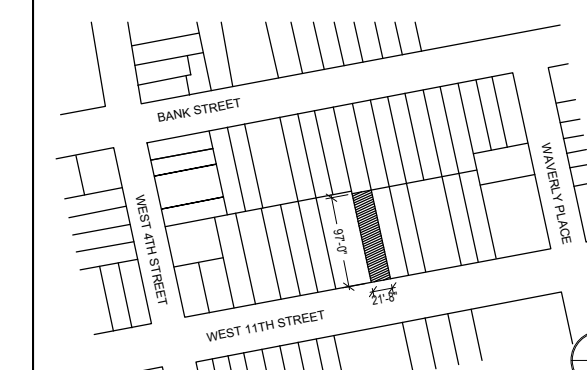


MARKZEFF

PROJECT:

235 W 11TH STREET  
NEW YORK, NY 10014

KEYPLAN:



ARCHITECT OF RECORD:

KIT MIDDLETON  
ARCHITECT, P.C.  
34 EAST 23RD STREET  
NEW YORK, NY 10010



STRUCTURAL ENGINEER:

Rodney B. Gibbel Consulting  
Engineers

PHASE:

- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- PERMIT DOCUMENT
- BID DOCUMENT
- CONSTRUCTION DOCUMENT
- PROGRESS / REVIEW DOCUMENT
- PRESENTATION

CONSTRUCTION PLANS -  
CELLAR, BASEMENT

DRAWING TITLE:

SCALE: AS NOTED

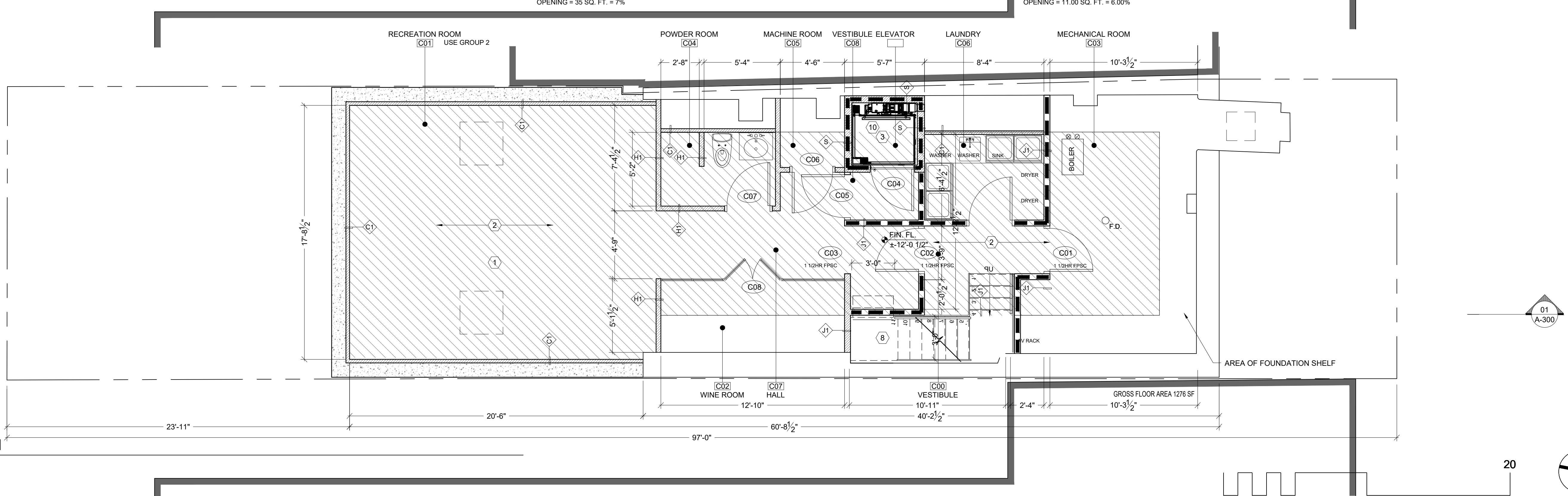
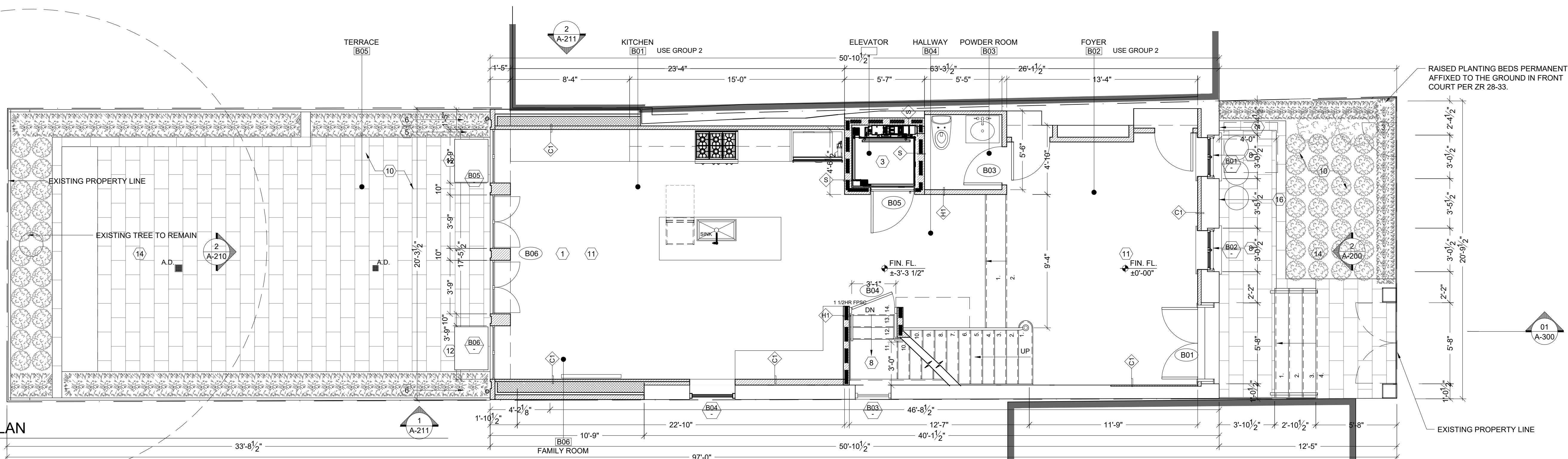
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SHEET NO: 09 OF 20

DATE: 02 14 20

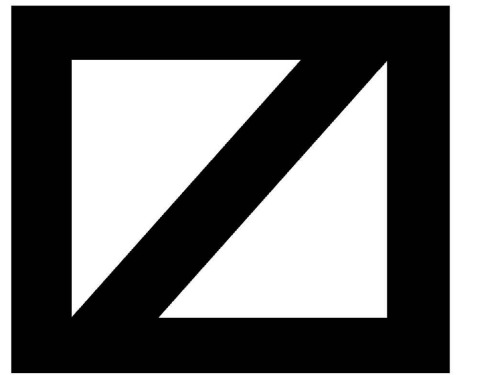
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FLOOR PLAN SYMBOLS LEGEND		
	EXISTING LOAD BEARING WALL TO REMAIN	
	NEW WALL PARTITION	
	NEW STRUCTURAL WALL (REFER STRUCTURAL ENGINEER DWGS)	
	INDICATES OVERHEAD SOFFITS AND/OR OPENINGS	
	SHEET NOTE	
	DOOR TAG, SEE SHEET A901	
	WINDOW NUMBER, SEE SHEET A901	
	1-HOUR FIRE-RATED PARTITION	
	2-HOUR FIRE-RATED PARTITION	

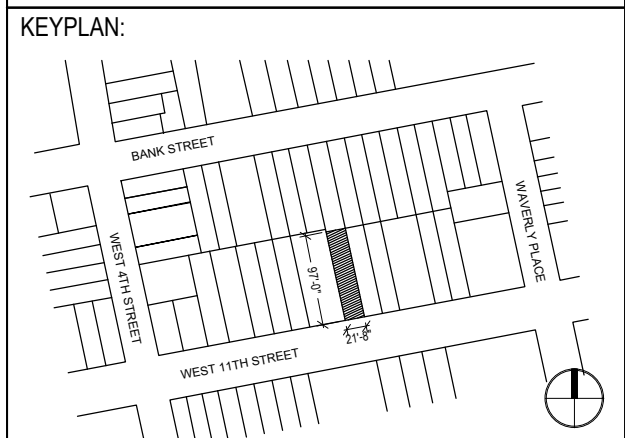
SHEET NOTES	
1	NEW ADDITION TO EXISTING BUILDING. REFER TO STRUCTURAL DRAWINGS FOR COMPLETE INFORMATION.
2	NEW CONCRETE SLAB THROUGHOUT CELLAR 6" BELOW EXISTING CELLAR SLAB. REFER TO STRUCTURAL DRAWINGS FOR COMPLETE INFORMATION.
3	NEW RESIDENTIAL ELEVATOR. ELEVATOR SHALL HAVE FIVE (5) LANDINGS AND A TOTAL RUN OF APPROXIMATELY 49 FEET. ELEVATOR SHALL HAVE MANUFACTURER REQUIRED PIT DEPTH AND OVERHEAD CLEARANCE. COORDINATE WITH STRUCTURAL AND MEP DRAWINGS. COORDINATE ALL HOISTWAY, STRUCTURAL, AND ELECTRICAL REQUIREMENT WITH MANUFACTURER'S SPECS.
4	N/A
5	N/A
6	STORM PIPE RISER FROM ROOF DRAIN AND/OR GUTTER. COORDINATE WITH PLUMBING DRAWINGS.
7	WASTE PIPE FROM MASTER BATHROOM TOILET. COORDINATE WITH PLUMBING DRAWINGS.
8	NEW NON COMBUSTIBLE STEEL STAIR FINISHED WITH NEW WOOD TREADS. NEW METAL BALUSTER THE OPEN SPACE BETWEEN VERTICAL BARS SHALL NOT ALLOW A 4" SPHERE TO PASS THROUGH IT. NEW WOOD HANDRAIL. TOP OF HANDRAIL SHALL BE 36" A.F.F. AND ABOVE TREAD NOSING.
9	PATCH AND SKIMCOAT EXISTING GYP. BD. SURFACE AT STAIR SIDEWALL TO ALLOW TO PROVIDE A SMOOTH, STRAIGHT, AND SURFACE TO RECEIVE MEW FINISHES.
10	UNDERPINNING BELOW ELEVATOR PIT
11	NEW STRUCTURAL FRAMING AND SUBFLOOR
12	TEMPERED GLASS PANEL FLUSH WITH PAVERS
13	4" BOILER INTAKE AND EXHAUST FLUES UP
14	BLUESTONE FRONT PATIO AND ENTIRE REAR YARD FLOOR FINISH.
15	N/A
16	APPLY NEW STUCCO

GENERAL NOTES	
A.	VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND REPORT TO ARCHITECT ANY MAJOR DISCREPANCIES FROM WHAT IS SHOWN ON THE PLAN PRIOR TO PERFORMING WORK.
B.	ALL PENETRATIONS THROUGH FLOOR ASSEMBLIES FOR MEP OR OTHER DEVICES SHALL BE PROPERLY FIRESTOPPED.
C.	PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL-MOUNTED FINISHES, FIXTURES, DEVICES, OR OTHER EQUIPMENT.
D.	SEE PARTITION SCHEDULE ON SHEET A-900.
E.	SEE DOOR AND WINDOW SCHEDULES ON SHEET A-901.
F.	REFER TO STRUCTURAL DRAWINGS FOR ANY WORK REQUIRED ON THE EXISTING STRUCTURAL ASSEMBLY OF THE BUILDING.
G.	PROVIDE METAL ACCESS PANELS (FIRE-RATED WHERE REQUIRED) WHERE REQUIRED TO ACCESS VALVES, SWITCHES, OR OTHER MEP DEVICES WITHIN WALLS AND/OR CEILINGS. COORDINATE WITH MEP DRAWINGS AND CONSULT WITH ARCHITECT PRIOR TO LOCATING AND INSTALLING THE PANELS.
H.	ALL BATHROOM FLOORS SHALL HAVE AN ELECTRIC RADIANT HEAT SYSTEM.
I.	SEE SHEETS ID601 - ID614 FOR ENLARGED INTERIOR PLANS AND INTERIOR ELEVATIONS.
J.	PROVIDE WATERPROOF MEMBRANE AT ALL BATHROOM AND KITCHEN FLOOR AREAS.
K.	PROVIDE ESTIMATE FOR NEW HANGROD HARDWARE AT ALL CLOSETS, TYP.
L.	COORDINATE INDICATED PARTITION TYPE AT EXTERIOR CMU WALLS WITH STRUCTURAL DRAWINGS.

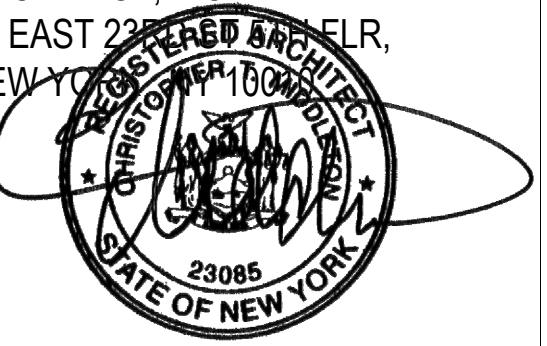


MARKZEFF

PROJECT:  
**235 W 11TH STREET  
NEW YORK, NY 10014**

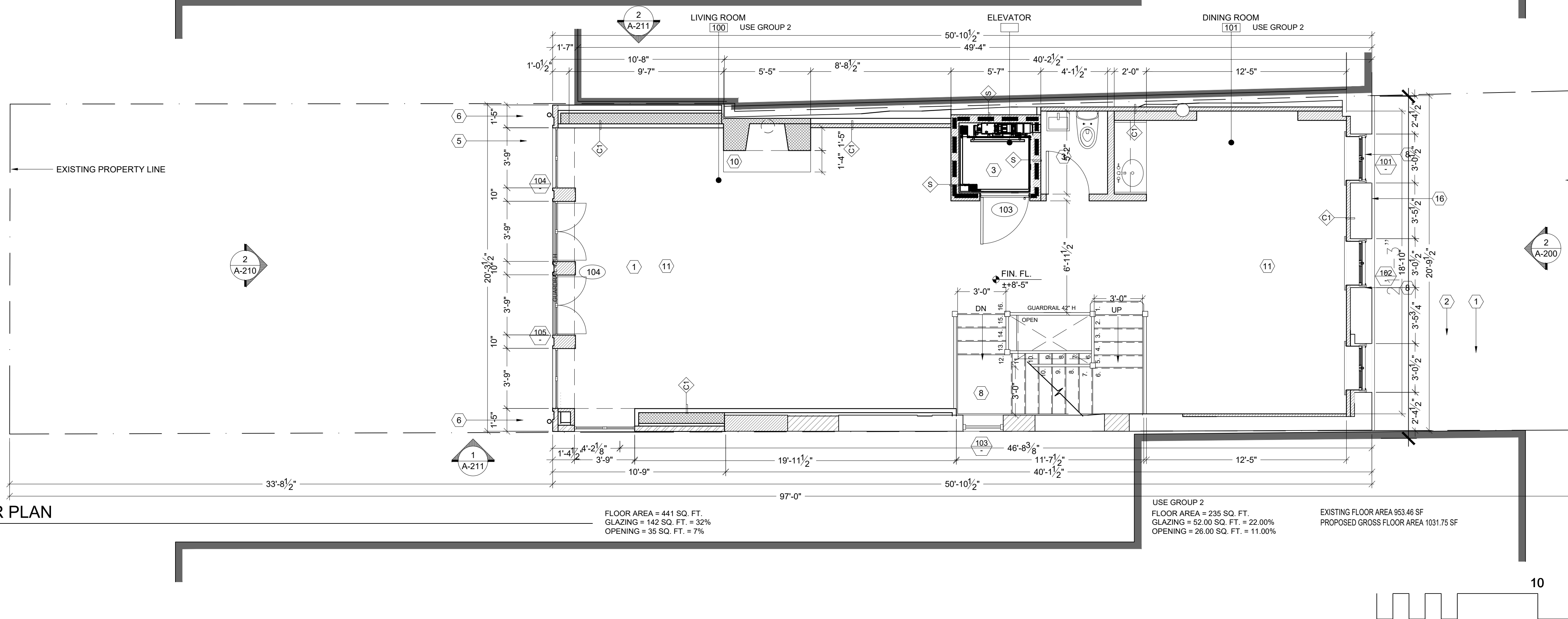
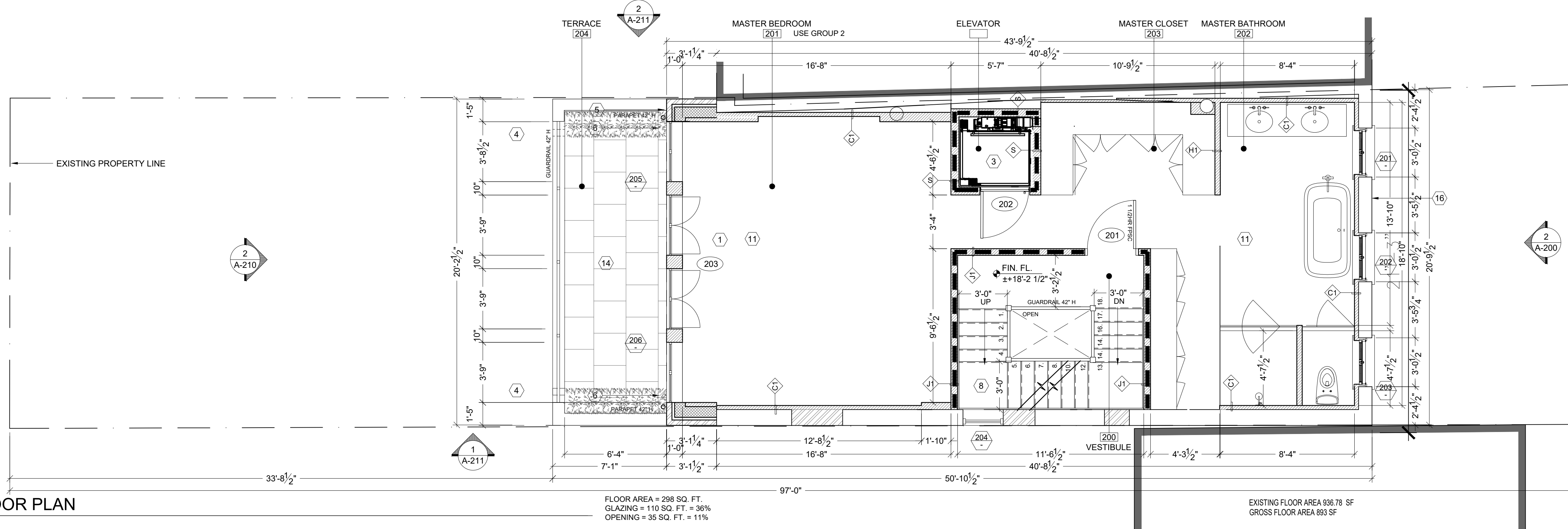


ARCHITECT OF RECORD:  
**KIT MIDDLETON  
ARCHITECT, P.C.  
34 EAST 23RD STREET, 5TH FLR,  
NEW YORK, NY 10010**



STRUCTURAL ENGINEER:  
**Rodney B. Gibbel Consulting  
Engineers**

- PHASE:
- SCHEMATIC DESIGN
  - DESIGN DEVELOPMENT
  - PERMIT DOCUMENT
  - BID DOCUMENT
  - CONSTRUCTION DOCUMENT
  - PROGRESS / REVIEW DOCUMENT
  - PRESENTATION



FLOOR PLAN SYMBOLS LEGEND	
	EXISTING LOAD BEARING WALL TO REMAIN
	NEW WALL PARTITION
	NEW STRUCTURAL WALL (REFER STRUCTURAL ENGINEER DWGS)
	INDICATES OVERHEAD SOFFITS AND/OR OPENINGS
	SHEET NOTE
	DOOR TAG, SEE SHEET A901
	WINDOW NUMBER, SEE SHEET A901
	1-HOUR FIRE-RATED PARTITION
	2-HOUR FIRE-RATED PARTITION
	PARTITION TYPES, SEE SHEET A900
	ROOM TAG
	ELEVATION MARKER
	SECTION MARKER
	INDICATES FINISHED HEIGHT
	ALIGN SURFACES
	DETAIL MARKER - DRAWING NUMBER / SHEET NUMBER
	A.D. = AREA DRAIN F.D. = FLOOR DRAIN R.D. = ROOF DRAIN
	AREA OF STRUCTURAL INFILL, REFER TO STRUCTURAL DRAWINGS

SHEET NOTES	
1	NEW ADDITION TO EXISTING BUILDING. REFER TO STRUCTURAL DRAWINGS FOR COMPLETE INFORMATION.
2	N/A
3	NEW RESIDENTIAL ELEVATOR. ELEVATOR SHALL HAVE FIVE (5) LANDINGS AND A TOTAL RUN OF APPROXIMATELY 49 FEET. ELEVATOR SHALL HAVE MANUFACTURER REQUIRED PIT DEPTH AND OVERHEAD CLEARANCE. COORDINATE WITH STRUCTURAL AND MEP DRAWINGS. COORDINATE ALL HOISTWAY, STRUCTURAL, AND ELECTRICAL REQUIREMENT WITH MANUFACTURER'S SPECS.
4	NEW HOPPER DRAIN
5	NEW STUCCO
6	STORM PIPE RISER FROM ROOF DRAIN AND/OR GUTTER. COORDINATE WITH PLUMBING DRAWINGS.
7	WASTE PIPE FROM MASTER BATHROOM TOILET. COORDINATE WITH PLUMBING DRAWINGS.
8	NEW NON COMBUSTIBLE STEEL STAIR FINISHED WITH NEW WOOD TREADS. NEW METAL BALUSTER THE OPEN SPACE BETWEEN VERTICAL BARS SHALL NOT ALLOW A 4" SPHERE TO PASS THROUGH IT. NEW WOOD HANDRAIL. TOP OF HANDRAIL SHALL BE 36" A.F.F. AND ABOVE TREAD NOSING.
9	PATCH AND SKIMCOAT EXISTING GYP. BD. SURFACE AT STAIR SIDEWALL TO ALLOW TO PROVIDE A SMOOTH, STRAIGHT, AND SURFACE TO RECEIVE MEW FINISHES.
10	RELOCATED FIRE BOX & HEARTH
11	NEW STRUCTURAL FRAMING AND SUBFLOOR
12	N/A
13	4" BOILER INTAKE AND EXHAUST FLUES UP
14	BLUESTONE PAVER DECK
15	N/A
16	REMOVE EXISTING STUCCO, REPAIR/PATCH EXISTING BRICK & MORTAR AS REQ.D

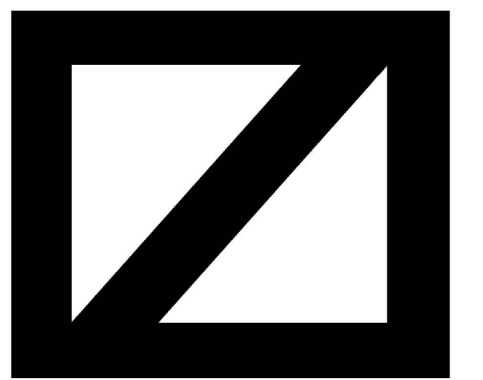
GENERAL NOTES	
A.	VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND REPORT TO ARCHITECT ANY MAJOR DISCREPANCIES FROM WHAT IS SHOWN ON THE PLAN PRIOR TO PERFORMING WORK.
B.	ALL PENETRATIONS THROUGH FLOOR ASSEMBLIES FOR MEP OR OTHER DEVICES SHALL BE PROPERLY FIRESTOPPED.
C.	PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL-MOUNTED FINISHES, FIXTURES, DEVICES, OR OTHER EQUIPMENT.
D.	SEE PARTITION SCHEDULE ON SHEET A-900.
E.	SEE DOOR AND WINDOW SCHEDULES ON SHEET A-901.
F.	REFER TO STRUCTURAL DRAWINGS FOR ANY WORK REQUIRED ON THE EXISTING STRUCTURAL ASSEMBLY OF THE BUILDING.
G.	PROVIDE METAL ACCESS PANELS (FIRE-RATED WHERE REQUIRED) WHERE REQUIRED TO ACCESS VALVES, SWITCHES, OR OTHER MEP DEVICES WITHIN WALLS AND/OR CEILINGS. COORDINATE WITH MEP DRAWINGS AND CONSULT WITH ARCHITECT PRIOR TO LOCATING AND INSTALLING THE PANELS.
H.	ALL BATHROOM FLOORS SHALL HAVE AN ELECTRIC RADIANT HEAT SYSTEM.
I.	SEE SHEETS ID601 - ID614 FOR ENLARGED INTERIOR PLANS AND INTERIOR ELEVATIONS.
J.	PROVIDE WATERPROOF MEMBRANE AT ALL BATHROOM AND KITCHEN FLOOR AREAS.
K.	PROVIDE ESTIMATE FOR NEW HANGROD HARDWARE AT ALL CLOSETS, TYP.
L.	COORDINATE INDICATED PARTITION TYPE AT EXTERIOR CMU WALLS WITH STRUCTURAL DRAWINGS.

CONSTRUCTION PLANS -  
1ST FLOOR & 2ND FLOOR

DRAWING TITLE:  
SCALE: AS NOTED  
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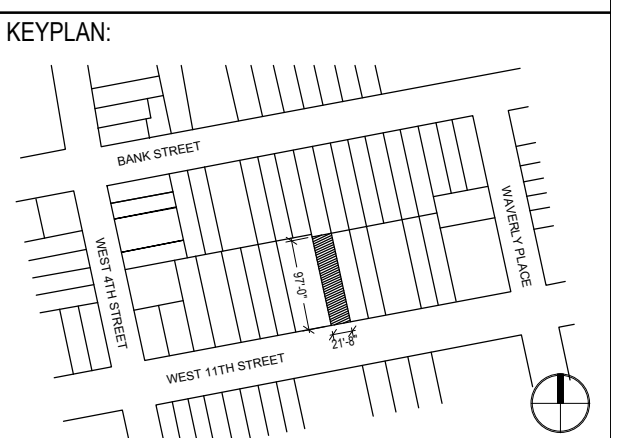
**A-101.00**

SHEET NO: 10 OF 20  
DATE: 02 14 20  
DRAWN BY: JS CHECKED BY: MZ

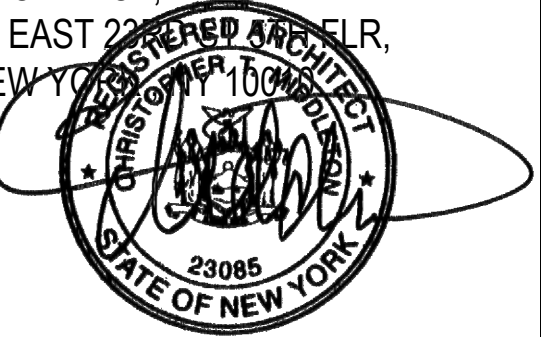


MARKZEFF

PROJECT:  
235 W 11TH STREET  
NEW YORK, NY 10014

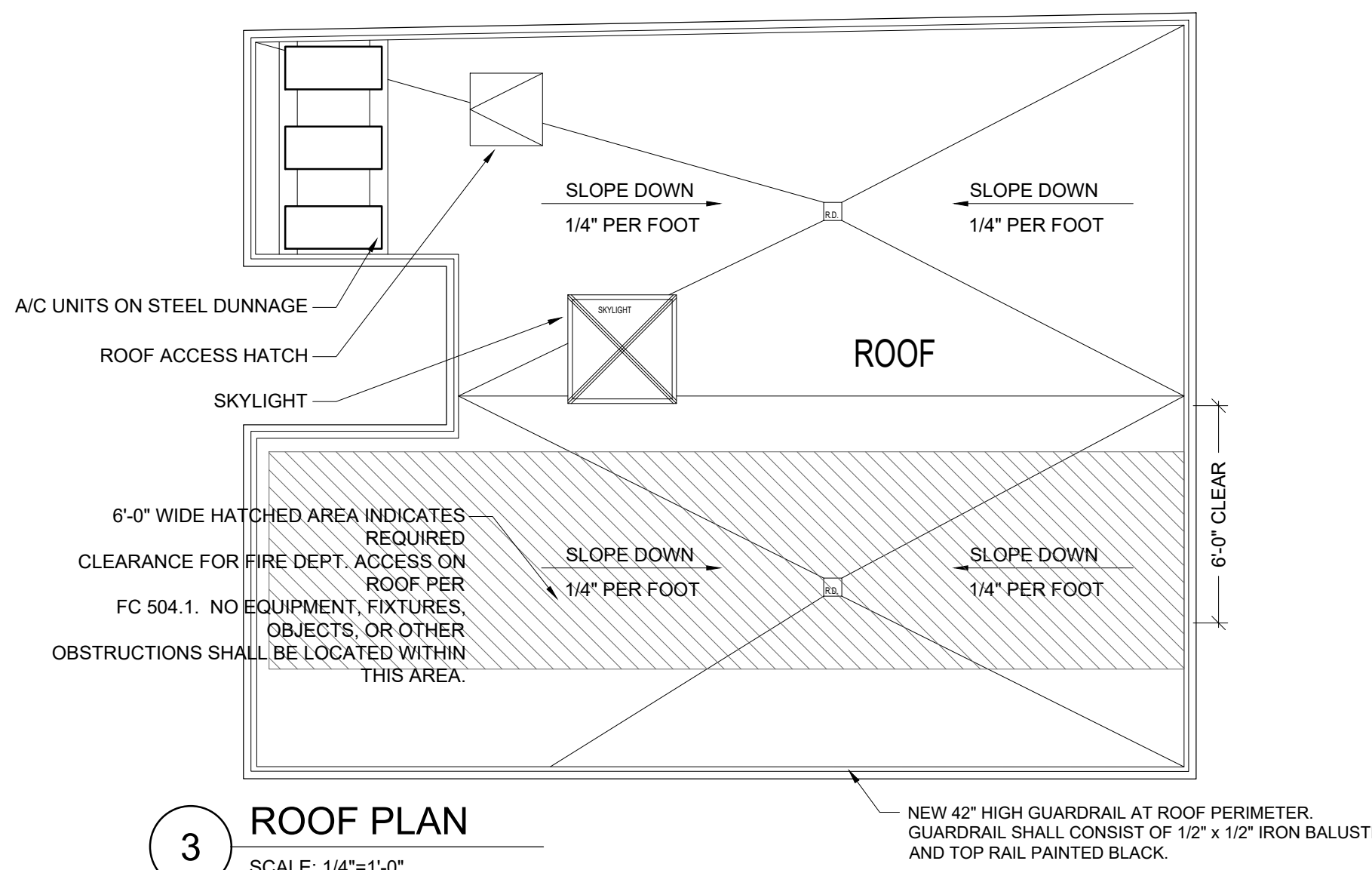


ARCHITECT OF RECORD:  
KIT MIDDLETON  
ARCHITECT, P.C.  
34 EAST 21ST STREET, 10TH FLR,  
NEW YORK, NY 10003

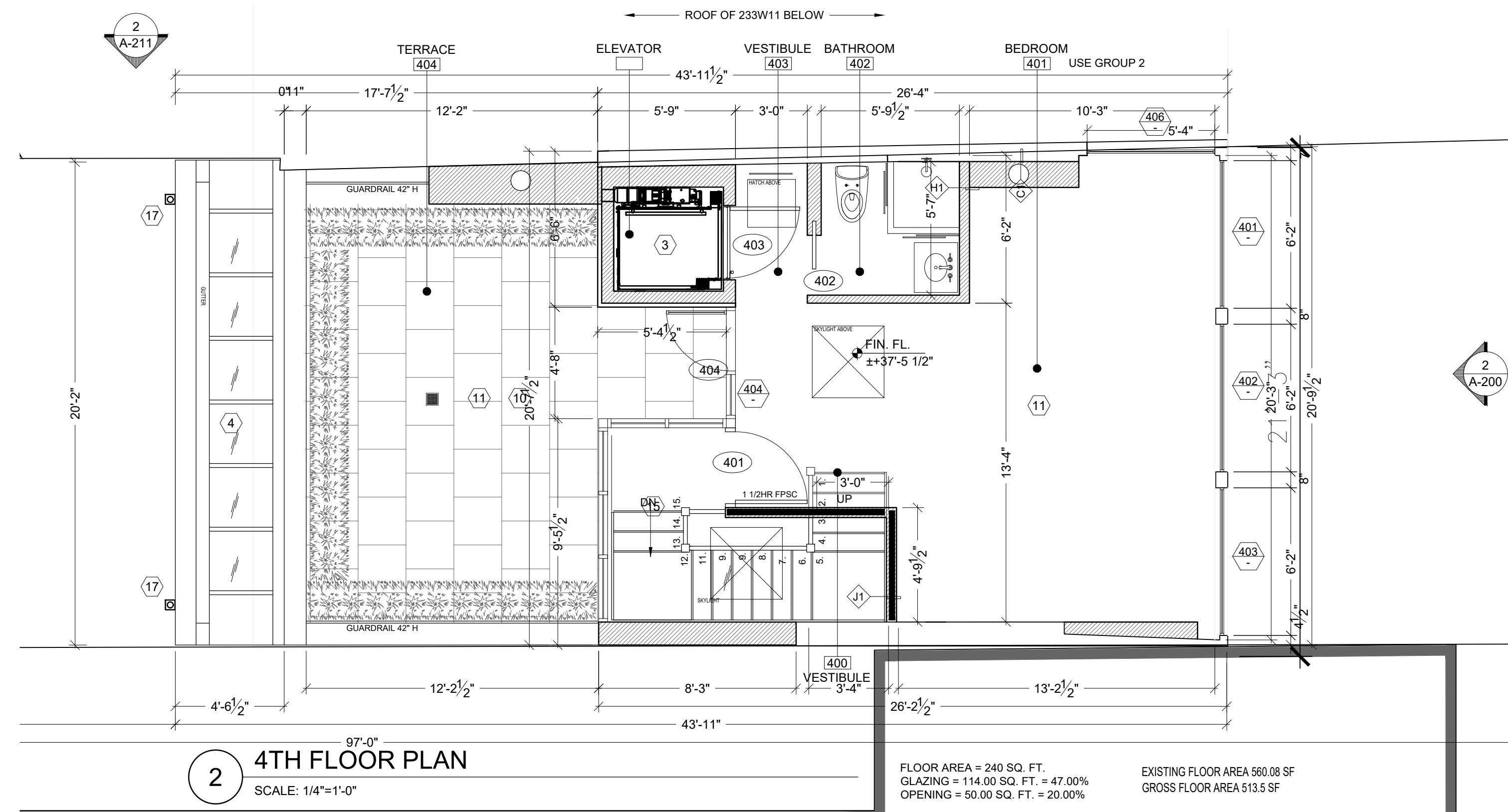


STRUCTURAL ENGINEER:  
Rodney B. Gibbel Consulting  
Engineers

- PHASE:
- SCHEMATIC DESIGN
  - DESIGN DEVELOPMENT
  - PERMIT DOCUMENT
  - BID DOCUMENT
  - CONSTRUCTION DOCUMENT
  - PROGRESS / REVIEW DOCUMENT
  - PRESENTATION



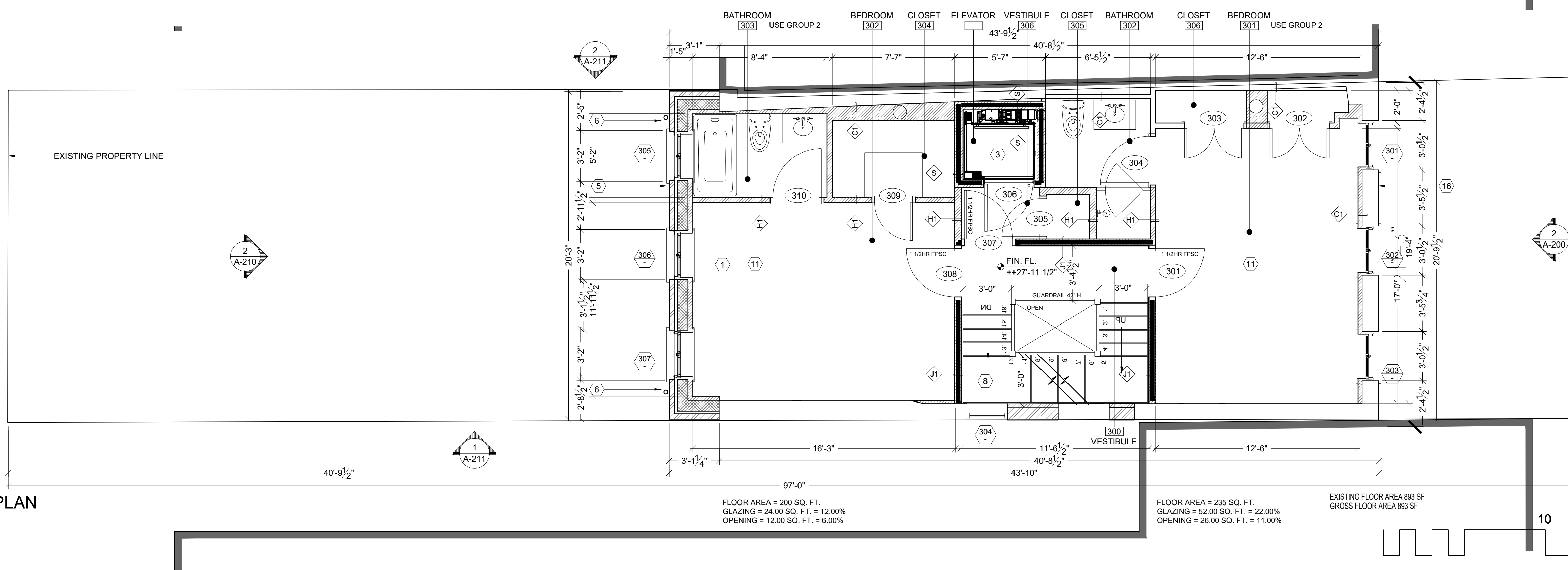
3 ROOF PLAN  
SCALE: 1/4"=1'-0"



2 4TH FLOOR PLAN  
SCALE: 1/4"=1'-0"

FLOOR AREA = 240 SQ. FT.  
GLAZING = 114.00 SQ. FT. = 47.00%  
OPENING = 50.00 SQ. FT. = 20.00%

EXISTING FLOOR AREA 560.08 SF  
GROSS FLOOR AREA 513.5 SF



1 THIRD FLOOR PLAN  
SCALE: 1/4"=1'-0"

FLOOR AREA = 200 SQ. FT.  
GLAZING = 24.00 SQ. FT. = 12.00%  
OPENING = 12.00 SQ. FT. = 6.00%

FLOOR AREA = 236 SQ. FT.  
GLAZING = 52.00 SQ. FT. = 22.00%  
OPENING = 26.00 SQ. FT. = 11.00%

EXISTING FLOOR AREA 893 SF  
GROSS FLOOR AREA 893 SF

FLOOR PLAN SYMBOLS LEGEND

	EXISTING LOAD BEARING WALL TO REMAIN		PARTITION TYPES, SEE SHEET A900
	NEW WALL PARTITION		ROOM TAG
	NEW STRUCTURAL WALL (REFER STRUCTURAL ENGINEER DWGS)		ELEVATION MARKER
	INDICATES OVERHEAD SOFFITS AND/OR OPENINGS		SECTION MARKER
	SHEET NOTE		INDICATES FINISHED HEIGHT
	DOOR TAG, SEE SHEET A901		ALIGN SURFACES
	WINDOW NUMBER, SEE SHEET A901		DETAIL MARKER - DRAWING NUMBER SHEET NUMBER
	1-HOUR FIRE-RATED PARTITION		A.D. = AREA DRAIN F.D. = FLOOR DRAIN R.D. = ROOF DRAIN
	2-HOUR FIRE-RATED PARTITION		AREA OF STRUCTURAL INFILL, REFER TO STRUCTURAL DRAWINGS

SHEET NOTES

- 1 NEW ADDITION TO EXISTING BUILDING. REFER TO STRUCTURAL DRAWINGS FOR COMPLETE INFORMATION.
- 2 N/A
- 3 NEW RESIDENTIAL ELEVATOR. ELEVATOR SHALL HAVE FIVE (5) LANDINGS AND A TOTAL RUN OF APPROXIMATELY 49 FEET. ELEVATOR SHALL HAVE MANUFACTURER REQUIRED PIT DEPTH AND OVERHEAD CLEARANCE. COORDINATE WITH STRUCTURAL AND MEP DRAWINGS. COORDINATE ALL HOISTWAY, STRUCTURAL, AND ELECTRICAL REQUIREMENT WITH MANUFACTURER'S SPECS.
- 4 ALUMINUM FRAME SKYLIGHT
- 5 NEW STUCCO
- 6 STORM PIPE RISER FROM ROOF DRAIN AND/OR GUTTER. COORDINATE WITH PLUMBING DRAWINGS.
- 7 WASTE PIPE FROM MASTER BATHROOM TOILET. COORDINATE WITH PLUMBING DRAWINGS.
- 8 NEW NON COMBUSTIBLE STEEL STAIR FINISHED WITH NEW WOOD TREADS. NEW METAL BALUSTER THE OPEN SPACE BETWEEN VERTICAL BARS SHALL NOT ALLOW A 4" SPHERE TO PASS THROUGH IT. NEW WOOD HANDRAIL. TOP OF HANDRAIL SHALL BE 36" A.F.F. AND ABOVE TREAD NOSING.
- 9 PATCH AND SKIMCOAT EXISTING GYP.BD. SURFACE AT STAIR SIDEWALL TO ALLOW TO PROVIDE A SMOOTH, STRAIGHT, AND SURFACE TO RECEIVE MEW FINISHES.

- 10 TERRACE W/ BLUESTONE PAVERS
- 11 NEW STRUCTURAL FRAMING AND SUBFLOOR
- 12 N/A
- 13 4" BOILER INTAKE AND EXHAUST FLUES UP
- 14 N/A
- 15 N/A
- 16 REMOVE EXISTING STUCCO, REPAIR/PATCH APPLY NEW STUCCO
- 17 RAIN HOPPER

GENERAL NOTES

- A. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND REPORT TO ARCHITECT ANY MAJOR DISCREPANCIES FROM WHAT IS SHOWN ON THE PLAN PRIOR TO PERFORMING WORK.
- B. ALL PENETRATIONS THROUGH FLOOR ASSEMBLIES FOR MEP OR OTHER DEVICES SHALL BE PROPERLY FIRESTOPPED.
- C. PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL-MOUNTED FINISHES, FIXTURES, DEVICES, OR OTHER EQUIPMENT.
- D. SEE PARTITION SCHEDULE ON SHEET A-900.
- E. SEE DOOR AND WINDOW SCHEDULES ON SHEET A-901.
- F. REFER TO STRUCTURAL DRAWINGS FOR ANY WORK REQUIRED ON THE EXISTING STRUCTURAL ASSEMBLY OF THE BUILDING.
- G. PROVIDE METAL ACCESS PANELS (FIRE-RATED WHERE REQUIRED) WHERE REQUIRED TO ACCESS VALVES, SWITCHES, OR OTHER MEP DEVICES WITHIN WALLS AND/OR CEILINGS. COORDINATE WITH MEP DRAWINGS AND CONSULT WITH ARCHITECT PRIOR TO LOCATING AND INSTALLING THE PANELS.
- H. ALL BATHROOM FLOORS SHALL HAVE AN ELECTRIC RADIANT HEAT SYSTEM.
- I. SEE SHEETS ID601 - ID614 FOR ENLARGED INTERIOR PLANS AND INTERIOR ELEVATIONS.
- J. PROVIDE WATERPROOF MEMBRANE AT ALL BATHROOM AND KITCHEN FLOOR AREAS.
- K. PROVIDE ESTIMATE FOR NEW HANGROD HARDWARE AT ALL CLOSETS, TYP.
- L. COORDINATE INDICATED PARTITION TYPE AT EXTERIOR CMU WALLS WITH STRUCTURAL DRAWINGS.

CONSTRUCTION PLANS -  
3RD FLOOR & 4TH FLOOR

DRAWING TITLE:

SCALE: AS NOTED

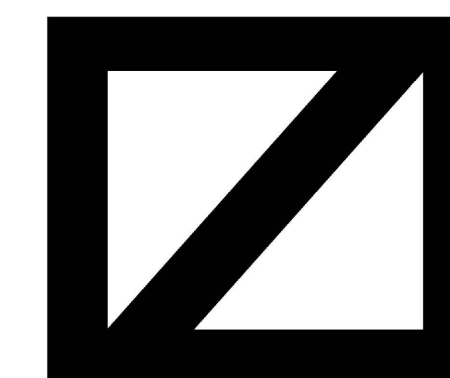
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A-102.00

SHEET NO: 11 OF 20

DATE: 02 14 20

DRAWN BY: JS CHECKED BY: MZ



MARKZEFF

PROJECT:

235 W 11TH STREET  
NEW YORK, NY 10014

KEYPLAN:



ARCHITECT OF RECORD:

KIT MIDDLETON  
ARCHITECT, P.C.  
34 EAST 23RD ST 5TH FLR,  
NEW YORK, NY 10010



STRUCTURAL ENGINEER:

Rodney B. Gibbel Consulting  
Engineers

PHASE:

- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- PERMIT DOCUMENT
- BID DOCUMENT
- CONSTRUCTION DOCUMENT
- PROGRESS / REVIEW DOCUMENT
- PRESENTATION

BUILDING SECTION -  
PROPOSED

DRAWING TITLE:

SCALE: AS NOTED

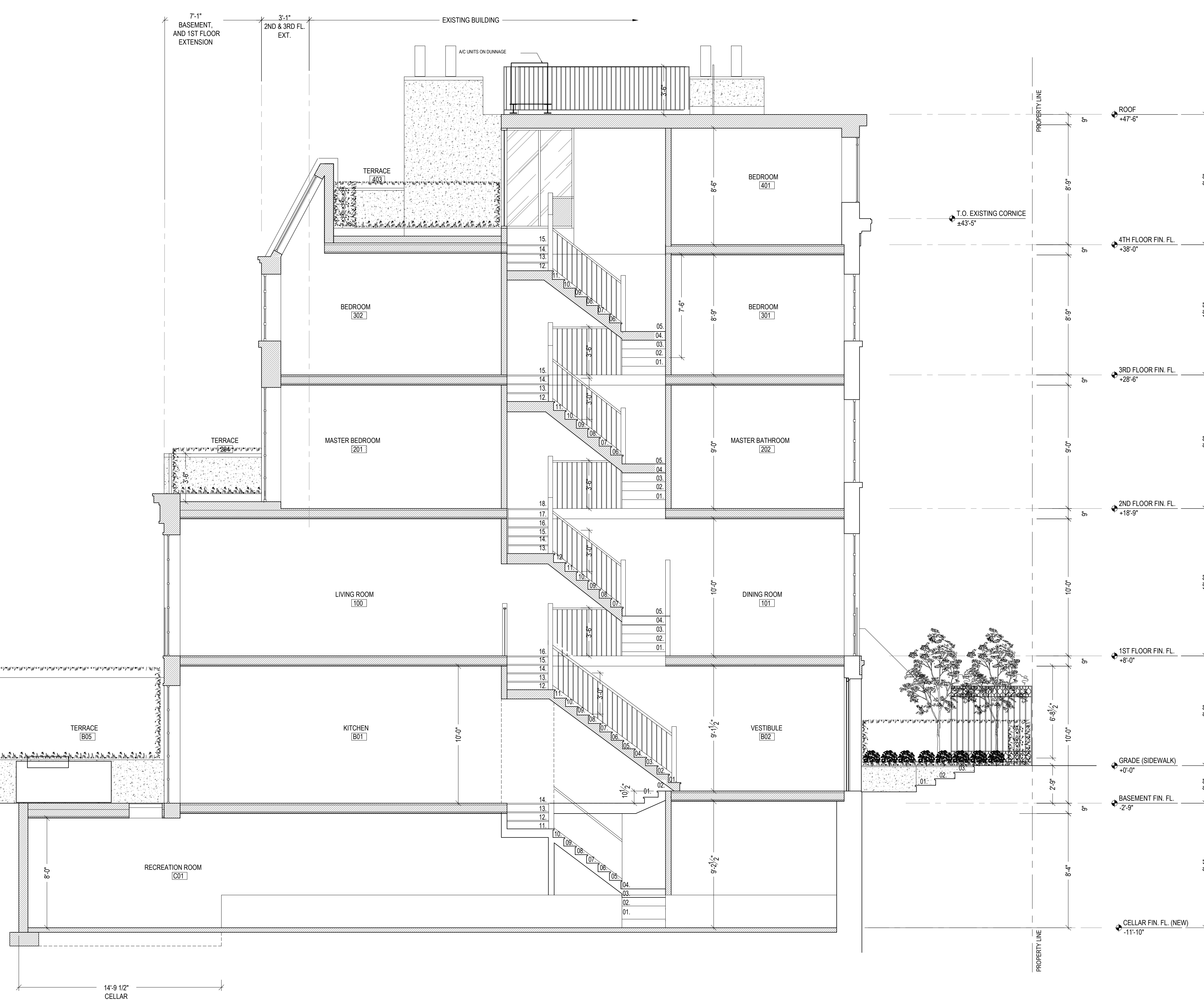
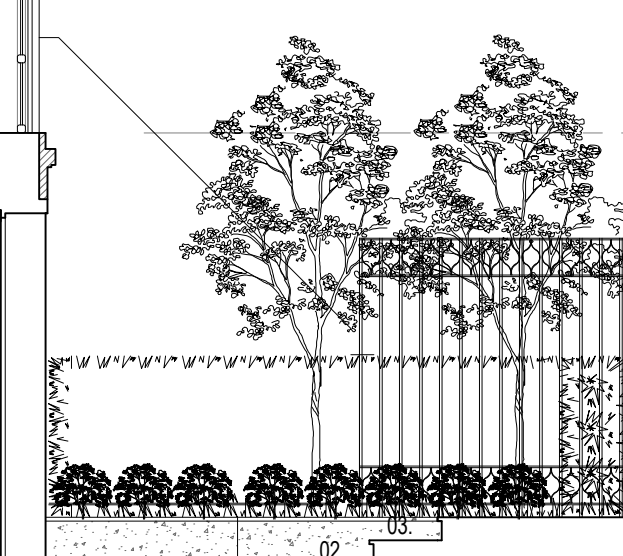
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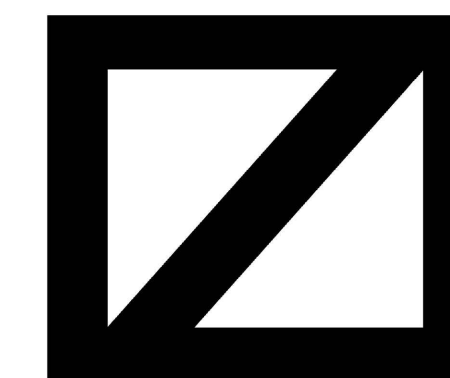
SHEET NO: 16 OF 21

DATE: 02 14 20

DRAWN BY: JS CHECKED BY: MZ



1 PROPOSED BUILDING SECTION  
SCALE: 1/4"=1'-0"



MARKZEFF

PROJECT:

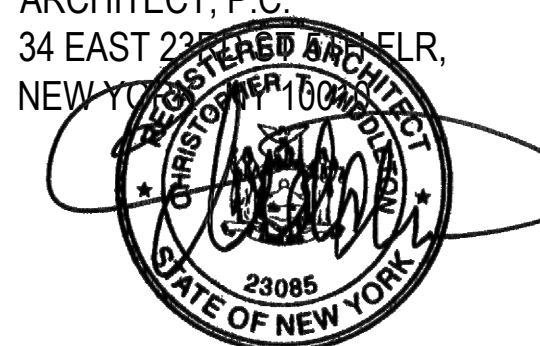
235 W 11TH STREET  
NEW YORK, NY 10014

KEYPLAN:



ARCHITECT OF RECORD:

KIT MIDDLETON  
ARCHITECT, P.C.  
34 EAST 23RD STREET  
NEW YORK, NY 10010



STRUCTURAL ENGINEER:

Rodney B. Gibbel Consulting  
Engineers

PHASE:

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- PRESENTATION

EXISTING & PROPOSED  
NORTH ELEVATION

DRAWING TITLE:

SCALE: 3/8"=1'-0"

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A210.00

SHEET NO:

DATE: 02 14 20

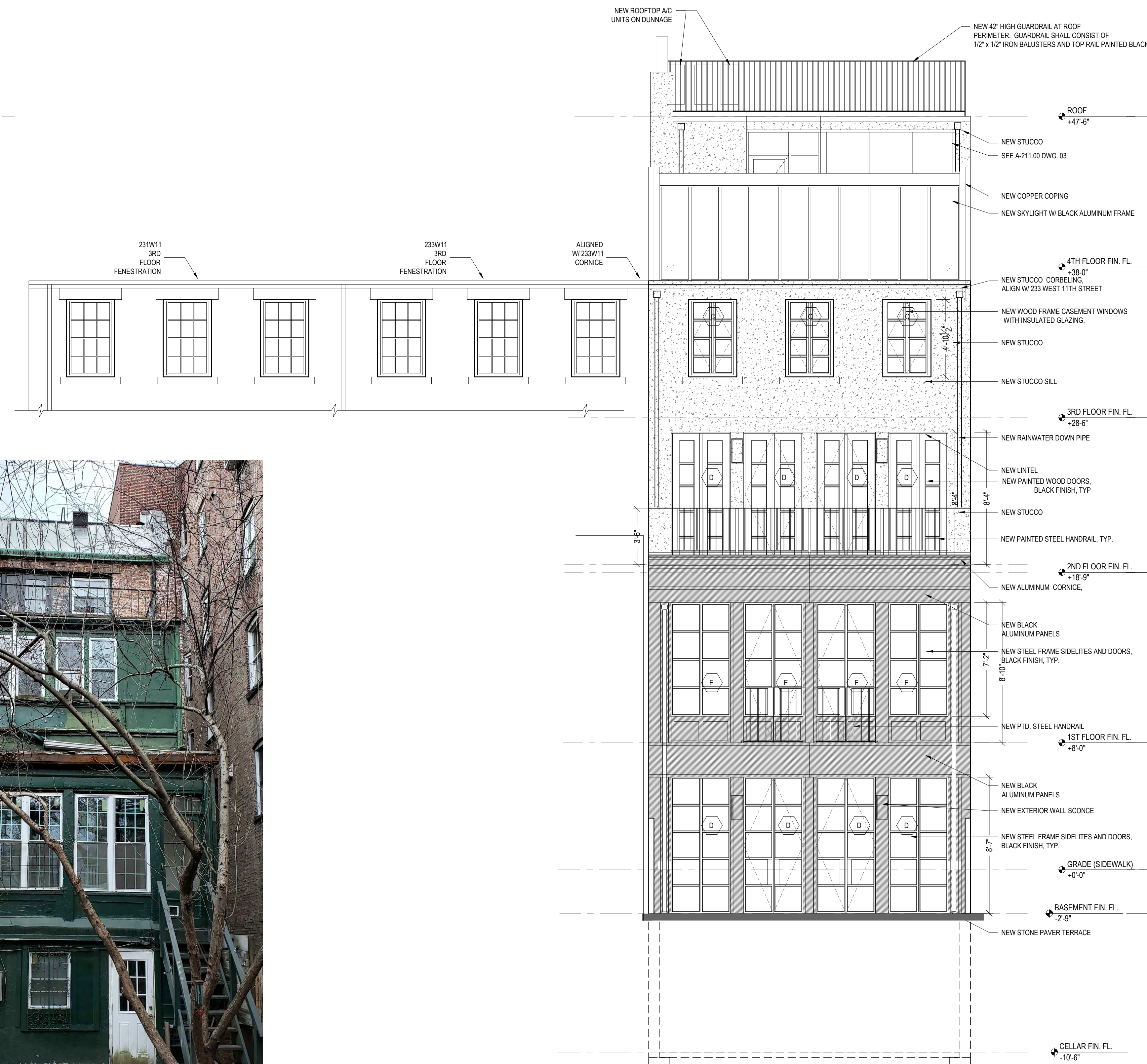
DRAWN BY: JS CHECKED BY: MZ



1 EXISTING NORTH ELEVATION  
SCALE: 3/8"=1'-0"



2 EXISTING PHOTO NORTH ELEVATION  
SCALE: 3/8"=1'-0"

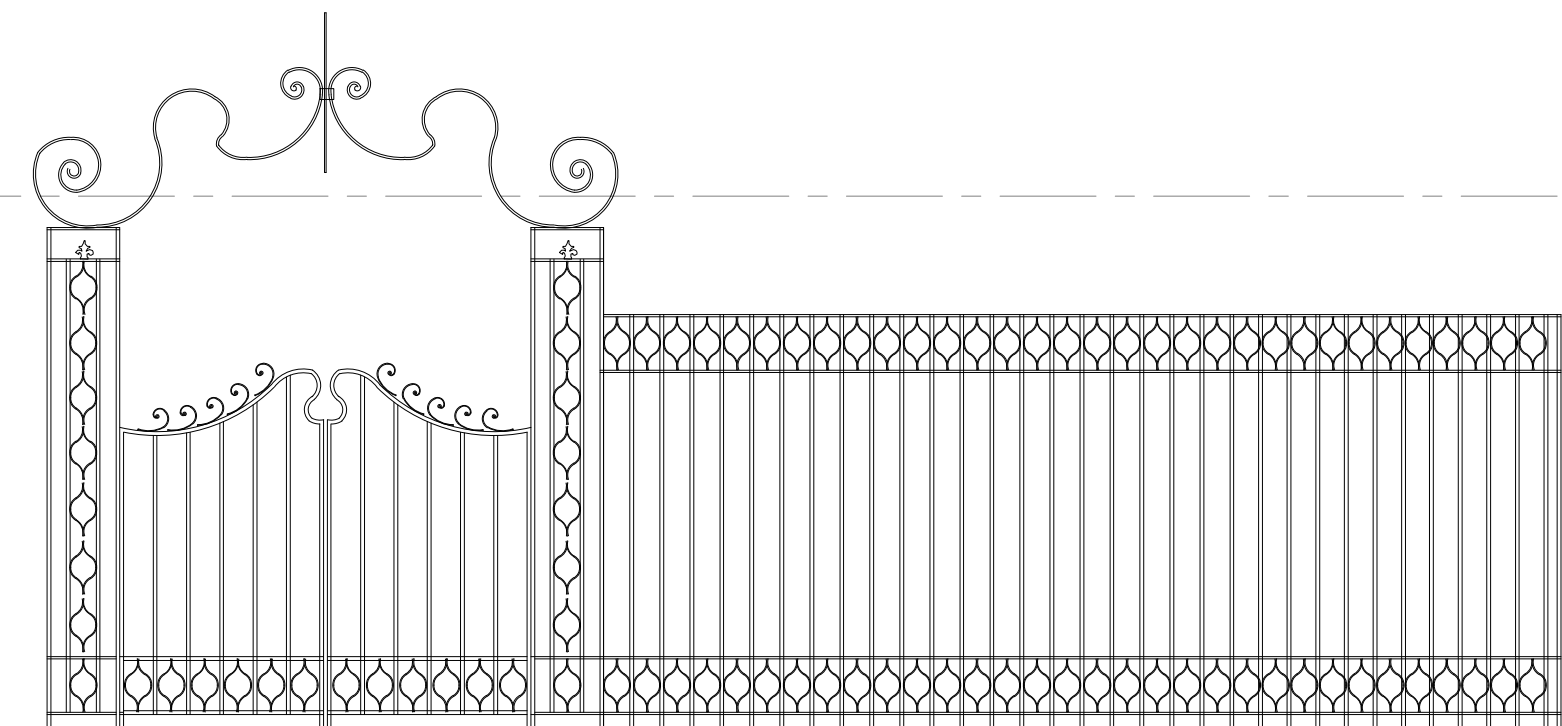


3 PROPOSED NORTH ELEVATION  
SCALE: 1/4"=1'-0"

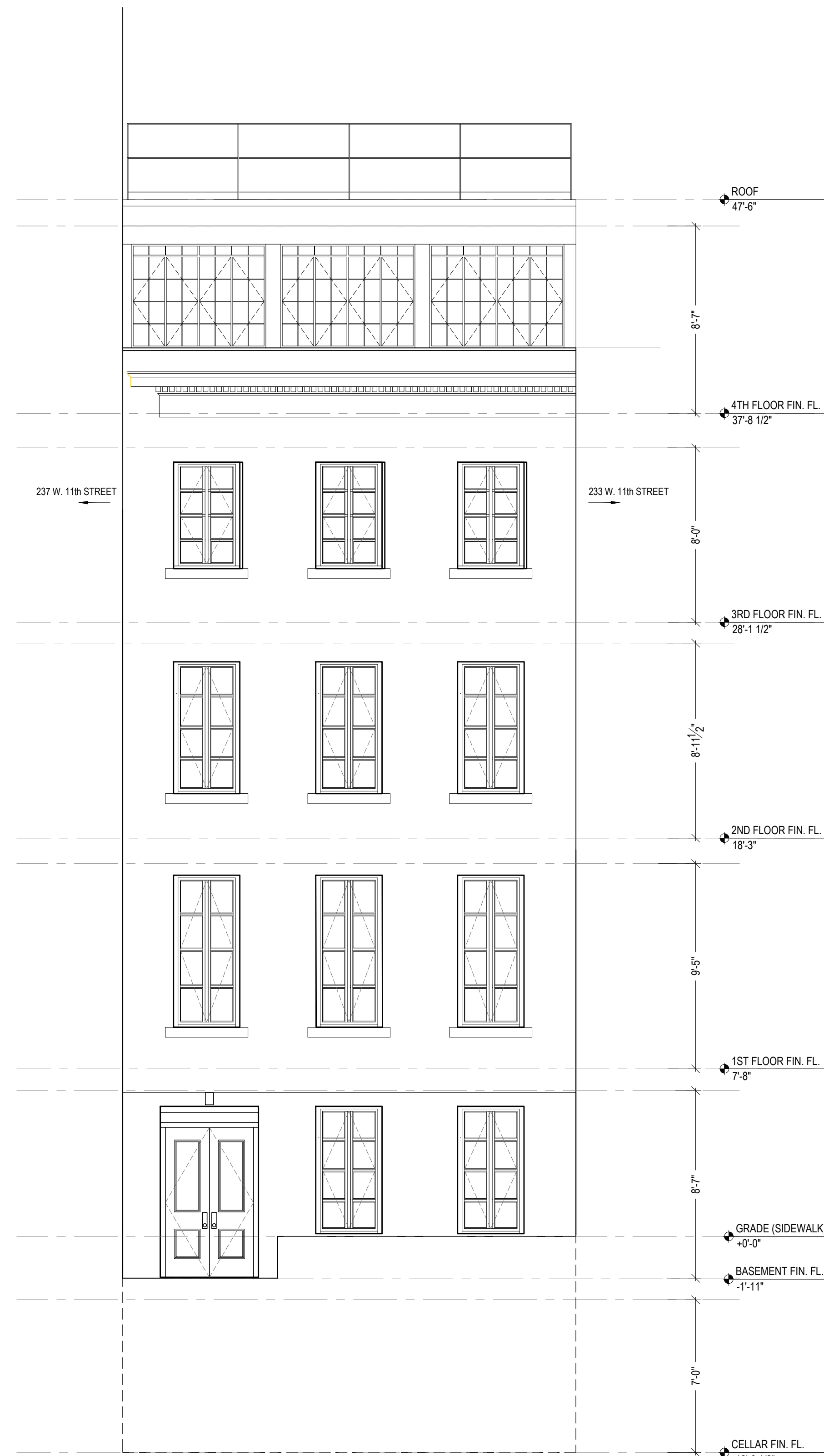


235 WEST 11TH STREET

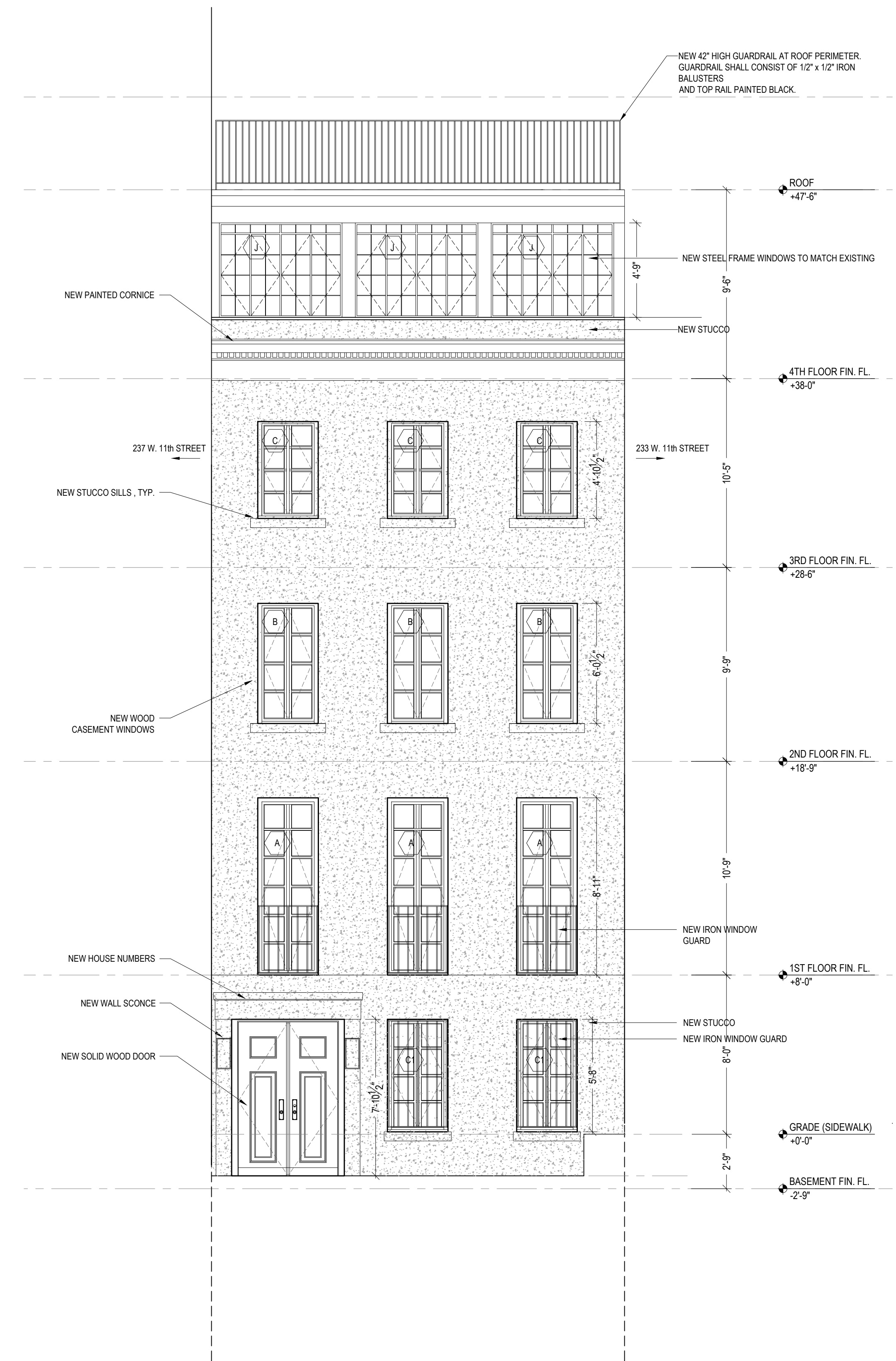
1 EXISTING FRONT FACADE AT 235 WEST 11TH STREET  
SCALE: N/A



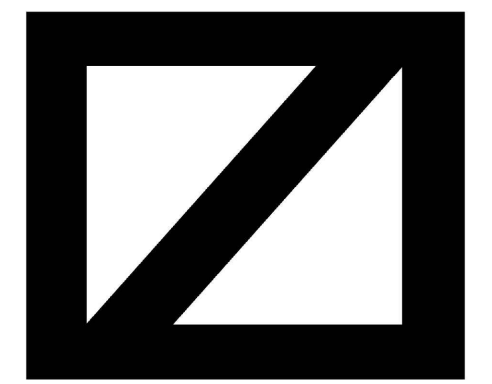
2 RESTORED FRONT FENCE & GATE AT 235 WEST 11TH STREET



3 EXISTING FACADE AT 235 WEST 11TH STREET  
SCALE: 3/8" = 1'-0"



4 PROPOSED FACADE AT 235 WEST 11TH STREET  
SCALE: 3/8" = 1'-0"



MARKZEFF

PROJECT:

235 W 11TH STREET  
NEW YORK, NY 10014

KEYPLAN:



ARCHITECT OF RECORD:

KIT MIDDLETON  
ARCHITECT, P.C.  
34 EAST 23RD STREET, 8TH FL.,  
NEW YORK, NY 10010



STRUCTURAL ENGINEER:

Rodney B. Gibbel Consulting  
Engineers

PHASE:

- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- PERMIT DOCUMENT
- BID DOCUMENT
- CONSTRUCTION DOCUMENT
- PROGRESS / REVIEW DOCUMENT
- PRESENTATION

EXISTING AND  
PROPOSED  
FRONT FACADE

DRAWING TITLE:

SCALE: N/A

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A200.00

SHEET NO:

DATE: 02 14 20

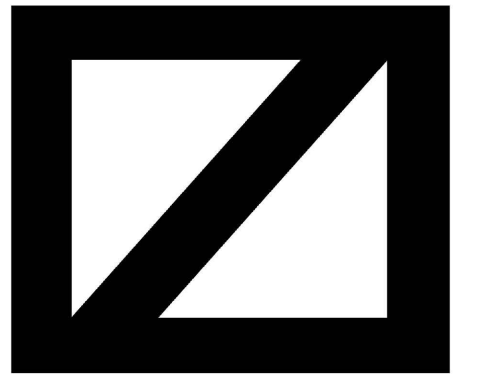
DRAWN BY: JS CHECKED BY: MZ



1 PROPOSED NORTH ELEVATION RENDERING  
SCALE: 3/8"=1'-0"



2 PROPOSED SOUTH ELEVATION RENDERING  
SCALE: 3/8"=1'-0"



MARKZEFF

PROJECT:

235 W 11TH STREET  
NEW YORK, NY 10014

KEYPLAN:



ARCHITECT OF RECORD:

KIT MIDDLETON  
ARCHITECT, P.C.  
34 EAST 23RD STREET  
NEW YORK, NY 10010



STRUCTURAL ENGINEER:

Rodney B. Gibbel Consulting  
Engineers

PHASE:

- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- PERMIT DOCUMENT
- BID DOCUMENT
- CONSTRUCTION DOCUMENT
- PROGRESS / REVIEW DOCUMENT
- PRESENTATION

NORTH & SOUTH  
RENDERINGS

DRAWING TITLE:

SCALE: 3/8"=1'-0"

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