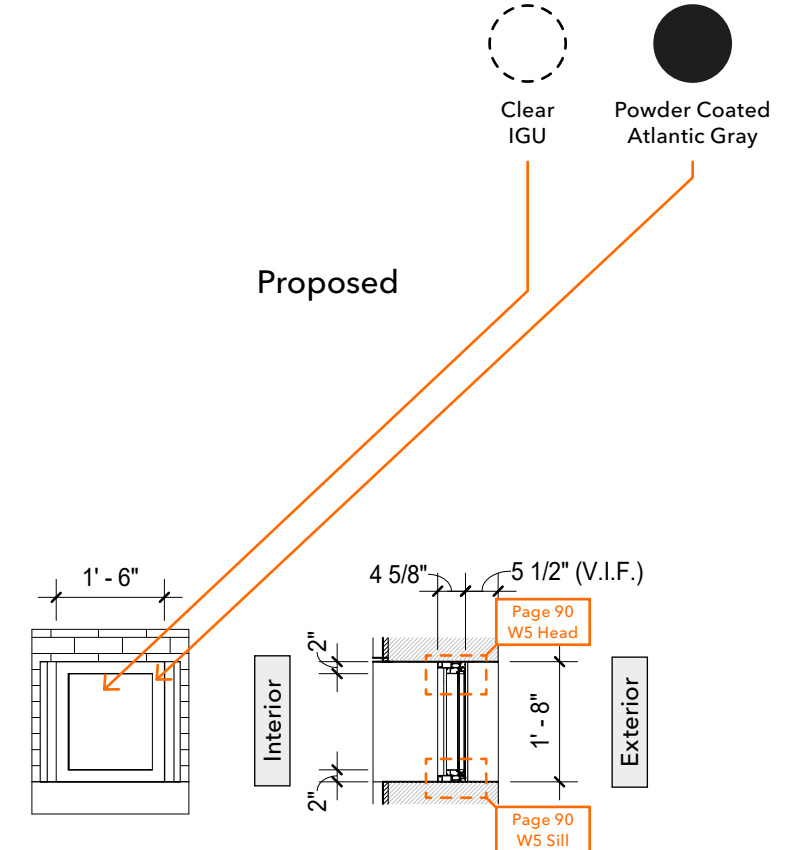
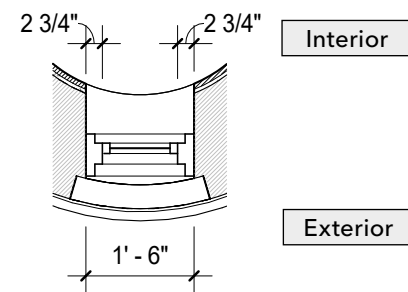
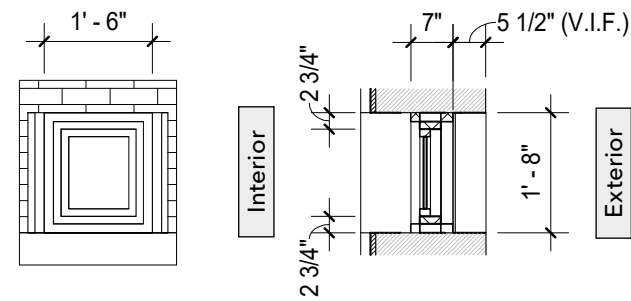
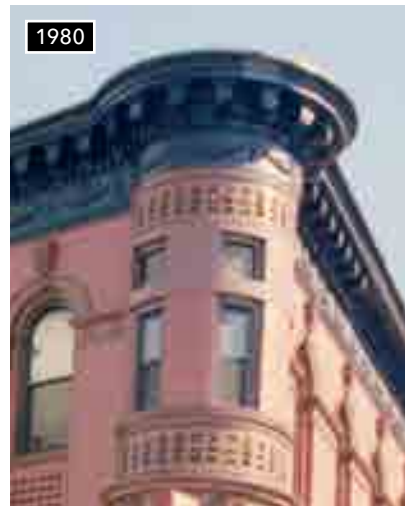
Existing (2021)

Proposed



1932

W5-Historic Is not Visible in the Historical Photo



Historic Fixed Window: W5-Historic
(Photo)

Existing Fixed Window: W5-Existing
(3/8" = 1'-0")

Proposed Fixed Window: W5
(3/8" = 1'-0")

New Entrance



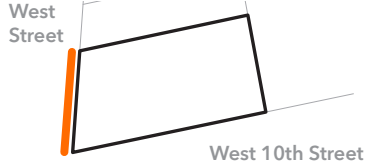
New Entrance

Elevation Diagram - South



New Entrance

Elevation Diagram - West



Storefront Entrance
Replacement:
EN4

New Egress Exit:
EN5

New Entrance at
Southwest Corner:
EN3

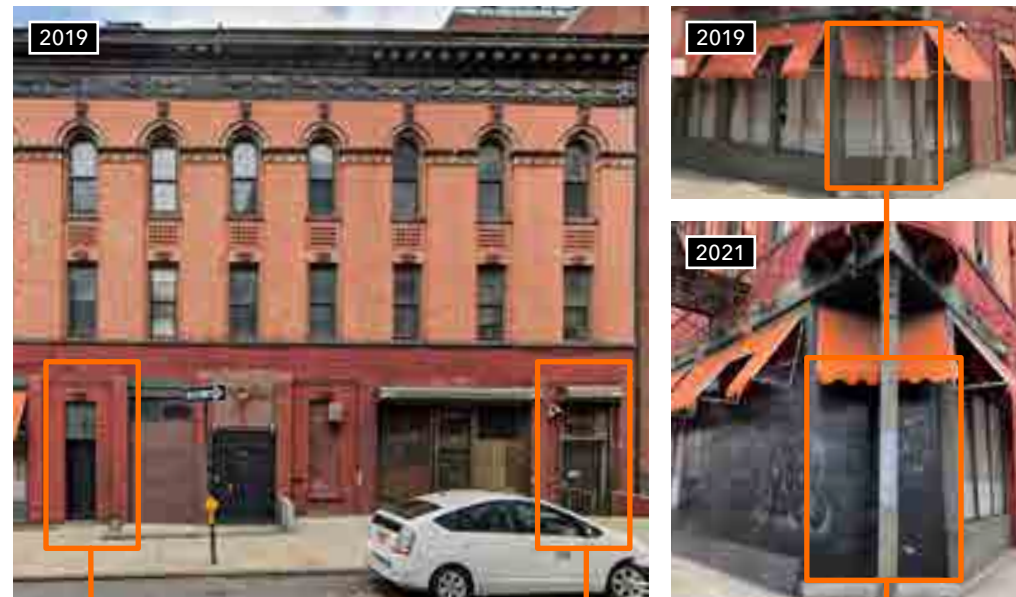
New Entrance

Historic/Existing/Proposed Analysis - EN1, EN2 & EN3

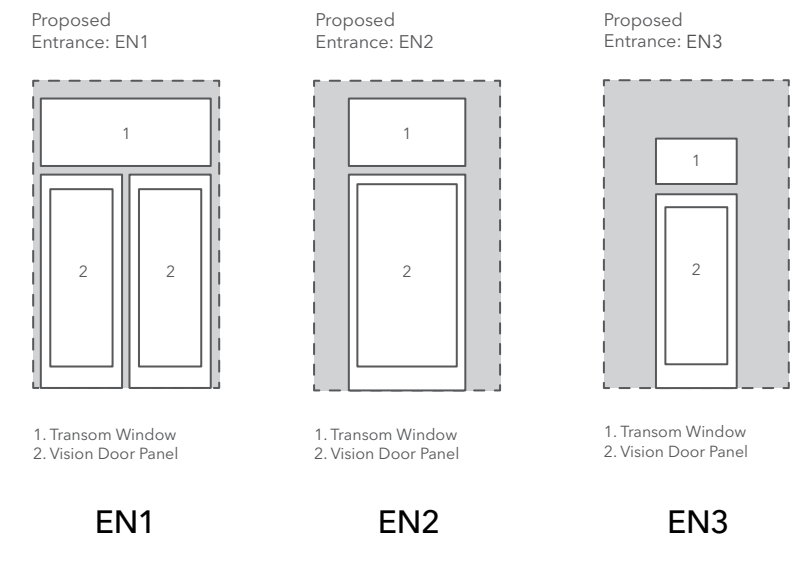
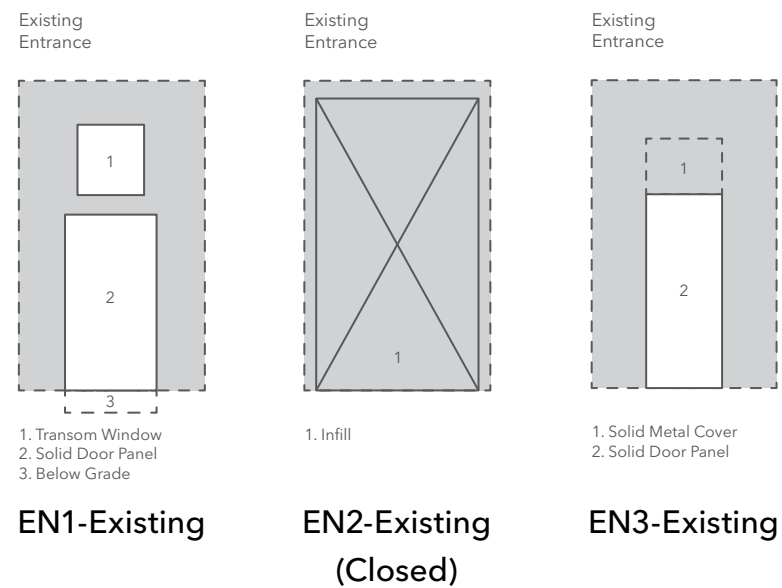
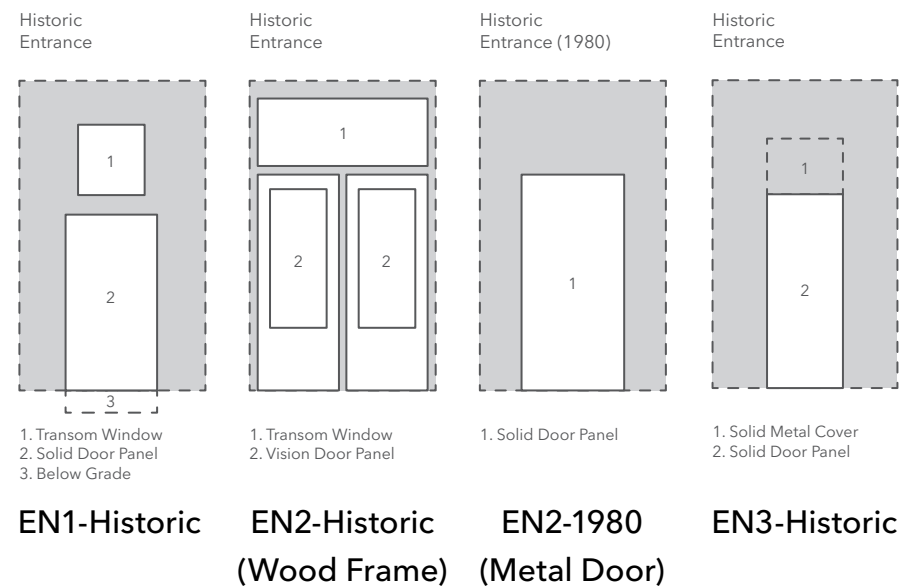
Historic (1927/1932/1941/1980)



Existing (2019/2021)



Proposed

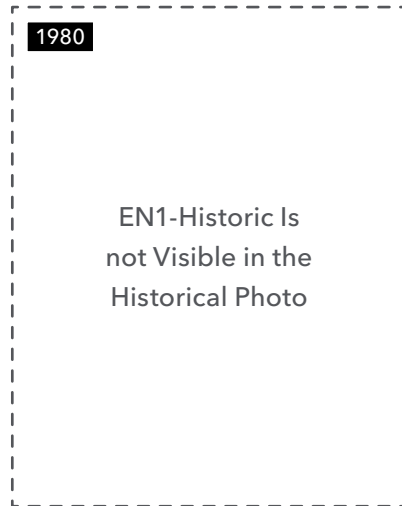
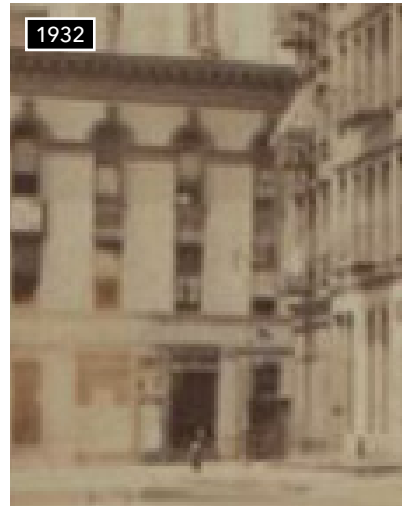


* Sidewalk to Infill to Grade for Accessibility

New Entrance

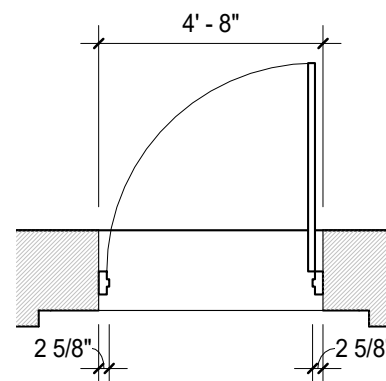
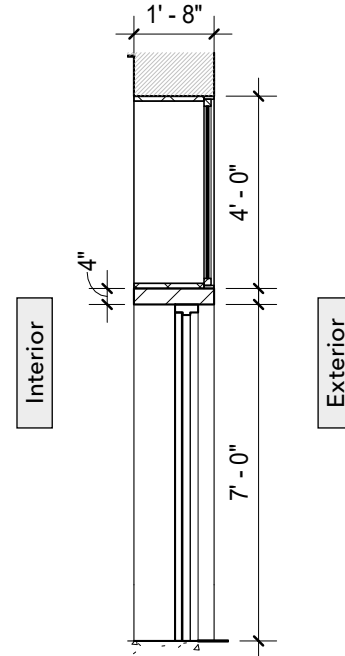
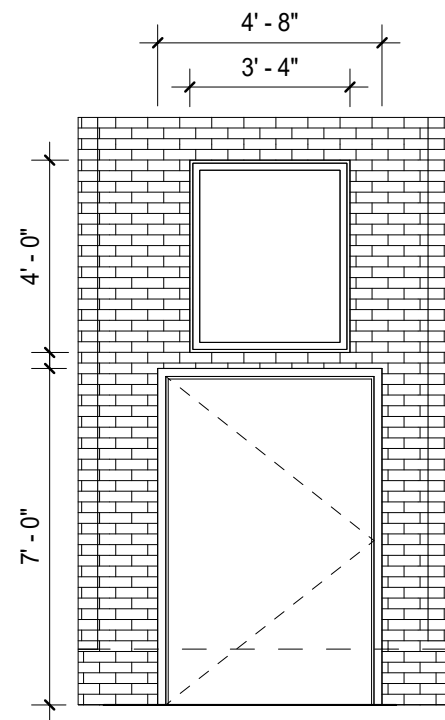
Historic/Existing/Proposed Drawings - EN1

Historic (1927/1932/1941)



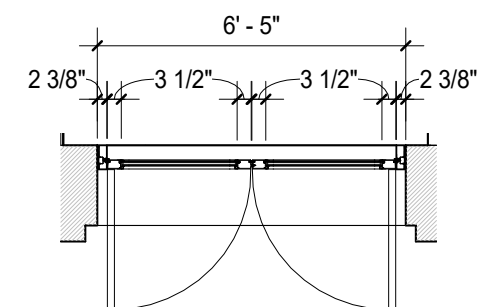
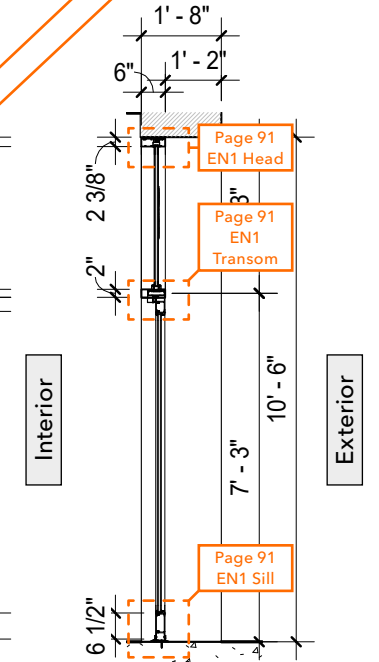
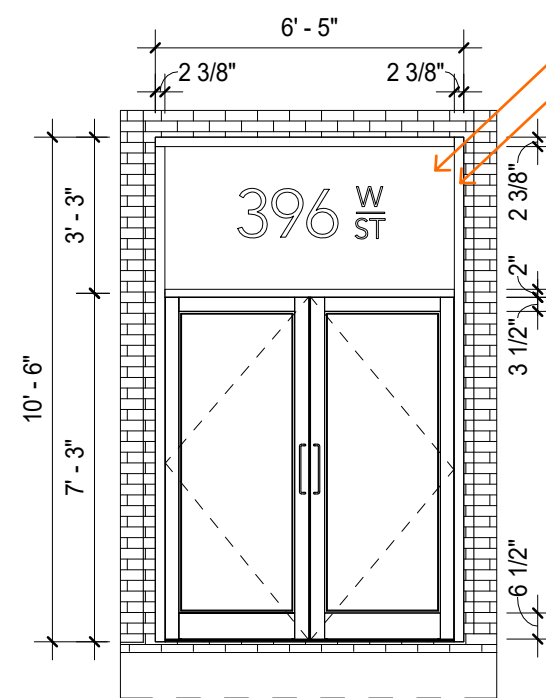
Historic Entrance: EN1-Historic
(Photo)

Existing (2021)



Existing Entrance: EN1-Existing
(1/4" = 1'-0")

Proposed



Proposed Entrance: EN1
(1/4" = 1'-0")

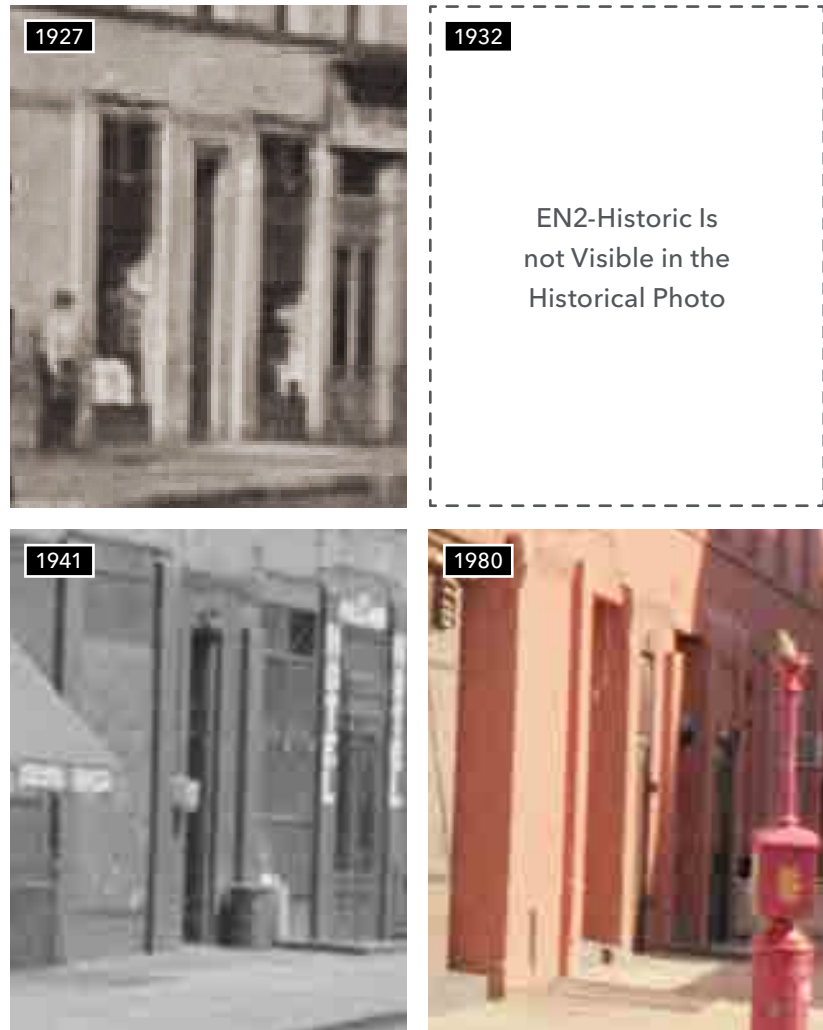
* Letter Signage on EN1 Is 17% of Glazed Area



New Entrance

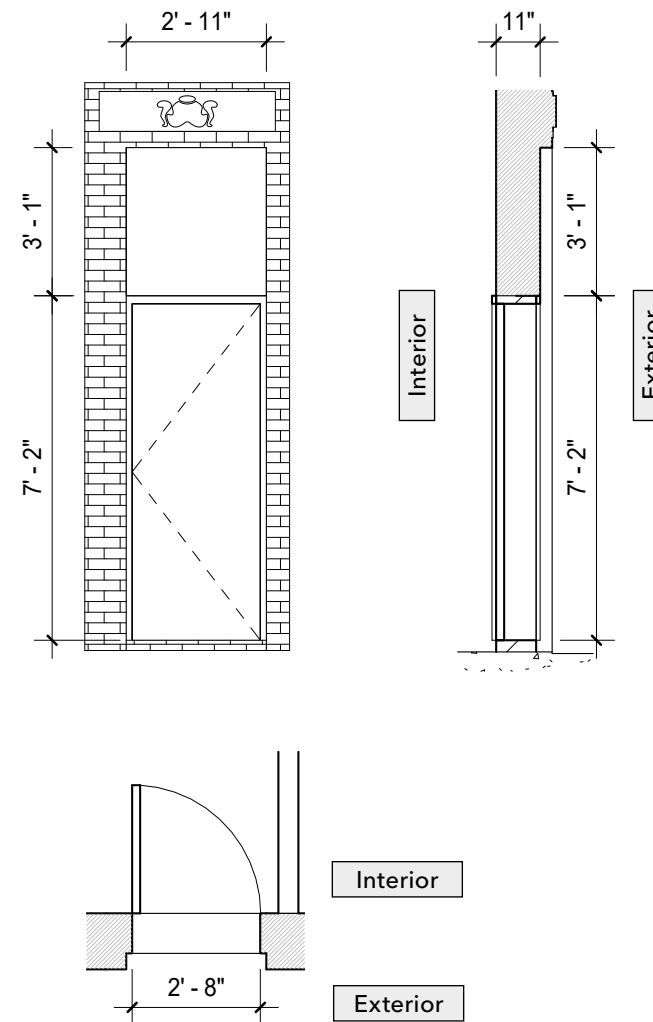
Historic/Existing/Proposed Drawings - EN2

Historic (1927/1941/1980)



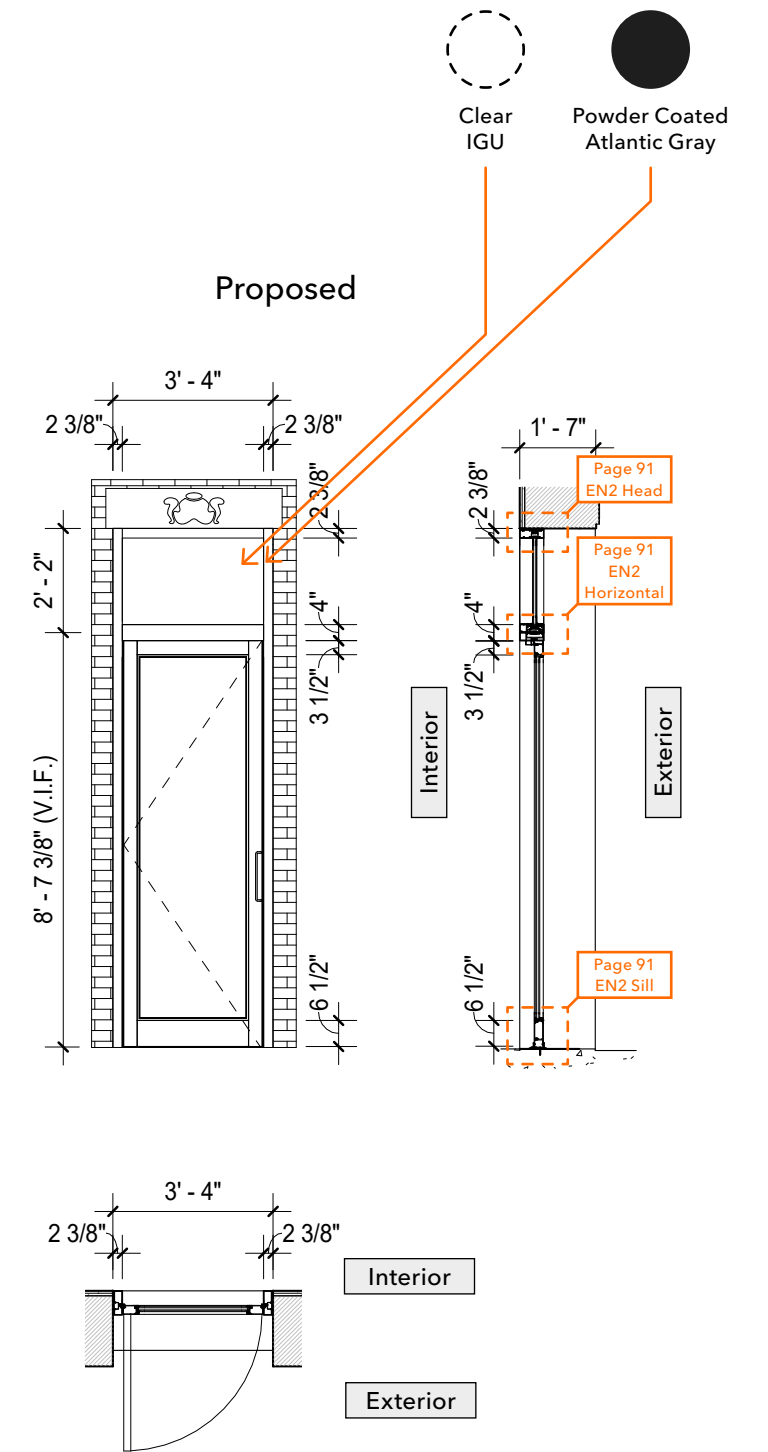
Historic Entrance: EN2-Historic
(Photo)

Existing (2021)



Existing Entrance: EN2-Existing
(1/4" = 1'-0")

Proposed



Proposed Entrance: EN2
(1/4" = 1'-0")

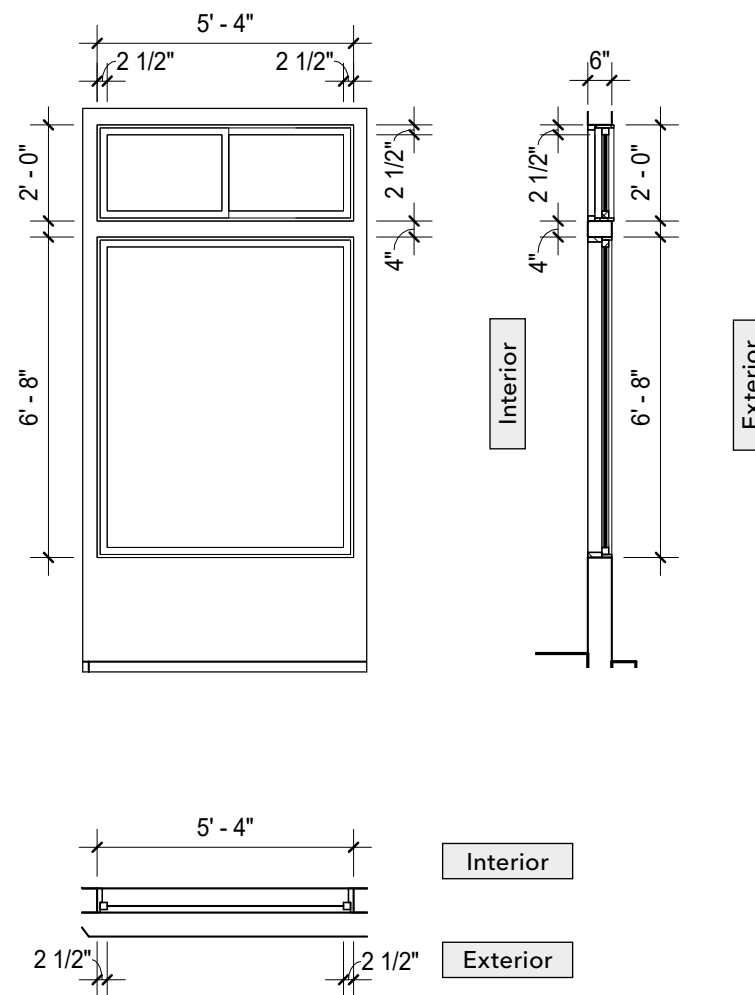
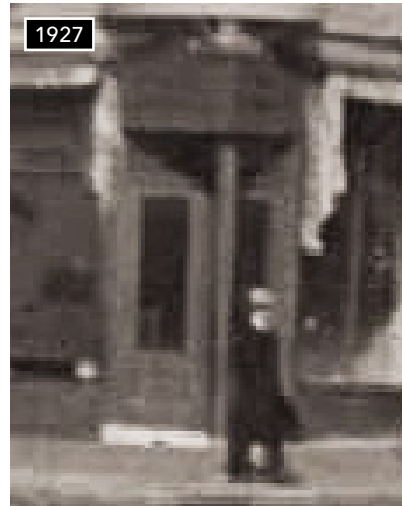
New Entrance

Historic/Existing/Proposed Drawings - EN3

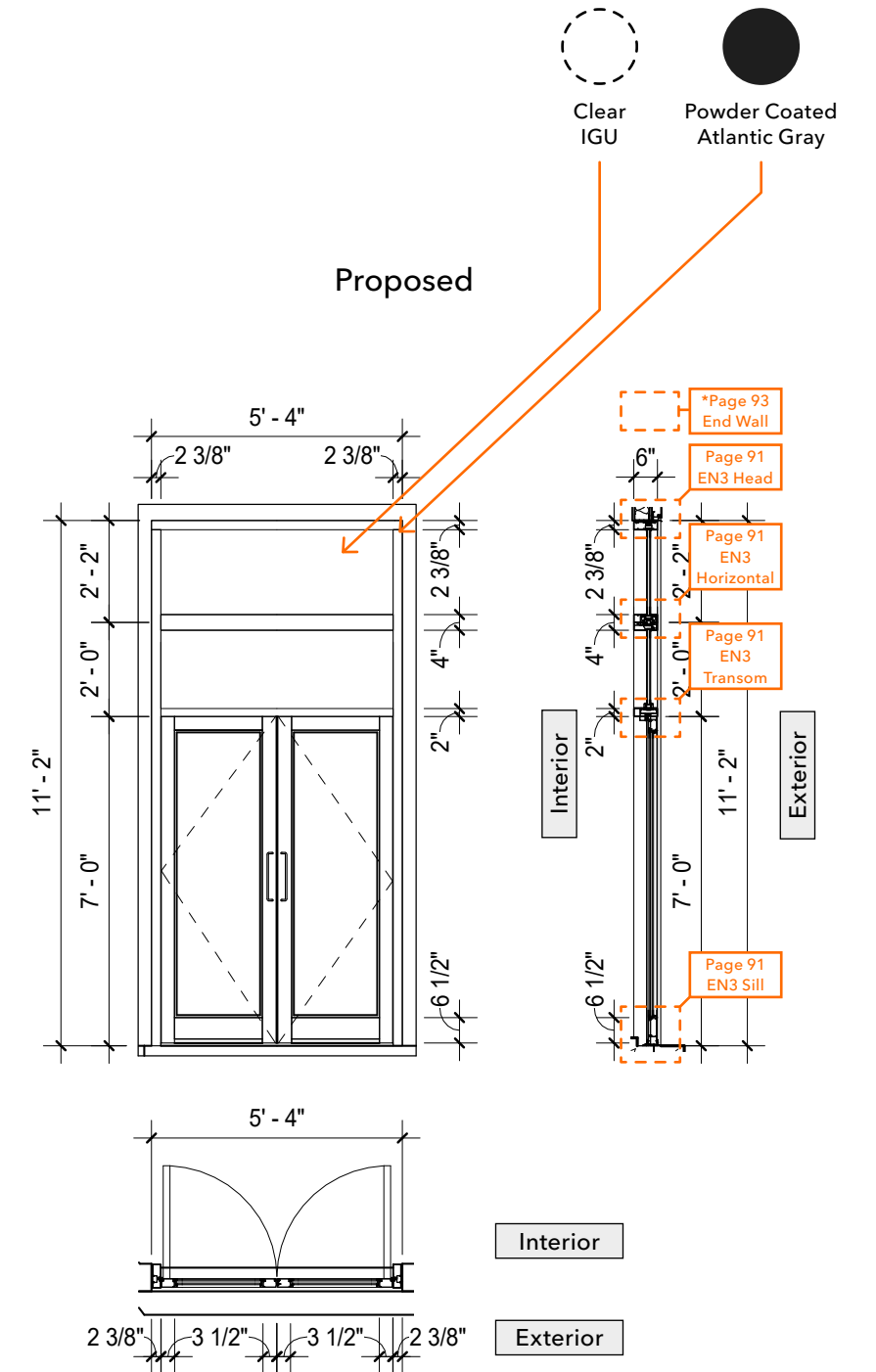
Historic (1927/1932/1941/1980)

Existing (2021)

Proposed



Existing Entrance: None
(1/4" = 1'-0")



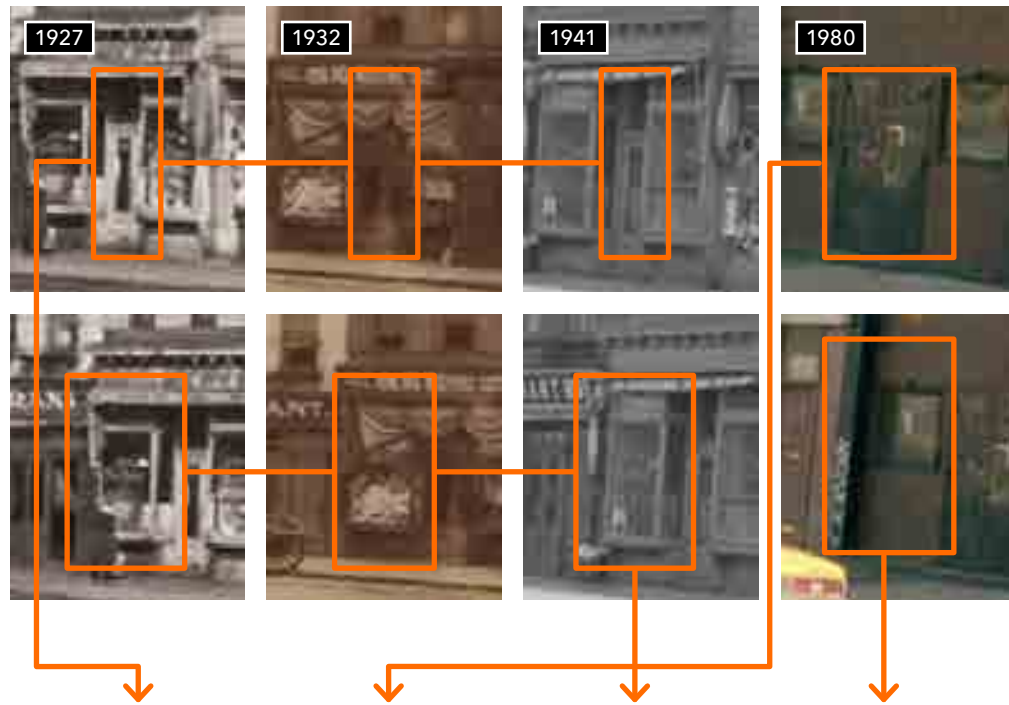
Proposed Entrance: EN3
(1/4" = 1'-0")

* See Page 93 for Details of New Metal Wall to Existing Structures

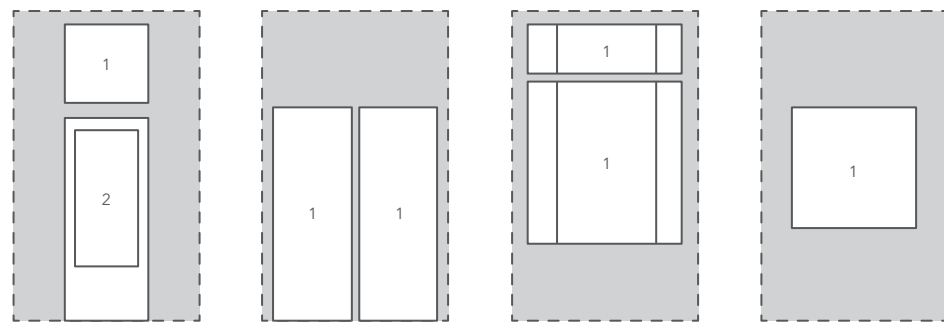
New Entrance

Historic/Existing/Proposed Analysis - EN4 & EN5

Historic (1927/1932/1941/1980)



Historic Entrance Historic Entrance (1980) Historic Storefront Historic Storefront (1980)



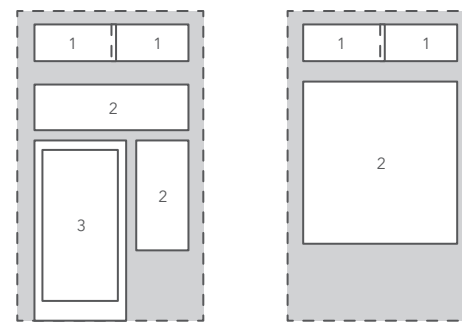
1. Fixed Window 1. Solid Door Panel 1. Fixed Window 1. Fixed Window
2. Vision Door Panel

EN4-Historic (Wood Frame) EN4-1980 (Metal Door) EN5-Historic (Window) EN5-1980 (Window)

Existing (2021)



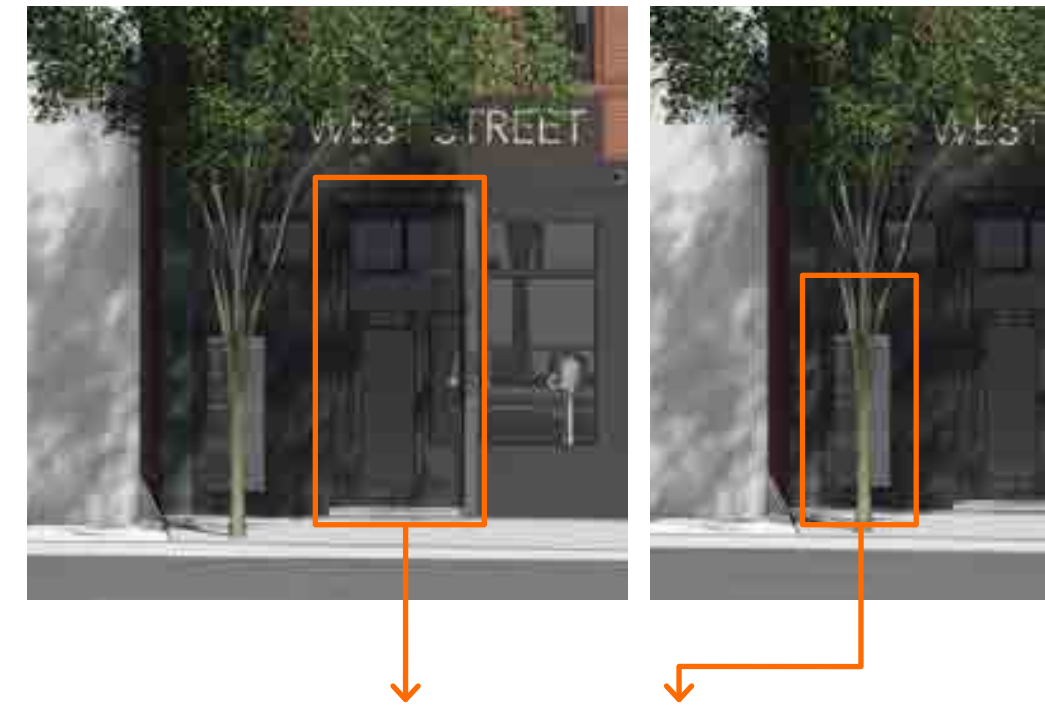
Existing Entrance Existing Storefront



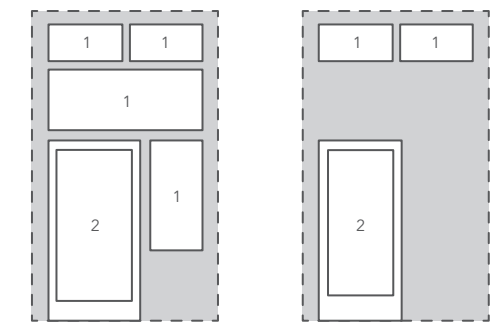
1. Fixed Window 1. Slide Window
2. Vision Door Panel 2. Fixed Window
3. Vision Door Panel

EN4-Existing (Storefront) EN5-Existing (Window)

Proposed



Proposed Entrance: EN4 Proposed Egress Exit: EN5



1. Slide Window 1. Slide Window
2. Fixed Window 2. Vision Door Panel
3. Vision Door Panel

EN4 EN5

New Entrance

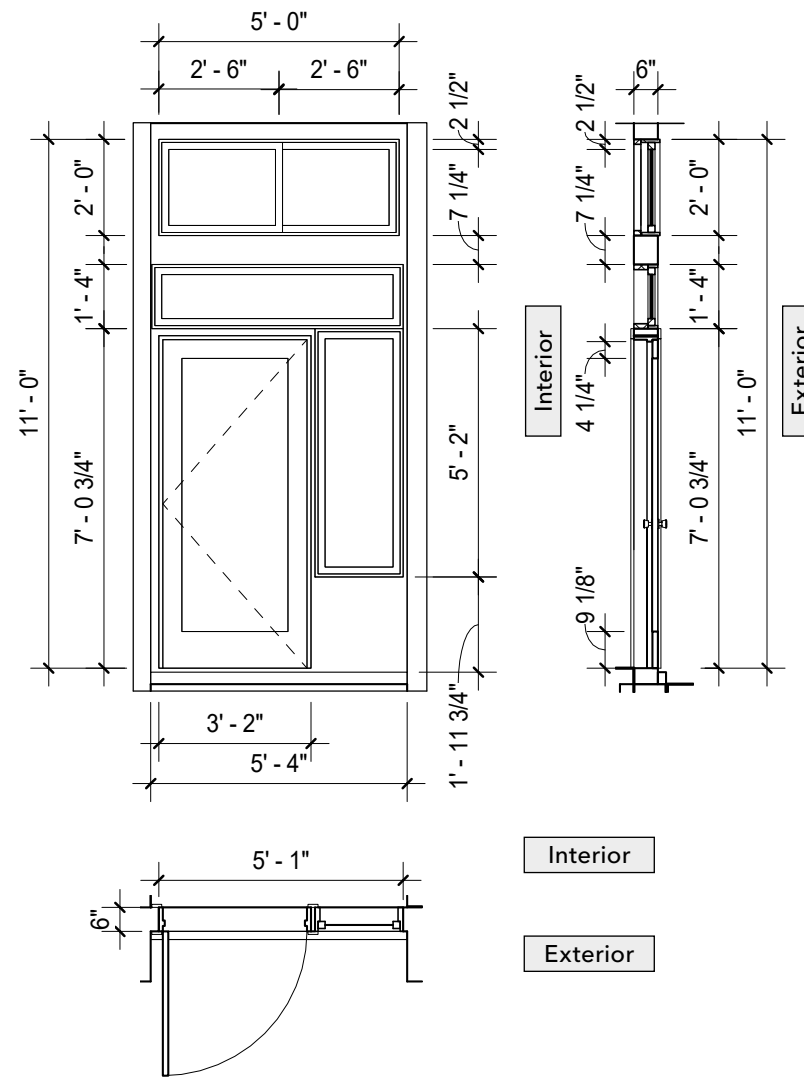
Historic/Existing/Proposed Drawings - EN4

Historic (1927/1941/1980)



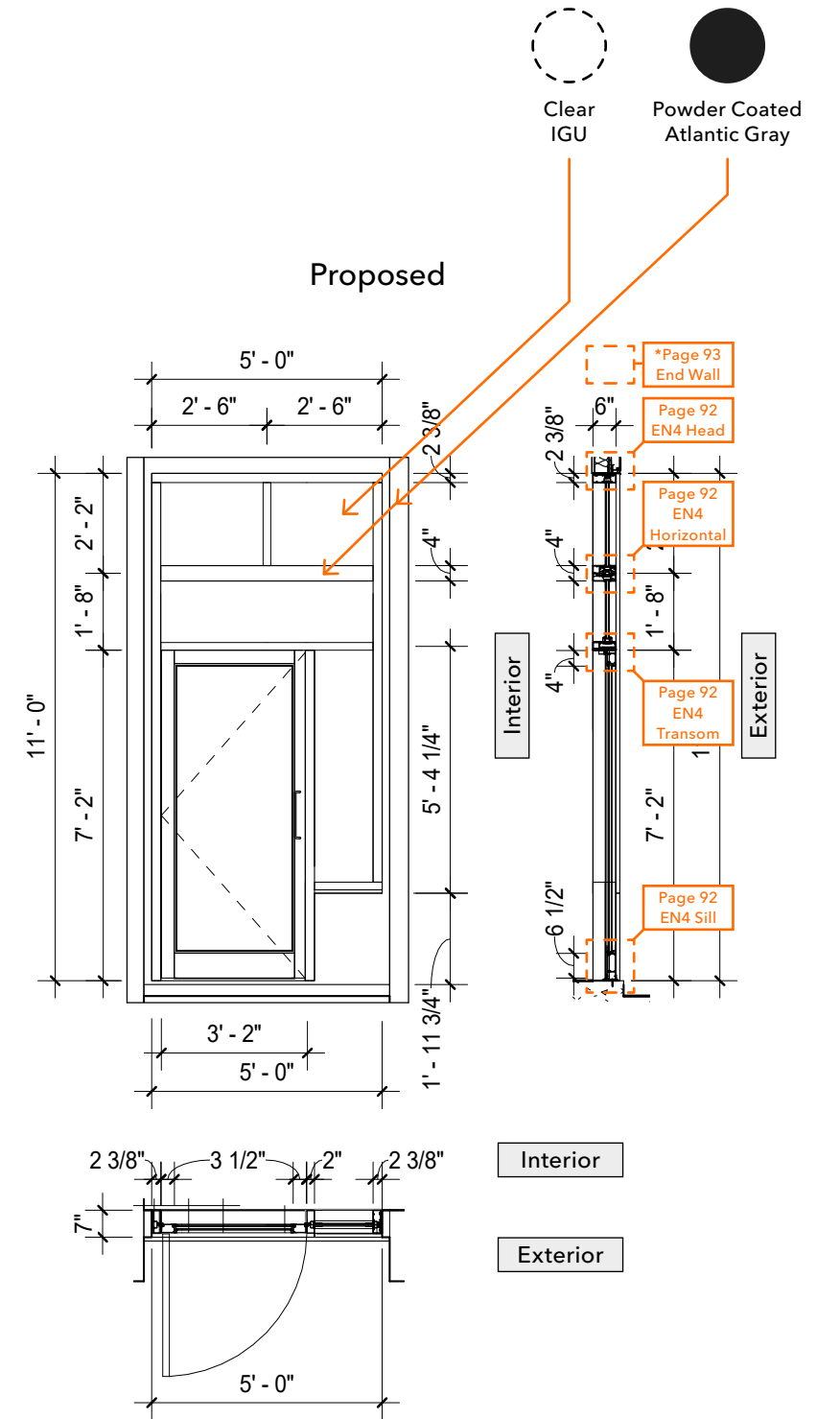
Historic Entrance: EN4-Historic
(Photo)

Existing (2021)



Existing Entrance: EN4-Existing
(1/4" = 1'-0")

Proposed

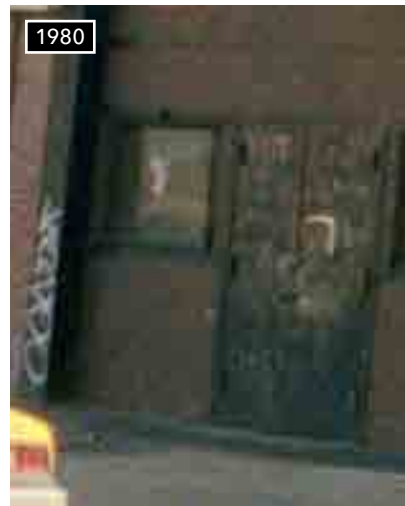
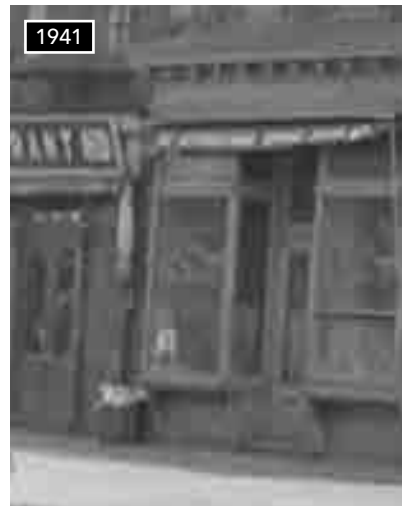
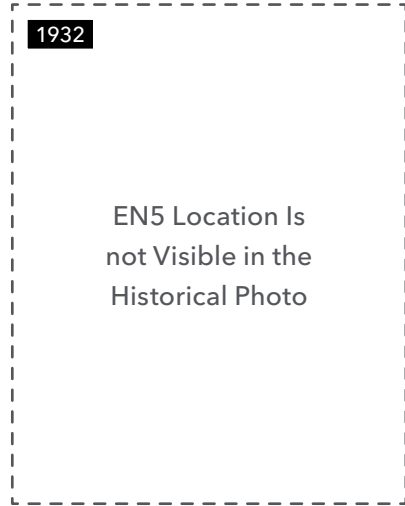


Proposed Entrance: EN4
(1/4" = 1'-0")

New Entrance

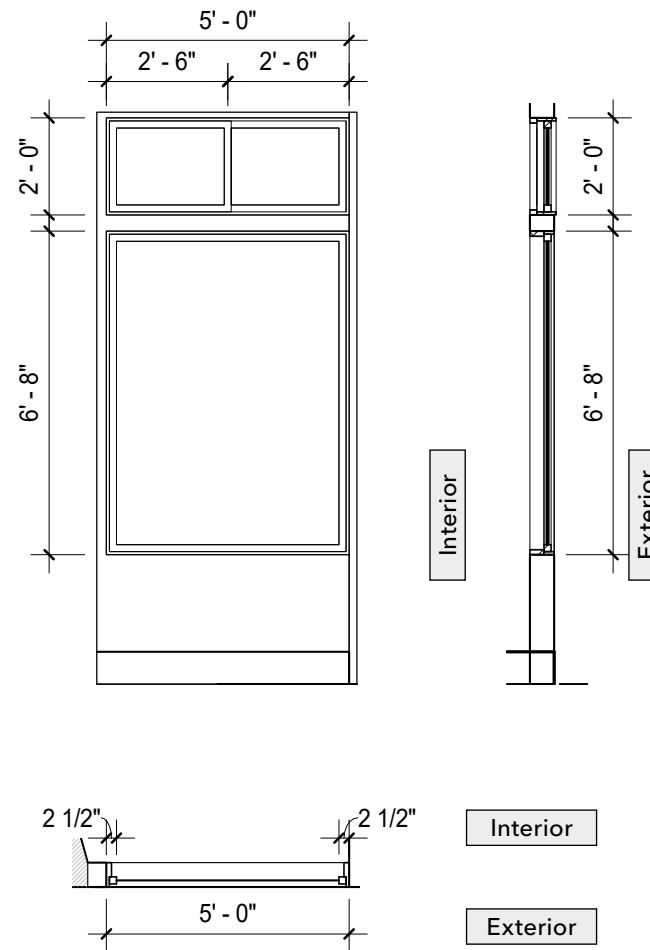
Historic/Existing/Proposed Drawings - EN5

Historic (1927/1941/1980)



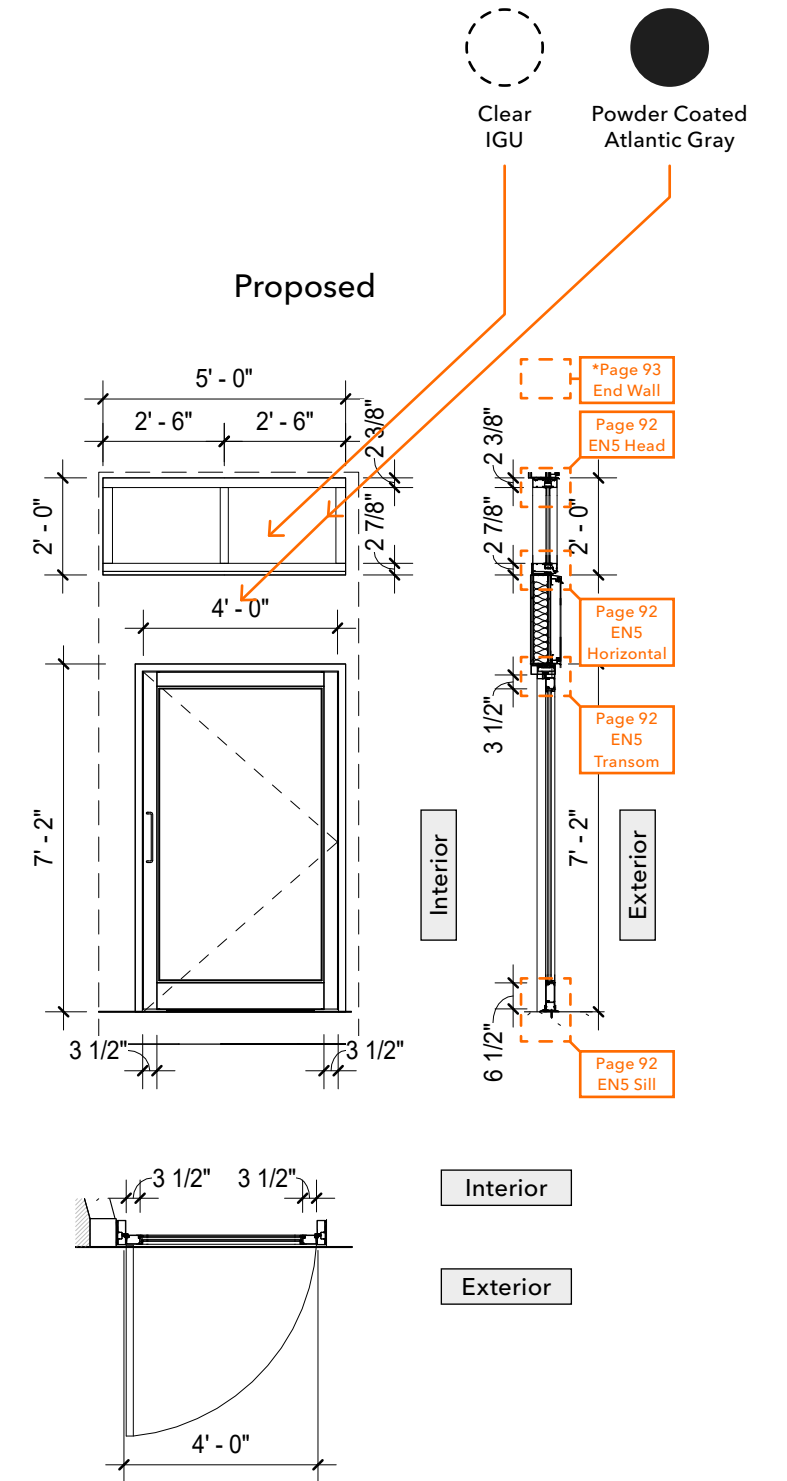
Historic Entrance: None
(Photo)

Existing (2021)



Existing Entrance: None
(1/4" = 1'-0")

Proposed



Proposed Entrance: EN5
(1/4" = 1'-0")

* See Page 93 for Details of New Metal Wall to Existing Structures

Rooftop Addition

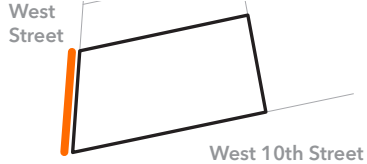


Rooftop Addition

Elevation Diagram - South

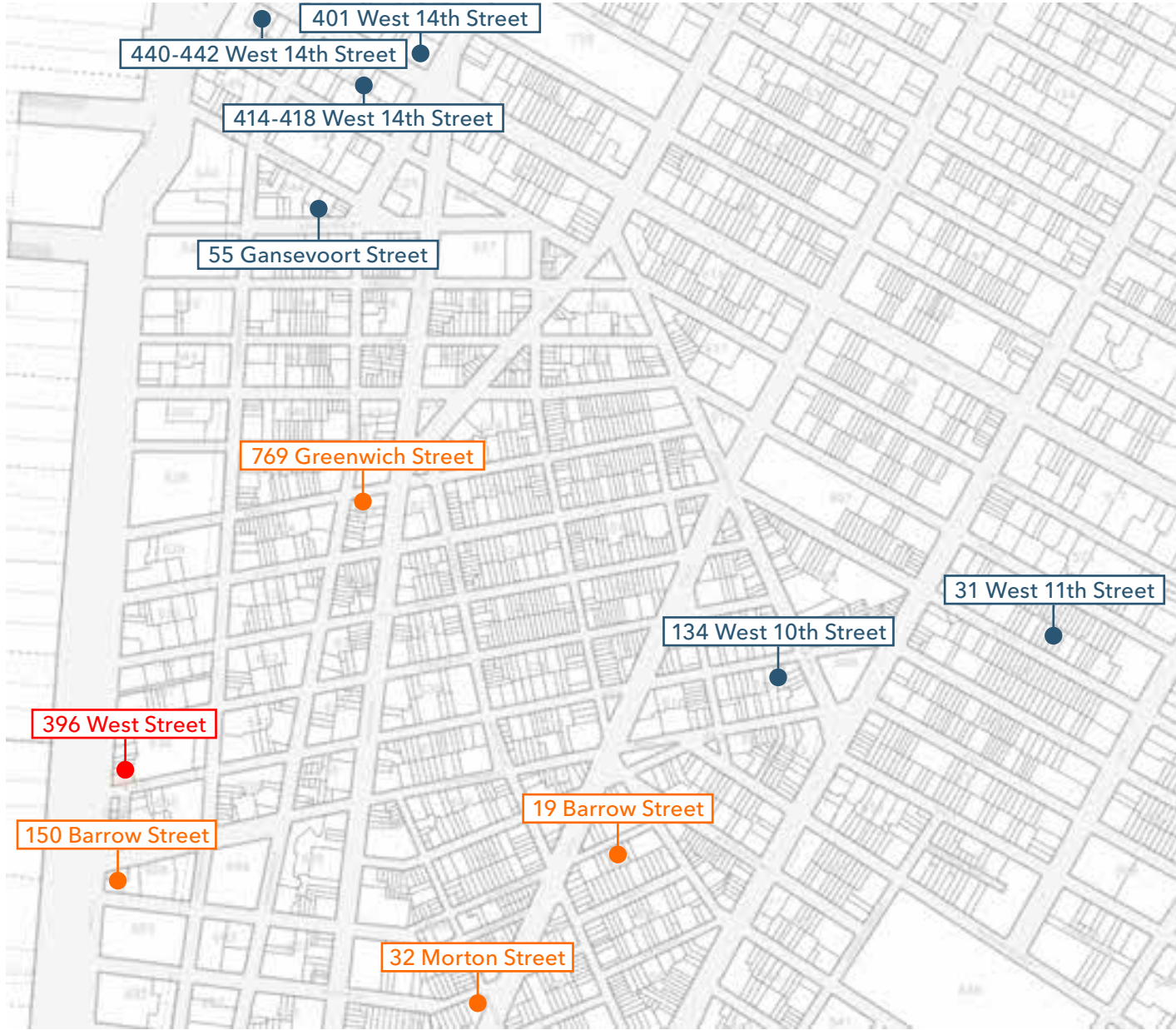


Rooftop Addition Elevation Diagram - West



Rooftop Addition

Relevant District Precedents



Neighborhood Map (NTS)



769 Greenwich Street



19 Barrow Street



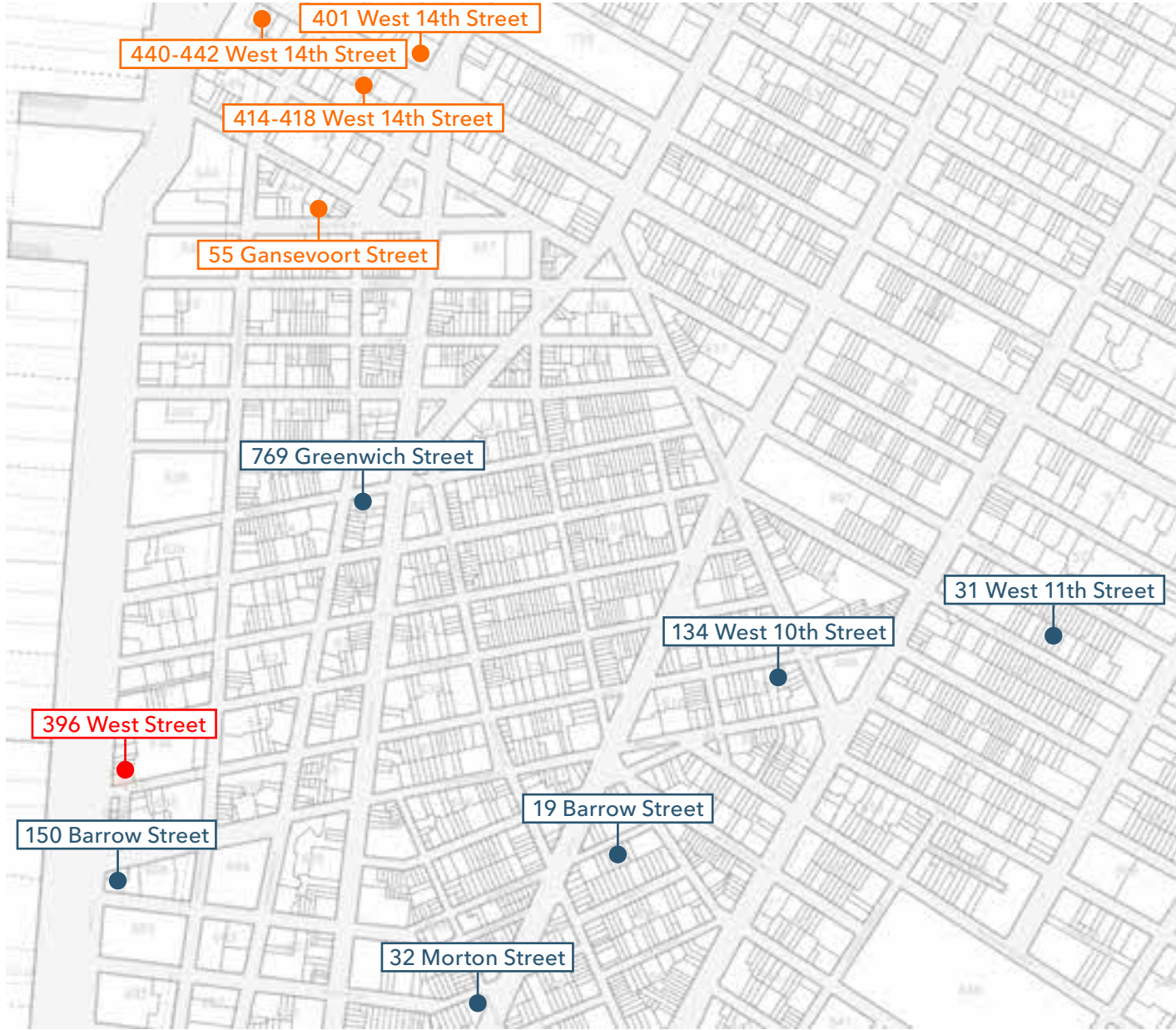
150 Barrow Street



32 Morton Street

Rooftop Addition

Relevant District Precedents



Neighborhood Map (NTS)



440-442 West 14th Street



401 West 14th Street



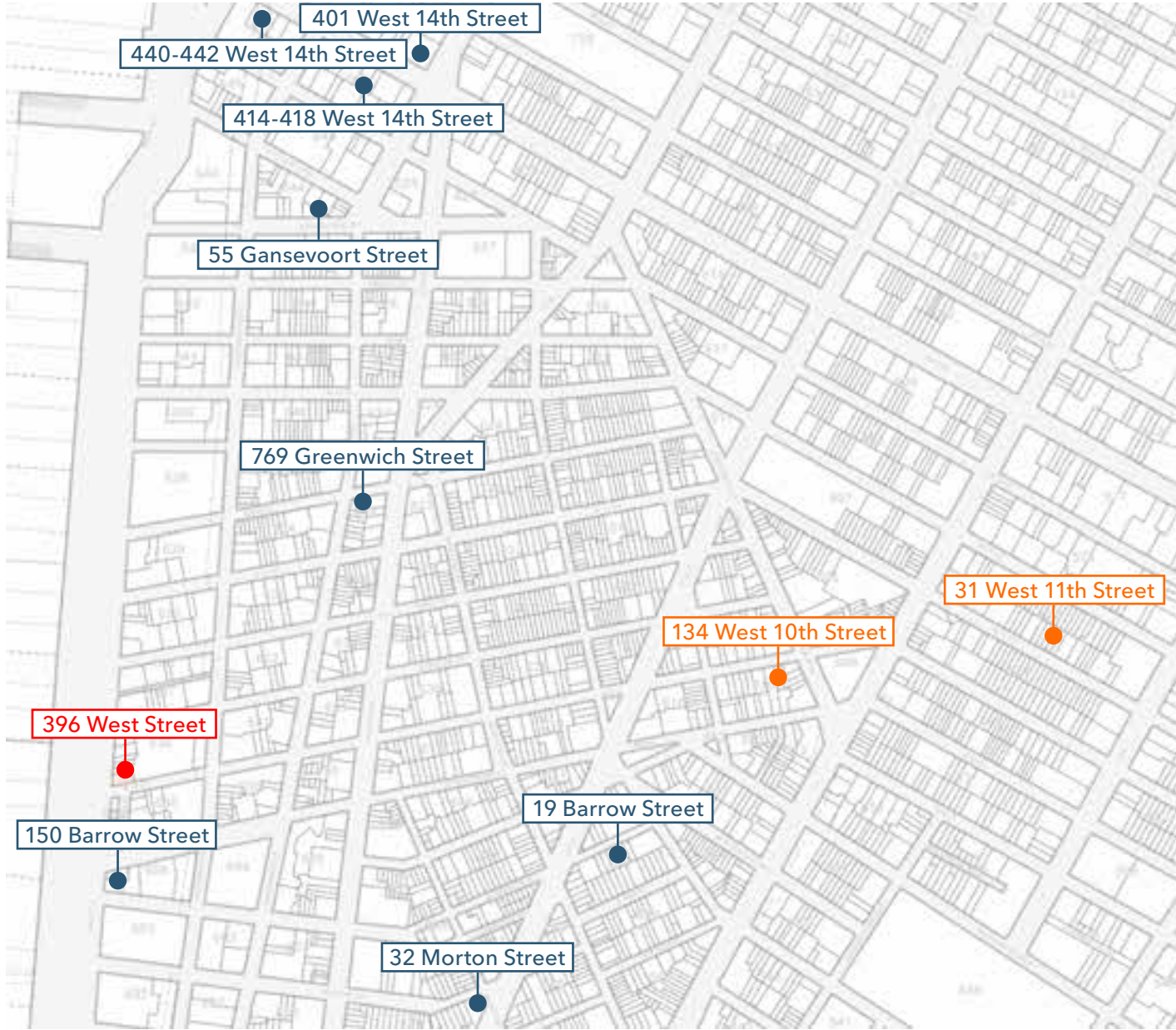
55 Gansevoort Street



414-418 West 14th Street

Rooftop Addition

Relevant District Precedents



Neighborhood Map (NTS)



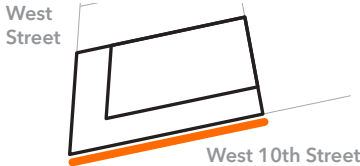
31 West 11th Street



134 West 10th Street

Rooftop Addition

Proposed Design



Kawneer 1620
Curtain Wall System

75-Degree Open Corner
Folding Door



Elevator Bulkhead

Rooftop Equipment

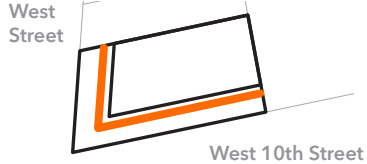
OSHA Guardrail

Spandrel Panel

OSHA Ladder

Existing Parapet

Rooftop Addition Proposed Design



Kawneer 1620
Curtain Wall System

Concrete Roof Paver &
Pedestal System

Spandrel Panel

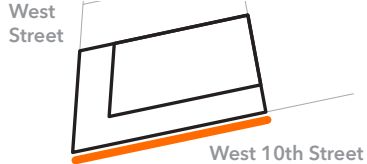
OSHA Ladder

75-Degree Open
Corner Folding Door

Existing Parapet

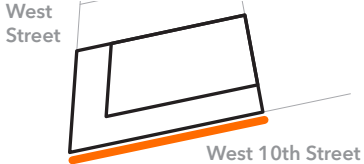
Rooftop Addition

Proposed Design - South Elevation



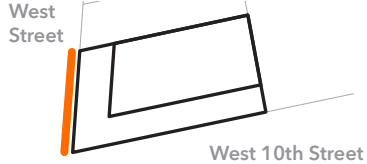
Rooftop Addition

Proposed Design - South Elevation



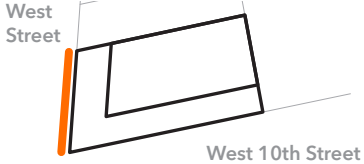
Rooftop Addition

Proposed Design - West Elevation



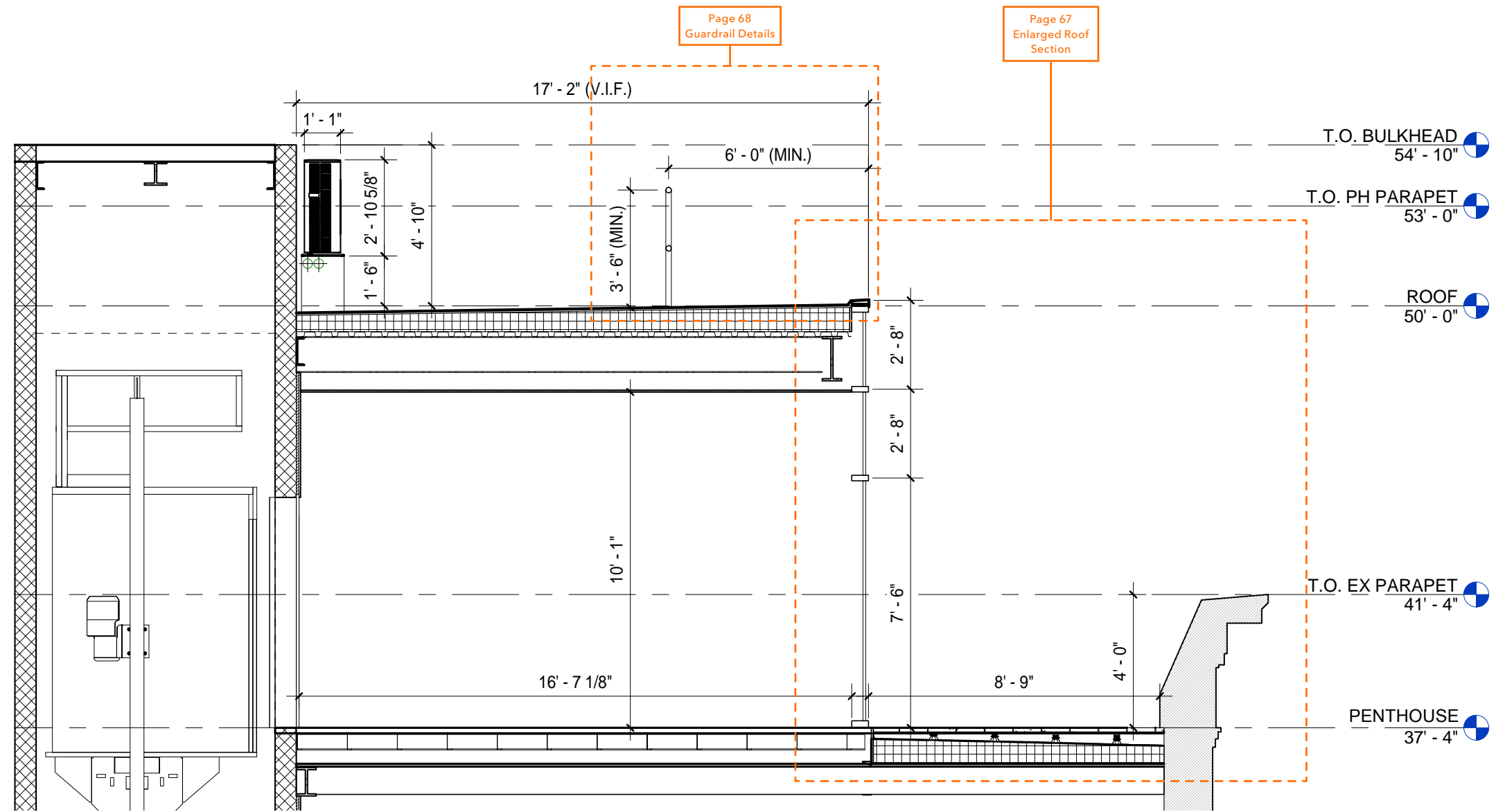
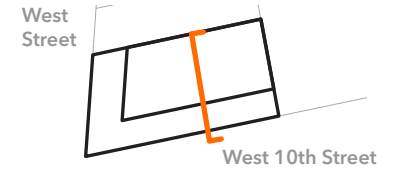
Rooftop Addition

Proposed Design - West Elevation



Rooftop Addition

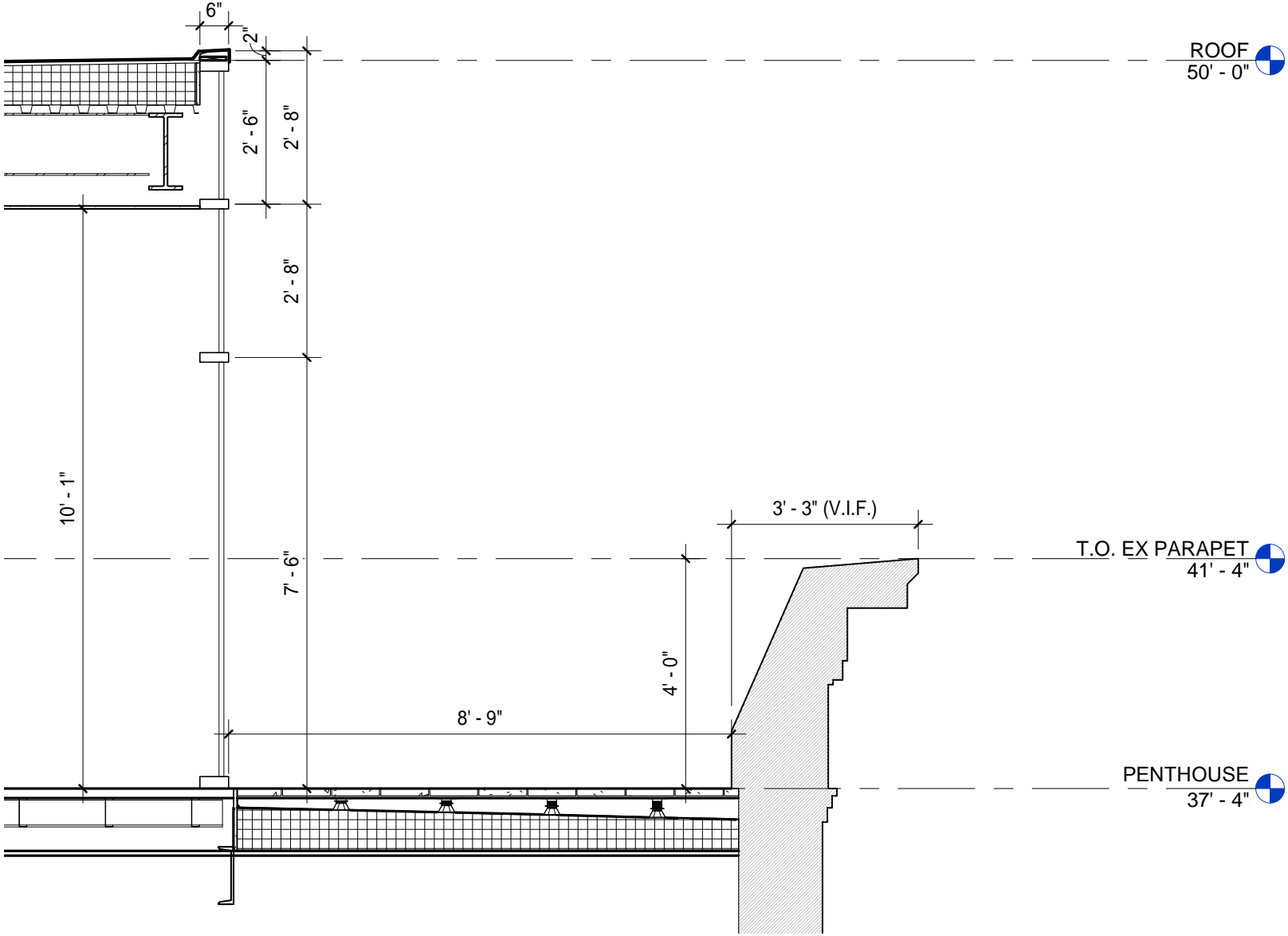
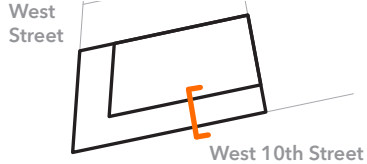
Proposed Design - Overall Section



Overall Roof Section
(1/4" = 1'-0")

Rooftop Addition

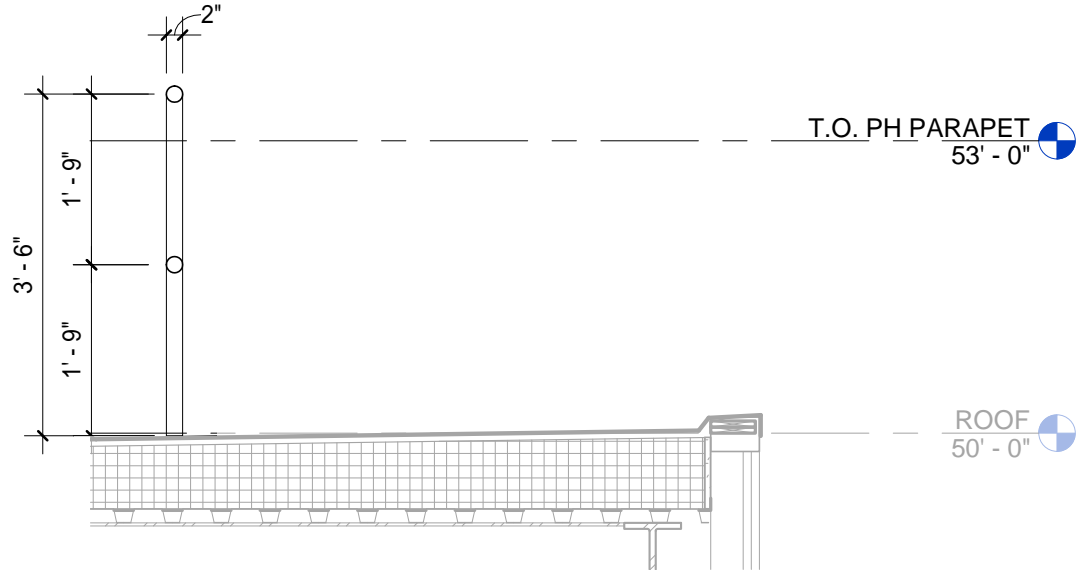
Proposed Design - Enlarged Section



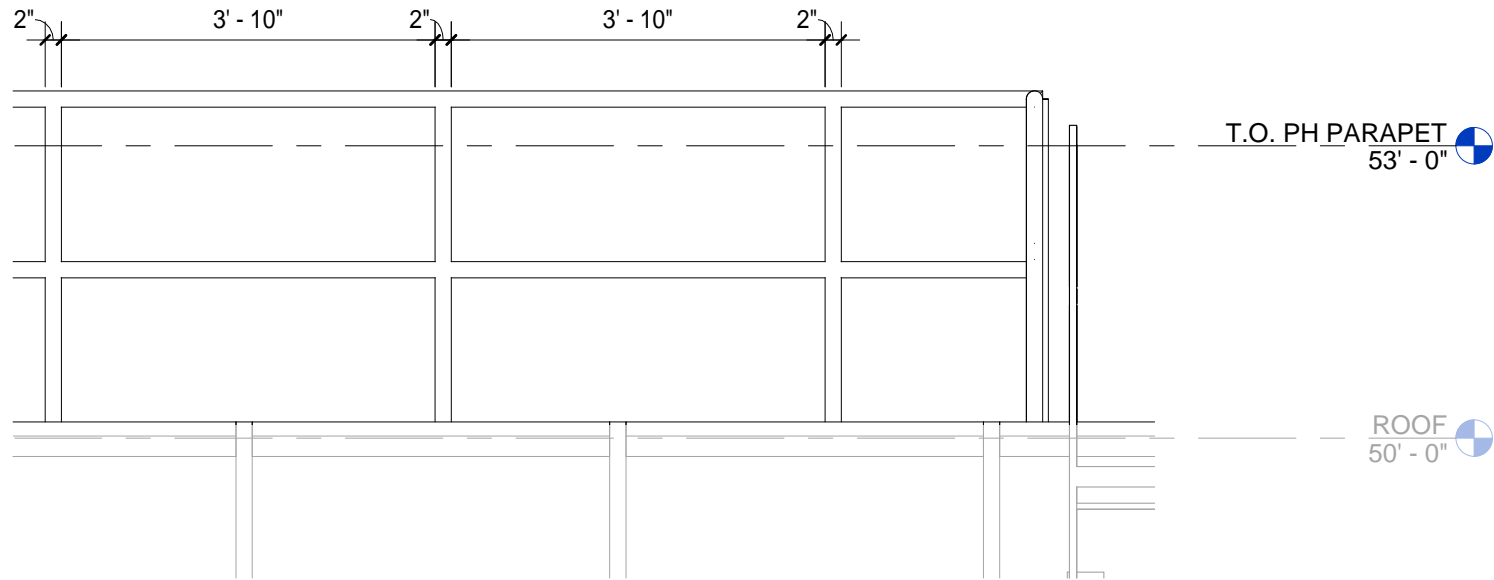
Enlarged Roof Section
(3/8" = 1'-0")

Rooftop Addition

Proposed Design - Guardrail Details



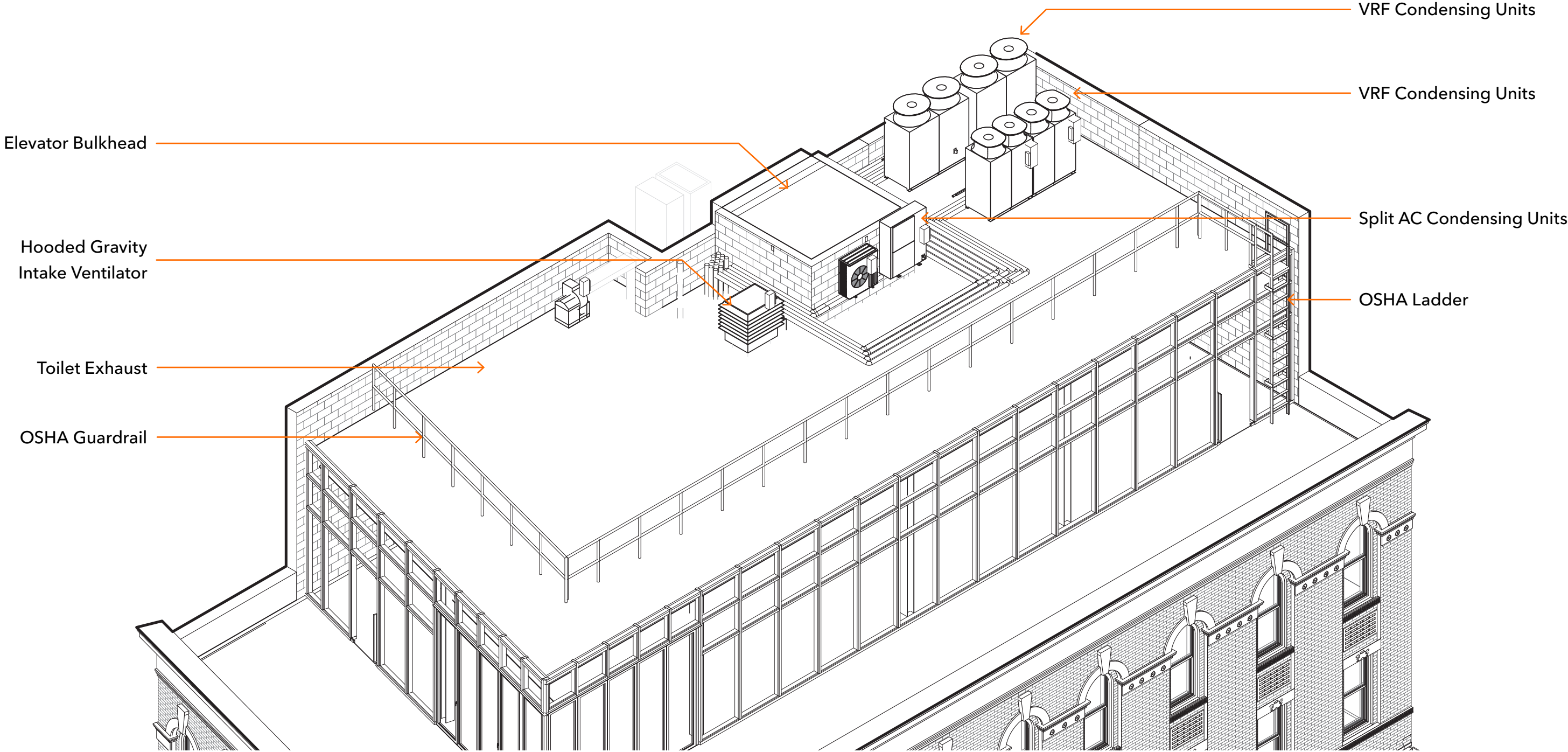
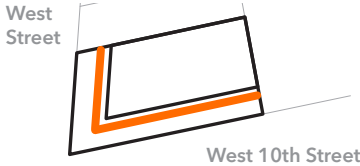
Guardrail Section
(1/2" = 1'-0")



Guardrail Elevation
(1/2" = 1'-0")

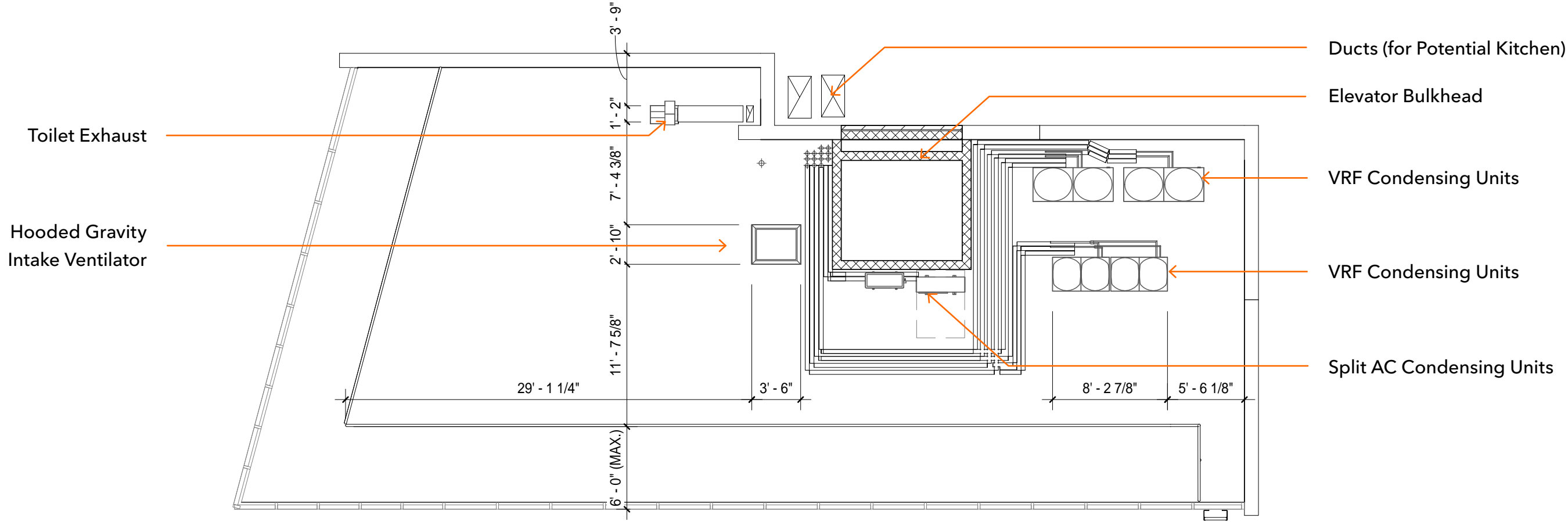
Rooftop Addition

Proposed Design - Equipment Axon



Rooftop Addition

Proposed Design - Equipment Plan



Mechanical Roof Equipment Plan
(1/8" = 1'-0")

Rooftop Addition

Viewshed Study - Locations



Rooftop Addition

Viewshed Study - View 01 Southwest Corner



Rooftop Addition

Viewshed Study - View 02 Southwest Corner



Key Plan

Rooftop Addition

Viewshed Study - View 03 Southwest Corner



Original Photo



Key Plan



Proposed Penthouse

Rooftop Addition

Viewshed Study - View 04 West Elevation



Rooftop Addition

Viewshed Study - View 05 Northwest Corner



Rooftop Addition

Viewshed Study - View 06 South Corner



Original Photo



Proposed Penthouse



Key Plan

Rooftop Addition

Viewshed Study - View 07 Weehawken Street



Rooftop Addition

Viewshed Study - View 08 West 10th Street



Original Photo



Proposed Penthouse

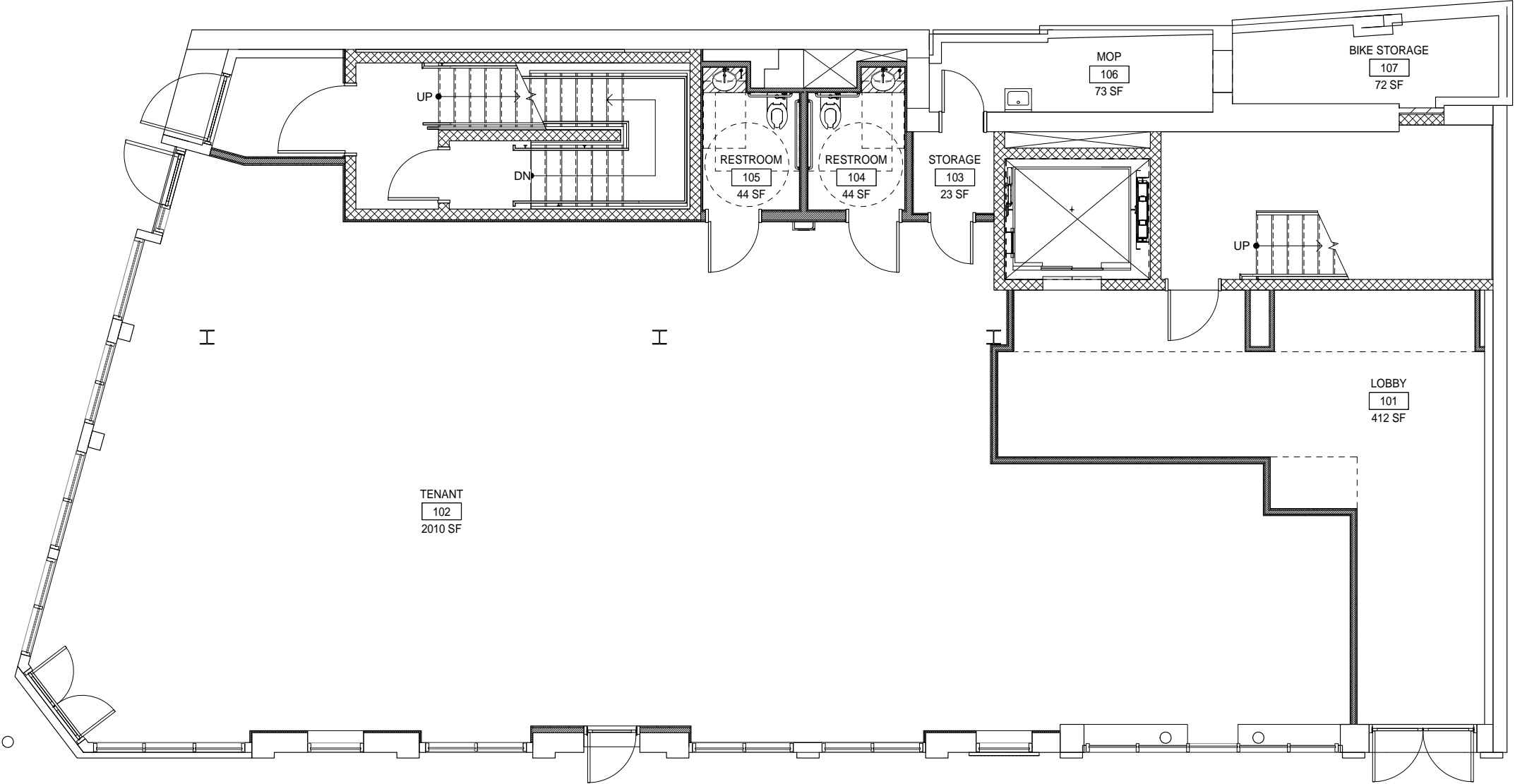


Others



Others

Proposed Interior Plans



Ground Floor Plan
(NTS)

Others

Historic Exterior Signage

Historic (1927/1932/1941/1980)



Historic Signage: 1927
(Photo)



Historic Signage: 1932
(Photo)



Historic Signage: 1941
(Photo)

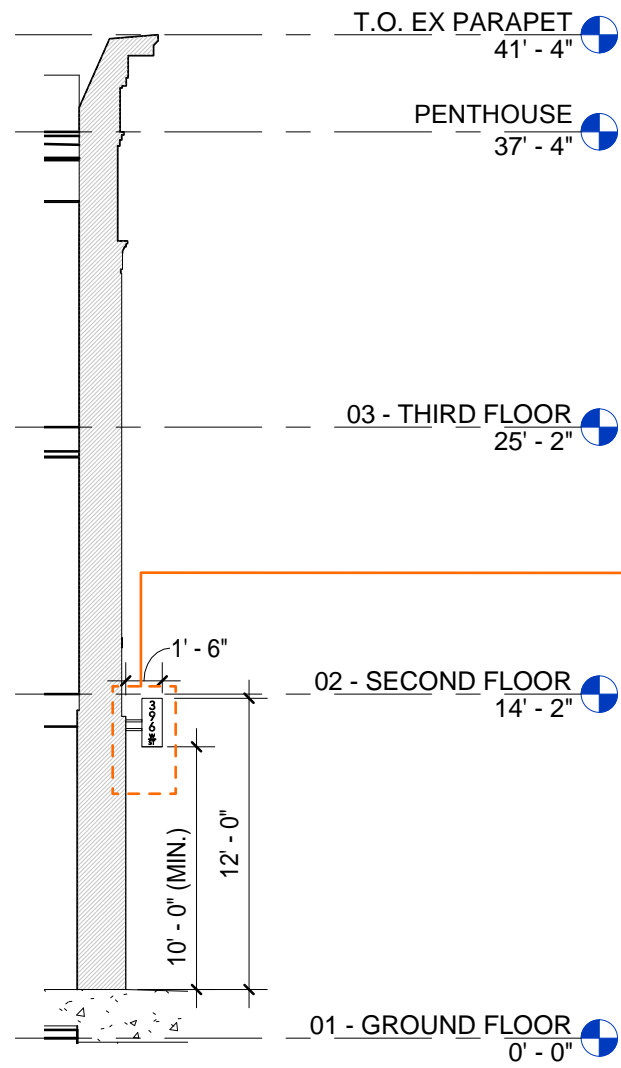


Historic Signage: 1980
(Photo)

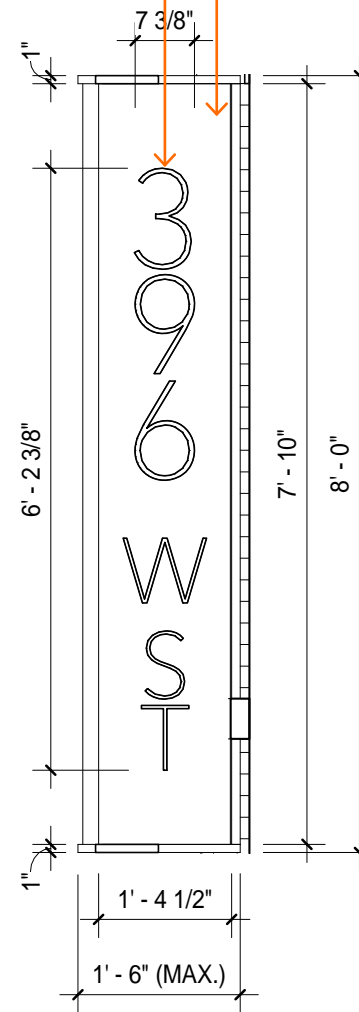
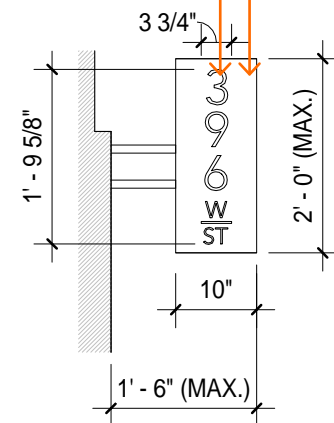
Others

Proposed Exterior Signage - Main & Blade

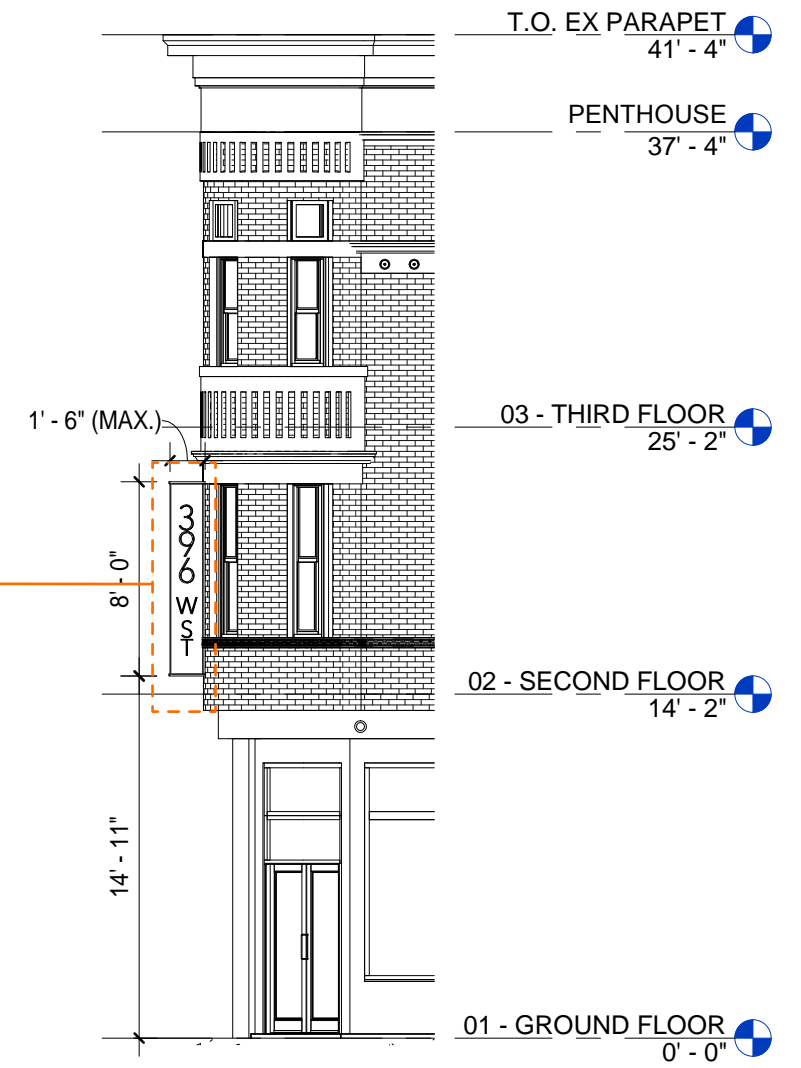
 White Painted Plastic
 Color-Matched Atlantic Gray



Main Signage
 (1/2" = 1'-0" | 1/8" = 1'-0")

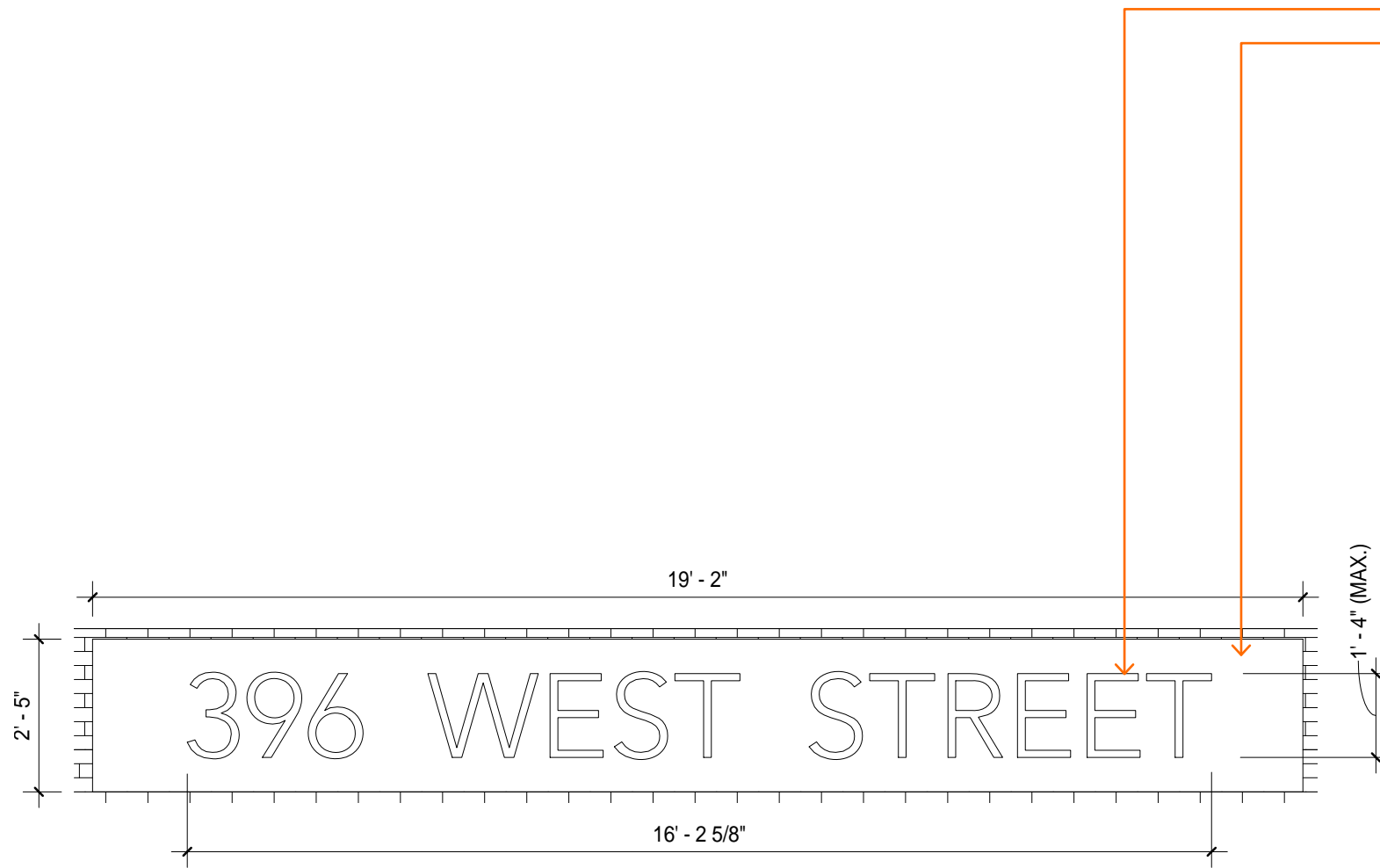


Blade Signage
 (1/2" = 1'-0" | 1/8" = 1'-0")

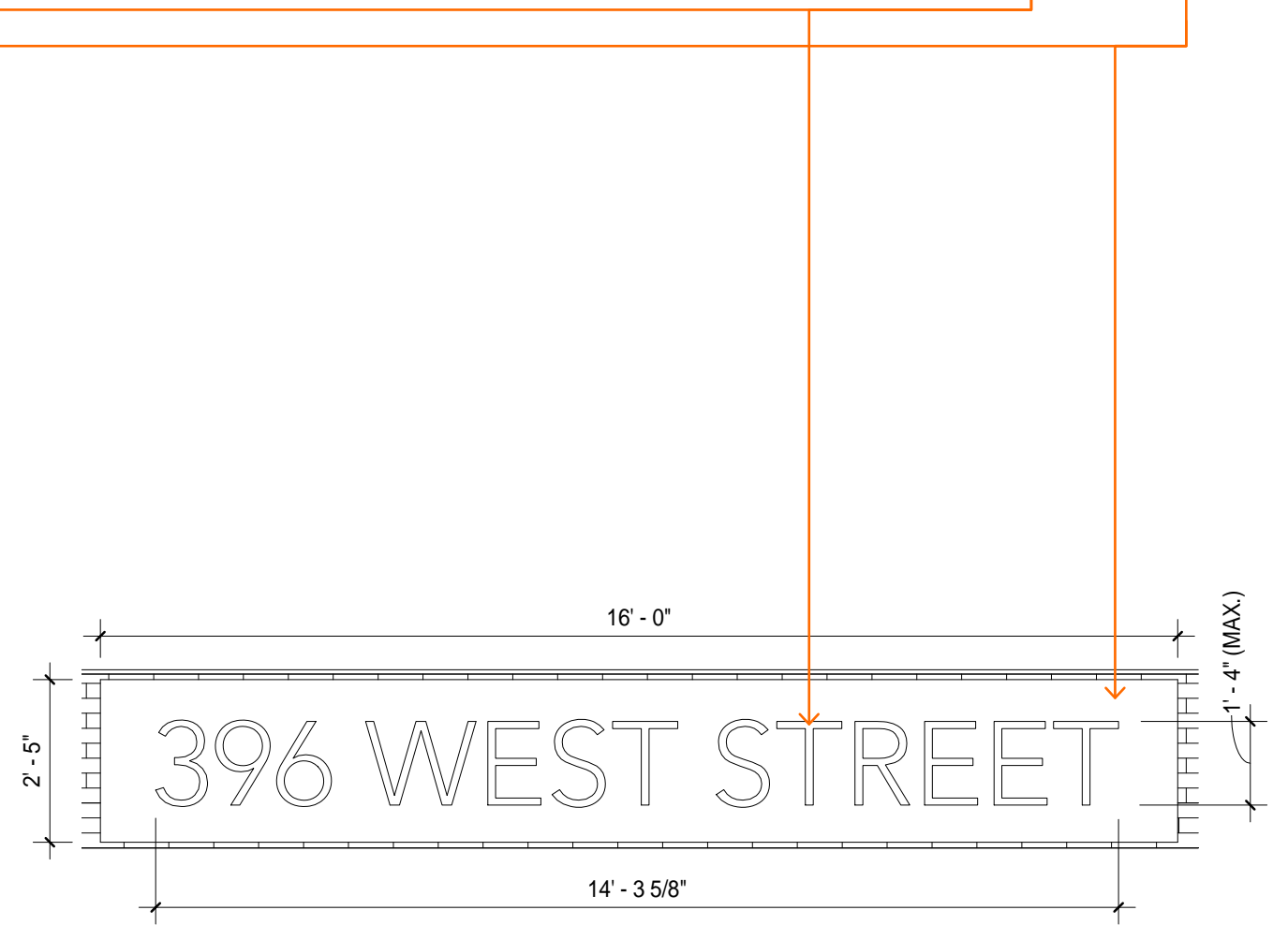


Others

Proposed Exterior Signage - Banners



Banner on South Elevation*
(3/8" = 1'-0")

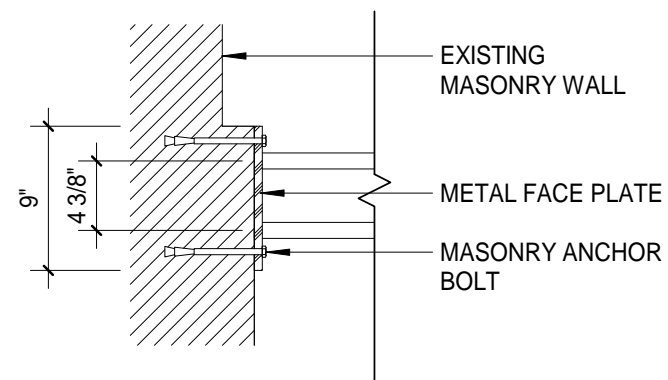


Banner on West Elevation*
(3/8" = 1'-0")

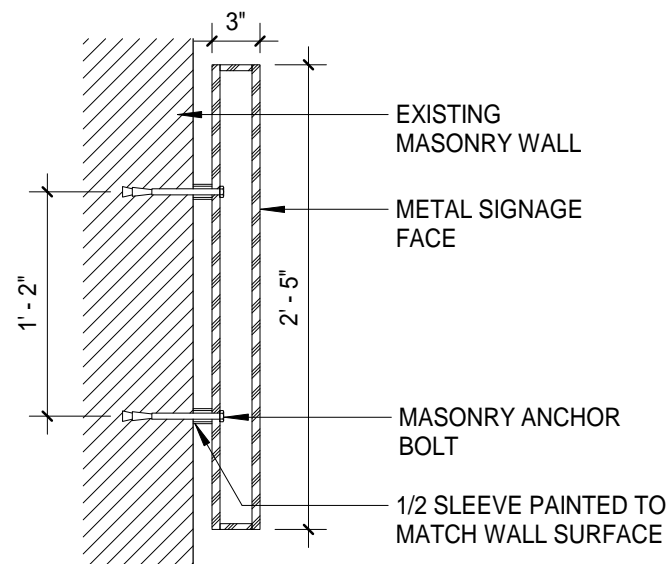
- * Projection of Letters are 1/8"
- * South Banner Size Is 21.1% of Signband Area on South Elevation
- * West Banner Size Is 38.2% of Signband Area on South Elevation

Others

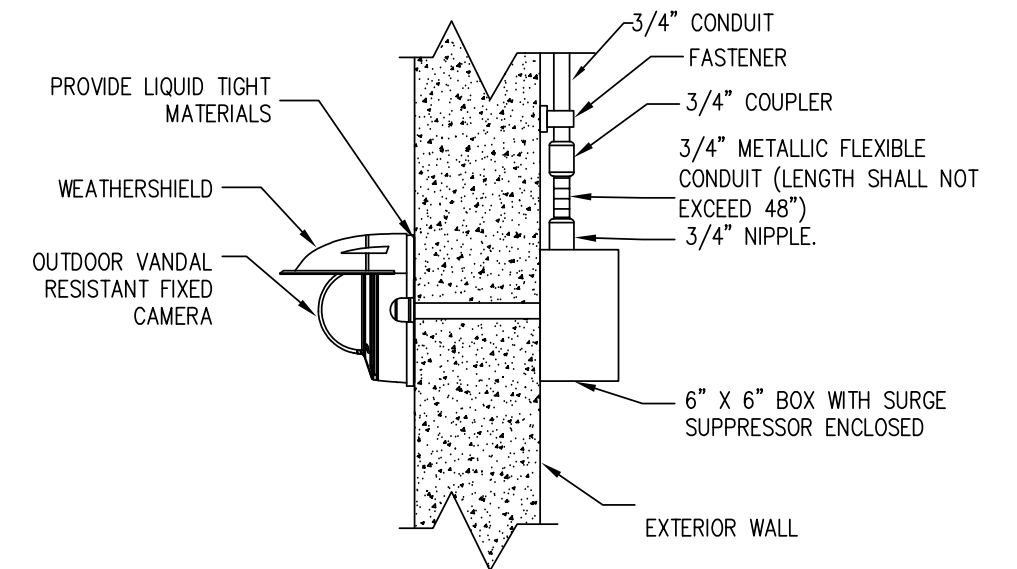
Proposed Exterior Element Mounting Details



Bracket Signage Mounting Detail
(1" = 1'-0")



Banner Signage Mounting Detail
(1" = 1'-0")



Security Camera Mounting Detail
(NTS)

Appendix



Appendix

Building Historic Reference

396-397 WEST STREET (aka 305 WEST 10TH STREET) HOLLAND HOTEL
Tax Map Block 636, Lot 41 [formerly lots 41, 42]

Date: 1903-04 (NB 162-1903)
Architect: Charles Stegmayer
Original Owner: Albert A. and Rosa Goebel Adler

Type: Hotel
Style: neo-Renaissance
Stories: 3
Facade Materials: buff brick (painted), terra cotta, pressed metal cornice

Ownership History

1903 Albert A. and Rosa Goebel Adler
1911 Crescent-Star Realty Co. (foreclosure)
1926 Denwood Realty Co.
1930 Benenson Realty Co.
1934 Crescent-Star Realty Co. (foreclosure)
1949 Rofel Realty Corp.
1950 Arthur E. Buchwald
1953 Melvin Kaplan, Ernest Ohmer
1955 Carine Realty Corp.
1960 396 West Street Corp. (foreclosure)
1978 Scott Lau Hotel Corp.
1985 William Gottlieb

Commercial Tenants

Holland Hotel (1904 on); Albert A. Adler, liquors/ saloon (1904-07); Clyde Hotel (1920-21); Juan Gonzalez, men's furnishings (1929-45); Otto Charles, barber (1929-45); New Holland Hotel (1935-93); Sunset Motor Lines (1935); International Coffee Shop (1939); B&S Trucking Co. (1940); Remark Building Service Co., renovations, repairs and cleaning (1942-80); LTA Food Shop/ J&B Food Shop (1945-65); Louis Oguinick, uniforms (1950-70); Hi-Way Bar Grill (1974); Peter Rabbit, gay bar and grill (1972-88); Sung Hai, restaurant (1993); Uguale, restaurant (2004); Antica Venezia Ristorante (2005)

History

In January 1903, this property, as well as a mortgage, were obtained by Albert A. Adler from Catherine A.Q. Trowbridge. Adler, an immigrant from Saxony, was a restaurateur who had married Rosa Goebel in 1881. Architect Charles Stegmayer filed in March for construction of a 3-story neo-Renaissance style hotel, expected to cost \$20,000. The Holland Hotel was completed in February 1904. Adler was listed in directories operating a liquors/ saloon business here. In 1910, however, the property was foreclosed and advertised for sale in September. It was taken over by the Crescent-Star Realty Co., an entity associated with the Jacob Hoffman Brewing Co., which had extended mortgages on the property (Philip Hoffman was vice president of both Hoffman Brewing and Crescent-Star). Sometime before 1920, it became known as the Clyde Hotel. The hotel was acquired by the Denwood Realty Co. in 1926, which leased it the following year for 21 years to Charles E. Bacon and associates. At that time, it was announced that "extensive alterations" were to be made. A men's furnishings business and barbershop

were located here until at least 1945. The Benenson Realty Co. was the owner from 1930 until foreclosure in 1934, when it reverted to the Crescent-Star Realty Co., under William J. Hoffman, and became the New Holland Hotel. Several long-term tenants were the Remark Building Service Co., "building renovations, masonry repairs, steam cleaning, water-proofing, painting" (c. 1942-80); LTA Food Shop/ J&B Food Shop (c. 1945-65); and Louis Oguinick's uniforms store (c. 1950-70). The New Holland Hotel, with 36 rooms plus stores, was purchased as a personal investment in 1950 by Arthur E. Buchwald (vice president of Sterling Investment Corp.). The property passed to Melvin Kaplan and Ernest Ohmer in 1953; Carine Realty Corp. in 1955; 396 West Street Corp. through foreclosure in 1960; Scott Lau Hotel Corp. in 1978; and in 1985 to William Gottlieb, a major investor in properties in the West Village. By 1972, Peter Rabbit, a gay bar and grill, was a commercial tenant, which remained until at least 1988.

Built during the third significant phase of the historic district's development, when it continued to be improved with residential, industrial, and commercial structures after the turn of the 20th century, this handsome 3-story, neo-Renaissance hotel, one of the last surviving hotels located along the Hudson River waterfront, contributes to the historically-mixed architectural character and varied uses – much of it maritime-related – of the Weehawken Street Historic District.

Architectural Features

The Holland Hotel is substantially unaltered on its upper two stories, aside from its buff brick and terra cotta being covered by a coat of red paint. The design, with 6 bays along West Street and 10 bays along West 10th Street, features a round corner oriel, monumental pilasters with bossed capitals, patterned spandrel panels, second-story rectangular windows with lintels ornamented with cartouches, third-story round arches with keystones, and a projecting metal cornice ornamented with swags, dentils, and modillions. The ground story has been altered several times, but the corner cast-iron column that supports the oriel survives. The fire escape on the West Street facade was installed in the 1920s.

Alterations

modillions and dentils removed from the central portion of the cornice on West 10th Street (c. 1939-61); West Street storefront (1988); West 10th Street ground-story openings and rolldown gates (post-1988); ground-story lighting fixtures (post-1988)

References

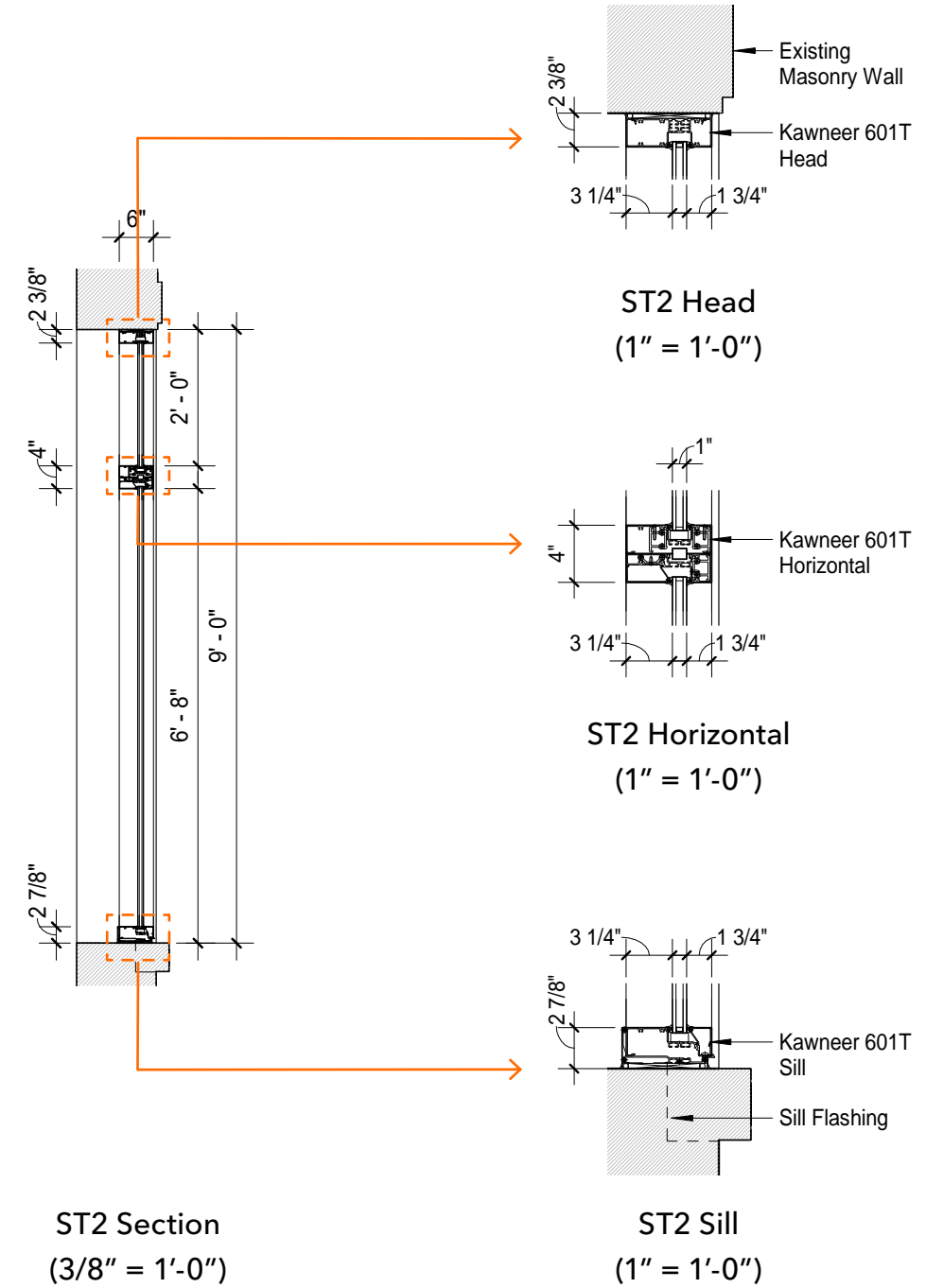
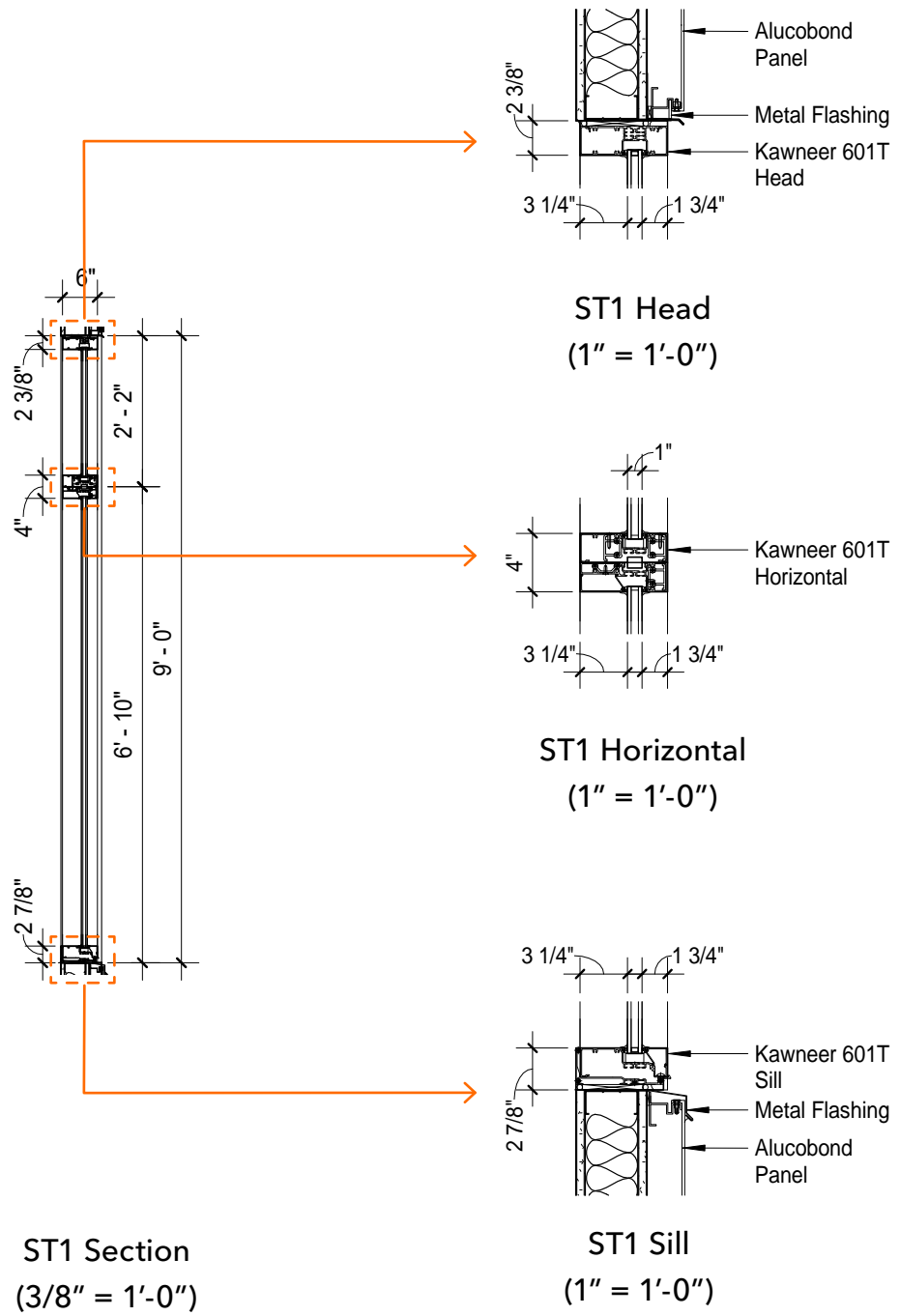
Kellerman; NY County, Office of the Register; NYC, Buildings Dept.; NYC Directories (1904-07); *Manhattan Address Directories* (1929-93); "Albert A. Adler," www.familysearch.org website and U.S. Census (1880); "Real Estate Transfers," *NYT*, Jan. 6, 1903, 14; "The Building Department," *NYT*, Mar. 14, 1903, 14; "Projected Buildings, *Real Estate Record & Builders Guide*, Mar. 14, 1903, 520; "Special Sales Day," *NYT*, Sept. 4, 1910, 12; Philip Hoffman obit., *NYT*, Mar. 22, 1915, 9; "'Manhattan's Oldest Houses' Turn Out to Be Fairly New," *New York Evening Post*, June 15, 1920, 6; "West Street Hotel Leased With Option," *NYT*, Oct. 11, 1927, 50; Remark Building Service Co. advertisement, *NYT*, Jan. 2, 1942, 66; "New Holland Hotel Sold on West Street," *NYT*, Aug. 4, 1949, 37; [Sterling Investing Corp.], *NYT*, May 1, 1950, 35; "Real Estate Notes," *NYT*, May 6, 1950, 23; John Francis Hunter, *The Gay Insider U.S.A.* (N.Y.: Stonehill Publ., 1972), 517; Spartacus, *The American Bicentennial Gay Guide* (1976), 259.

Photographs: Museum of the City of New York (1920); NYC, Dept. of Taxes (c. 1939); David McLane, *New York Sunday News*, Aug. 21, 1955; LPC, John Barrington Bayley (1964); LPC (c. 1983, 2005); Greenwich Village Society for Historic Preservation (1986, 1988, 1989, 2004).



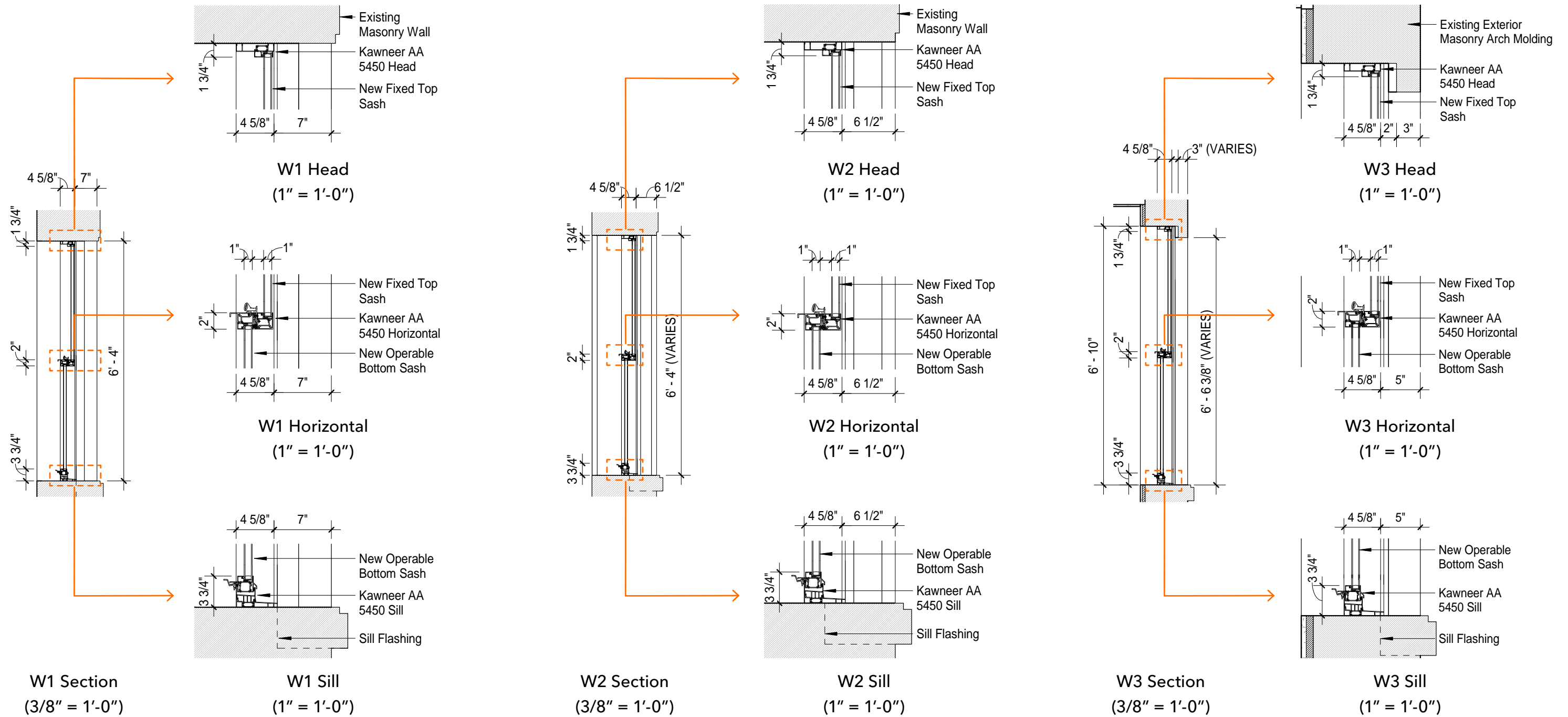
Appendix

Enlarged Details - Storefront ST1 & ST2



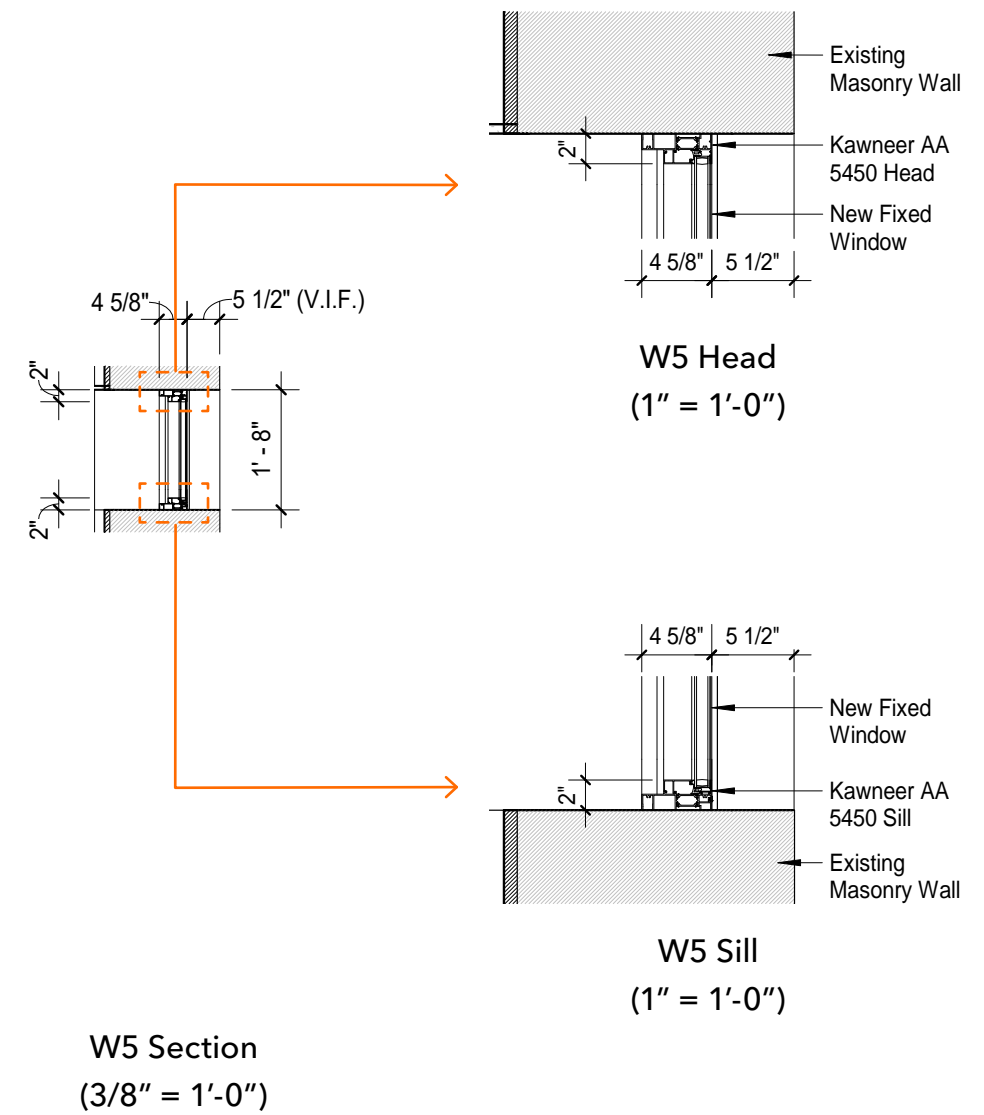
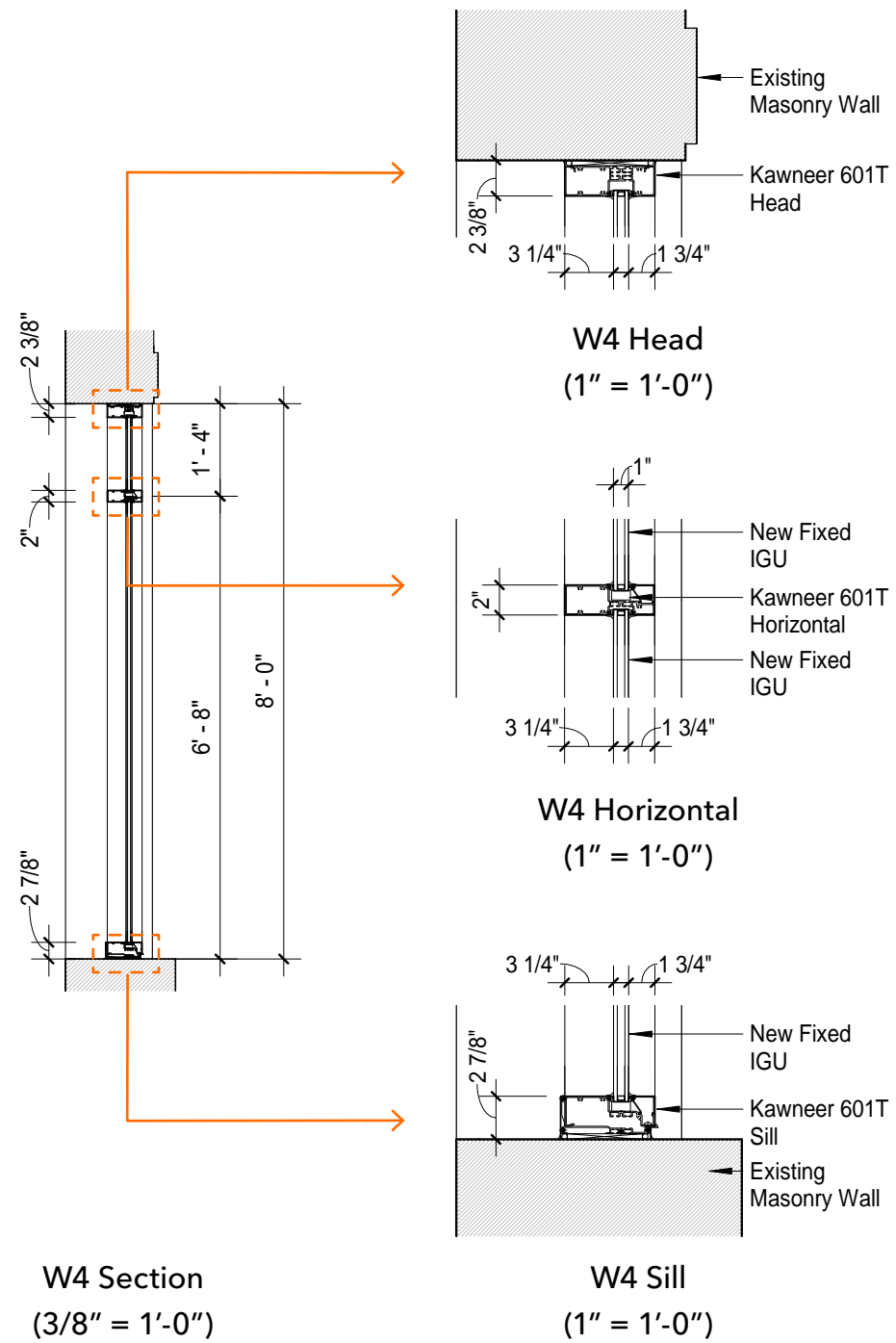
Appendix

Enlarged Details - Window W1, W2 & W3



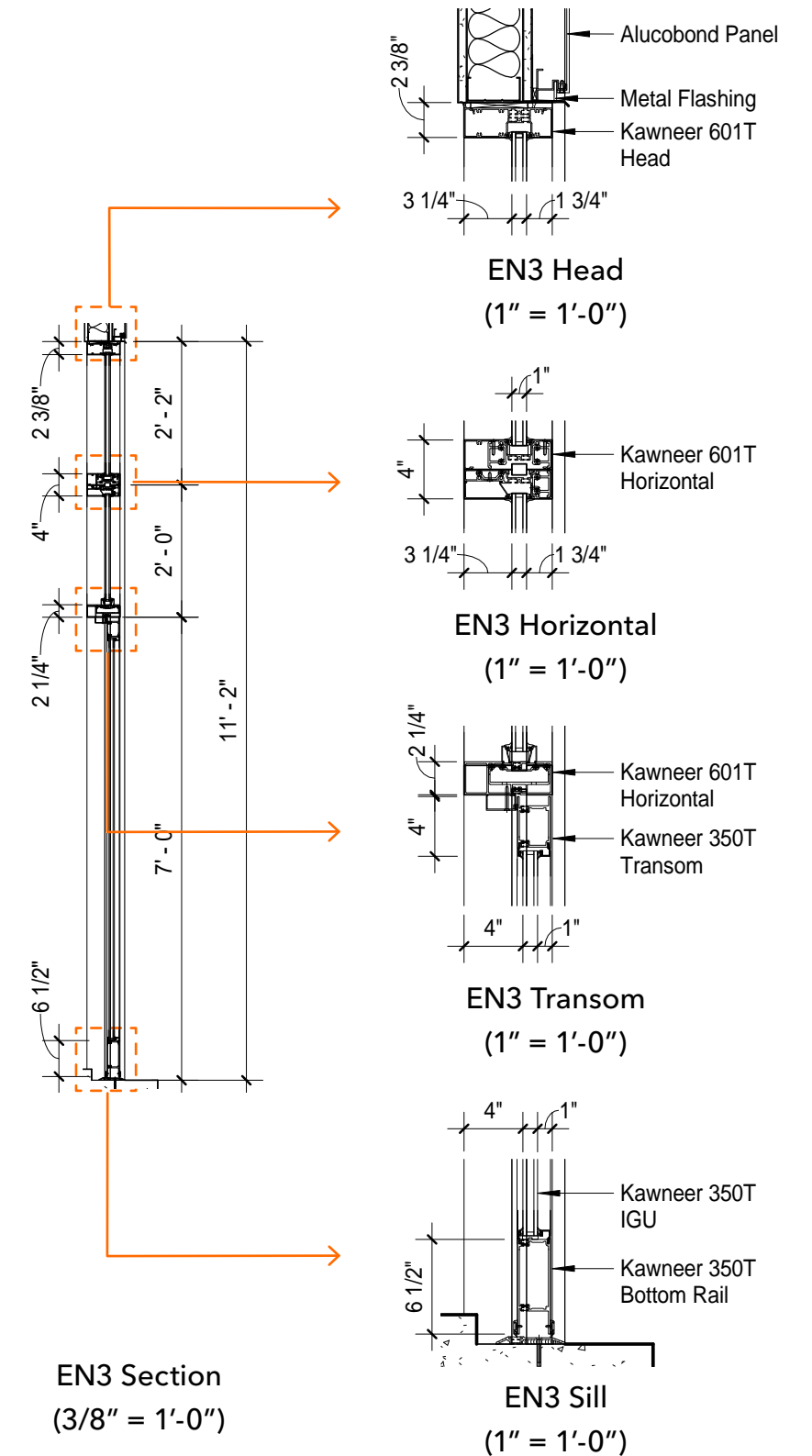
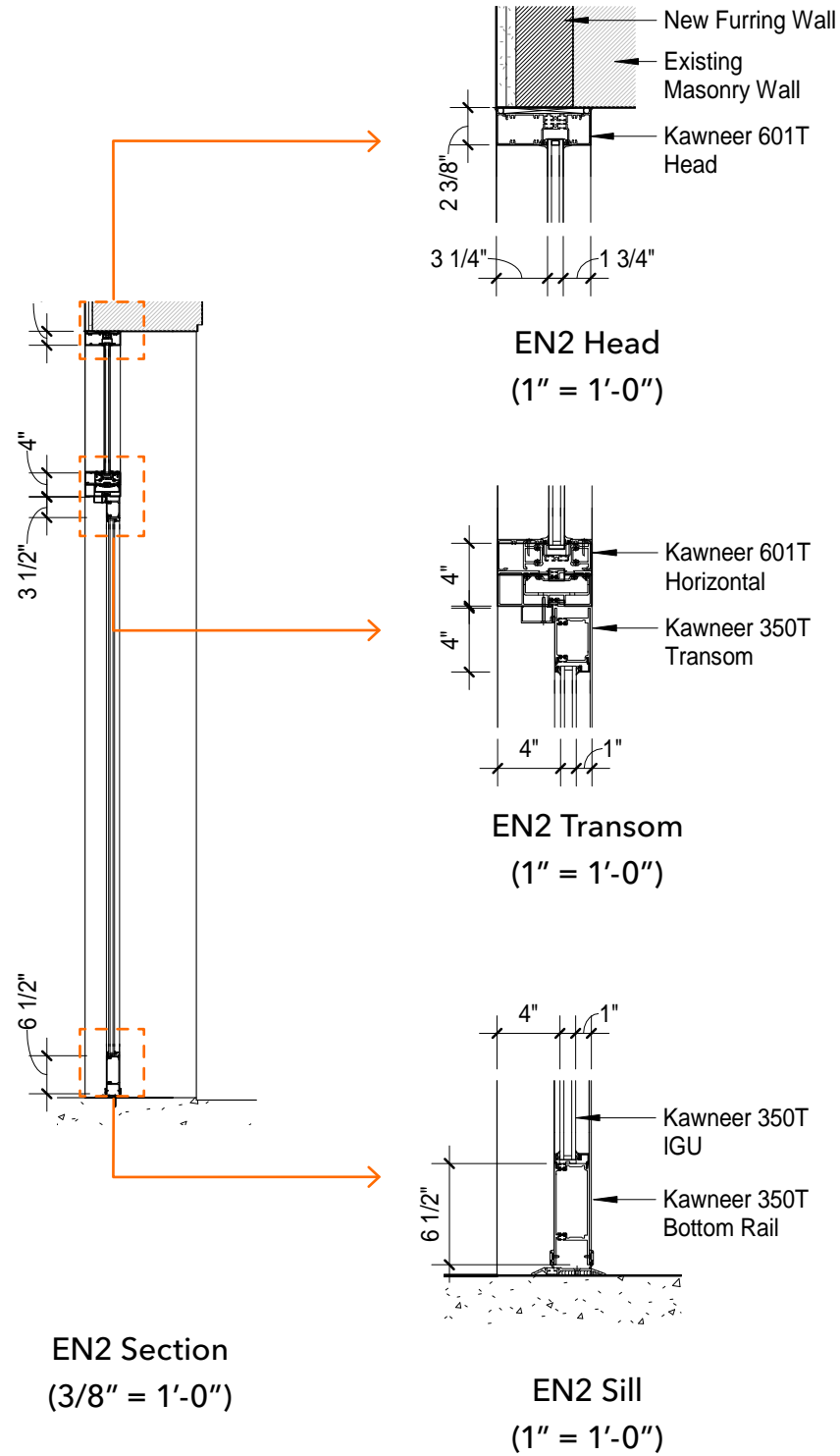
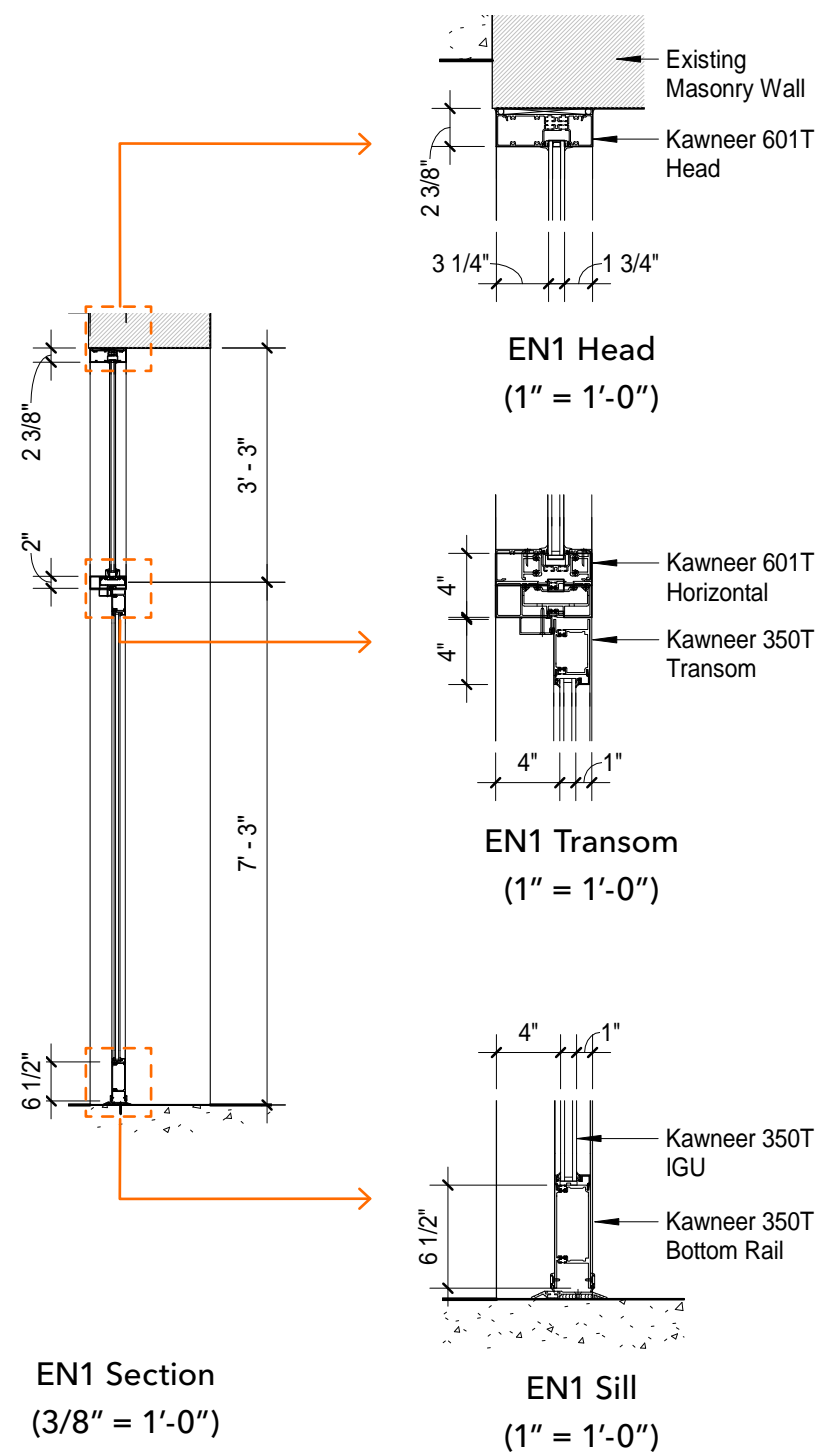
Appendix

Enlarged Details - Window W4 & W5



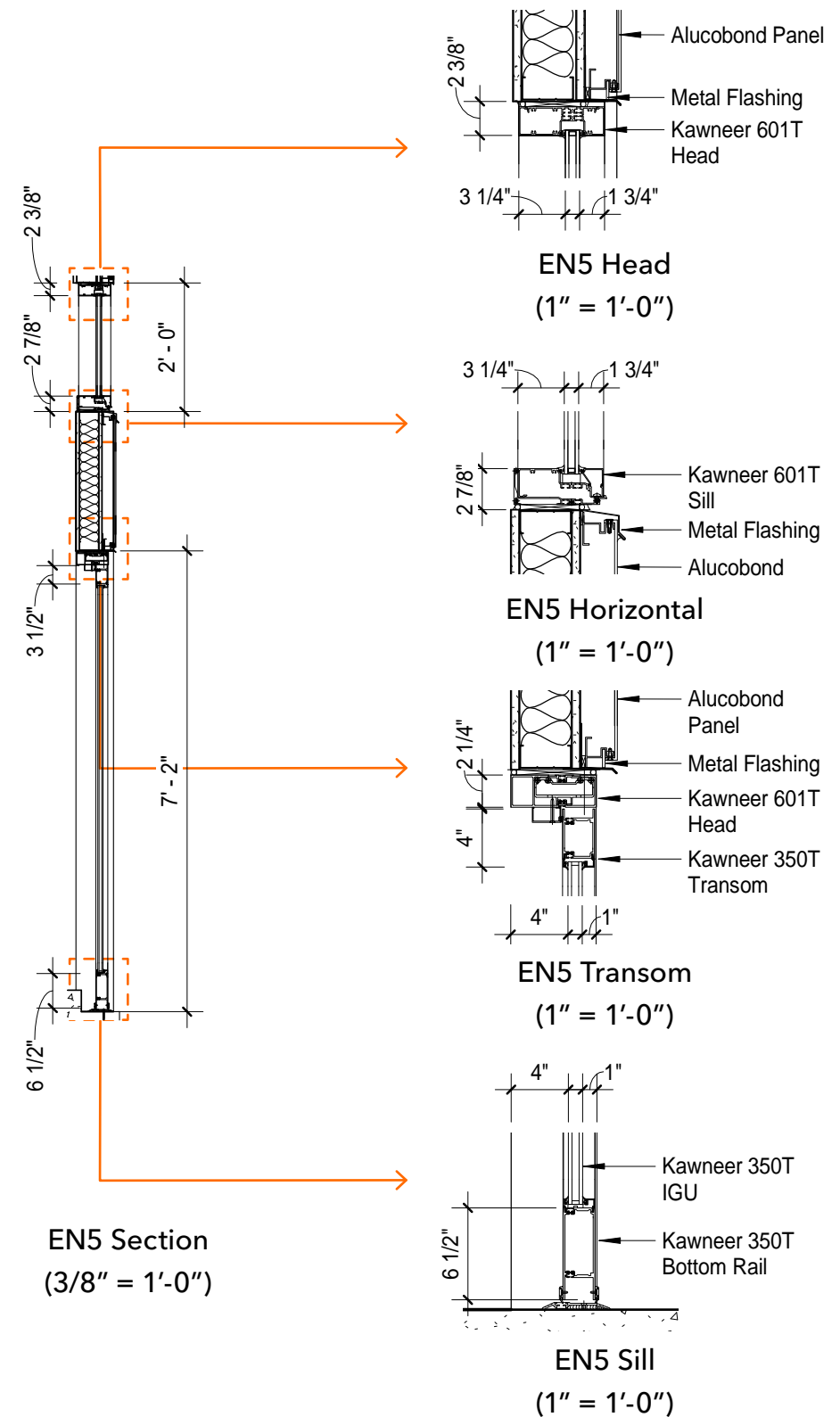
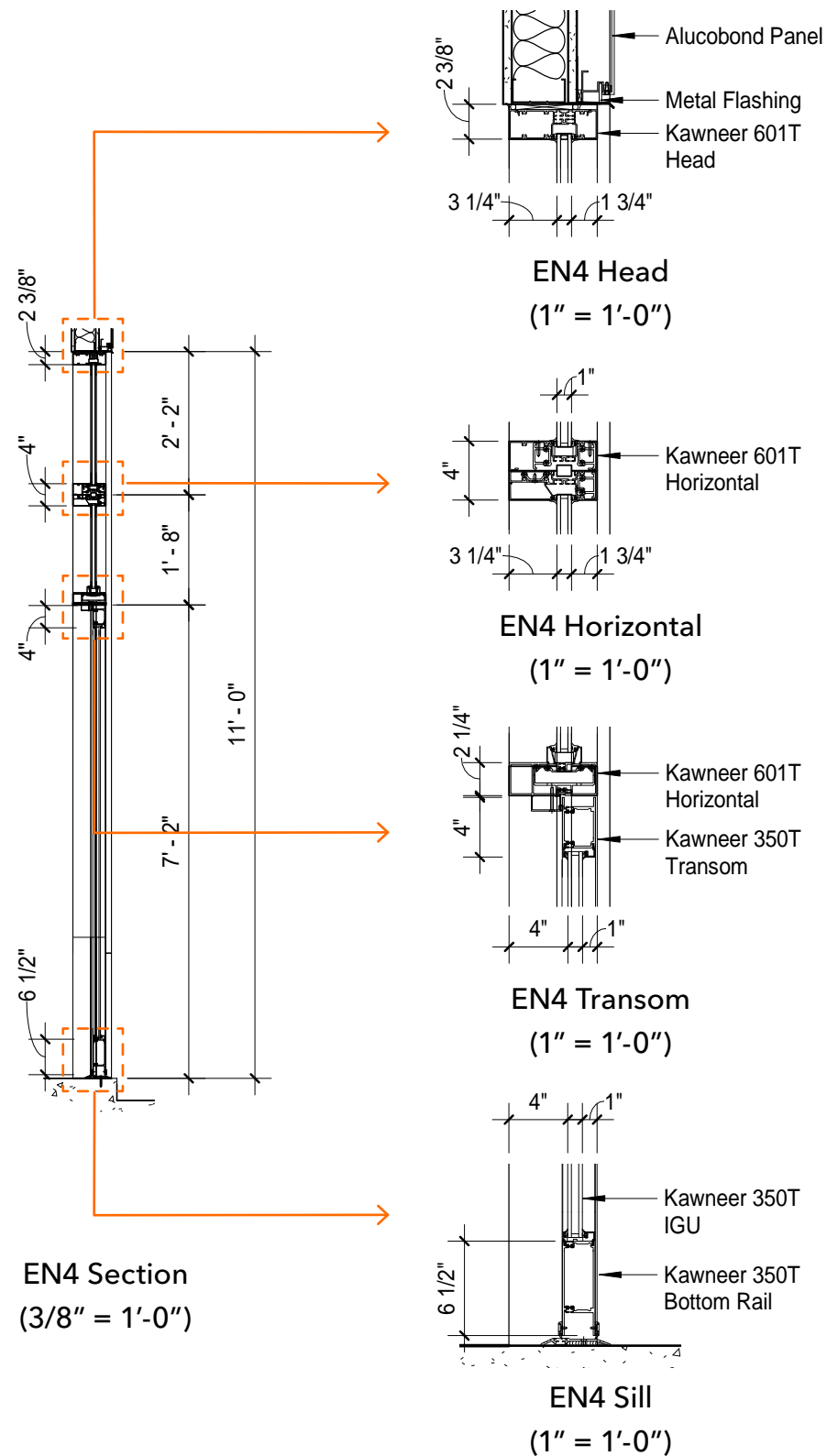
Appendix

Enlarged Details - Entrance EN1, EN2 & EN3



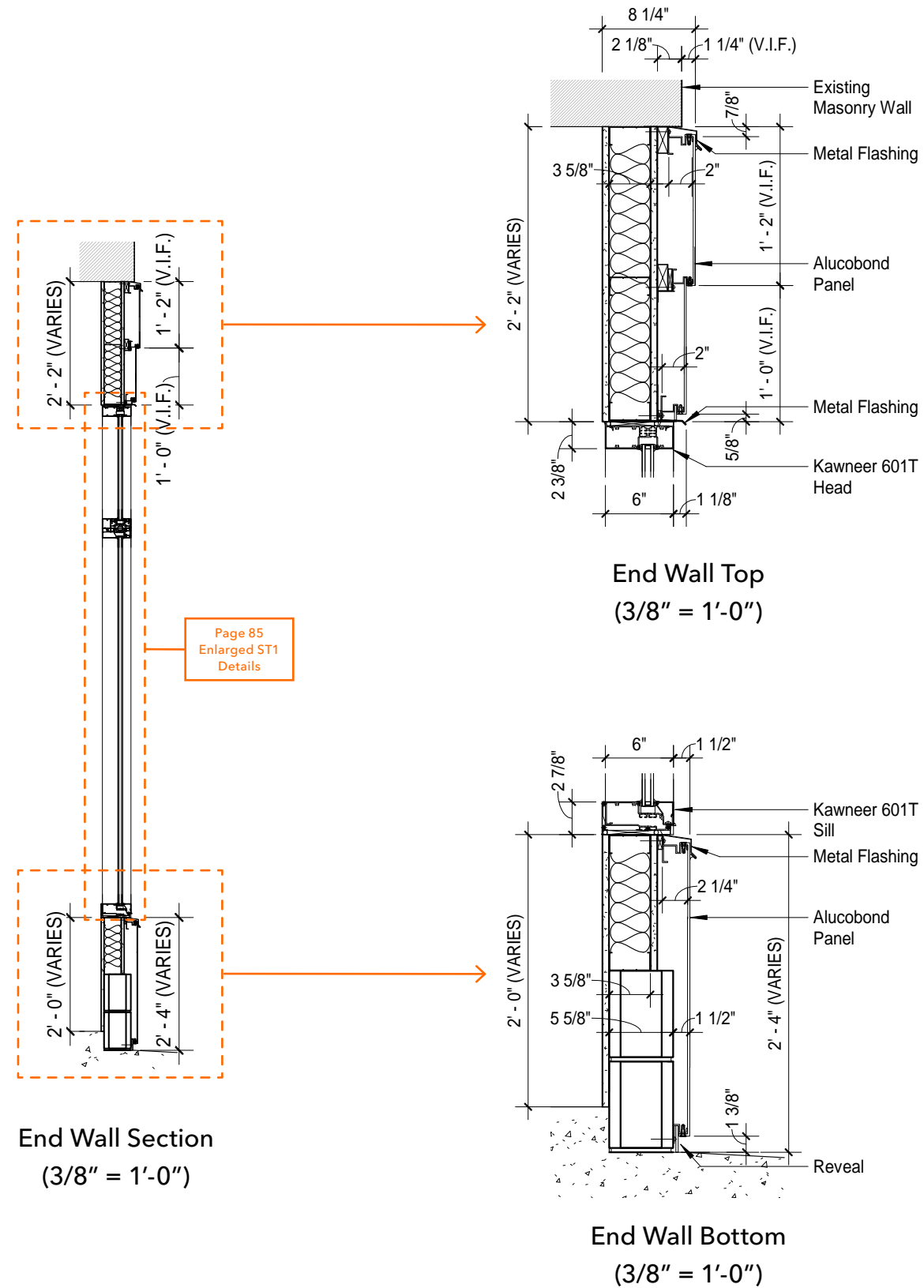
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Enlarged Details - Entrance EN4 & EN5



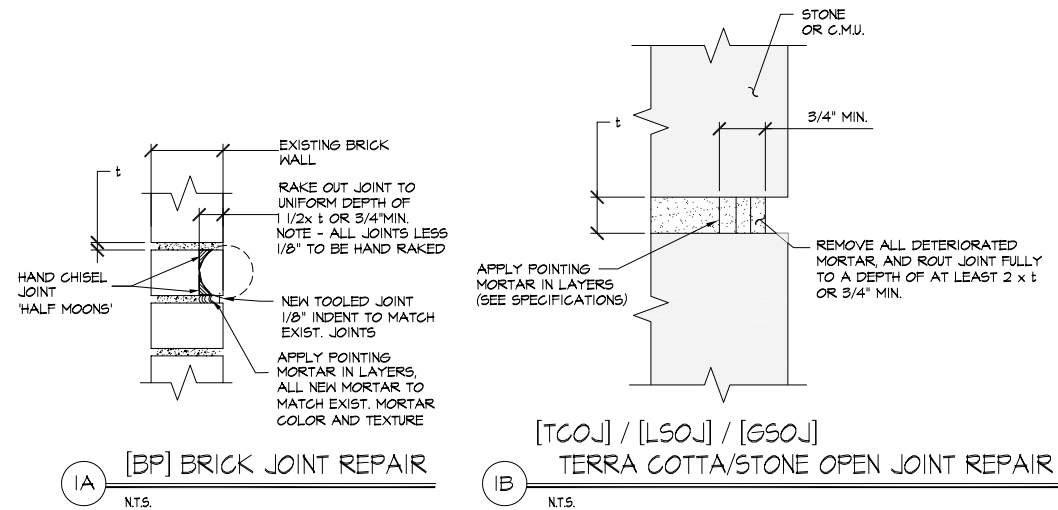
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Enlarged Details - Typical End Wall

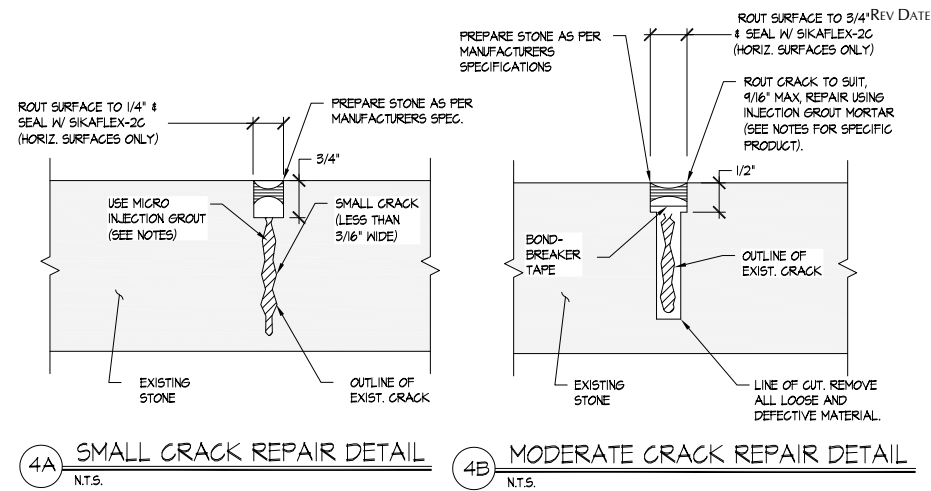
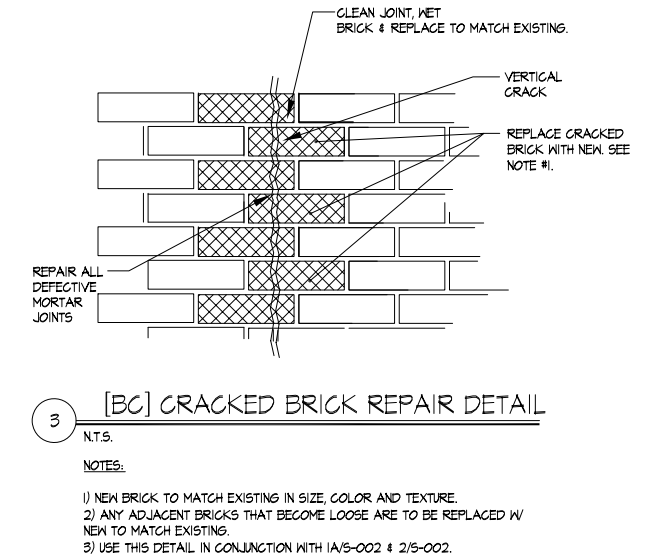
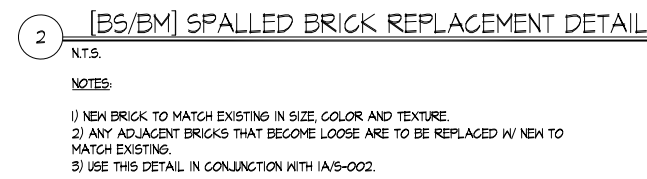


Appendix

Masonry Restoration & Rehabilitation Details

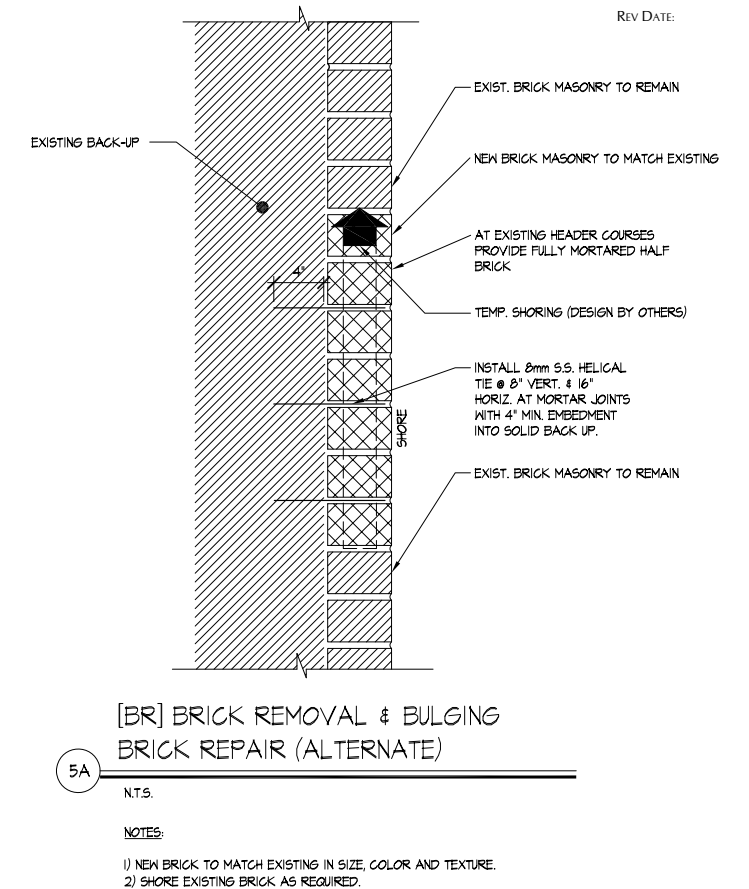
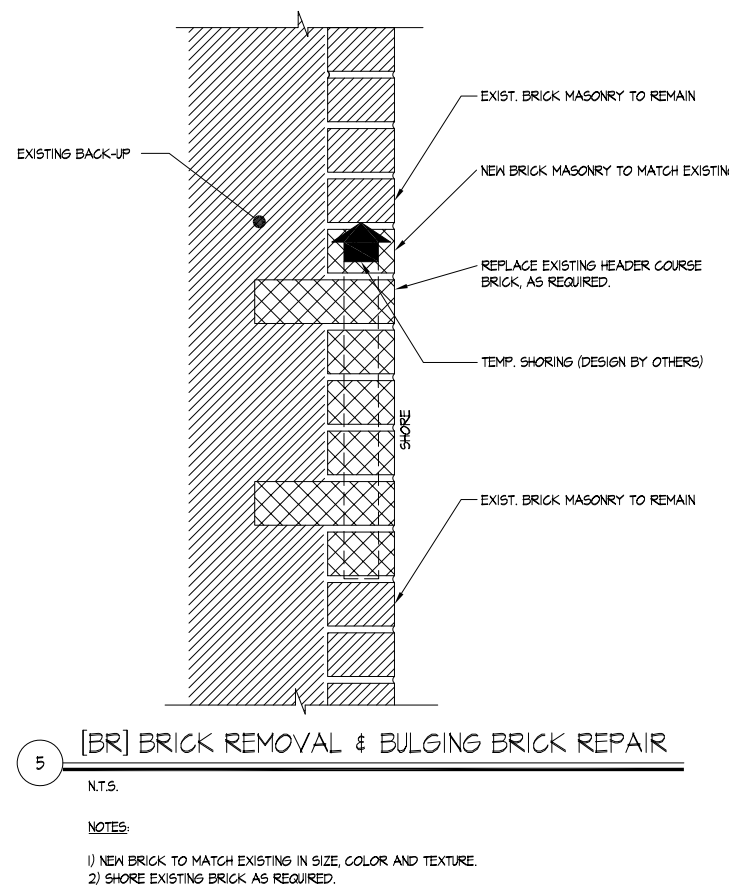


1 MORTAR JOINT POINTING DETAILS
N.T.S.



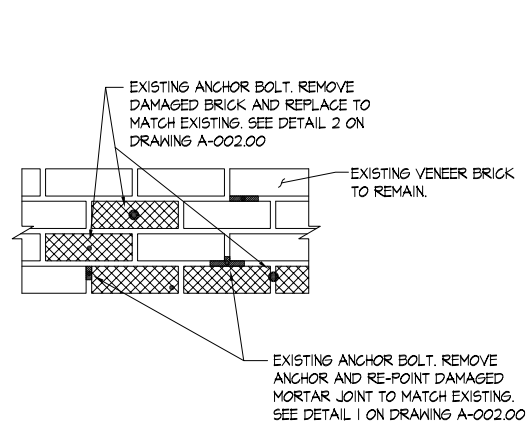
4 [LC] OR [TC] LIMESTONE OR TERRACOTTA PARTIAL PENETRATION CRACK REPAIR DETAILS
SCALE: N.T.S.

NOTES:
1) MATCH EXISTING ARCHITECTURAL PROFILES ON SURFACE OF TERRACOTTA OR LIMESTONE ORNAMENTS WHERE APPLICABLE.
2) LIMESTONE IS TO BE REPAIRED WITH JAHN MIO REPAIR MORTAR. SEE DTL. 2/S-003.
3) TERRACOTTA IS TO BE REPAIRED WITH JAHN MIO REPAIR MORTAR. SEE DTL. 2/S-003.



Appendix

Masonry Restoration & Rehabilitation Details

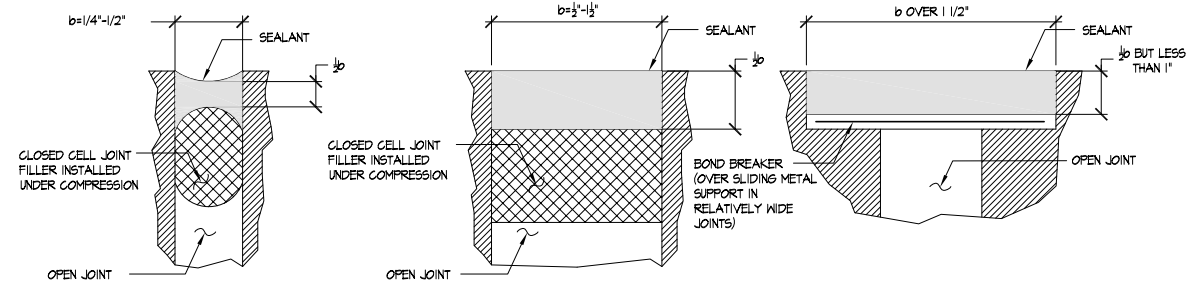
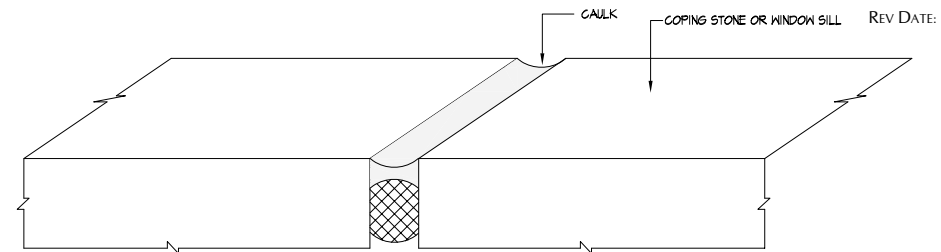


6 [RA] TYPICAL ANCHOR REMOVAL DETAIL

N.T.S.

NOTE(S):

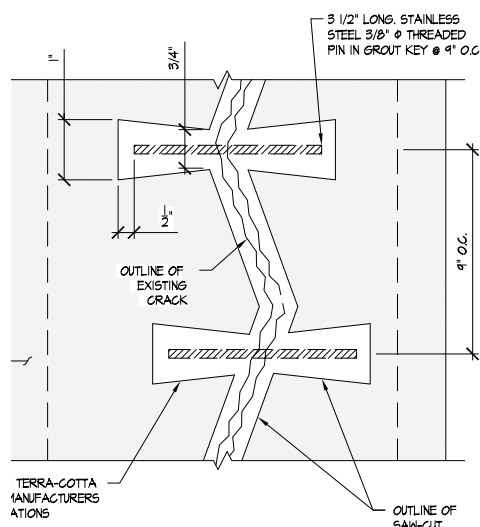
- 1) NEW BRICK TO MATCH EXISTING IN SIZE, COLOR AND TEXTURE.
- 2) ANY ADJACENT BRICKS THAT BECOME LOOSE ARE TO BE REPLACED W/ NEW TO MATCH EXISTING.
- 3) USE THIS DETAIL IN CONJUNCTION WITH 1/A-002 & 2/A-002.



7 [SOJ] TYPICAL CAULKING JOINT

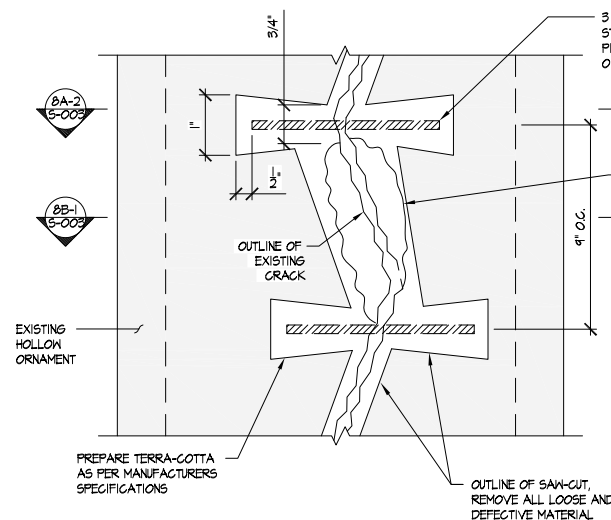
N.T.S.

1. THIS DETAIL IS FOR JOINTS AT HORIZONTAL SURFACES (SKY JTS) OR VERTICAL CONTROL JOINTS.
2. FOR VERTICAL MORTAR JOINT REPAIR SEE DETAIL 1B/5-002.



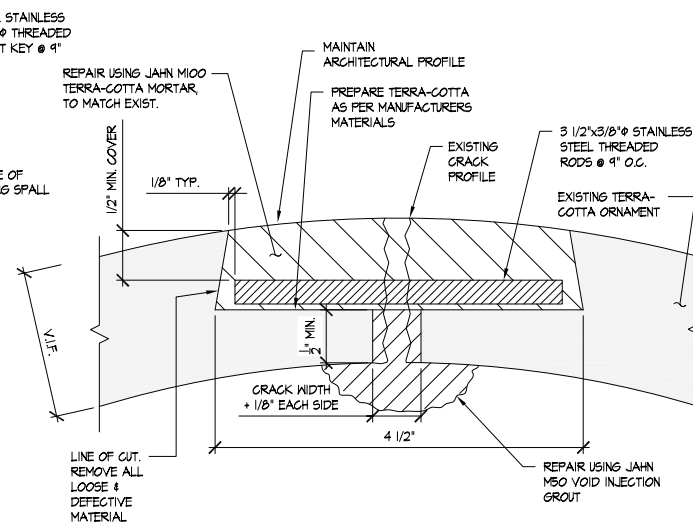
8A CRACK WITHOUT SPALLING REPAIR

N.T.S.



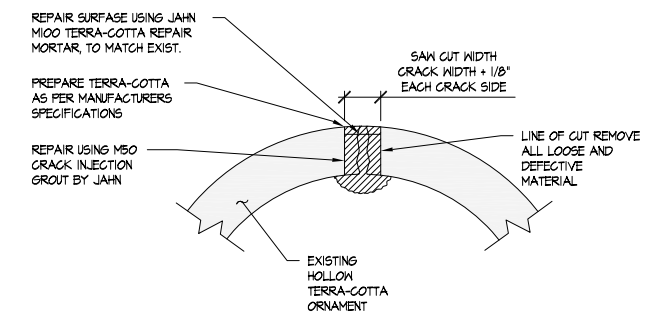
8B CRACK WITH SPALLING REPAIR

N.T.S.



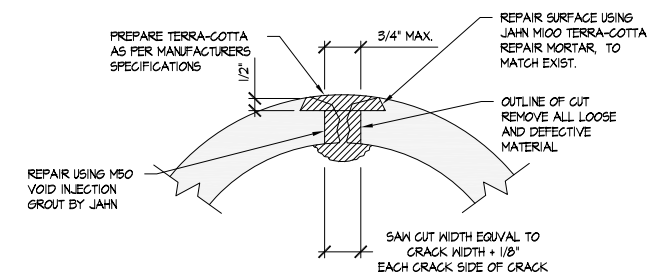
8A-2 SECTION @ KEYED PORTION

N.T.S.



8A-1 SECTION @ UN-KEYED PORTION

N.T.S.



8B-1 SECTION @ UN-KEYED PORTION

N.T.S.

8 [TCI] LARGE CRACK @ TERRA-COTTA ORNAMENT REPAIR DETAILS

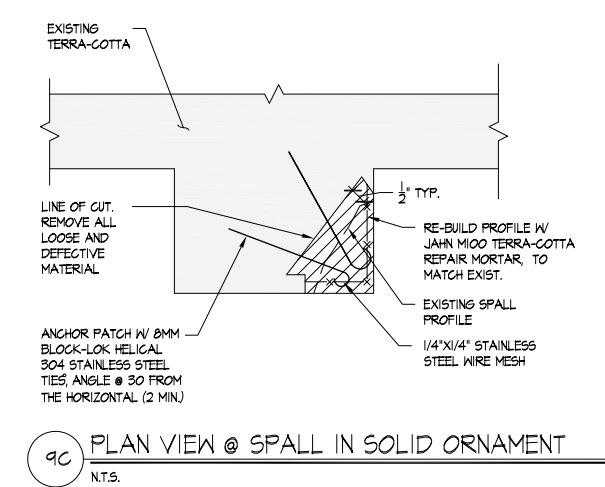
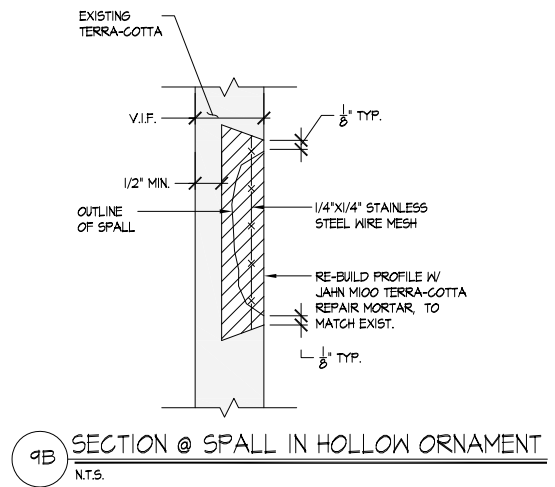
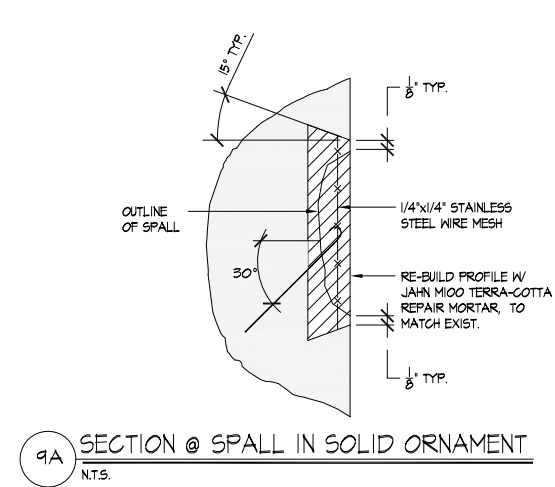
SCALE: AS NOTED

NOTE(S):

- 1) MATCH EXISTING ARCHITECTURAL PROFILES ON SURFACE OF TERRA-COTTA ORNAMENTS WHERE APPLICABLE
- 2) GLAZE PATCHED TERRA COTTA TO MATCH EXISTING. REF. SPEC #09100.

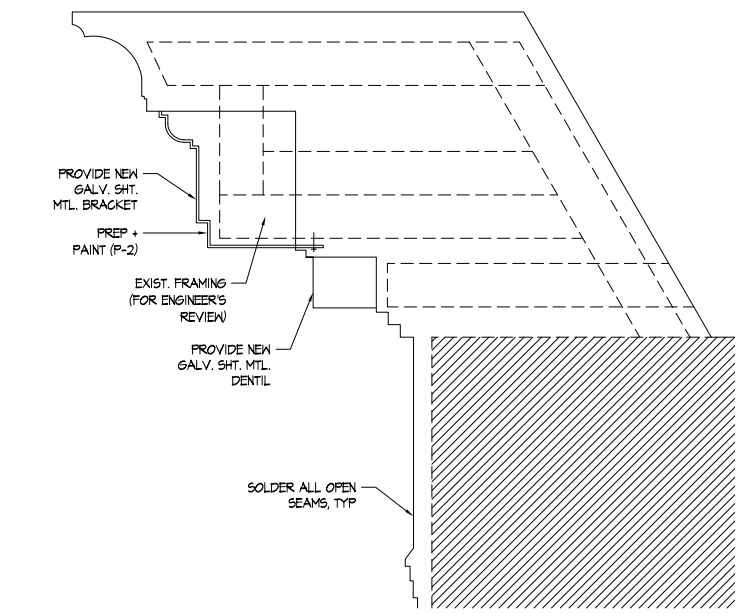
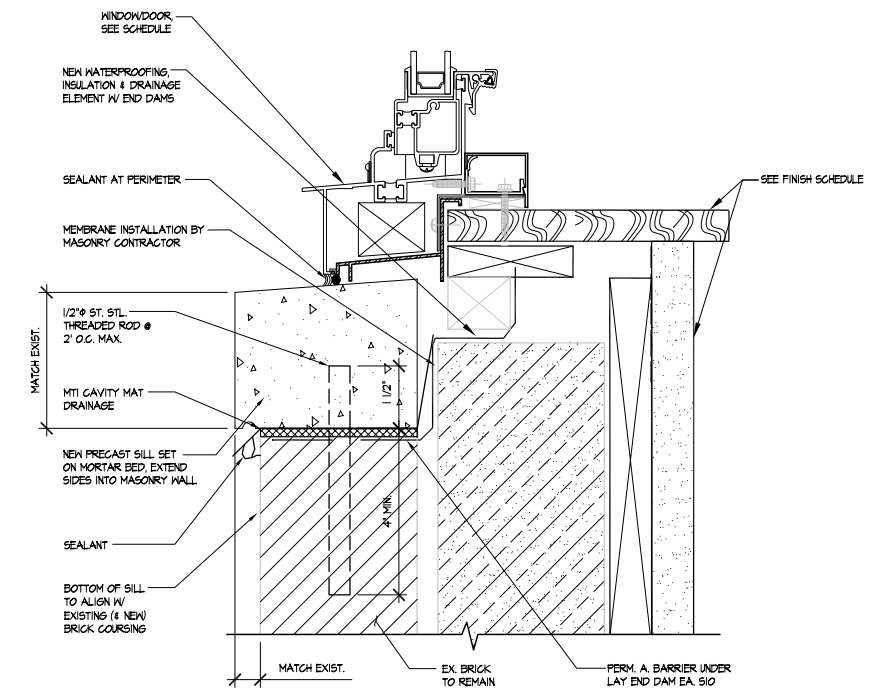
Appendix

Masonry Restoration & Rehabilitation Details



9 [TS] TERRA-COTTA ORNAMENT SPALL REPAIR DETAILS
SCALE: AS NOTED

NOTES:
1) MATCH EXISTING ARCHITECTURAL PROFILES ON SURFACE OF TERRA-COTTA ORNAMENTS WHERE APPLICABLE.
2) GLAZE PATCHED TERRA-COTTA TO MATCH EXISTING. REFER TO SPECIFICATION #04900.



Appendix

Specifications - Masonry Mortar



**SECTION 04100
MASONRY MORTARS**

PART 1 - GENERAL

1.1 RELATED DOCUMENTS:

A. General Contract Provisions apply to Work of this Section.

1.2 WORK SUMMARY:

A. This specification covers mortars for use in the construction of all new unit masonry as may be required for the project. In this specification, the term mortar shall be understood to mean mortar composed of portland cement, hydrated lime, sand and water. At the option of the Contractor, patent mix may be substituted.

B. Mortar Designations and Locations: See Article 2.15, Section 04200 - Unit Masonry.

1.3 RELATED WORK SPECIFIED ELSEWHERE:

A. Section 04200 - Unit Masonry.

B. Section 07900 – Sealants and Caulking

1.4 REFERENCE STANDARDS:

A. ASTM Standards C5-79(R84), Quicklime for Structural Purpose; C91-83a, Masonry Cement; C144-87, Aggregate for Masonry Mortar, C150-86, Portland Cement; C207-79(R84), Hydrated Lime for Masonry Purposes; C270-89, Mortar for Unit Masonry; C387-83, Packaged, Dry Combined Materials for Mortar and Concrete; C476-83, Mortar and Grout for Reinforced Masonry.

B. "Portland Cement Lime Mortars for Brick Masonry" by the Brick Institute of America (McLean, Virginia).

1.5 SUBMITTALS:

A. Certification of Specification Compliance.

B. Mix Design.

C. Reports of quality control testing.

D. Provide mortar samples to the Architect for approval.



1.6 REQUIREMENTS AND RESTRICTIONS:

A. All manufactured materials shall be delivered to the job site in unopened factory sealed containers clearly labeled as to product, manufacturer, use and/or other pertinent characteristics.

B. All packaged and loose materials shall be stored under proper environmental conditions to prevent contamination from excessive temperature changes, foreign materials and the like that may have an adverse effect on same.

1. All perishable materials shall be properly protected and stored in weathertight structures, with floor raised not less than 1'-0" above adjoining grade OR, for short intervals, on raised platforms and covered with waterproof tarps.

2. Aggregates shall be stored in clean bins, scows, or platforms having hard, clean surfaces.

3. Aggregates of different kinds and sizes shall be placed in different stockpiles.

C. No air-entraining admixtures or cementitious materials containing air-entraining admixtures shall be used in the mortar. No antifreeze compounds or other substances shall be used in the mortar to lower the freezing point. Calcium chloride or admixtures containing same shall not be used in mortar in which reinforcement, metal ties or anchorage devices are embedded.

D. Should segregation of aggregates occur they should be remixed to conform to the grading requirements.

E. Frozen aggregates or aggregates containing frozen lumps shall be thawed before use.

F. Cement that has hardened or partially set shall be removed from the site and not used.

G. Washed aggregates and aggregates produced or manipulated by hydraulic methods shall be allowed to drain for at least 12 hours before use.

H. Contractor responsible to facilitate the special inspections.

1.7 ENVIRONMENTAL REQUIREMENTS:

A. Follow the requirements for cold weather masonry construction as specified in B.I.A. Technical Notes #1 and #1A and herein.



B. Heat mixing water when air temperature is below 40 degrees F and heat aggregates when air temperature is below 32 degrees F to assure mortar temperatures between 40 degrees and 120 degrees F until used.

C. Produce subsequent mortar batches within +/- 10 degrees F of first batch.

D. Do not heat water or sand above 120 degrees

E. Cold-Weather Construction: Comply with referenced standard for cold-weather construction and the following:

1. Remove mortar damaged by freezing conditions.

2. Install mortar only when the exterior temperature will remain a constant 45 degrees or above for a 72-hour period from the commencement of work.

PART 2 - PRODUCTS

2.1 MORTAR MIXES:

A. All mortar mixes shall comply with the requirements set forth in ASTM C270-89, "Standard of Specifications for MORTAR FOR UNIT MASONRY" and shall consist of mixes for respective locations designated in paragraph 1.02, B. of this Section.

B. Mix mortar materials to produce mortar cubes having the following compressive strengths when tested in accordance with Property Specification Paragraph 8 of reference standard.

1. Mortar Type "N": 750 psi at 28 days.

C. Mortar color to match existing, historic mortar.

2.2 MIXING PROCEDURES:

A. Measure materials by volume or equivalent weight.

B. Do not measure by shovel.

C. Mix ingredients in clean mechanical mixer for a minimum of 3 minutes, maximum 5, with the minimum amount of water to produce a workable consistency.

D. Mortars that have stiffened because of evaporation of water from the mortar shall be re-tempered by adding water as frequently as needed to restore the required



consistency. Mortars shall be used and placed in final position within 2-1/2 hours after initial mixing.

E. Masonry mortar shall be colored to match existing and as approved by the Architect. Color will be established using Flamingo colors of the Riverton Corp., in a factory controlled custom mix. Only premixed colored mortar materials will be acceptable; no liquid colorants permitted.

PART 3 - EXECUTION

3.1 GENERAL:

A. Apply mortar in accordance with requirements stated in Section 04200 - Unit Masonry.

B. Apply mortar when the exterior temperature remains a constant 45 degrees or above for a 72-hour period from the commencement of work

END OF SECTION

Masonry Mortar (1/4)

Masonry Mortar (2/4)

Masonry Mortar (3/4)

Masonry Mortar (4/4)

Appendix

Specifications - Unit Masonry



**SECTION 04200
UNIT MASONRY**

PART 1 - GENERAL

1.1 RELATED DOCUMENTS:

- A. General Contract Provisions apply to Work of this Section.

1.2 WORK SUMMARY:

- A. This Section includes the following:

- 1. Clay unit masonry in the form of brick.

1.3 SUBMITTALS:

- A. Product data for each different masonry unit, accessory, and other manufactured product indicated.
- B. Shop drawings for reinforcing detailing fabrication, bending, and placement of unit masonry reinforcing bars. Comply with ACI 315 "Details and Detailing of Concrete Reinforcing" showing bar schedules, stirrup spacing, diagrams of bent bars, and arrangement of masonry reinforcement.
- C. Samples for verification purposes of the following:
 - 1. Full-size units for each different exposed masonry unit required showing full range of exposed color, texture, and dimensions to be expected in completed construction.
 - a. Include size variation data verifying that actual range of sizes for brick falls within ASTM C 216 dimension tolerances for brick where modular dimensioning is indicated.
 - 2. Accessories embedded in the masonry.
- D. Material certificates for the following signed by manufacturer and Contractor certifying that each material complies with requirements.
 - 1. Each different cement product required for mortar and grout including name of manufacturer, brand, type, and weight slips at time of delivery.
 - 2. Each material and grade indicated for reinforcing bars.



**SECTION 04200
UNIT MASONRY**

- 3. Each type and size of joint reinforcement.
- 4. Each type and size of anchors, ties, and metal accessories.
- E. Material test reports from a qualified independent testing laboratory employed and paid by Contractor indicating and interpreting test results relative to compliance of the following proposed masonry materials with requirements indicated.
 - 1. Mortar complying with property requirements of ASTM C270.
 - 2. Grout mixes. Include description of type and proportions of grout ingredients.
 - 3. Masonry units.
- F. Cold-weather construction procedures evidencing compliance with requirements specified in referenced unit masonry standard.
- G. Hot-weather construction procedures evidencing compliance with requirements specified in referenced unit masonry standard.
- H. Qualification data for firms and persons specified in "Quality Assurance" Article to demonstrate their capabilities and experience. Include list of completed projects with project names, addresses, telephone numbers, names of Architects and Owner, and other information specified.
- I. Results from tests and inspections performed by Owner's representatives will be reported promptly and in writing to Architect and Contractor.

1.4 QUALITY ASSURANCE:

- A. Unit Masonry Standard: Comply with ACI 530.1/ASCE 6 "Specifications for Masonry Structures," except as otherwise indicated.
 - 1. Revise ACI 530.1/ASCE 6 to exclude Sections 1.4 and 1.7; Parts 2.1.2, 3.1.2, and 4.1.2; and Articles 1.5.1.2, 1.5.1.3, 2.1.1.1, 2.1.1.2, and 2.3.3.9 and to modify Article 2.1.1.4 by deleting requirement for installing vent pipes and conduits built into masonry.
- B. Inspecting Laboratory Qualifications: To qualify for employment in performing tests and inspection specified in this Section, an independent testing laboratory must demonstrate to Architect's satisfaction, based on evaluation of laboratory-submitted criteria conforming to ASTM C 1093, that it has the experience and capability to conduct satisfactorily the testing indicated without delaying the progress of work.



**SECTION 04200
UNIT MASONRY**

- C. Pre-construction Testing: Owner will employ and pay a qualified independent testing laboratory to perform the following pre-construction testing indicated as well as other inspecting and testing services required by referenced unit masonry standard or indicated herein for source and field quality control:
 - 1. Clay unit masonry tests: For each different clay masonry unit indicated, units will be tested per ASTM C67.
 - 2. Concrete Masonry Unit Tests: For each different concrete masonry unit indicated, units will be tested for strength, absorption, and moisture content per ASTM C 140.
 - 3. Mortar properties will be tested per property specification of ASTM C270.
 - 4. Grout compressive strength will be tested per ASTM C 1019.
- D. Single-Source Responsibility for Masonry Units: Obtain exposed masonry units of uniform texture and color, or a uniform blend within the ranges accepted for these characteristics, from one manufacturer for each different product required for each continuous surface of visually related surfaces.
- E. Single-Source Responsibility for Mortar Materials: Obtain mortar ingredients of uniform quality, including color for exposed masonry, from one manufacturer for each cementitious component and from one source and producer for each aggregate.

1.5 DELIVERY STORAGE AND HANDLING:

- A. Deliver masonry materials to project in undamaged condition.
- B. Store and handle masonry units off the ground, under cover, and in a dry location to prevent their deterioration or damage due to moisture, temperature changes, contaminants, corrosion, and other causes. If units become wet, do not place until units are in an air-dried condition.
- C. Store cementitious materials off the ground, under cover, and in dry locations.
- D. Store aggregates where grading and other required characteristics can be maintained and contamination avoided.
- E. Store masonry accessories including metal items to prevent corrosion and accumulation of dirt and oil.



**SECTION 04200
UNIT MASONRY**

1.6 PROJECT CONDITIONS:

- A. Protection of Masonry: During erection, cover tops of walls, projections, and sills with waterproof sheeting at end of each day's work. Cover partially completed masonry when construction is not in progress.
 - 1. Extend cover a minimum of 24 inches down both sides and hold cover securely in place.
- B. Do not apply uniform floor or roof loads for at least 12 hours and concentrated loads for at least 3 days after building masonry walls.
- C. Stain Prevention: Prevent grout, mortar, and soil from staining the face of masonry to be left exposed. Remove immediately any grout, mortar, and soil that come in contact with such masonry.
 - 1. Protect base of walls from rain-splashed mud and mortar splatter by means of coverings spread on ground and over wall surface.
 - 2. Protect sills, ledges, and projections from mortar droppings.
 - 3. Protect surfaces of window and door frames, as well as similar products with painted and integral finishes from mortar droppings.
- D. Cold-Weather Construction: Comply with referenced unit masonry standard for cold-weather construction and the following:
 - 1. Do not lay masonry units that are wet or frozen.
 - 2. Remove masonry damaged by freezing conditions.
 - 3. Lay masonry units only when the exterior temperature will remain a constant 45 degrees or above for a 72-hour period from the commencement of work.
- E. Hot-Weather Construction: Comply with referenced unit masonry standard.

PART 2 - PRODUCTS

2.1 MATERIALS - GENERAL:

Unit Masonry (1/14)

Unit Masonry (2/14)

Unit Masonry (2/14)

Unit Masonry (4/14)

Appendix

Specifications - Unit Masonry



A. Comply with referenced unit masonry standard and other requirements specified in this Section applicable to each material indicated.

2.2 CLAY MASONRY UNITS:

A. General: Comply with the following requirements applicable to each form of brick required.

1. Provide special molded shapes where indicated and as follows:
 - a. For applications requiring brick of form, color, texture, and size on exposed surfaces that cannot be produced by sawing standard brick sizes.
 - b. For applications where stretcher units cannot accommodate special conditions including those at corners.
2. Provide units without cores or frogs and with all exposed surfaces finished for ends of headers and similar applications that expose brick surfaces that otherwise would be concealed from view.

B. Face Brick Standard: ASTM C 216 and as follows:

1. Grade and Unit Compressive Strength: Provide units of grade and minimum average net area compressive strength indicated below:
 - a. Grade SW.
 - b. 3000 psi
2. Type FBS.
3. Size: Provide bricks manufactured to the following actual dimensions within the tolerances specified in ASTM C 216:
 - a. Standard: Match Existing.
4. Shape units during manufacture as indicated below:
 - a. Molding.
5. Application: Use where brick is exposed, unless otherwise indicated.
6. Wherever shown to "match existing" provide face brick of matching color, texture, and size as existing adjacent brickwork.
7. Color and Texture: Match existing historic brick.

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Unit Masonry (5/14)



8. Recommended Manufacturers:

- a. Glen-Gery Corporation, Sommerville, NJ
- b. The Belden Brick, Conton, OH

C. Building (Common) Brick: ASTM C 62, and as follows:

1. Grade and Unit Compressive Strength: Provide units of grade and minimum average net area compressive strength indicated below:
 - a. Grade MW or Grade SW.
 - b. 3000 psi.
2. Size: Provide bricks manufactured to the following actual dimensions within the tolerances specified in ASTM C 216:
 - a. Standard Modular: 3-5/8 inches thick by 2-1/4 inches high by 7-5/8 inches long.
3. Application: Use where brick is indicated for concealed locations.

2.3 GROUT MATERIALS:

- A. Portland Cement: ASTM C 150, Type I or II.
- B. Masonry Cement: ASTM C 91.
- C. Hydrated Lime: ASTM C 207, Type S.
- D. Aggregate for Grout: ASTM C 404.
- E. Water: Clean and potable.

2.4 REINFORCING STEEL:

- A. General: Provide reinforcing steel complying with requirements of referenced unit masonry standard and this article.
- B. Steel Reinforcing Bars: Material and grade as follows:
 1. Billet steel complying with ASTM A 615.
 2. Grade 60.

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Unit Masonry (6/14)



2.5 JOINT REINFORCEMENT:

A. General: Provide joint reinforcement complying with requirements of referenced unit masonry standard and this article, formed from the following:

1. Hot-dipped galvanized carbon steel wire, coating class as required by referenced unit masonry standard to application indicated.
- B. Description: Welded-wire units prefabricated with deformed continuous side rods and plain cross rods into straight lengths of not less than 10 feet, with prefabricated corner and tee units, and complying with requirements indicated below:
 1. Wire Diameter for Side Rods: 0.1483 inch (9 gauge).
 2. Wire Diameter for Cross Rods: 0.1483 inch (9 gauge).
 3. For multiwythe masonry provide type as follows:
 - a. Truss design with diagonal cross rods spaced not more than 16 inches o.c. and number of side rods as follows:
 - (1) Number of Side Rods for Multi-wythe Concrete Masonry: One side rod for each face shell of hollow masonry units more than 4 inches in nominal width plus one side rod for each style of masonry 4 inches or less in nominal width.

C. Available Manufacturers: Subject to compliance with requirements, manufacturers offering joint reinforcement that may be incorporated in the Work include, but are not limited to, the following:

1. AA Wire Products Co.
2. Dur-O-Wal, Inc.
3. Heckman Building Products, Inc.
4. Hohmann & Barnard, Inc.

2.6 TIES AND ANCHORS, GENERAL:

A. General: Provide ties and anchors specified in subsequent articles that comply with requirements for metal and size of referenced unit masonry standard and of this article.

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B. Galvanized Carbon Steel Wire: ASTM A 82, coating class as required by referenced unit masonry standard, for wire ties and anchors in interior walls, unless otherwise indicated.

1. Wire Diameter: 0.1875 inch.

C. Steel Plates and Bars: ASTM A 36, hot-dip galvanized to comply with ASTM A 123 or ASTM A 153, Class B3, as applicable to size and form indicated.

D. Available Manufacturers: Subject to compliance with requirements, manufacturers offering products that may be incorporated in the work include, but are not limited to, the following:

1. AA Wire Products Co.
2. Dur-O-Wal, Inc.
3. Heckman Building Products, Inc.
4. Hohmann & Barnard, Inc.

2.7 RIGID ANCHORS:

A. Provide straps of form and length indicated, fabricated from metal strips of following width and thickness:

1. 1-1/2 inches wide by 1/4 inch thick.

2.8 MISCELLANEOUS ANCHORS:

A. Unit Type Masonry Inserts in Concrete: Cast iron or malleable iron inserts of type and size indicated.

B. Dovetail Slots: Furnish dovetail slots, with filler strips, of slot size indicated, fabricated from 0.0336-inch (22-gauge) sheet metal.

C. Anchor Bolts: Steel bolts complying with A 307, Grade A; with ASTM A 563 hex nuts and, where indicated, flat washers; hot-dip galvanized to comply with ASTM A 153, Class C; of diameter and length indicated and in the following configurations:

D. Anchors for Tying New Brick Masonry to Existing Masonry: 1-1/2" x 14 gauge hot dipped galvanized corrugated box anchor with 1/4" x 1" galvanized metal hit anchor as manufactured by Hilti.

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Unit Masonry (8/14)

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Specifications - Unit Masonry



2.9 MASONRY CLEANERS:

- A. Job-Mixed Detergent Solution: Solution of trisodium phosphate (1/2-cup dry measure) and laundry detergent (1/2-cup dry measure) dissolved in one gallon of water.
- B. Proprietary Acidic Cleaner: Manufacturer's standard-strength, general-purpose cleaner designed for removing mortar/grout stains, efflorescence, and other new construction stains from new masonry surfaces of type indicated below without discoloring or damaging masonry surfaces; expressly approved for intended use by manufacturer of masonry units being cleaned.
 1. For masonry not subject to metallic oxidation stains, use formulation consisting of a concentrated blend of surface-acting acids, chelating, and wetting agents.
 2. Available Products: Subject to compliance with requirements, a product that may be used to clean unit masonry surfaces includes, but is not limited to, the following:
 - a. "Sure Klean No. 600 Detergent," ProSoCo, Inc.

2.10 MORTAR AND GROUT MIXES:

- A. General: Do not add admixtures including air-entraining agents, accelerators, retarders, water repellent agents, antifreeze compounds, or other admixtures, unless otherwise indicated.
 1. Do not use calcium chloride in mortar or grout.
- B. Mortar for Unit Masonry: Comply with ASTM C 270, Proportion Specification, for types of mortar indicated below:
 1. Limit cementitious materials in mortar to portland cement-lime.
 2. For masonry below grade and in contact with earth, and where indicated, use type indicated below:
 - a. Type S.
 3. For reinforced masonry and above grade load bearing walls and where indicated, use type indicated below:

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- a. Type S.

- C. Grout for Unit Masonry: Comply with ASTM C 476 and referenced unit masonry standard.

2.11 SOURCE QUALITY CONTROL:

- A. Brick Tests: For each type and grade of brick indicated, units will be tested by qualified independent testing laboratory per ASTM C 67 except 5 bricks will be selected at random for each 100,000 units or fraction thereof installed.
- B. Concrete Masonry Unit Tests: For each type, class, and grade of concrete masonry unit indicated, units will be tested by qualified independent testing laboratory for strength, absorption, and moisture content per ASTM C 140.

PART 3 - EXECUTION

3.1 EXAMINATION:

- A. Examine conditions, with Installer present, for compliance with requirements for installation tolerances and other specific conditions, and other conditions affecting performance of unit masonry.
 1. For the record, prepare written report, endorsed by Installer, listing conditions detrimental to performance of unit masonry.
- B. Do not proceed until unsatisfactory conditions have been corrected.

3.2 INSTALLATION, GENERAL:

- A. Comply with referenced unit masonry standard and other requirements indicated applicable to each type of installation included in Project.
- B. Thickness: Build composite walls and other masonry construction the full thickness shown.
- C. Cut masonry units with motor-driven saws to provide clean, sharp, unchipped edges. Cut units as required to provide continuous pattern and to fit adjoining construction. Use full-size units without cutting where possible.
- D. Matching Existing Masonry: Match coursing, bonding, color, and texture of new masonry with existing masonry.

3.3 CONSTRUCTION TOLERANCES:

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- A. Comply with construction tolerances of referenced unit masonry standard.

3.4 LAYING MASONRY WALLS:

- A. Lay out walls in advance for accurate spacing of surface bond patterns with uniform joint widths and for accurate locating of openings, movement-type joints, returns, and offsets. Avoid the use of less-than-half-size units at corners, jambs, and where possible at other locations.
- B. Lay up walls to comply with specified construction tolerances, with courses accurately spaced and coordinated with other construction.
- C. Bond Pattern for Exposed Masonry: Lay exposed masonry in the following bond pattern; do not use units with less than nominal 4-inch horizontal face dimensions at corners or jambs.
 1. One-half running bond with vertical joint in each course centered on units in courses above and below.
- D. Lay concealed masonry will all units in a wythe in running bond or bonded by lapping not less than 2 inches. Bond and interlock each course of each wythe at corners. Do not use units with less than nominal 4-inch horizontal face dimensions at corners or jambs.
- E. Stopping and Resuming Work: In each course, rack back 1/2-unit length for one-half running bond or 1/3-unit length for one-third running bond; do not tooth. Clean exposed surfaces of set masonry, wet clay masonry units lightly (if required), and remove loose masonry units and mortar prior to laying fresh masonry.
- F. Built-In Work: As construction progresses, build-in items specified under this and other Sections of the Specifications. Fill in solidly with masonry around built-in items.
 1. Fill space between hollow metal frames and masonry solidly with mortar, unless otherwise indicated.
 2. Where built-in items are to be embedded in cores of hollow masonry units, place a layer of metal lath in the joint below and rod mortar or grout into core.
 3. Fill cores in hollow concrete masonry units with grout 3 courses (24 inches) under bearing plates, beams, lintels, posts, and similar items, unless otherwise indicated.

3.5 MORTAR BEDDING AND JOINTING:

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- A. Cut joints flush for masonry walls to be concealed or to be covered by other materials, unless otherwise indicated.

3.6 STRUCTURAL BONDING OF MULTI-WYTHE MASONRY:

- A. Use continuous horizontal joint reinforcement installed in horizontal mortar joints for bond tie between wythes.
- B. Corners: Provide interlocking masonry unit bond in each course at corners, unless otherwise shown.
 1. Provide continuity with horizontal joint reinforcement at corners using prefabricated "L" units, in addition to masonry bonding.

3.7 ANCHORING MASONRY TO STRUCTURAL MEMBERS:

- A. Anchor masonry to structural members where masonry abuts or faces structural members to comply with the following:
 1. Provide an open space not less than 1 inch in width between masonry and structural member, unless otherwise indicated. Keep open space free of mortar or other rigid materials.
 2. Anchor masonry to structural members with flexible anchors embedded in masonry joints and attached to structure.
 3. Space anchors as indicated, but not more than 24 inches o.c. vertically and 36 inches o.c. horizontally.

3.8 INSTALLATION OF REINFORCED UNIT MASONRY:

- A. General: Install reinforced unit masonry to comply with requirements of referenced unit masonry standard.
- B. Temporary Formwork: Construct formwork and shores to support reinforced masonry elements during construction.
 1. Construct formwork to conform to shape, line, and dimensions shown. Make sufficiently tight to prevent leakage of mortar and grout. Brace, tie, and support forms to maintain position and shape during construction and curing of reinforced masonry.
- C. Do not place grout until entire height of masonry to be grouted has attained sufficient strength to resist grout pressure.

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Unit Masonry (9/14)

Unit Masonry (10/14)

Unit Masonry (11/14)

Unit Masonry (12/14)

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Specifications - Unit Masonry

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D. Do not remove forms and shores until reinforced masonry members have hardened sufficiently to carry their own weight and other temporary loads that may be placed on them during construction.

3.9 FIELD QUALITY CONTROL:

A. Testing Frequency: Tests and evaluations listed in this article will be performed during construction for each 5000 sq. ft. of wall area or portion thereof.

1. Mortar properties will be tested per property specification of ASTM C 270.
2. Mortar composition and properties will be evaluated per ASTM C 780.
3. Grout compressive strength will be sampled and tested per ASTM C 1019.

B. Evaluation of Quality Control Tests: In absence of other indications of noncompliance with requirements, masonry will be considered satisfactory if results from construction quality control tests comply with minimum requirements indicated.

3.10 REPAIR OF EXISTING MASONRY:

- A. Mortar joints in existing interior requiring re-pointing as shown on Drawings or as required to restore walls to structural stability.
- B. Existing exterior brick masonry requiring re-pointing. Refer to Section 04500.

3.11 REPAIRING, POINTING, AND CLEANING:

A. Remove and replace masonry units that are loose, chipped, broken, stained, or otherwise damaged or if units do not match adjoining units. Install new units to match adjoining units and in fresh mortar or grout, pointed to eliminate evidence of replacement.

B. Pointing: During the tooling of joints, enlarge any voids or holes, except weep holes, and completely fill with mortar. Point-up all joints including corners, openings, and adjacent construction to provide a neat, uniform appearance, prepared for application of sealants.

C. Final Cleaning: After mortar is thoroughly set and cured, clean exposed masonry as follows:

1. Remove large mortar particles by hand with wooden paddles and nonmetallic scrape hoes or chisels.

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2. Test cleaning methods on sample wall panel; leave 1/2 panel uncleaned for comparison purposes. Obtain Architect's approval of sample cleaning before proceeding with cleaning of masonry.

3. Protect adjacent pre-cast and non-masonry surfaces from contact with cleaner by covering then with liquid strippable masking agent, polyethylene film, or waterproof masking tape.

4. Wet wall surfaces with water prior to application of cleaners; remove cleaners promptly by rinsing thoroughly with clear water.

5. Clean brick by means of bucket and brush hand-cleaning method described in BIA "Technical Note No. 20 Revised" using the following masonry cleaner:

- a. Proprietary acidic cleaner; apply in compliance with directions of acidic cleaner manufacturer.

D. Protection: Provide final protection and maintain conditions, in a manner acceptable to Installer, that ensure unit masonry is without damage and deterioration at time of Substantial Completion.

END OF SECTION

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Unit Masonry (13/14)

Unit Masonry (14/14)

Appendix

Specifications - Masonry Cleaning



**SECTION 04500
MASONRY CLEANING**

PART 1 - GENERAL

1.1 GENERAL:

- A. Drawings and general provisions of the Contract, including General and Special Conditions, apply to the work of this Section.

1.2 SCOPE OF WORK:

The work shall include furnishing all labor and materials, equipment, and services necessary to complete all work related to masonry cleaning, as shown on the drawings, herein specified, and as required by conditions or authorities for proper completion of the work.

- A. Masonry Cleaning includes, but not by way of limitation: Removal of all foreign substances from all exposed masonry surfaces on all facades.
- B. Masonry Cleaning shall be done at the beginning of the work before the repair, removal or replacement of any of the face brick. After the masonry has been cleaned as specified herein, it shall be protected from dirt and staining for the remainder of the project. At the end of the project, all of the masonry affected by the work of this contract shall be as if just cleaned.
- C. Goal of Masonry Cleaning: The goal of the work of this Section is to remove all stains, atmospheric dirt, and other residues from all exposed masonry surfaces of the building and give all masonry a clean, uniform appearance. Any work that does not achieve this goal will be considered unsuccessful and will have to be re-cleaned until this goal is achieved, to the satisfaction of the Engineer at no additional cost to the Owner.

1.3 QUALITY ASSURANCE:

- A. Restoration Specialist: Work must be performed by a firm with not less than five (5) years successful experience in cleaning masonry materials similar to that on this project. Only workmen skilled in the cleaning process and having a minimum of three (3) years experience cleaning masonry similar to that of this project shall be employed for this work.

Masonry Cleaning (1/6)



- B. Manufacturer's Representative: A representative on the full-time staff of the manufacturer of the cleaning products used for the work of this Section shall be present for the work on the test areas and shall be available as required throughout the work of this Section.

1.4 SUBMITTALS:

- A. All Submittals: Comply with the requirements of Section 5.
- B. Product Data: Submit manufacturer's specifications and other data for each manufactured product, including certification that each product complies with specified requirements. Include instructions for handling, storage, and protection of each product.
- C. Methods of Application: Submit a written description of the entire methods and procedures proposed for cleaning and stain removal including but not limited to: method of application, dilution of application, temperature of application, length of time of surface contact, methods of rinsing surface (temperature, pressure, and duration), repetition of procedure, etc.
- D. Methods of Protection: submit a written description of proposed materials and methods of protection for preventing damage to any non-masonry surfaces on the job site including but not limited to glass and wood, for approval by the Engineer. These methods and materials can include but are not limited to spray-on, peel-off type liquid materials and masking tape. Outline methods to keep water from reaching the interior of the buildings and to provide scaffolds and other methods of protection if so directed by the Engineer.
- E. Test Areas: After Engineer's approval of product data and methods, test clean a designated 8 ft. by 8 ft. sample area for each type of cleaning as directed by the Engineer, showing materials and methods to be used for cleaning surface. Sample panels shall be protected and remain as minimum standards for the cleaning operations.
 - (1) Clean test areas using the materials and methods proposed. The gentlest methods shall be used to produce acceptable results.
 - (2) Representative of the manufacturer of the cleaning products shall be present during cleaning of test areas.
 - (3) Approval in writing of the quality and condition of the cleaned test areas and the method used to clean them must be obtained from the Engineer before the work of masonry cleaning is begun.

Masonry Cleaning (2/6)



- (4) Cover test areas as approved by the Engineer with clear plastic covers, which shall be removed upon completion of all cleaning operations. Test areas will be considered an integral part of the work upon completion of the cleaning operation.

1.5 DELIVERY, STORAGE & HANDLING:

- A. Deliver all materials in manufacturer's original sealed and labeled containers.
- B. Store all materials according to manufacturer's recommendations and free from extremes of temperature.

1.6 PROJECT CONDITIONS:

- A. Environmental Requirements: None of the work outlined in this section shall be conducted at surface and air temperature below 50 degrees F or above 90 degrees F. Work shall not be conducted when there is a change of the surface temperature falling below 40 degrees F in the 24 hours following application.
- B. Protect, using extreme care, surrounding materials and buildings. Any damage to other materials is unacceptable and will be repaired to the satisfaction of the Engineer at no cost to the Owner.
- C. Provide protection from water damage to building or structure.
- D. Trees and plants around the building shall be protected from contamination.
- E. Test all drains and other water removal systems to assure that drains and systems are functioning properly prior to performing any cleaning operations. Notify Engineer immediately of any and all drains or systems that are found to be stopped or blocked. Contractor shall repair drains if so directed by Engineer. Do not begin work of this Section until the drains are in working order.
- F. Provide a method to prevent solids such as masonry residue from entering the drains or drain lines. Contractor shall be responsible for cleaning out drains and drain lines that become blocked or filled by sand or other solids because of work performed under this Contract.

Masonry Cleaning (3/6)



PART 2 - PRODUCTS

2.1 GENERAL:

- A. Materials to be used for cleaning shall be part of a system of products (such as detergents, cleaning compounds, liquids, soap powders, etc.) produced by one manufacturer to insure compatibility. All materials with appropriate technical information are to be submitted to the Engineer for final approval. Cleaning materials are not to be restricted to those listed below. Available product system: Subject to compliance with the requirements of this Section, the cleaning products used shall be products as manufactured by ProSoCo, Incorporated, KRC Research Corporation, Diedrich Technologies Inc. or products of an equally comprehensive cleaning system approved by the Engineer.
 - ProSoCo., Inc., Kansas City, Kansas.
 - KRC Research Corporation, 315 North Washington Avenue, Moorestown, NJ.
 - Diedrich Technologies Inc., 7373 South Street, Oak Creek, WI 553154
 - Dumond Chemicals, Inc., 104 Interchange Plaza, Suite 202, Monroe Township, NJ 08831
- B. All materials shall have been manufactured for the purpose for which they are proposed for use.
- C. Injurious substances or any ingredients that independently or in combination with other compounds, fluids or solutions will damage the masonry shall not be used. Methods or products causing abrasion damage to the surface finish of the masonry are prohibited.
- D. No sand, silica flour, or any other grit shall be used either singularly or in combination with water or any other liquid.
- E. All chemical materials, compounds, liquids, etc. shall be safe for use and shall not violate local, state, or federal environmental or safety regulations.
- F. Materials for use in removing dirt, grease, oil, graffiti, paint, stains, efflorescence, plant growth, mineral deposits, bird droppings, bituminous coating or other discolorations such as copper or corrosion stains, shall be commercially available, and subject to environmental limitations. Precise composition and strength of the chemicals to be used shall remain subject to the Engineer's approval.

Masonry Cleaning (4/6)

Appendix

Specifications - Masonry Cleaning



2.2 CLEANING MATERIALS:

- A. Detergent: Non-acidic detergent such as:
 - a. Ion - 417
 - b. Aremi - 2002 marble cleaner
 - c. Dumond - Ultimate Stone & Masonry Cleaner
 - d. Dumond - Architectural Cleaner
- B. Chemical Paint Removers, such as ProsoCo Enviro Klean Safety Peel 1, or approved equal.
- C. Other chemical cleaners as required for specific soiling and stains.
- D. Poultices: a blend of clays and detergents. Provide recommended product from ProsoCo, Inc., or an approved equal.
- E. Water for cleaning shall be clean, pure, and free from any injurious amounts of oil, acids, alkalines, organic materials, and other deleterious substances. Filter all water used for work of this Section. Provide a pump to achieve recommended pressures for the water used for the work of this Section.
- F. Brushes for washing masonry: soft fibered "Tampico" masonry washing brushes or approved equal.

PART 3 – EXECUTION

3.1 REMOVAL METHODS:

- A. General Cleaning:
 - (1) The maximum water pressure shall be 500 psi for masonry and 300 psi for cast iron.
 - (2) The cleaning method shall be the one recommended by the manufacturer of the cleaning products used and approved by the Engineer. All manufacturer's recommendations shall be followed. The method submitted to the Engineer for approval shall describe the product, dilution, method of application, duration of time on surface, and methods of removal (including the pressure and flow rate of the rinse).
 - (3) [OMITTED]
 - (4) Use of wire brushes, grinders, or any other non-approved abrasive methods shall not be permitted.



B. Special Cleaning:

- (1) Method to be used for cleaning dirt, stains and coatings not removed by the above general cleaning procedures shall be recommended by the Contractor and approved by the Engineer. Methods may include, but shall not be limited to, prewash - afterwash systems, the use of nonferrous bristle brushes and application of poultices.

3.2 CORRECTIVE MEASURES:

- a. Contractor shall repeat the processes of the work of this Section until the goal of a clean, uniform, harmonious masonry surface achieved to the complete satisfaction of the Engineer.
- b. Any and all damage caused to the building or structures by the work of this Section shall be repaired to the satisfaction of the Engineer at no cost to the Owner.

END OF SECTION

Masonry Cleaning (5/6)

Masonry Cleaning (6/6)

Appendix

Specifications - Sealants & Caulking



SECTION 07900 SEALANTS AND CAULKING

PART 1- GENERAL

1.1 GENERAL PROVISIONS:

- A. Perform work of this section in accordance with the owner's general conditions, special requirements, drawings, and all other requirements of the contract documents.

1.2 QUALITY ASSURANCE:

- A. Materials Manufacturer: Company specializing in manufacturing the products specified in this section with a minimum of ten years documented experience.
- B. Applicator: Company specializing in the application of the products specified in this section with a minimum of five years documented experience and qualified by the materials manufacturer.
- C. The contractor will meet with the manufacturer of the sealant at the job site prior to the use of the products specified.

1.3 SCOPE OF WORK:

- A. Furnish all labor, materials, tools, and equipment required to perform the work in this section as shown on the drawings and as specified herein. In general, the work shall include, but not necessarily be limited to, the following:
 1. Remove old caulking where existing, prepare joints, and caulk all: vertical expansion joints and cracks, all under the base bid using Type 1 sealant.
 2. Caulk all horizontal expansion and control joints using Type 2 sealant.
 3. Caulk in contact with metals and glazing at wall opening using Type 3 sealant.
 4. Use the appropriate primer when the manufacturer, and/or field adhesion test requires to do so.

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Sealants & Caulking (1/5)



- B. Related work specified elsewhere:
 1. The contractor will be required to coordinate the work of other sections with the work of this section and be responsible for the timely and expeditious performance of same.

1.4 SUBMITTALS:

- A. When alternates to the specified product are submitted for acceptance, include laboratory tests or data that validate product compliance using the same testing methods as the specified product.
- B. Submit manufacturers technical data sheets and material safety data sheets for each product
- C. Submit products from a single source manufacturer, including related work specified elsewhere, and noted in section 07900 1.3 B, in order to provide the owner a complete system of concrete repair and protection.

1.5 DELIVERY, STORAGE, AND HANDLING:

- A. Deliver the specified product in original, unopened containers with the manufacturer's name, labels, product identification, and batch numbers.
- B. Store and condition the specified product as recommended by the manufacturer.

PART 2 - PRODUCTS

- 2.1 The following products are components of a complete concrete repair and protection system from a single source manufacturer. The following is meant to set the quality standard required for this project.

- A. Acceptable manufacturers: Dow Corning Corporation, Midland, Michigan Sika Corporation, 201 Polito Avenue, Lyndhurst, NJ, 07071; contact person: Joe Vullo (516) 968-6337.

2.2 MATERIALS:

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Sealants & Caulking (2/5)



- A. Materials to be used will be one of the following, as manufactured by Sika Corporation, Lyndhurst, N.J. and by Dow Corning Corporation, Midland, MI, and determined by the application:
 1. **Type -1:** sealant shall be one part, neutral cure, low to no bleed silicone sealant that cures to durable, flexible building sealant Sikasil WS-290 to follow the following physical properties:
 - a. Movement capabilities of (ASTM C-719) + 100% / - 50%.
 - b. Tensile Properties tested under (ASTM D-412), 21 days
Tensile stress (ASTM D-412): 165 p.s.i.
Elongation at break (ASTM D-419): 700%
Modulus of elasticity (ASTM D419): 25% - 20 psi; 50% - 35 psi; 100% - 50 psi
 - c. Shore A Hardness tested under (ASTM D-2240): 9 days
 2. **Type – 2:** sealant shall be one part, neutral cure, low to no bleed silicone sealant Sikasil WS-295 to follow the following physical properties:
 - a. Movement capabilities of (ASTM C-719) +/- 50%
 - b. Tensile properties tested under (ASTM D-412): 21 days
Tensile strength at break (ASTM D-419): 200 psi
Tensile elongation (ASTM D-419): 800%, 100% modulus: 55 psi
 - c. Shore A Hardness tested under (ASTM D-2240): 20 days
 3. **Type – 3:** sealant shall be a 1-component, silicone base sealant, Dow Corning 795 with the following physical properties:
 - a. Tensile Strength tested under (ASTM D-412): 170psi
Tear Strength tested under (ASTM D-624): 27psi
Hardness (Shore A) tested under (ASTM D-624): 30(min)
 - b. Peel Strength tested under (MIL-s-8802D): 32lb/in.

- 1. **Type -1:** sealant shall be one part, neutral cure, low to no bleed silicone sealant that cures to durable, flexible building sealant Sikasil WS-290 to follow the following physical properties:
 - a. Movement capabilities of (ASTM C-719) + 100% / - 50%.
 - b. Tensile Properties tested under (ASTM D-412), 21 days
Tensile stress (ASTM D-412): 165 p.s.i.
Elongation at break (ASTM D-419): 700%
Modulus of elasticity (ASTM D419): 25% - 20 psi; 50% - 35 psi; 100% - 50 psi
 - c. Shore A Hardness tested under (ASTM D-2240): 9 days

- a. Movement capabilities of (ASTM C-719) + 100% / - 50%.
- b. Tensile Properties tested under (ASTM D-412), 21 days
Tensile stress (ASTM D-412): 165 p.s.i.
Elongation at break (ASTM D-419): 700%
Modulus of elasticity (ASTM D419): 25% - 20 psi; 50% - 35 psi; 100% - 50 psi
- c. Shore A Hardness tested under (ASTM D-2240): 9 days

- 2. **Type – 2:** sealant shall be one part, neutral cure, low to no bleed silicone sealant Sikasil WS-295 to follow the following physical properties:
 - a. Movement capabilities of (ASTM C-719) +/- 50%
 - b. Tensile properties tested under (ASTM D-412): 21 days
Tensile strength at break (ASTM D-419): 200 psi
Tensile elongation (ASTM D-419): 800%, 100% modulus: 55 psi
 - c. Shore A Hardness tested under (ASTM D-2240): 20 days

- a. Movement capabilities of (ASTM C-719) +/- 50%
- b. Tensile properties tested under (ASTM D-412): 21 days
Tensile strength at break (ASTM D-419): 200 psi
Tensile elongation (ASTM D-419): 800%, 100% modulus: 55 psi
- c. Shore A Hardness tested under (ASTM D-2240): 20 days

- 3. **Type – 3:** sealant shall be a 1-component, silicone base sealant, Dow Corning 795 with the following physical properties:
 - a. Tensile Strength tested under (ASTM D-412): 170psi
Tear Strength tested under (ASTM D-624): 27psi
Hardness (Shore A) tested under (ASTM D-624): 30(min)
 - b. Peel Strength tested under (MIL-s-8802D): 32lb/in.

- B. Backer Rod: Sealant backer shall be closed cell, expanded polyethylene foam which shall not form a bond with the sealant. The backer rod shall be at least 30% wider than the width of the joint.

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Sealants & Caulking (3/5)



- C. Bond Breaker Tape: Bond breaker tape shall be self-adhesive, polyethylene tape, compatible with the specified sealant.

PART 3 - EXECUTION

3.1 SURFACE PREPARATION:

- A. The joint and adjacent substrate must be clean, sound, dry and free of frost. Remove all traces of the old sealant, dust, grease, curing compounds, waxes, impregnations, foreign particles, efflorescence, and other bond inhibiting contaminants from the surface.
- B. Prime the prepared substrate if field-testing indicates a need.
- C. Install closed cell backer rod at the appropriate depth to allow the sealant to be placed at the proper width to depth ratio recommended by the sealant manufacturer. For shallow joints use the appropriate size bond breaker tape instead of backer rod.

3.2 INSTALLATION:

- A. Install the appropriate sealant into the joint with the proper caulking gun by placing the nozzle of the gun into the bottom of the joint and filling. Keep the tip of the nozzle in the sealant, continue on with a steady flow of sealant preceding the nozzle to avoid air entrapment. Avoid overlapping the sealant.
- B. Tool as required to properly fill the joint.
- C. All products mentioned in this section must be applied in strict accordance with the manufacturer's instructions. Carefully observe mixing, application, limitations and cautions as stated in the manufacturer's technical data sheet.

3.3 FIELD QUALITY CONTROL:

- A. All work under this section shall be subject to detailed inspection. Any sealants or caulking found improperly installed or tooled, or any work otherwise defective or not in accordance with the specifications and details shall be taken out and replaced to the complete satisfaction of the Engineer or owner.

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Appendix

Specifications - Sealants & Caulking



3.4 CLEANING AND PROTECTION:

- A. The applicator shall promptly remove all temporary coverings and protections of adjacent work areas and will clean these areas of all foreign materials resulting from their work.

END OF SECTION

Sealants & Caulking (5/5)

Appendix

Cut Sheet - Security Camera



Datasheet



AXIS P3367-VE Network Camera

5-megapixel, light-sensitive with remote focus and zoom

AXIS P3367-VE is a fixed dome network camera that offers superb video performance in HDTV 1080p/5 MP resolution. It complies with the SMPTE 274M standard and can cover a large area with exceptional detail and light sensitivity. Wide dynamic range and day/night functionality provides high image quality even in low-light conditions. With multi-view streaming, the full view and up to 8 individually cropped out view areas can be streamed simultaneously. AXIS P3367-VE has support for digital pan/tilt/zoom, two-way audio, audio detection and input/output ports for external devices. With its weather-proof and vandal-resistant casing, it is perfectly adapted for harsh environments.

- > [HDTV 1080p/5 MP](#)
- > [P-Iris control](#)
- > [Remote zoom and focus](#)
- > [I/O ports and two-way audio](#)
- > [Outdoor-ready and IK10 vandal-resistance](#)



Security Camera Cutsheet (1/2)

www.axis.com

T10053902/EN/M8.7/2102

AXIS P3367-VE Network Camera

| | | |
|-----------------------------------|---|--|
| Camera | Image sensor: Progressive scan RGB CMOS 1/3.2" | Notification: email, HTTP, HTTPS and TCP Video recording to edge storage Pre- and post-alarm video buffering External output activation, audio recording to edge storage, play audio clip Preset positions, guard tour |
| Lens | 3-9 mm, F1.2 Horizontal field of view: 84°-30° Vertical field of view: 63°-22° Varifocal, Remote focus and zoom, P-Iris control, IR corrected | |
| Day and night | Automatically removable infrared-cut filter | |
| Minimum illumination | Color: 0.2 lux, F1.2, B/W: 0.04 lux, F1.2 | |
| Shutter speed | 1/28000 s to 2 s | |
| Camera angle adjustment | Pan 360°, Tilt 160°, Rotation 340° | |
| Video | Video compression: H.264 Baseline and Main Profile (MPEG-4 Part 10/AVC) Motion JPEG | |
| Resolution | 2592x1944 (5 MP) to 160x90 | |
| Frame rate | 2 MP 4:3 (1600x1200) and HDTV 1080p (1920x1080) capture modes: 30 fps in all resolutions, 3 MP capture mode: 20 fps in all resolutions, 5 MP capture mode: 12 fps in all resolutions | |
| Video streaming | Multiple, individually configurable streams in H.264 and Motion JPEG Controllable frame rate and bandwidth VBR/MBR H.264 | |
| Multi-view streaming | Up to 8 individually cropped out view areas When streaming 4 view areas and 1 overview in VGA resolution, the frame rate is 12 fps per stream (5 MP capture mode) or 20 fps per stream (3 MP capture mode) | |
| Pan/Tilt/Zoom | Digital PTZ Preset positions, guard tour | |
| Image settings | Compression, color, brightness, sharpness, contrast, white balance, exposure control, exposure zones, fine tuning of behavior at low light, text and image overlay, mirroring of images, privacy mask Rotation 0°, 90°, 180°, 270°, including Corridor Format Wide Dynamic Range - dynamic contrast | |
| Audio | Audio streaming: Two-way audio | |
| Audio encoding | AAC LC 8/16 kHz, G.711 PCM 8 kHz, G.726 ADPCM 8 kHz Configurable bit rate | |
| Audio input/output | | |
| Network | Security: Password protection, IP address filtering, HTTPS encryption, IEEE 802.1X network access control, digest authentication, user access log | |
| Supported protocols | IPv4, IPv6, USGv6, HTTP, HTTPS, SSL/TLS, QoS Layer 3 DiffServ, FTP, CIFS/SMB, SMTP, Bonjour, UPnP™, SNMPv1/v2c/v3 (MIB-II), DNS, DynDNS, SFTP, NTP, RTP, RTSP, RTP, TCP, UDP, IGMPv1/v2/v3, RTCP, ICMP, DHCP, ARP, SOCKS, SSH | |
| System integration | Application Programming Interface: Open API for software integration, including VAPIX® and AXIS Camera Application Platform, specifications at axis.com One-click cloud connection ONVIF® Profile S and ONVIF® Profile G, specification at www.onvif.org | |
| Analytics | Included: AXIS Video Motion Detection, active tampering alarm, audio detection Supported: AXIS Cross Line Detection, AXIS Perimeter Defender AXIS Digital Autotracking Support for AXIS Camera Application Platform enabling installation of third-party applications, see axis.com/acap | |
| Event triggers | Analytics, edge storage events, external input | |
| Event actions | File upload: FTP, FTPS, HTTP, HTTPS, network share and email | |
| Data streaming | Event data | |
| Built-in installation aids | Remote zoom, remote focus, pixel counter | |
| General | | |
| Casing | Polycarbonate transparent dome, aluminum inner camera module with encapsulated electronics IP66- and NEMA 4X-rated, IK10 impact-resistant casing with aluminum base and dehumidifying membrane Color: White NCS S 1002-B. For repainting instructions and impact on warranty, contact your Axis partner. | |
| Sustainability | PVC free | |
| Mounting | Mounting bracket with junction box holes (double-gang, single-gang, 4" octagon and 4" square) 1/4"-20 UNC tripod screw thread | |
| Memory | 512 MB RAM, 128 MB Flash | |
| Power | Power over Ethernet IEEE 802.3af/802.3at Type 1 Class 3 Max 12.1 W | |
| Connectors | RJ45 10BASE-T/100BASE-TX PoE Terminal block for 1 alarm input and 1 output, 3.5 mm mic/line in, 3.5 mm line out | |
| Storage | Support for SD/SDHC/SDXC card Support for SD card encryption Support for recording to network-attached storage (NAS) For SD card and NAS recommendations see www.axis.com | |
| Operating conditions | -40 °C to 55 °C (-40 °F to 131 °F) Humidity 10-100% RH (condensing) | |
| Storage conditions | -40 °C to 65 °C (-40 °F to 149 °F) | |
| Approvals | EMC: EN 55022 Class B, EN 61000-6-1, EN 61000-6-2, EN 55024, FCC Part 15 Subpart B Class B, ICES-003 Class B, VCCI Class B, RCM AS/NZS CISPR 22 Class B, KCC KN22 Class B, KN24, EN 50581, EN 50121-4, IEC 62236-4 Safety: IEC/EN/UL 60950-22, IS 13252 Environment: IEC 60068-2-1, IEC 60068-2-2, IEC 60068-2-14, IEC 60068-2-27, IEC 60068-2-64, IEC 60068-2-78, IEC/EN 60529 IP66, IEC 62262 IK10, NEMA 250 Type 4X Network: NIST SP500-267 | |
| Weight | 1.7 kg (3.7 lb), with weathershield | |
| Dimensions | Ø178 x 117 mm (Ø7 x 4 5/8 in) | |
| Included accessories | Installation Guide, Windows® decoder 1-user license, Resistor® L-key, drill hole template Connector kit, mounting bracket, smoked dome, weather shield, 5 m (16 ft) network cable with pre-mounted gasket | |
| Video management software | AXIS Companion, AXIS Camera Station, Video management software from Axis' Application Development Partners available on axis.com/vms | |
| Languages | English, German, French, Spanish, Italian, Russian, Simplified Chinese, Japanese, Korean, Portuguese, Traditional Chinese | |
| Warranty | 5-year warranty, see axis.com/warranty | |

a. This product includes software developed by the OpenSSL Project for use in the OpenSSL Toolkit (<http://www.openssl.org/>), and cryptographic software written by Eric Young (ey@cryptsoft.com).

Environmental responsibility:
axis.com/environmental-responsibility

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Security Camera Cutsheet (2/2)

