

27 EAST 4TH STREET
NOHO HISTORIC DISTRICT EXTENSION
COMMUNITY BOARD
PRESENTATION



PROPOSED BUILDING



EXISTING BUILDING

A previous application was approved on February 11, 2014, C of A # 19-23223 for this site. The building required a variance for bulk which was not approved at the City Council. This proposed design is for an as-of-right development.



SITE PLAN WITH NOHO HISTORIC DISTRICT EXTENSION



EXISTING GARAGE AND REPAIR SHOP, CONSTRUCTED 1946



History (from Historic Designation Report)

“This one-story structure designed by architect Herman Kron was built for Paramount Filling Stations, Inc. c.1945 for use as a garage and repair shop. The building, which is currently used as storage for food carts, has a simple brick façade and large vehicle entrance.”

LPC Certificate of Appropriateness, issued 04/06/18:

“With regard to this proposal, the Commission found that the one-story garage building is not one of the buildings for which the historic district is designated, and therefore its demolition will not diminish the special architectural and historic character of the NoHo historic district extension”



A - EAST STREET VIEW - FROM E 4TH ST & BOWERY



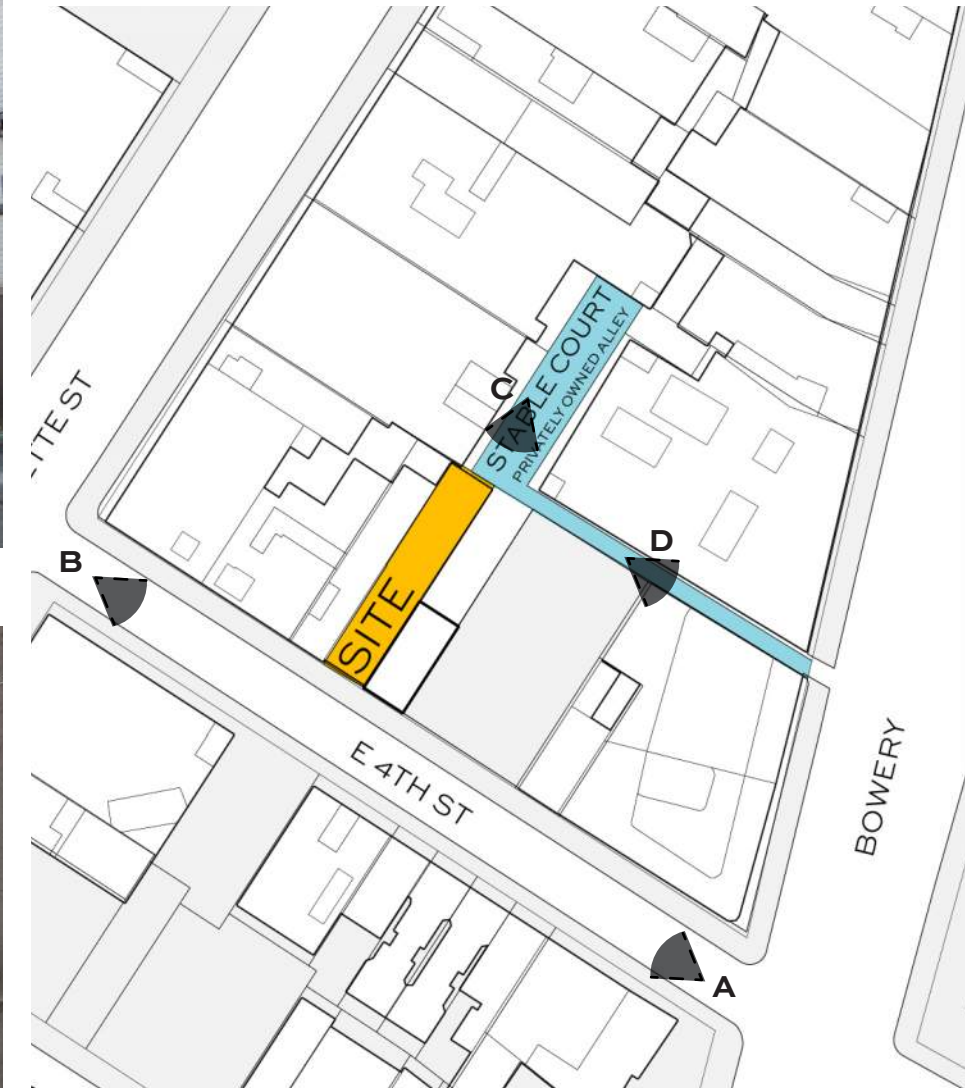
C - EXISTING CONDITIONS - STABLE COURT, FACING REAR OF LOT 72



B - WEST STREET VIEW - FROM E 4TH ST & LAFAYETTE



D - EXISTING CONDITIONS - STABLE COURT, ALLEY ACCESS TO BOWERY



STABLE COURT ALLEY HIGHLIGHTED IN BLUE

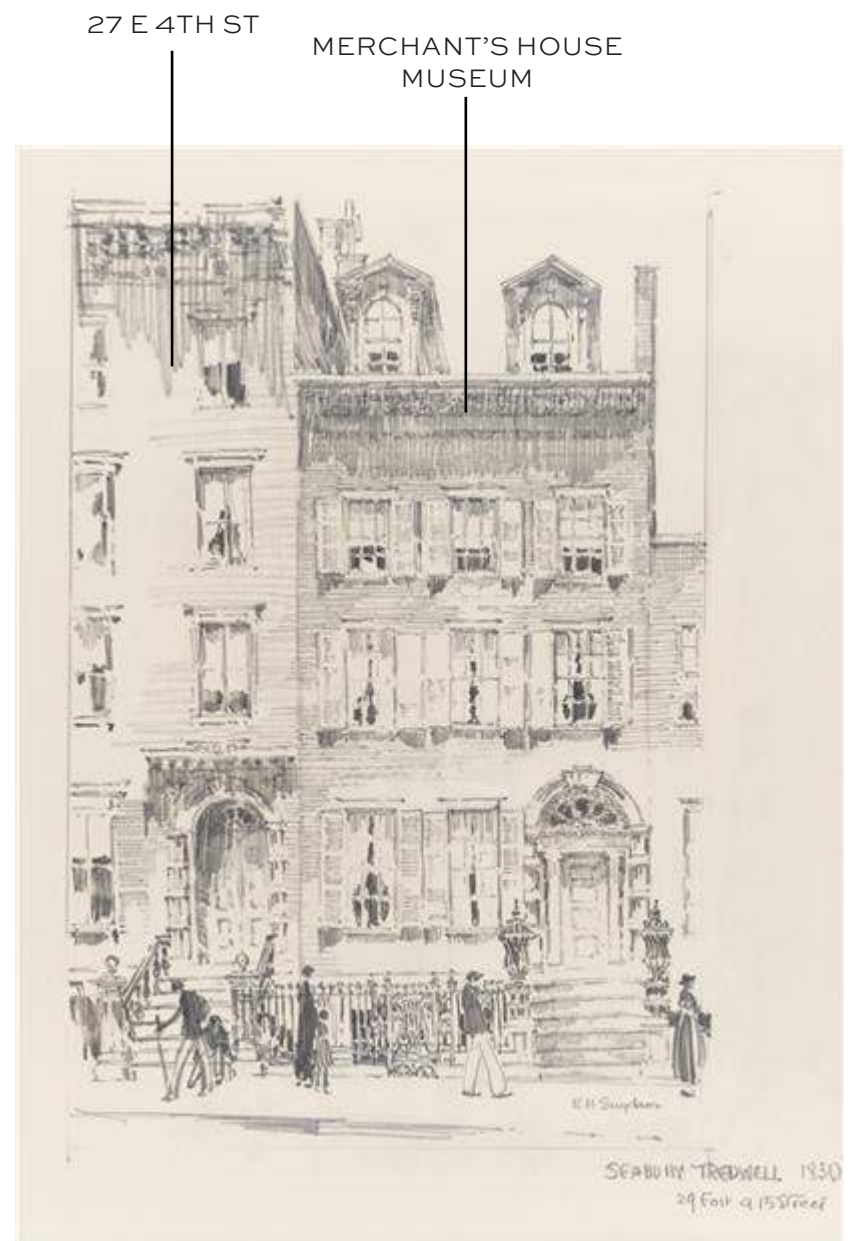
EXISTING CONTEXT CONDITIONS

27 E 4TH STREET

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12.2.2020



DRAWING OF SEABURY TREDWELL HOUSE (NOW MERCHANT'S HOUSE MUSEUM), C. 1930.



SEABURY TREDWELL HOUSE (NOW MERCHANT'S HOUSE MUSEUM), C. 1931.



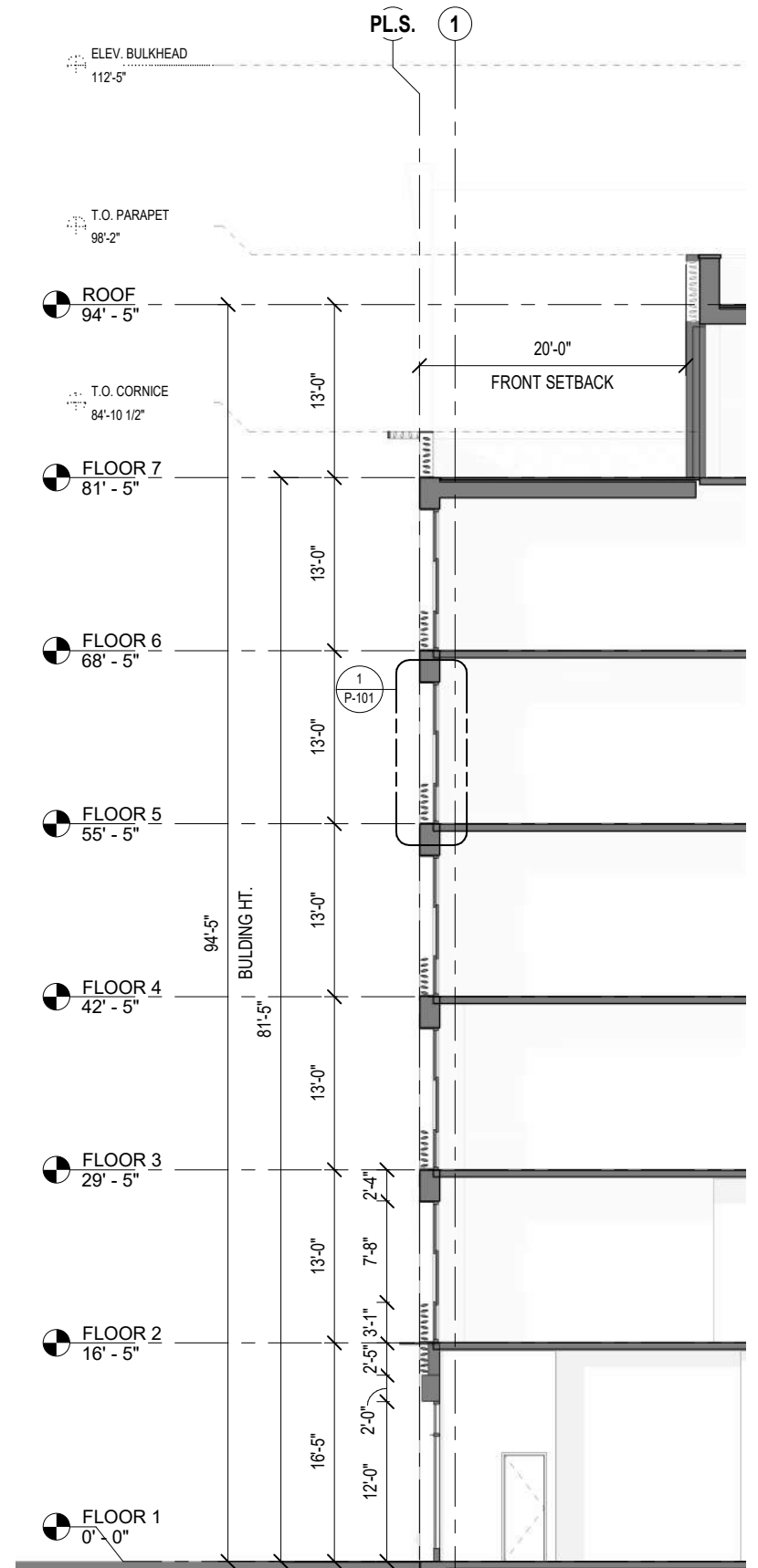
27 E 4TH STREET IN 1940S TAX PHOTO



PREVIOUS PROPOSAL



PROPOSED ELEVATION



PROPOSED SECTION

PREVIOUS AND CURRENT PROPOSED ELEVATIONS

27 E 4TH STREET



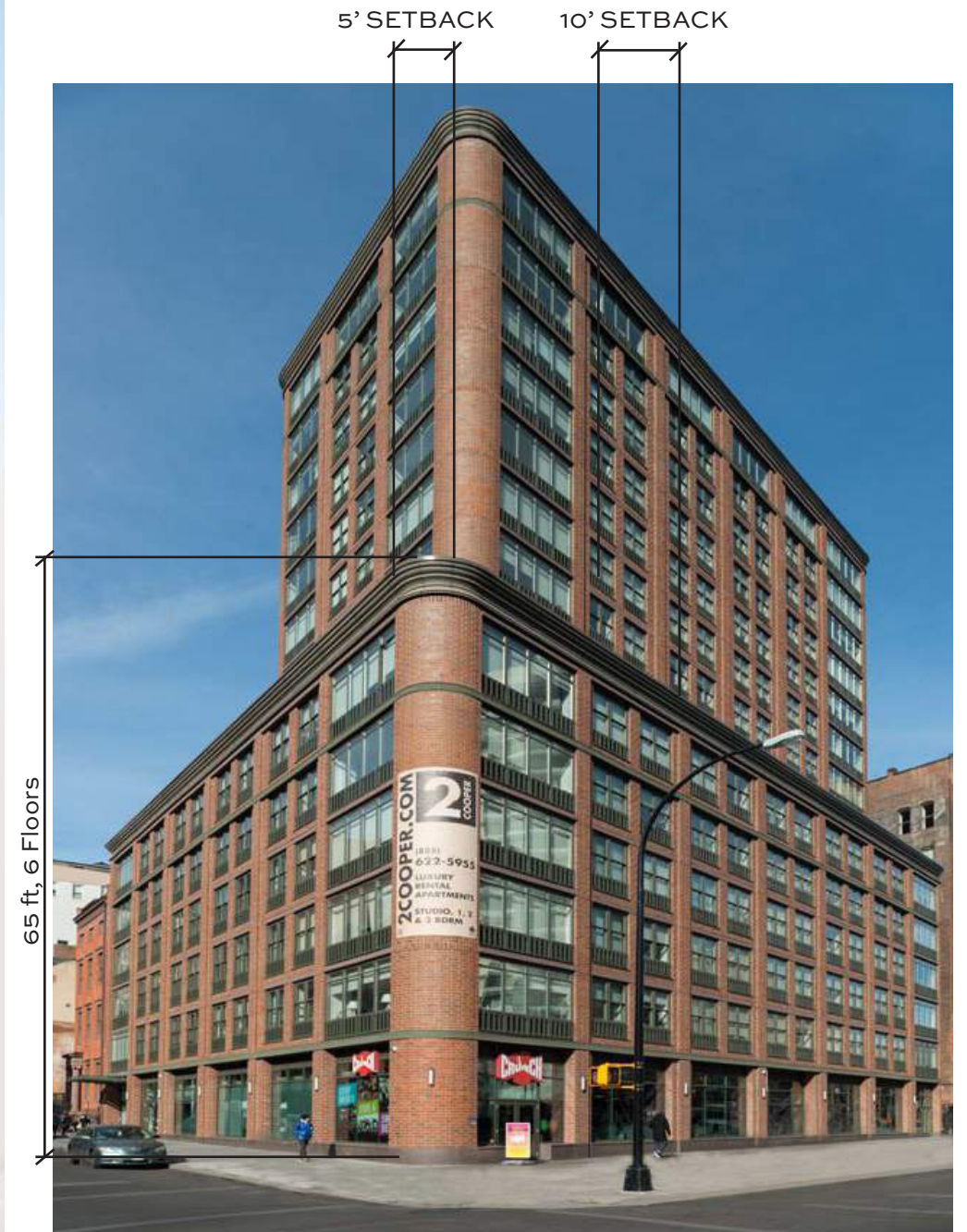
PROPOSED SETBACK



PREVIOUSLY APPROVED DESIGN



PROPOSED PERSPECTIVE RENDERING

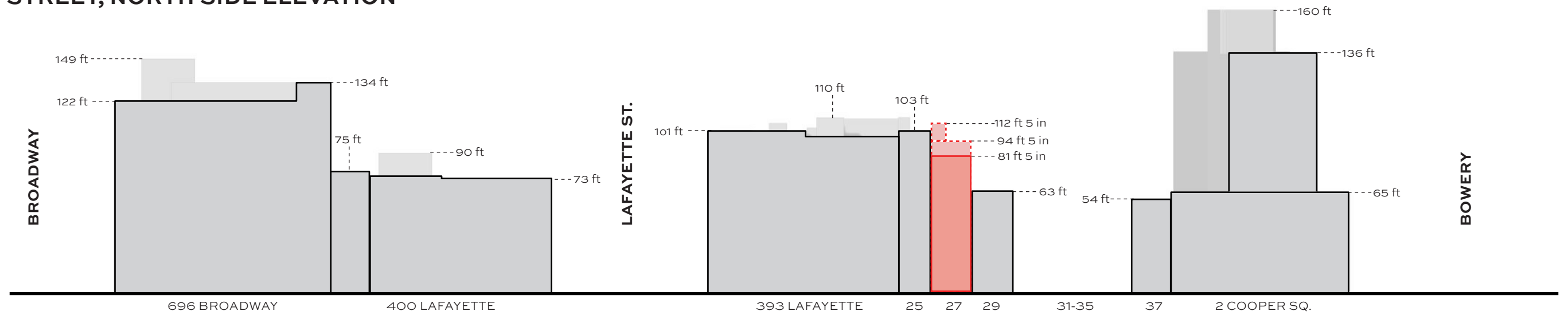


SETBACKS AT 2 COOPER SQUARE, EAST 4TH & BOWERY

SETBACKS AT PREVIOUS AND CURRENT PROPOSED BUILDINGS

27 E 4TH STREET

EAST 4TH STREET, NORTH SIDE ELEVATION



400 LAFAYETTE, 1890
COMMERCIAL



393 LAFAYETTE, 1885
COMMERCIAL



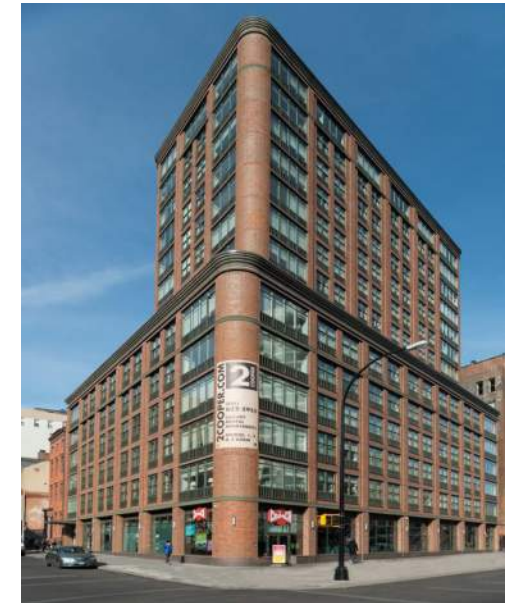
25 EAST 4TH ST., 1900
RESIDENTIAL



29 EAST 4TH ST., 1832
INSTITUTIONAL



37 EAST 4TH ST., 1900
RESIDENTIAL

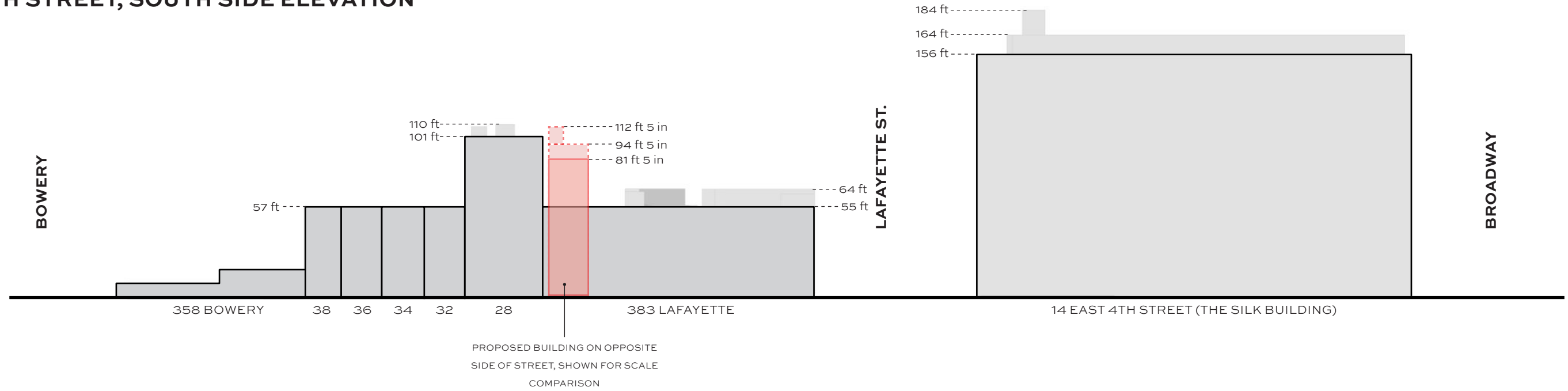


2 COOPER SQ., 2009
RESIDENTIAL

SCALE OF STREET

27 E 4TH STREET

EAST 4TH STREET, SOUTH SIDE ELEVATION



358 BOWERY, 1915
COMMERCIAL



38 E 14TH ST., 1910
RESIDENTIAL



34-36 EAST 4TH ST., 1910
RESIDENTIAL



32 EAST 4TH ST., 1900
RESIDENTIAL



28 EAST 4TH ST., 1902
RESIDENTIAL



383 LAFAYETTE, 1900
COMMERCIAL + OFFICE

MATERIALITY

TERRA COTTA + METAL + BRICK



65 BLEECKER ST.
BAYARD-CONDICT BUILDING

- TERRA COTTA TRADITION AND PROMINENT DECORATIVE UNDERSIDE OF CORNICE



561 BROADWAY
LITTLE SINGER BUILDING

- TERRA COTTA IN METAL ARMATURE AND DECORATIVE METAL SCREEN



529 BROADWAY*
NIKE SOHO

- *LPC APPROVAL
- CONTEMPORARY ADAPTATION OF TERRA COTTA SCREEN AND DECORATIVE ELEMENTS

COLORATION

TERRA COTTA + MOTTLED FACEBRICK



LAFAYETTE & E 4TH
DEVINNE PRESS BUILDING

- DECORATIVE TERRA COTTA SCREEN AND MOLDED BRICK

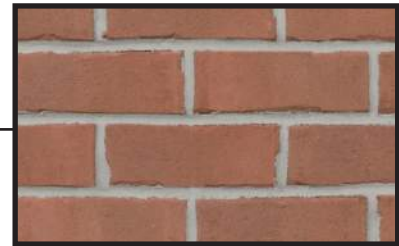


DETAIL OF BRICKWORK TONES AT THE
MERCHANT'S HOUSE MUSEUM

- MOTTLED, MOLDED BRICK



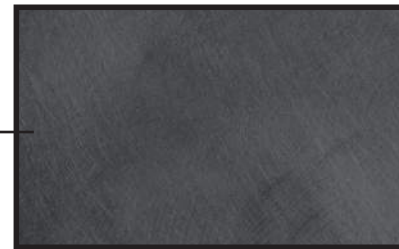
GLEN-GERY
MID-ATLANTIC PLANT
"USED-BRICK RANGE"



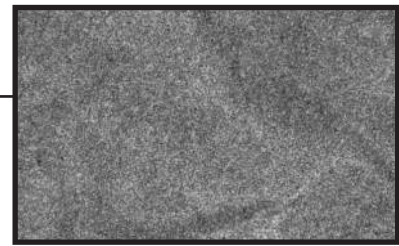
GLEN-GERY
MID-ATLANTIC PLANT
"SANDFORD REDBURN"



BOSTON VALLEY
TERRA COTTA
IRON-SPOT



METAL FIN, SURROUND
& FRAME



STONE SOURCE
"JET MIST" HONED



PROPOSED DESIGN IN CONTEXT

PROPOSED DESIGN

PROPOSED DESIGN

27 E 4TH STREET

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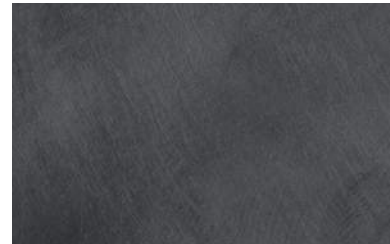
STOREFRONT AT STREET LEVEL

DOUBLE-HUNG WINDOW
OVER SINGLE (FIXED)
GLASS PANEL

TERRACOTTA FINS IN
RANDOMIZED PATTERN



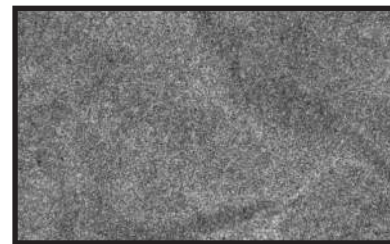
BOSTON VALLEY
TERRA COTTA
IRON-SPOT



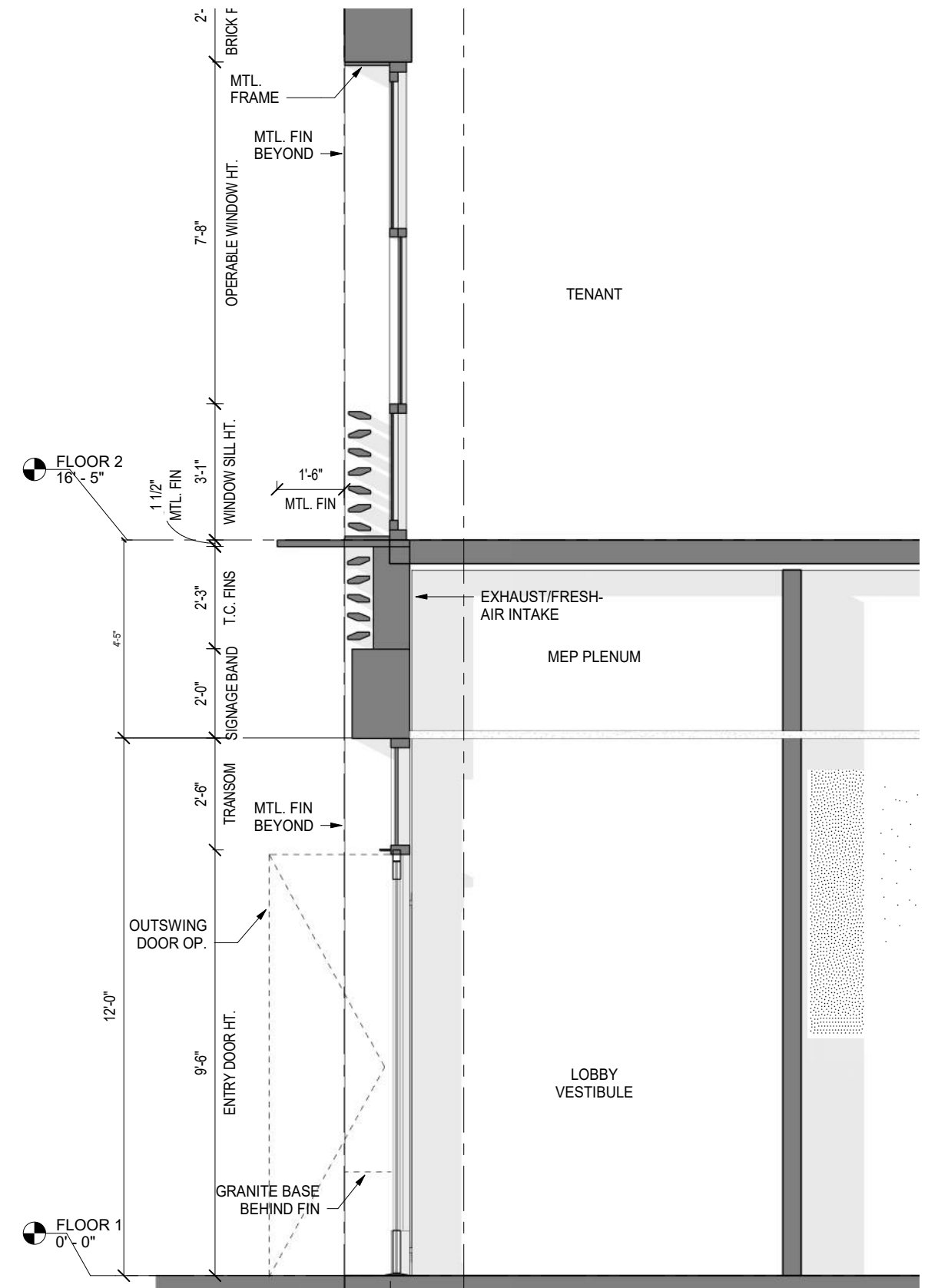
METAL FIN, SURROUND
& FRAME



GLEN-GERY
MID-ATLANTIC PLANT
"USED-BRICK RANGE"



STONE SOURCE
"JET MIST" HONED



CONTEXTUALLY INFORMED FACADE DETAILS: STREET LEVEL

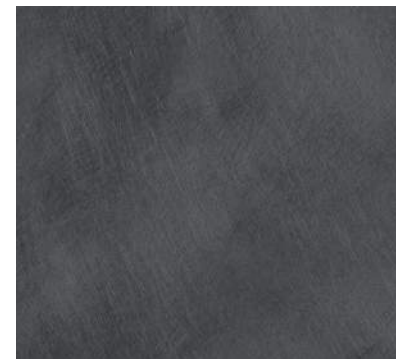
27 E 4TH STREET



BOSTON VALLEY TERRA COTTA IRON-SPOT



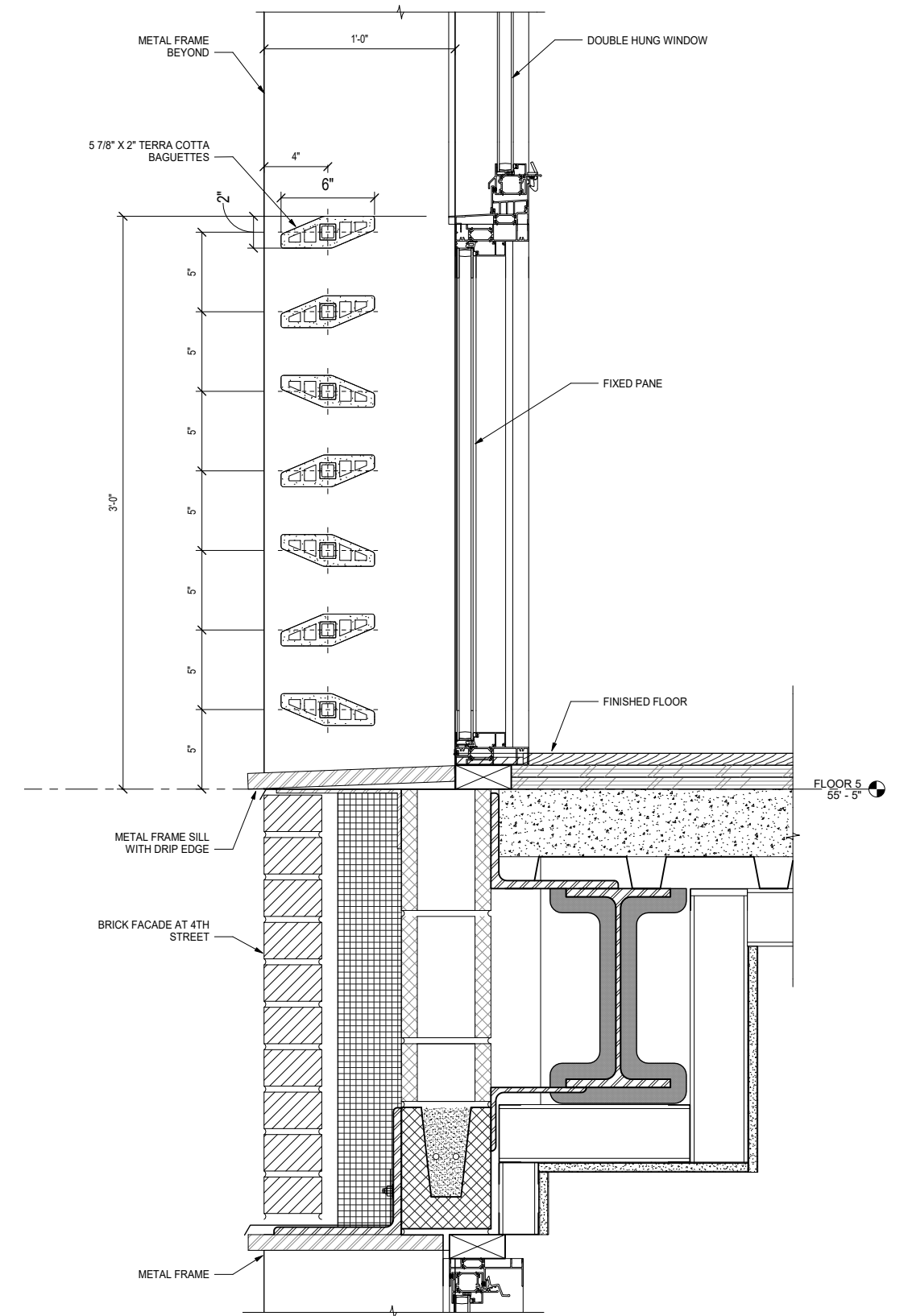
GLEN-GERY MID-ATLANTIC PLANT "USED-BRICK RANGE"



METAL SURROUND & FRAME



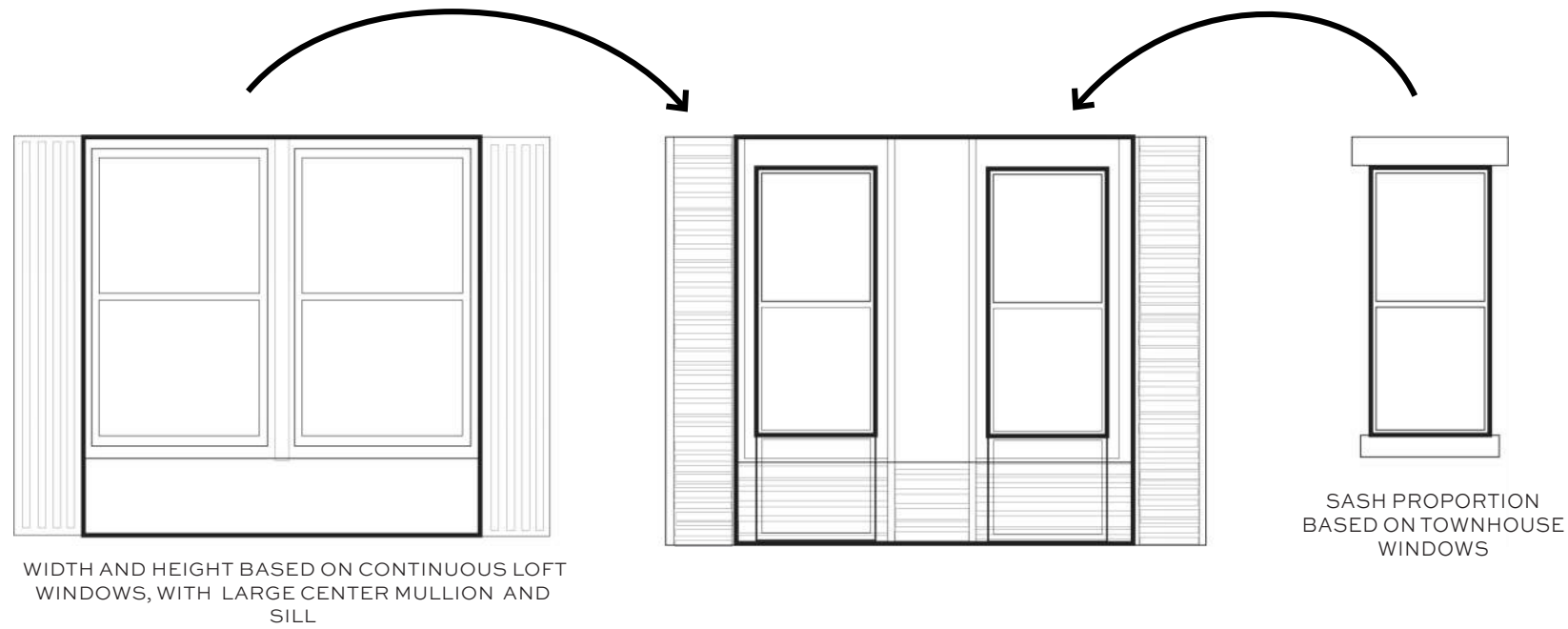
CLOSE UP OF TERRA COTTA SCREENS IN METAL FRAMES OVER CONTINUOUS WINDOWS



TERRA COTTA BAGUETTE SECTION DETAIL



400 LAFAYETTE ST.
MANUFACTURING LOFT
FENESTRATION PROPORTIONS



35 GREAT JONES



27 E 4TH STREET IN 1940S TAX PHOTO
TOWNHOUSE FENESTRATION PROPORTIONS



47 GREAT JONES

CONTINUOUS LOFT WINDOWS
DISTRIBUTED IN SETS OF 4

CONTEXTUALLY INFORMED WINDOW PROPORTIONS

27 E 4TH STREET



ZIPPER BRICK PATTERN WHERE MOTTLED WEATHERED BRICK MEETS UNIFORMLY TONED BRICK



ZIPPER BRICK AT 310 ELIZABETH STREET



SETBACK PENTHOUSE FLOOR WITH TERRA COTTA FIN AND METAL FACADE

CORNICE: TERRA COTTA SCREEN IN METAL FRAME

TERRACE RENDERING

CONTEXTUALLY INFORMED FACADE DETAILS: TERRACE

27 E 4TH STREET

14

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PREVIOUSLY APPROVED PERSPECTIVE OF BUILDING REAR



PROPOSED PERSPECTIVE OF BUILDING REAR



BULKHEAD - METAL PANEL
WITH VERTICAL REVEAL 15"
O.C. IN CHARCOAL



HORIZONTAL LOUVERED METAL
MECHANICAL SCREEN IN
CHARCOAL



PROPOSED PERSPECTIVE OF BUILDING ROOF

PREVIOUS AND CURRENT PROPOSED REAR FACADES

27 E 4TH STREET



EAST STREET VIEW - FROM E 4TH ST & BOWERY



KEY PLAN



A - EAST STREET VIEW - FROM E 4TH ST & BOWERY



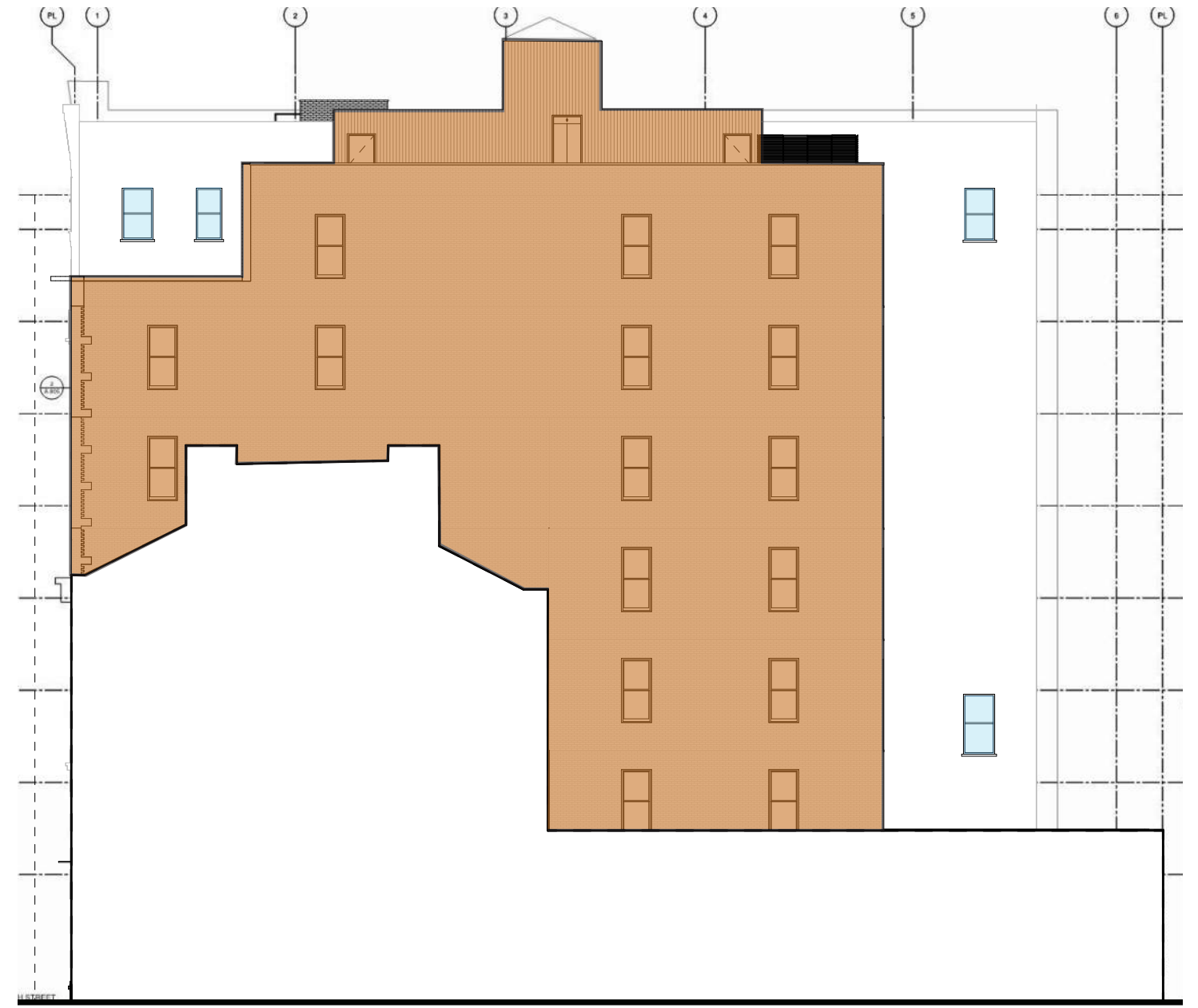
B - WEST STREET VIEW - FROM E 4TH ST & LAFAYETTE



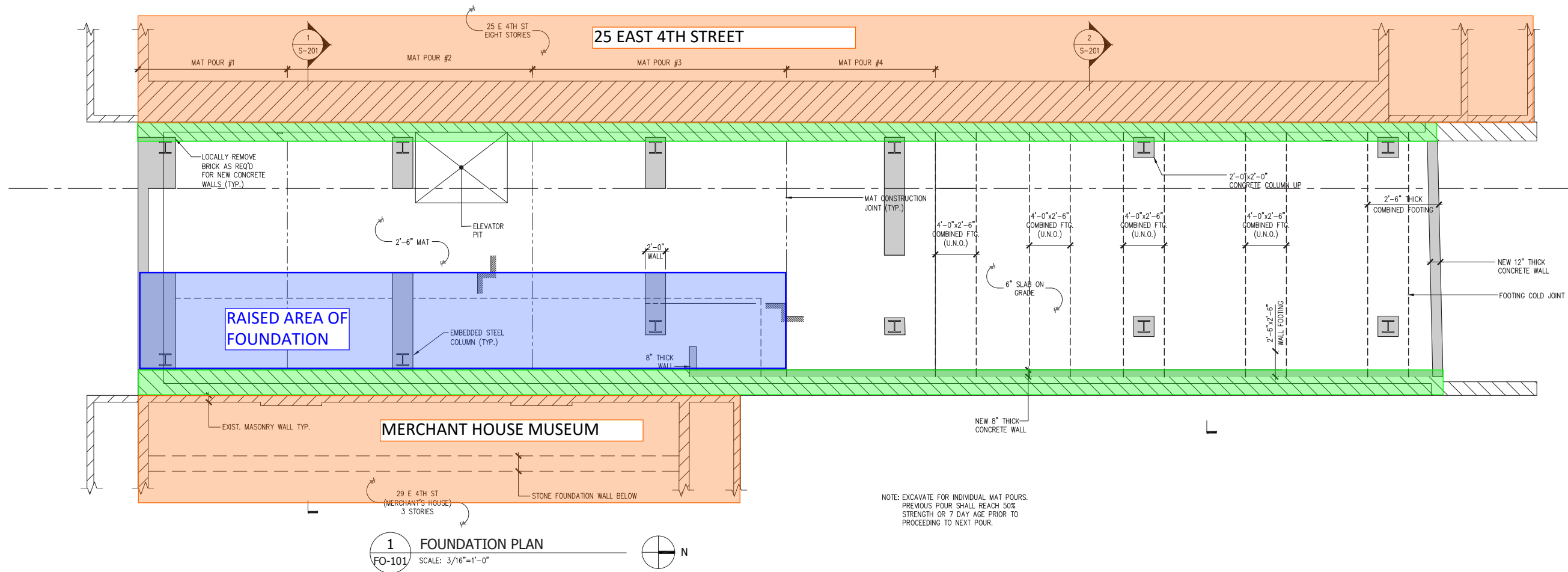
WEST STREET VIEW - FROM E 4TH ST & LAFAYETTE



PREVIOUSLY APPROVED LOT LINE WINDOW DIAGRAM



PROPOSED LOT LINE WINDOW DIAGRAM



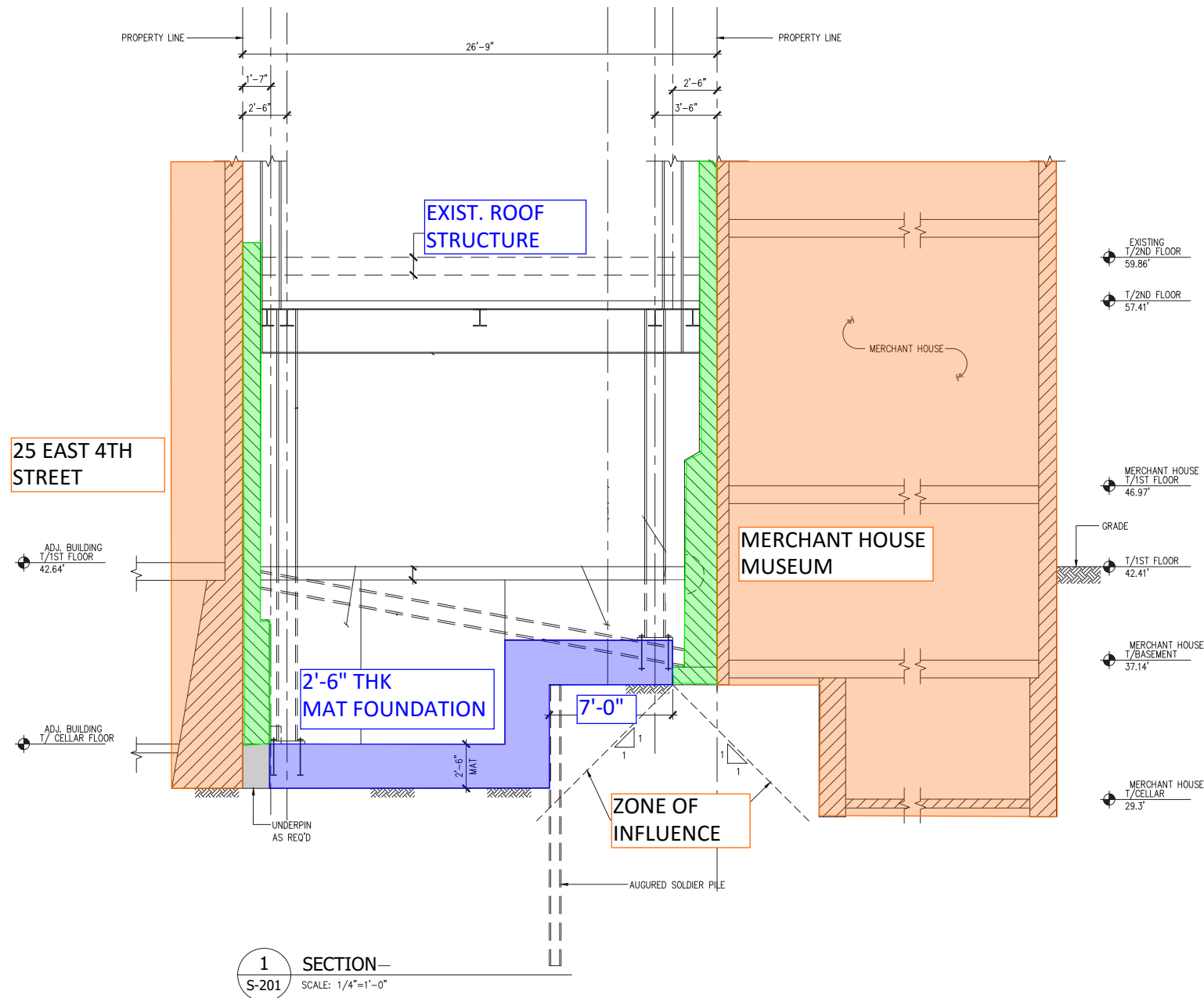
1 FOUNDATION PLAN
FO-101 SCALE: 3/16"=1'-0" N

NOTE: EXCAVATE FOR INDIVIDUAL MAT POURS. PREVIOUS POUR SHALL REACH 50% STRENGTH OR 7 DAY AGE PRIOR TO PROCEEDING TO NEXT POUR.

- ADJACENT BUILDINGS
- EXISTING MASONRY WALLS TO REMAIN
- AREA OF SHELVED EXCAVATION

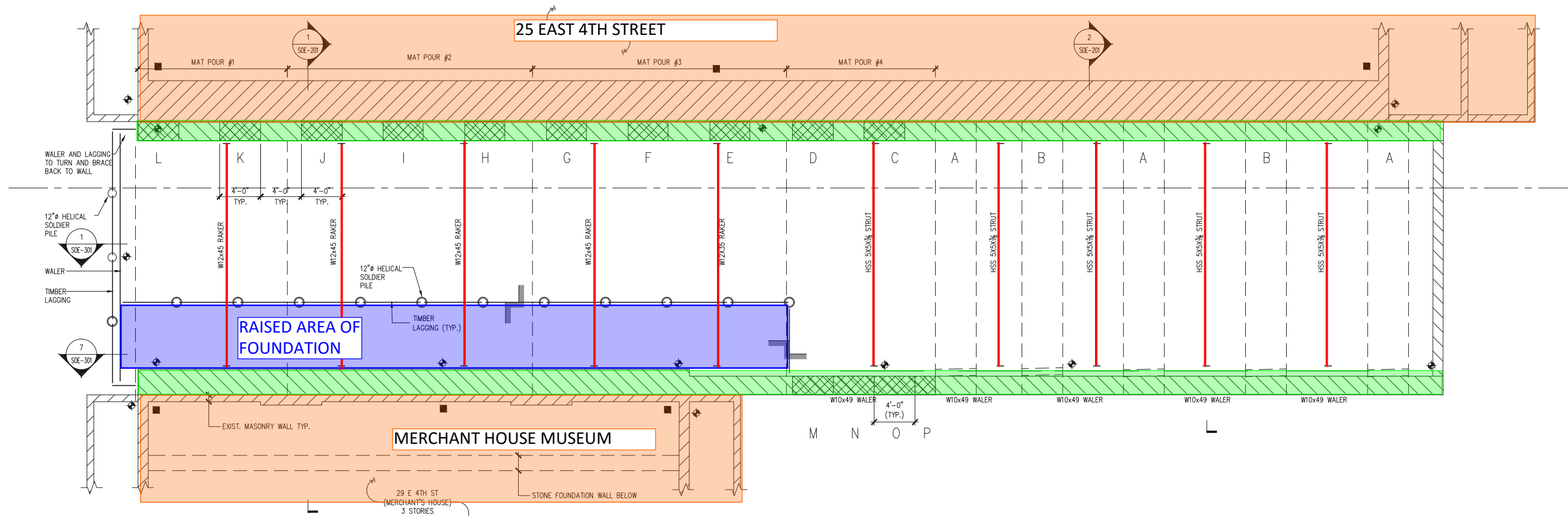
- REMOVE EXISTING ROOF AND FILLED CELLAR OF ONE STORY BUILDING AND REPLACE WITH NEW STEEL FRAMED BUILDING
- EXISTING MASONRY WALLS TO REMAIN
- STEP EXCAVATION TO AVOID UNDERPINNING EXISTING ADJACENT BUILDINGS
- USE MAT FOUNDATION TO MINIMIZE SETTLEMENT AND MORE UNIFORMLY LOAD SOIL
- ANTICIPATED MAT SETTLEMENT =0.18" < 0.25" LPC LIMIT
- NEW BUILDING WILL PROVIDE SHIELDING AND BRACING OF MERCHANT HOUSE

NOTE: COMPREHENSIVE DESIGN OF FOUNDATIONS TO AVOID ANY POSSIBLE HARM TO MERCHANT'S HOUSE HAS BEEN COMPLETED AS PART OF ORIGINAL FILING AND WILL BE IMPLEMENTED WITH THIS PROPOSAL.



1 SECTION—
S-201 SCALE: 1/4"=1'-0"

- ADJACENT BUILDINGS
- EXISTING MASONRY WALLS TO REMAIN
- AREA OF SHELVED EXCAVATION



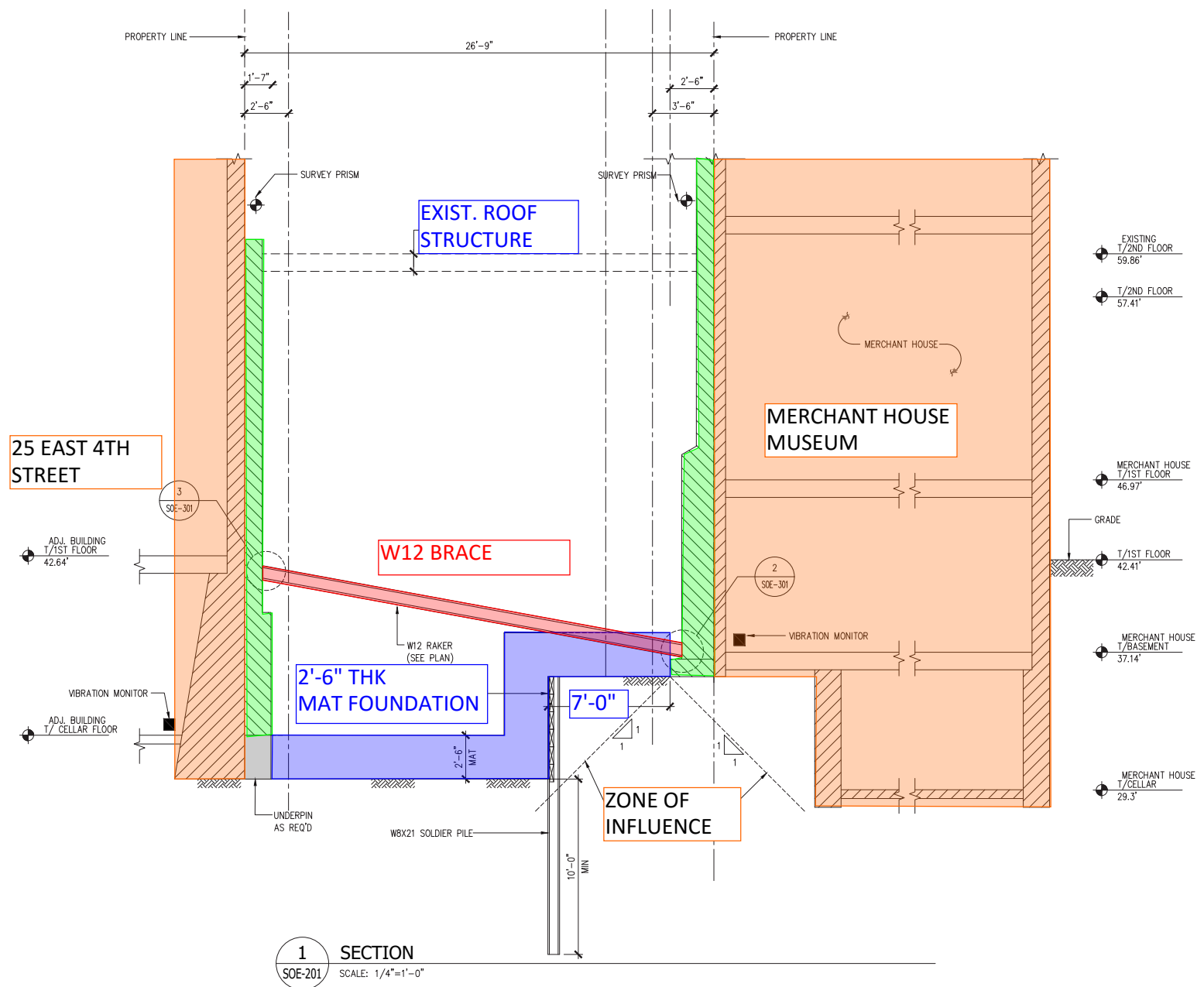
1 SUPPORT OF EXCAVATION PLAN
 SOE-100 SCALE: 3/16"=1'-0"

- NOTES:**
- EXCAVATE FOR INDIVIDUAL MAT POURS. PREVIOUS POUR SHALL REACH 50% STRENGTH OR 7 DAY AGE PRIOR TO PROCEEDING TO NEXT POUR.
 - SEE SOE-201 FOR SEQUENCE OF WORK.
 - SEE S-003 AND S-004 FOR LOCATIONS AND THRESHOLDS OF VIBRATION AND OPTICAL MONITORING POINTS.
 - SOE SHALL BE DESIGNED FOR 40 PCF LATERAL EARTH PRESSURE IN ACCORDANCE WITH GEOTECHNICAL REPORT PREPARED BY GEO TECH CONSULTANTS.
 - SOE SHALL HAVE A MAXIMUM ALLOWED DISPLACEMENT OF 1" AT THE HEAD OF THE PILES.

- ADJACENT BUILDINGS
- EXISTING MASONRY WALLS TO REMAIN
- AREA OF SHELVED EXCAVATION
- TEMPORARY BRACING

-SUPPORT OF EXCAVATION AND CONSTRUCTION FOLLOW A CONTROLLED SEQUENCE THAT MAINTAINS LATERAL BRACING OF MERCHANT HOUSE
 -SHELVED EXCAVATION ADJACENT TO MERCHANT HOUSE STABILIZED WITH AUGERED PILES
 -ROOF OF EXISTING ONE STORY BUILDING WILL REMAIN IN PLACE TO PROTECT EXCAVATION AND BRACE MERCHANT HOUSE

- INDICATES WALL TO BE UNDERPINNED
- INDICATES SEQUENCE OF UNDERPINNING
- INDICATES PLAN LOCATION OF SURVEY PRISM
- INDICATES PLAN LOCATION OF VIBRATION MONITOR



1 SECTION
SOE-201 SCALE: 1/4"=1'-0"

NOTE: SEE S-003 AND S-004 FOR LOCATIONS AND THRESHOLDS OF OPTICAL AND VIBRATION MONITORING.

- ADJACENT BUILDINGS
- EXISTING MASONRY WALLS TO REMAIN
- AREA OF SHELVED EXCAVATION
- TEMPORARY BRACING

STRUCTURAL DESIGN: SUPPORT OF EXCAVATION & CONSTRUCTION SEQUENCE

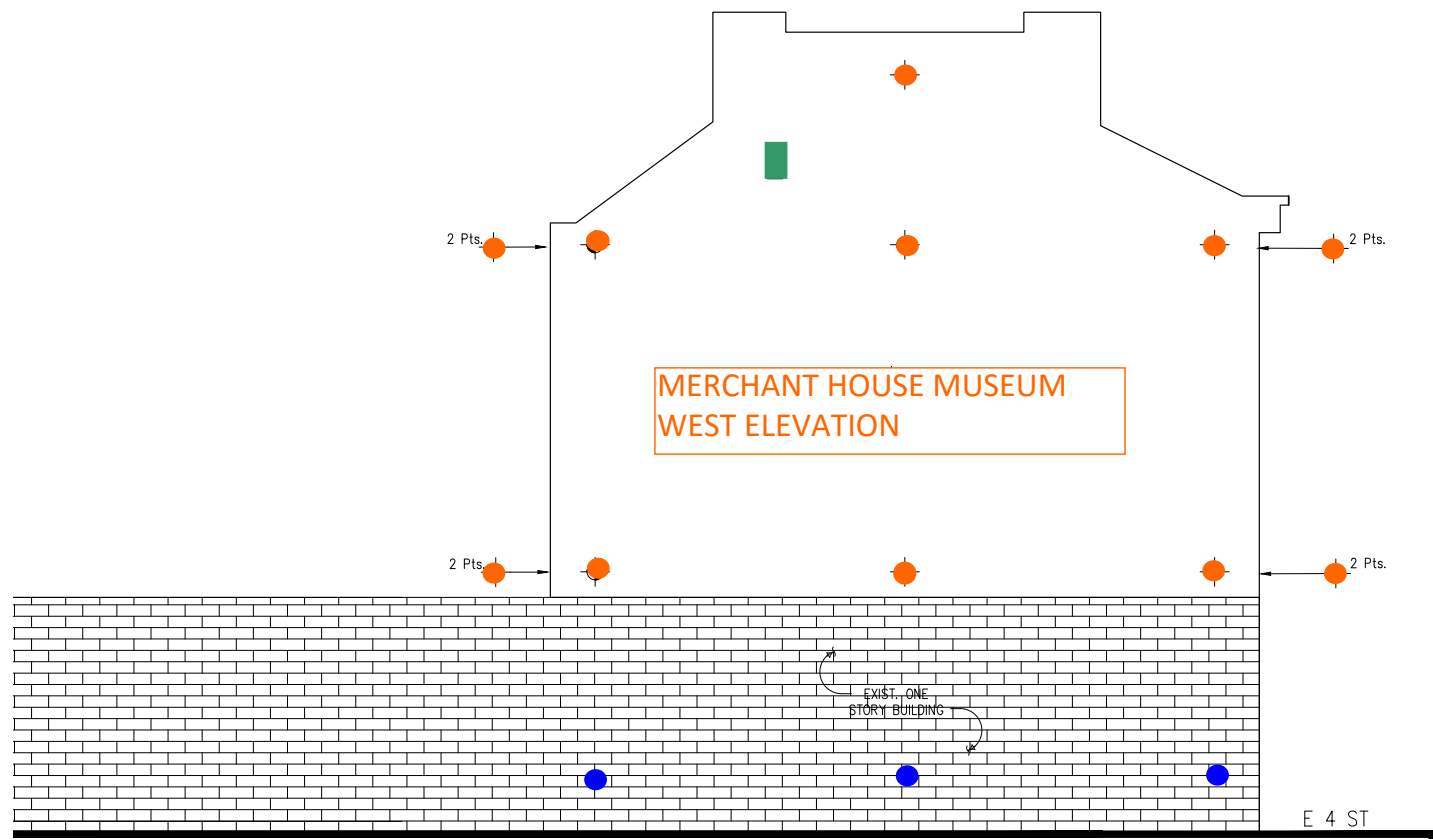
27 E 4TH STREET

MONITORING TASK	MINIMUM REQUIRED BY TPPN 10/88	PROPOSED FOR MERCHANT HOUSE MUSEUM	PROPOSED FOR ALL OTHER ADJACENT LANDMARK BUILDINGS (25 E. 4th Street, 403 Lafayette Street, 16 Cooper Square)
DISPLACEMENT MONITORING	SURVEY MEASUREMENTS 2X WEEK. MAX ALLOWED VERTICAL AND HORIZONTAL DISPLACEMENT 1/4"	CONTINUOUS AUTOMATIC SURVEY DURING DEMOLITION AND EXCAVATION. MAX ALLOWED VERTICAL AND HORIZONTAL DISPLACEMENT 1/4"	SURVEY MEASUREMENTS MADE TWICE A WEEK TO AN ACCURACY OF ±0.01 FT. MAXIMUM ALLOWED VERTICAL AND HORIZONTAL DISPLACEMENT ¼ IN.
CRACK MONITORING	TELLTALES ACROSS EXISTING CRACKS IN MASONRY MEASURED DAILY.	TELLTALES ACROSS EXISTING CRACKS IN MASONRY MEASURED DAILY.	"TELLTALES" INSTALLED ACROSS EXISTING CRACKS IN MASONRY MEASURED ONCE DAILY W/MICROMETER SENSITIVE TO 0.001 IN. PHOTOGRAPHS TO BE TAKEN WEEKLY.
TILT MONITORING	NONE REQUIRED	CONTINUOUS AUTOMATIC TILT METER DURING DEMOLITION AND EXCAVATION	N/A
VIBRATION MONITORING	MAXIMUM PEAK PARTICLE VELOCITY=0.5 IN/S	MAXIMUM PEAK PARTICLE VELOCITY=0.5 IN/S. REVIEW THRESHOLD =0.2 IN/S	MAXIMUM ALLOWED PEAK PARTICLE VELOCITY : 0.5 IN/S
PRE-CONSTRUCTION SURVEY	PHOTOGRAPH TELLTALES	PHOTOGRAPH AND VIDEO SURVEY OF EXTERIOR AND INTERIOR ACCESSIBLE SPACES	PHOTOGRAPHIC SURVEY OF EXTERIOR AND INTERIOR ACCESSIBLE SPACES DIRECTLY ADJACENT TO CONSTRUCTION

MERCHANT HOUSE ACTION PLAN DURING CONSTRUCTION

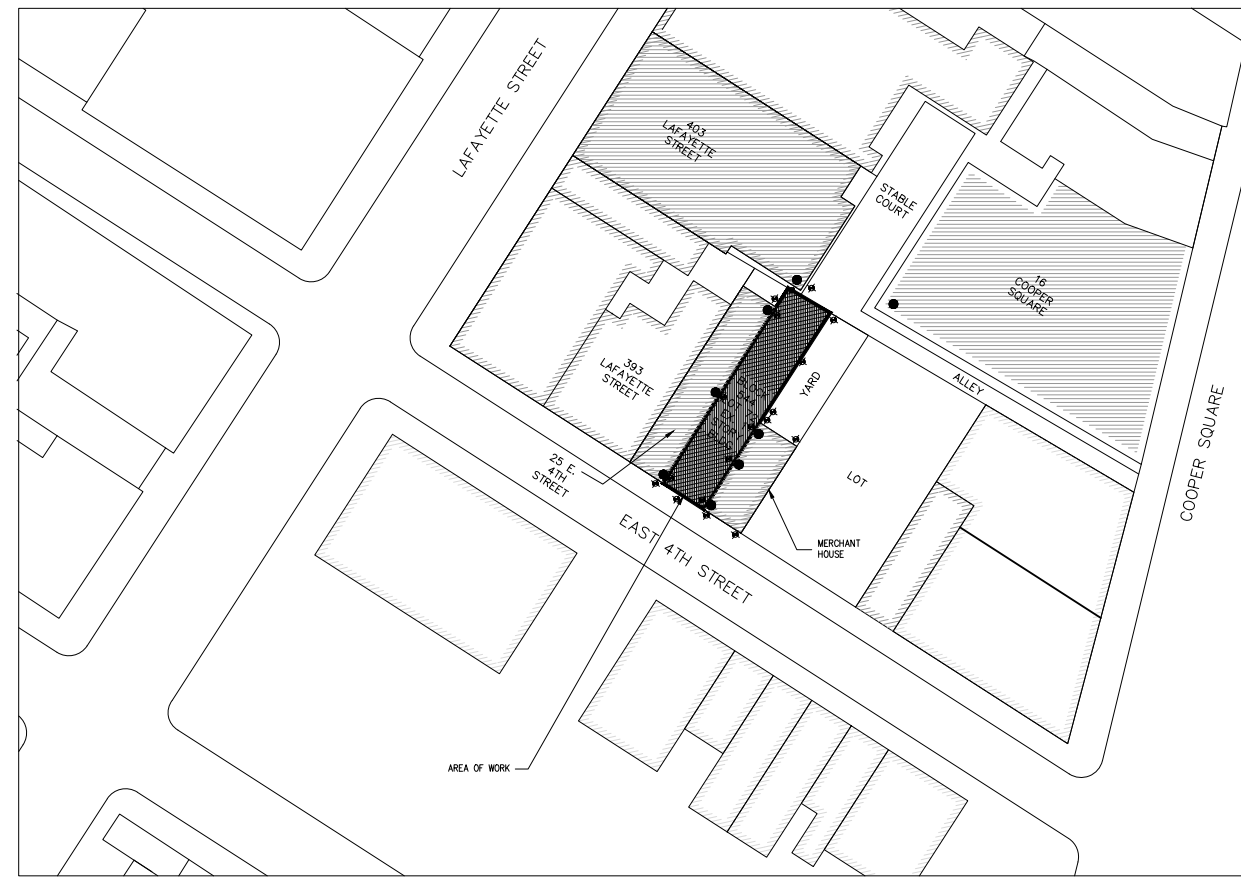
1. DISPLACEMENT, CRACK, TILT AND VIBRATION MONITORING IN ACCORDANCE WITH ADJACENT CRITERIA.
2. IN THE EVENT THAT NOTIFICATION AND REVIEW THRESHOLDS ARE REACHED:
 - A. THE CLIENT-DESIGNATED PARTIES, IE CONTRACTOR, OWNER, ENGINEER, AND ADJACENT PROPERTY OWNER, SHALL BE NOTIFIED VIA EMAIL IMMEDIATELY.
 - B. THE CONTRACTOR SHALL PROVIDE A WRITTEN EXPLANATION OF THE ACTIONS WHICH CAUSED THE VIBRATION OR MOVEMENT, AND IDENTIFY STEPS BEING TAKEN TO MINIMIZE FUTURE VIBRATION OR MOVEMENT.
 - C. THE ENGINEER SHALL REVIEW THE DATA AND MAKE RECOMMENDATIONS AS RELEVANT.
3. IN THE EVENT THAT MAXIMUM VIBRATION OR DISPLACEMENT CRITERIA ARE EXCEEDED:
 - A. CONTRACTOR SHALL CEASE CONSTRUCTION ACTIVITIES AND CONSULT WITH ENGINEER OF RECORD, ADJACENT PROPERTY OWNER AND DEPARTMENT OF BUILDINGS SHALL BE NOTIFIED IMMEDIATELY.
 - B. ENGINEER OF RECORD TO REVIEW DATA AND OBSERVE/DOCUMENT ADJACENT STRUCTURES FOR SIGNS OF DISTRESS. ANY SIGNS OF DISTRESS TO BE BROUGHT TO THE ATTENTION OF THE ADJACENT STRUCTURES OWNER.
 - C. IF SIGNIFICANT SIGNS OF DISTRESS ARE FOUND AND/OR MOVEMENT BEYOND 1/4" NOTED WORK SHALL NOT PROCEED UNTIL THE CAUSE OF THE DISTRESS/MOVEMENT IS IDENTIFIED AND STEPS ARE TAKEN TO PREVENT ADDITIONAL DISTRESS OR MOVEMENT. ANY STRUCTURAL DAMAGE SHALL BE REPAIRED PRIOR TO WORK PROCEEDING.
 - D. IF NO SIGNS OF DISTRESS ARE FOUND AND/OR MOVEMENT DOES NOT EXCEED 1/4" WORK MAY PROCEED, BUT EQUIPMENT OR METHOD BEING USED SHALL BE ALTERED OR TERMINATED TO PREVENT VIBRATION AND/OR DISPLACEMENT CRITERIA FROM BEING EXCEEDED.

-MONITORING PROGRAM MEETS OR EXCEEDS TPPN 10-88
-SETTLEMENT MONITORING COMPLETED BY AUTOMATIC TOTAL STATION WITH REALTIME REPORTING IN LIEU OF BI-WEEKLY
-ADDITIONAL VIBRATION REVIEW THRESHOLD OF 0.2 IN/S HELPS ANTICIPATE HIGHER VIBRATION
-BASELINE MONITORING COMPLETE JUNE-OCTOBER 2012 HAD 5 VIBRATION EVENTS ABOVE 0.5 IN/S. HIGHEST OF 0.622 IN/S.



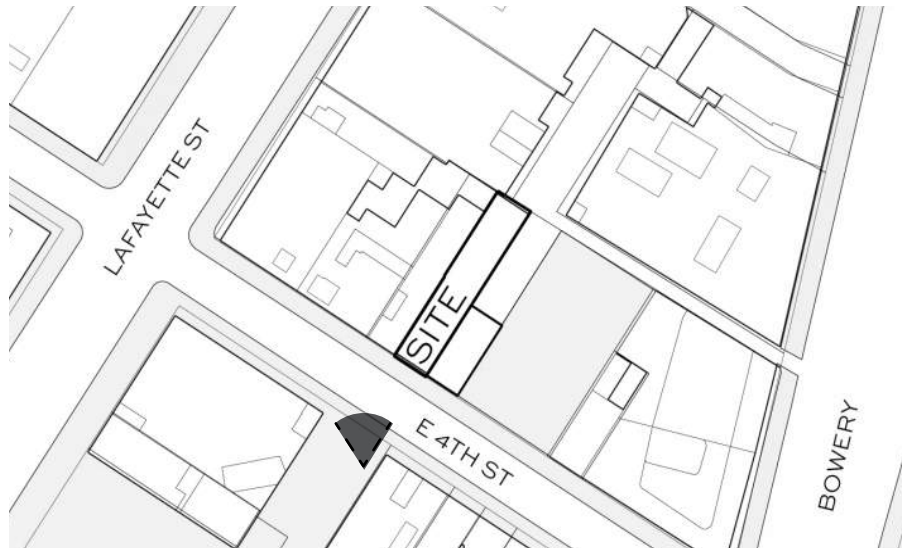
1 WEST SURVEY ELEVATION
SCALE: 1/8"=1'-0"

- LEGEND:**
- SURVEY POINTS TO BE MONITORED DURING CONSTRUCTION FOR MOVEMENT
 - BIAXIAL TILTMETER
 - VIBRATION MONITOR



2 VIBRATION MONITORING PLAN
N.T.S.

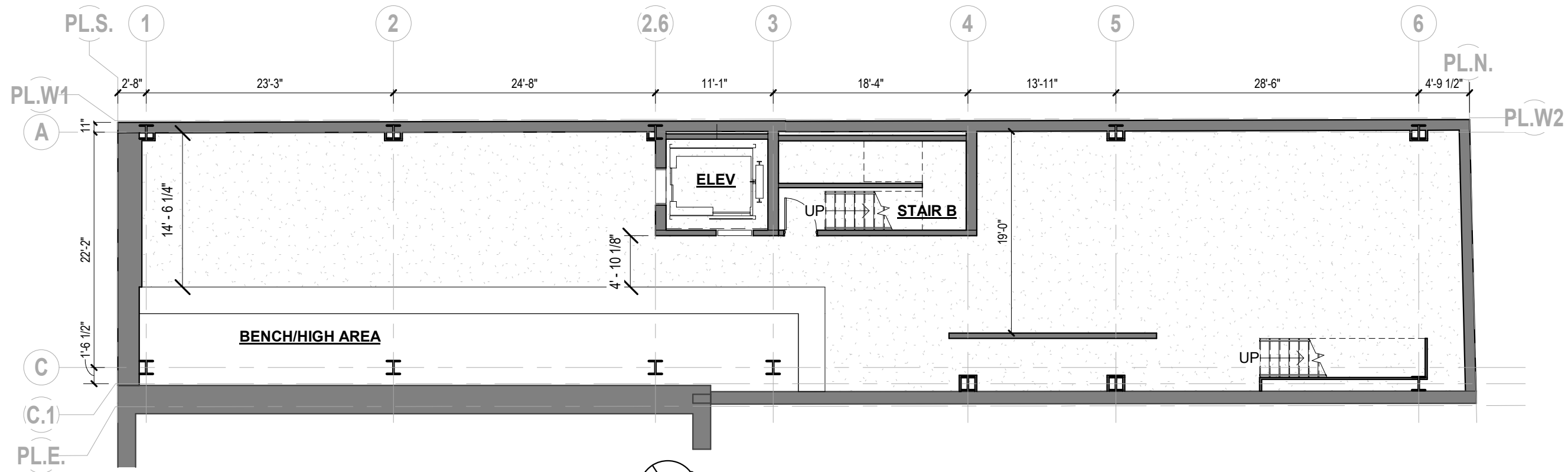
- LEGEND:**
- CONSTRUCTION AREA
 - BUILDING TO BE MONITORED FOR VIBRATION
 - PLANNED LOCATION OF VIBRATION MONITORS LOCATED IN BUILDING CELLARS OR MOUNTED TO EXTERIOR FACE OF MASONRY WALL AT GROUND FLOOR
 - ⊕ LOCATION OF SURVEY PRISM AT 2ND FLOOR AND TOP OF BUILDING (NATURAL TARGETS PERMITTED-EXCLUDING MERCHANT HOUSE)



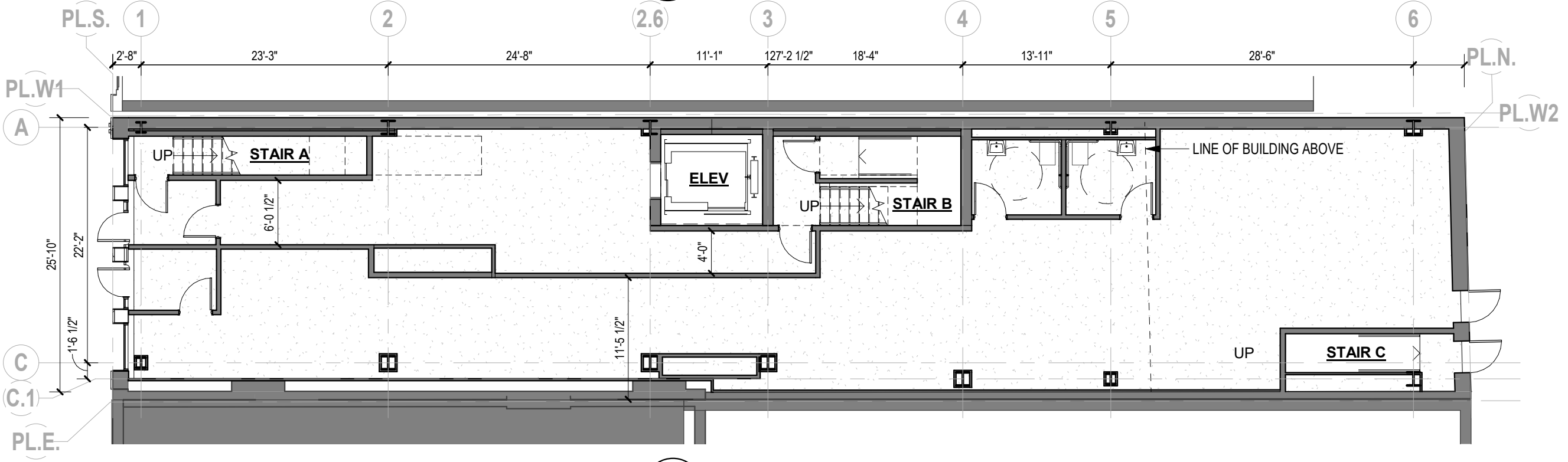
KEY PLAN



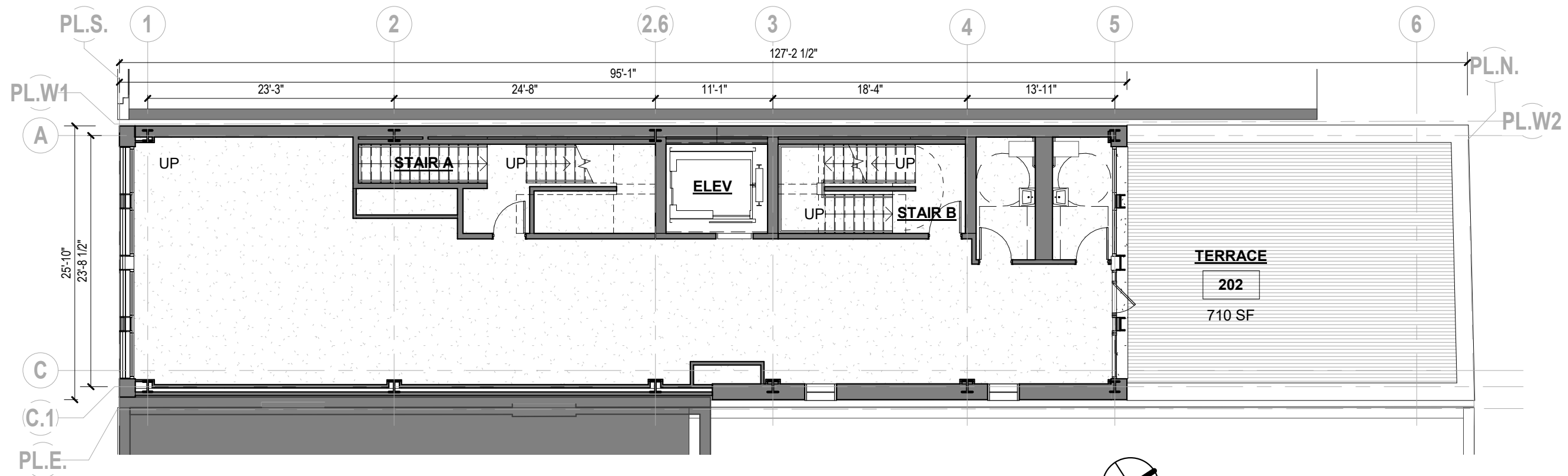
APPENDIX



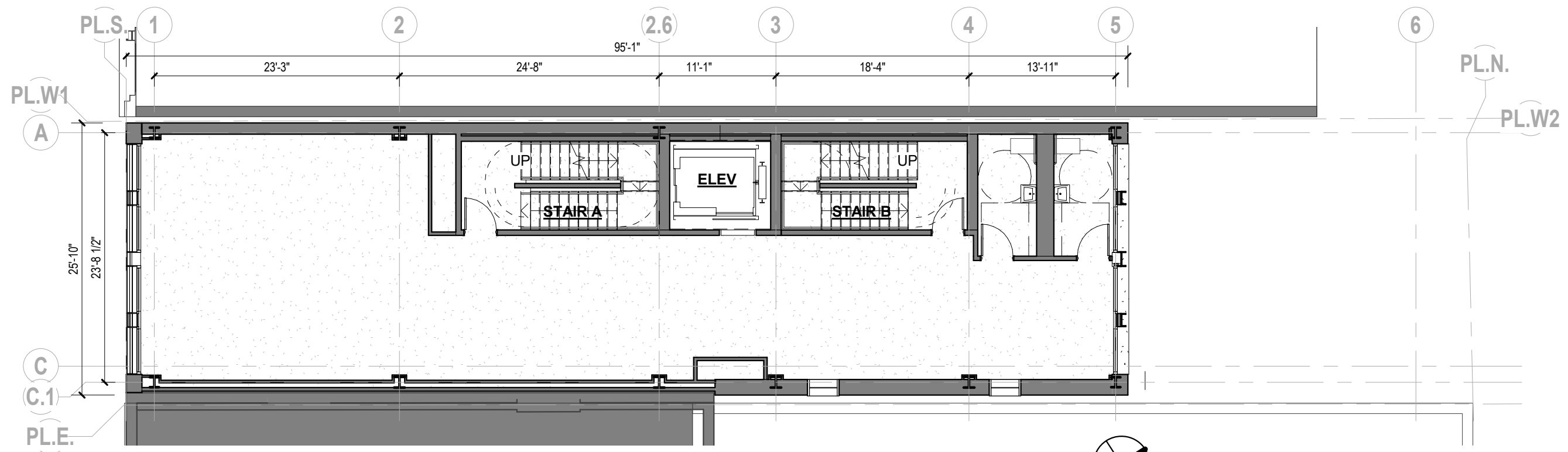
1 CELLAR FLOOR PLAN
 3/32" = 1'-0"



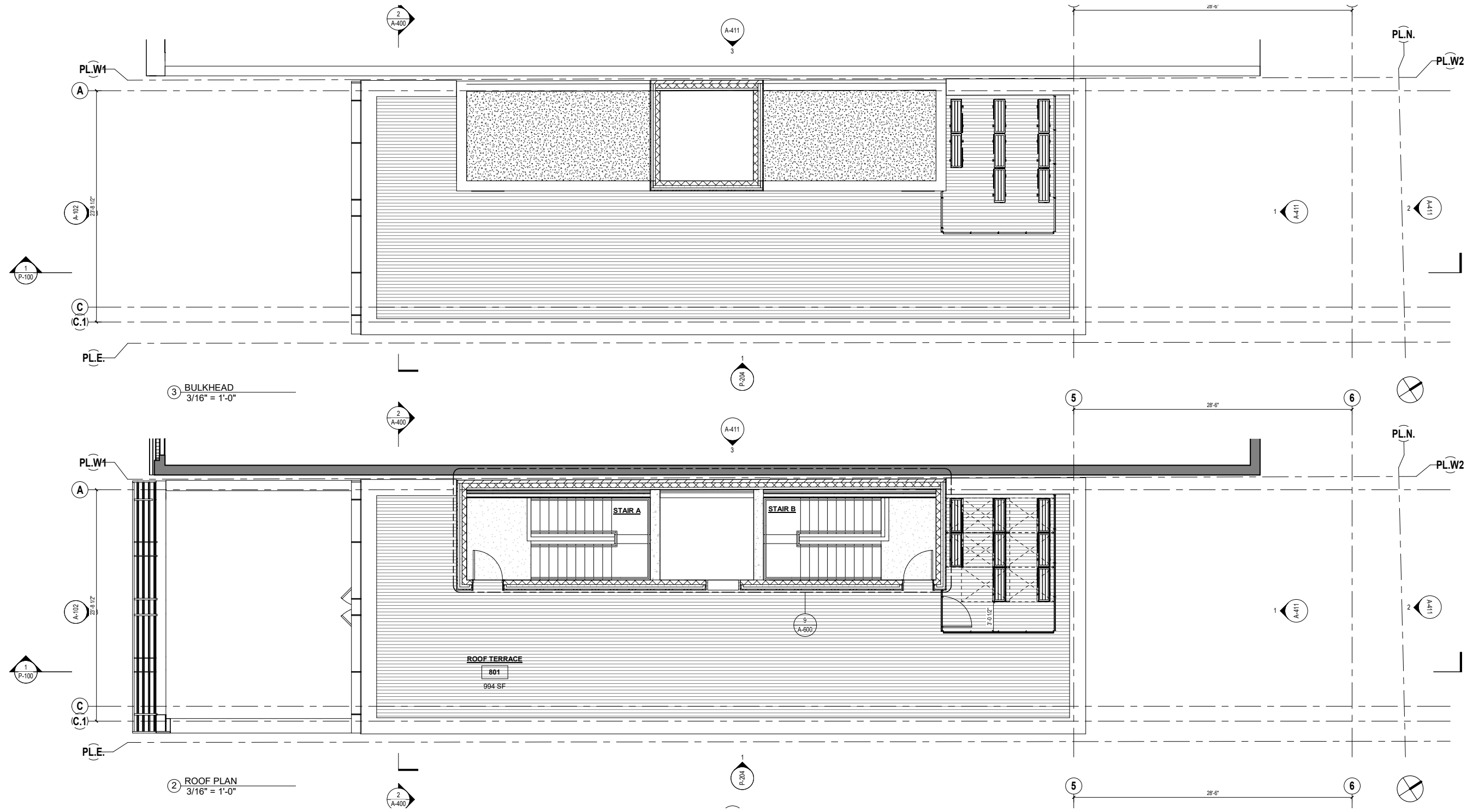
2 GROUND FLOOR PLAN
 3/32" = 1'-0"



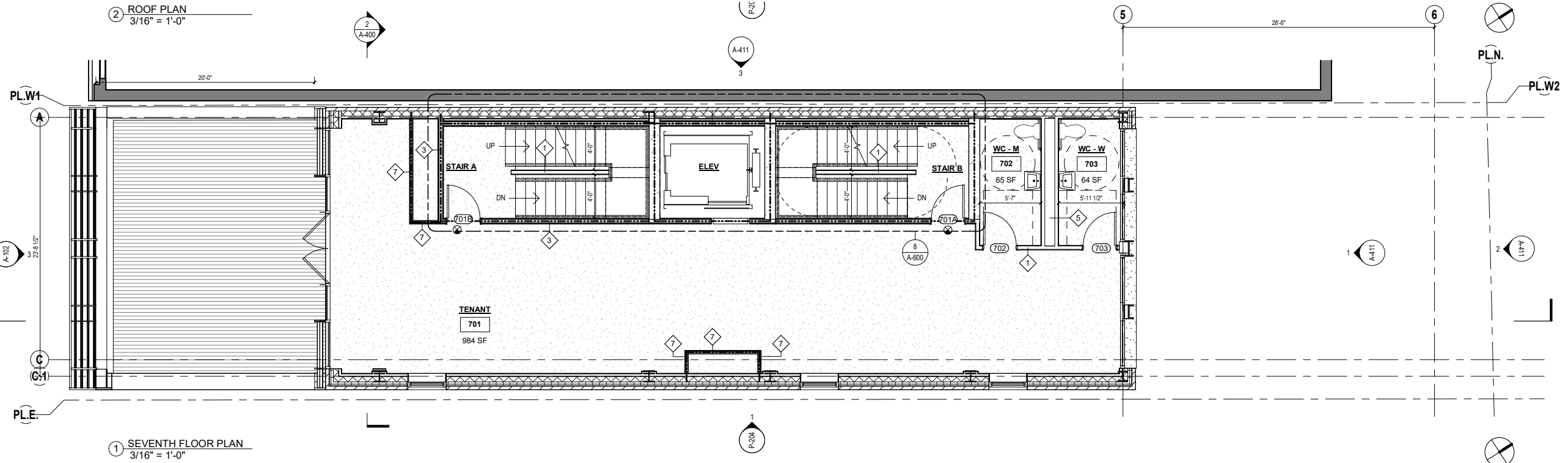
1 SECOND FLOOR PLAN
3/32" = 1'-0"



2 TYPICAL FLOOR PLAN, FLOORS 3-6
3/32" = 1'-0"

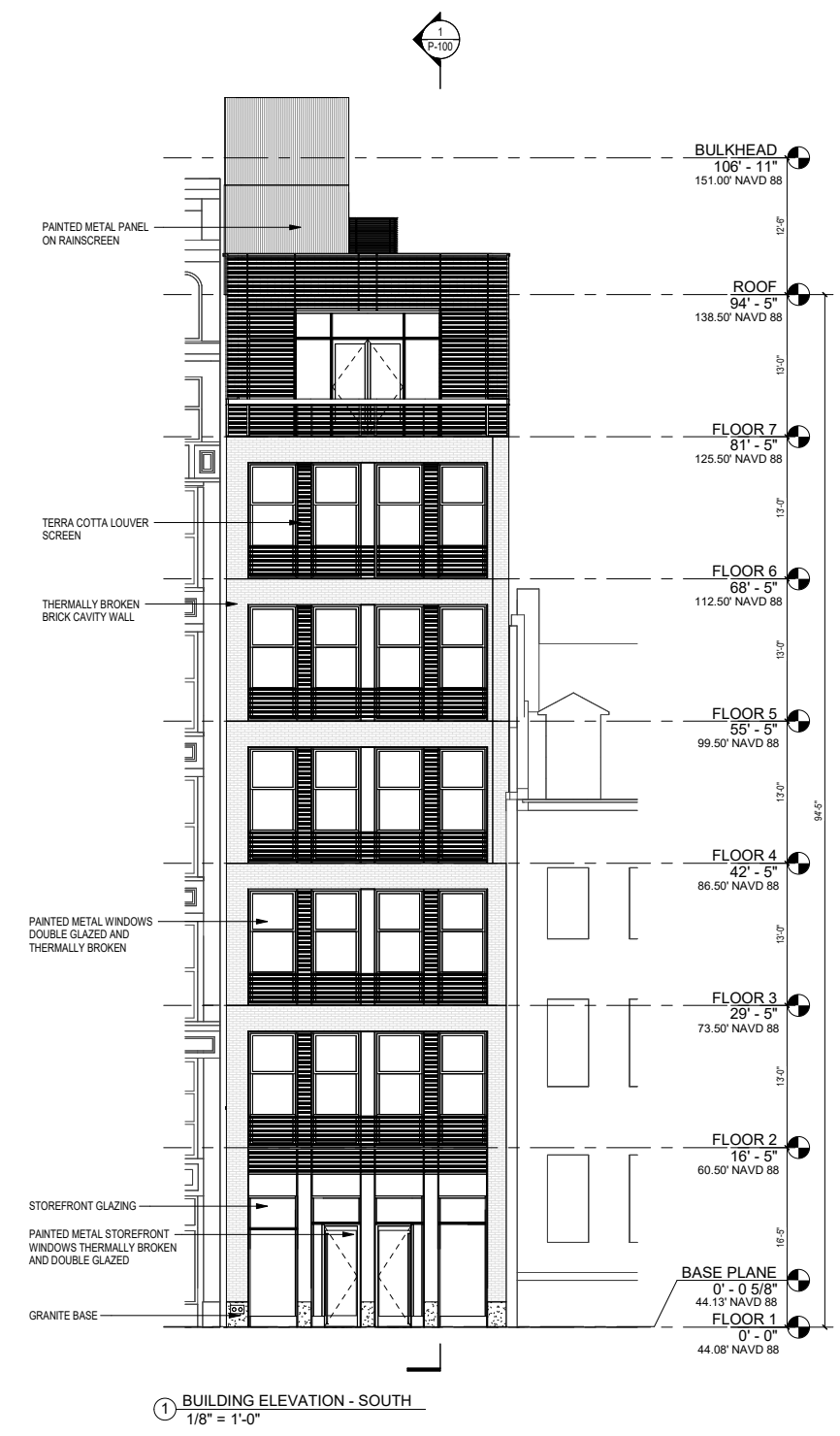
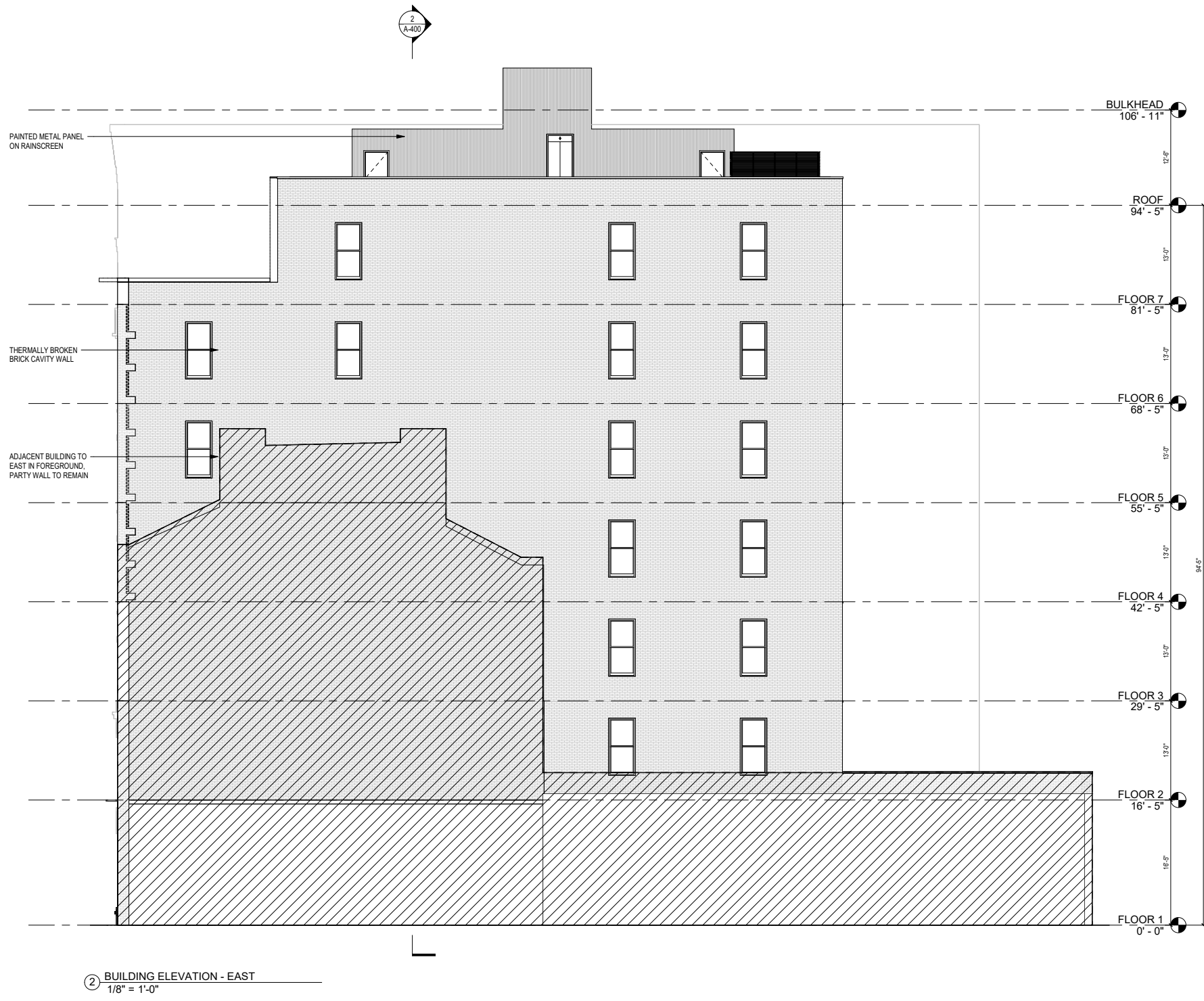


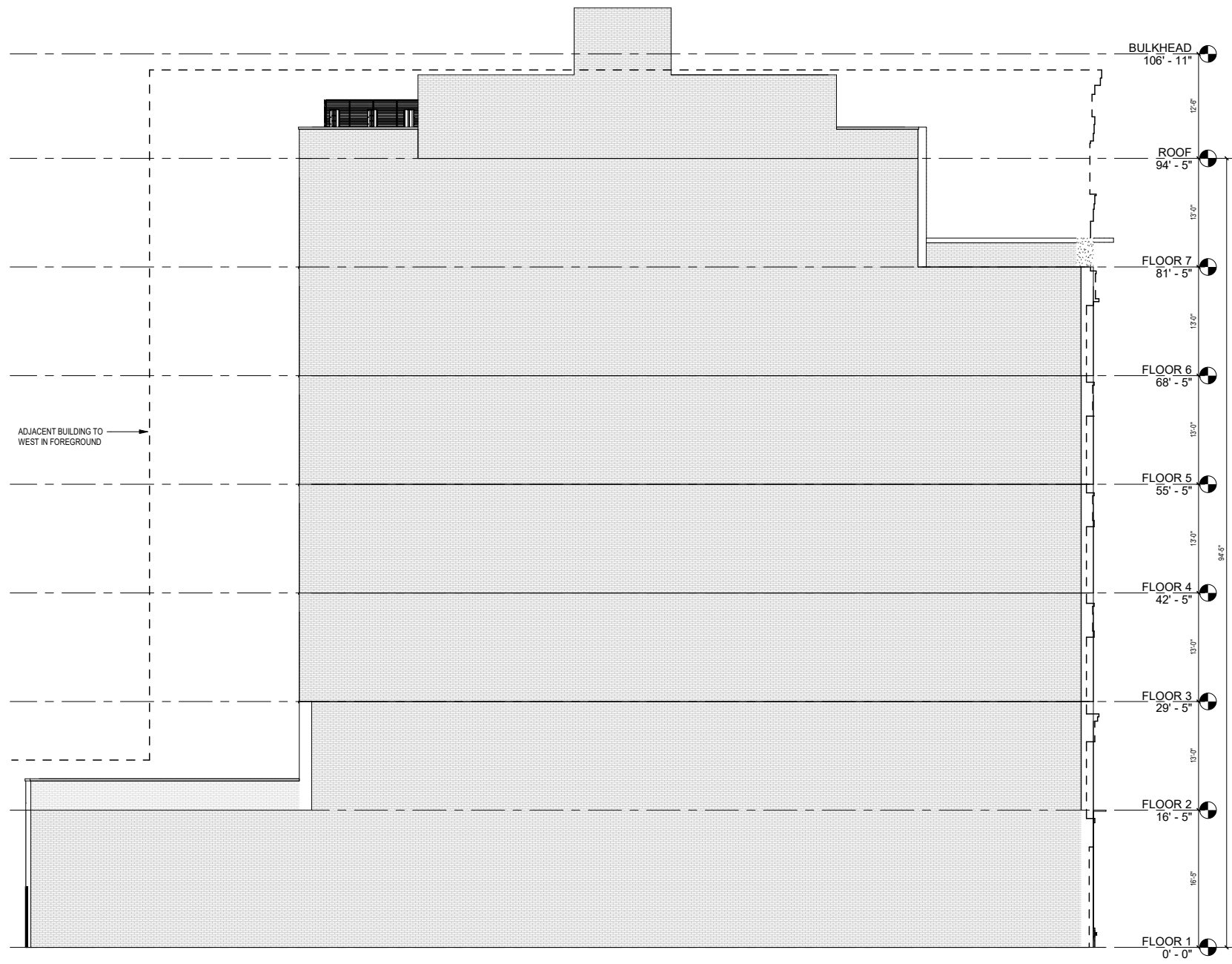
② ROOF PLAN
3/16" = 1'-0"



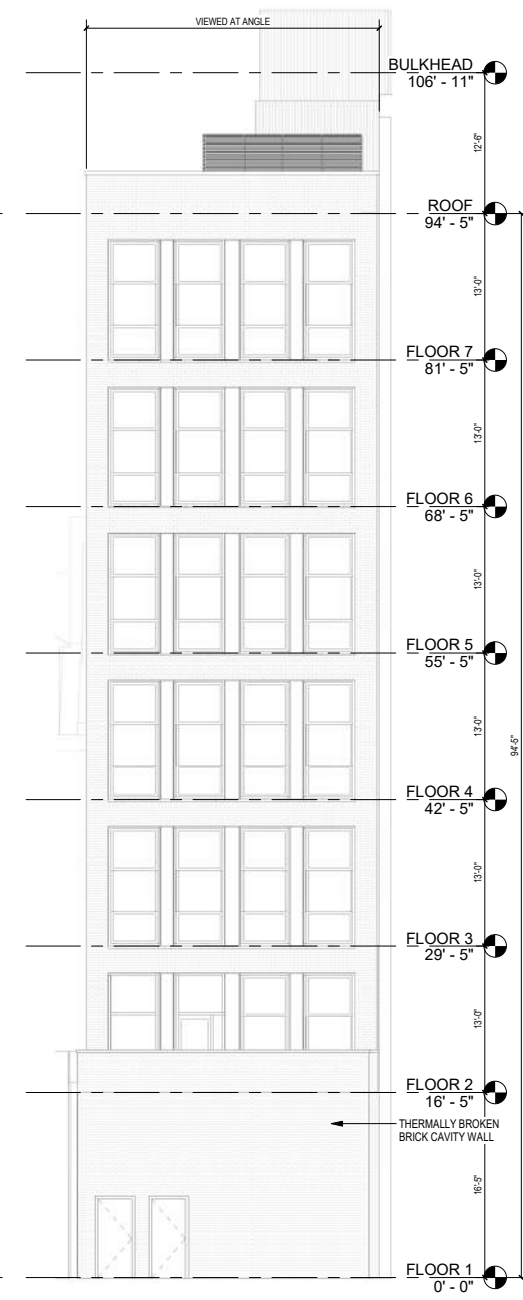
- RUCTION PLAN LEGEND**
- EXISTING CONSTRUCTION
 - NEW CONSTRUCTION
 - EXIT SIGN
 - PROPERTY LINE
 - 1 HR RATED PARTITION
 - 2 HR RATED PARTITION
 - 3 HR RATED PARTITION

① SEVENTH FLOOR PLAN
3/16" = 1'-0"

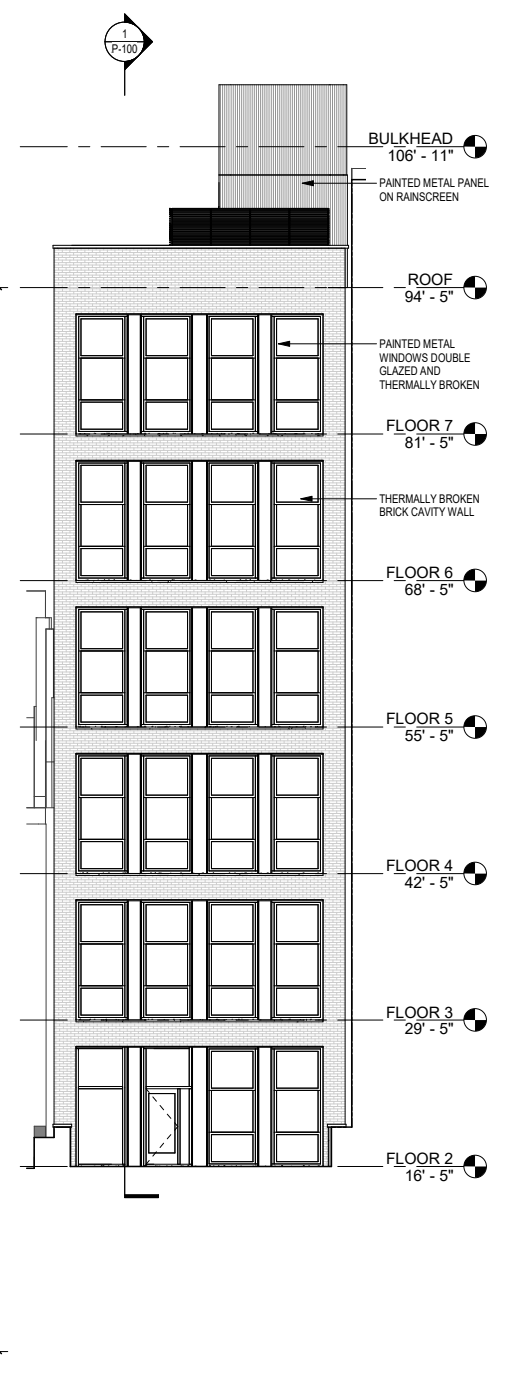




③ BUILDING ELEVATION - WEST
1/8" = 1'-0"



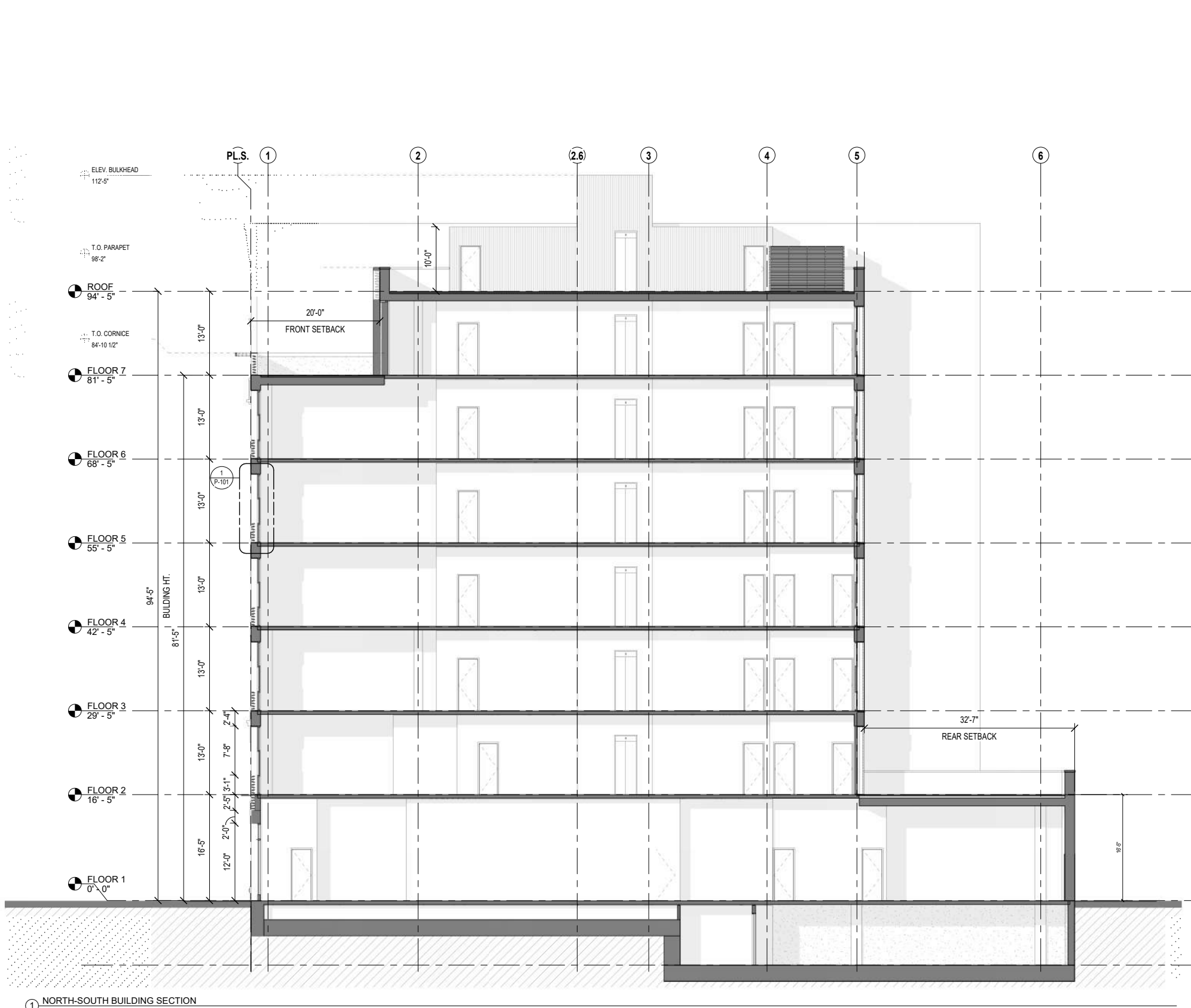
② BUILDING ELEVATION - NORTH
1/8" = 1'-0"



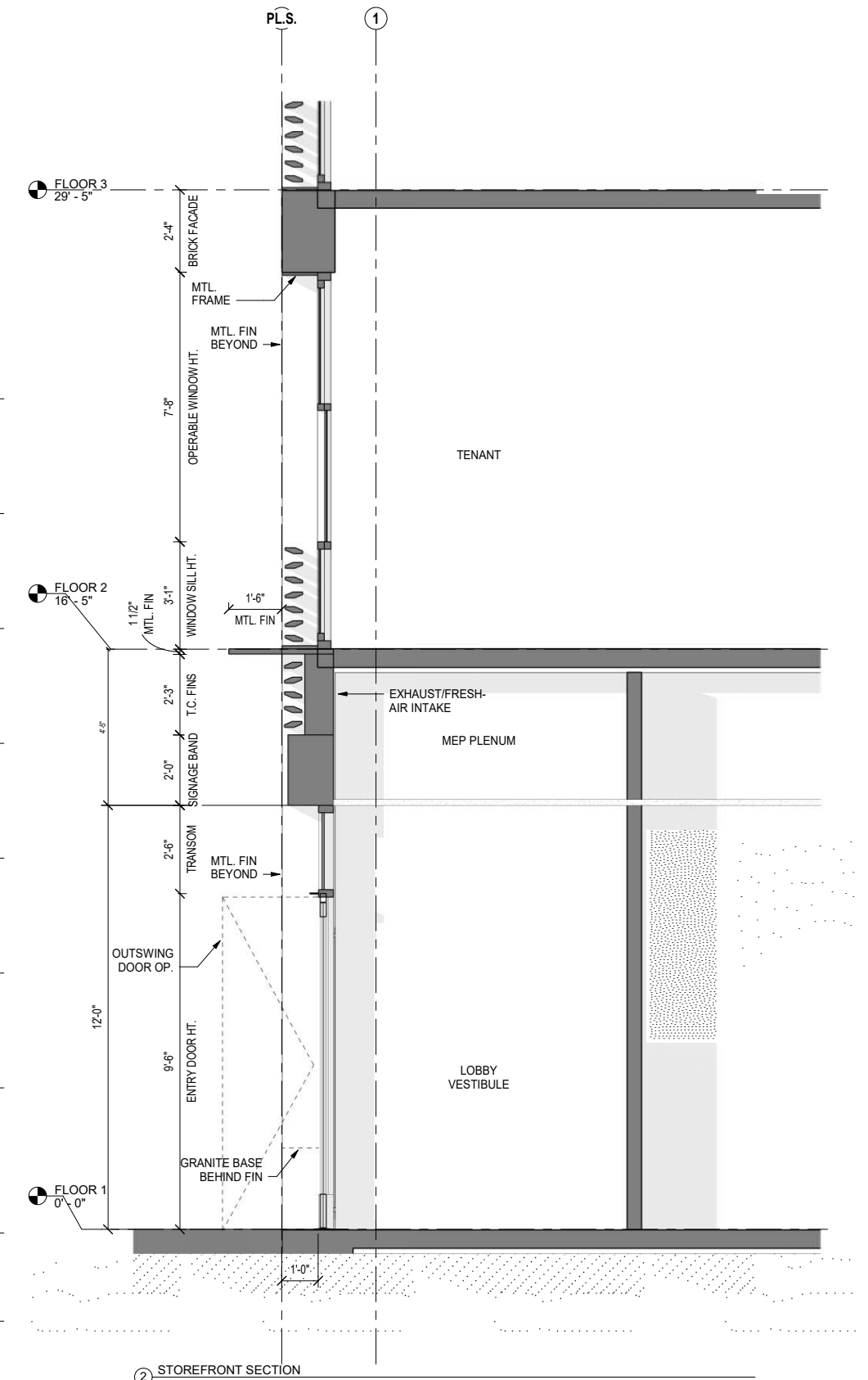
① BUILDING ELEVATION - NORTH 2
1/8" = 1'-0"

BUILDING ELEVATIONS

27 E 4TH STREET



① NORTH-SOUTH BUILDING SECTION
1/8" = 1'-0"



② STOREFRONT SECTION
1/2" = 1'-0"

LONGTIUDINAL BUILDING SECTION

27 E 4TH STREET