

TOWN HOUSE INTERIOR RENOVATIONS

257 WEST 4TH STREET, NEW YORK, NY 10014



257 WEST 4TH STREET

Client:

CAPE ADVISORS

375 GREENWICH ST., NEW YORK, NY 10013
TEL: 212-343-1700

Filing Representative:

Architect:

FISCHER + MAKOOI ARCHITECTS, PLLC

242 W. 30TH STREET, NEW YORK, NY 10001
TEL: 212-212-9733 FAX: 212-219-8980

Building Specification Writer:

Structure Engineer:

TITAN ENGINEERS, P.C.

1331 STUYVESANT AVENUE, UNION, NJ 07083
TEL: 908-624-0044 FAX: 877-364-8484

Geotechnical Engineer:

MEP Engineer:

P & A CONSULTING ENGINEERS, PLLC

535 5TH AVE., NEW YORK, NY 10017
TEL: 732-778-5311 FAX:

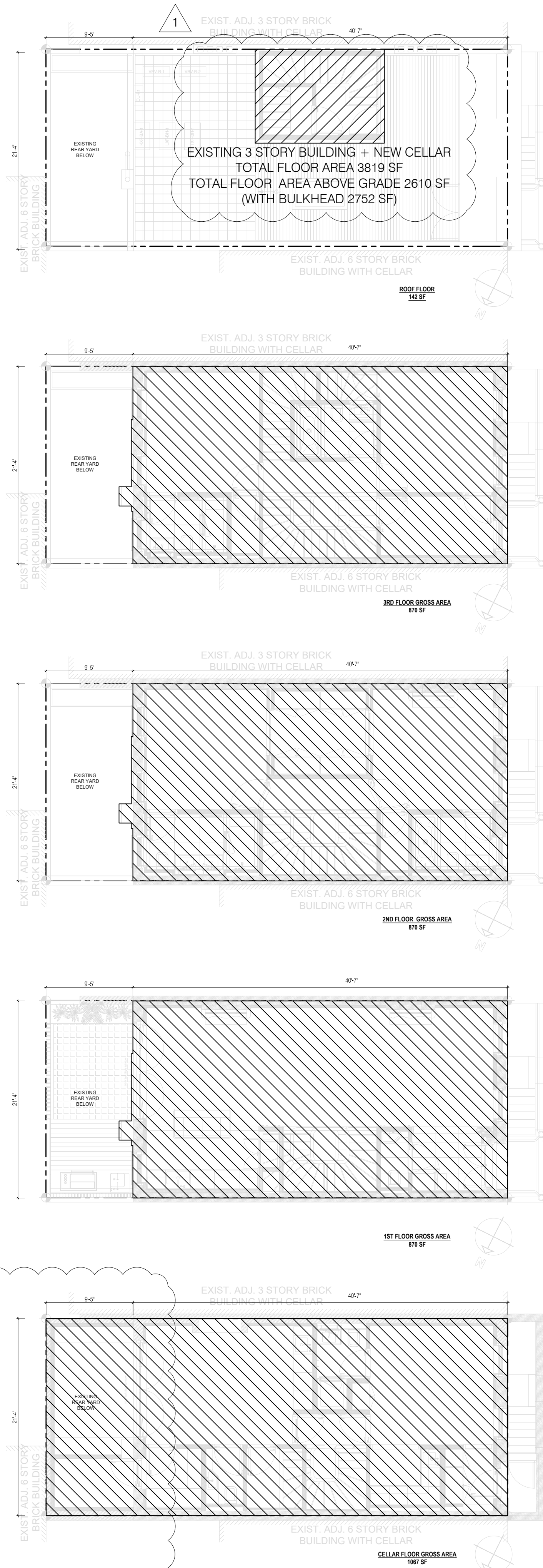
Envelope Consultant:

Interior Designer:

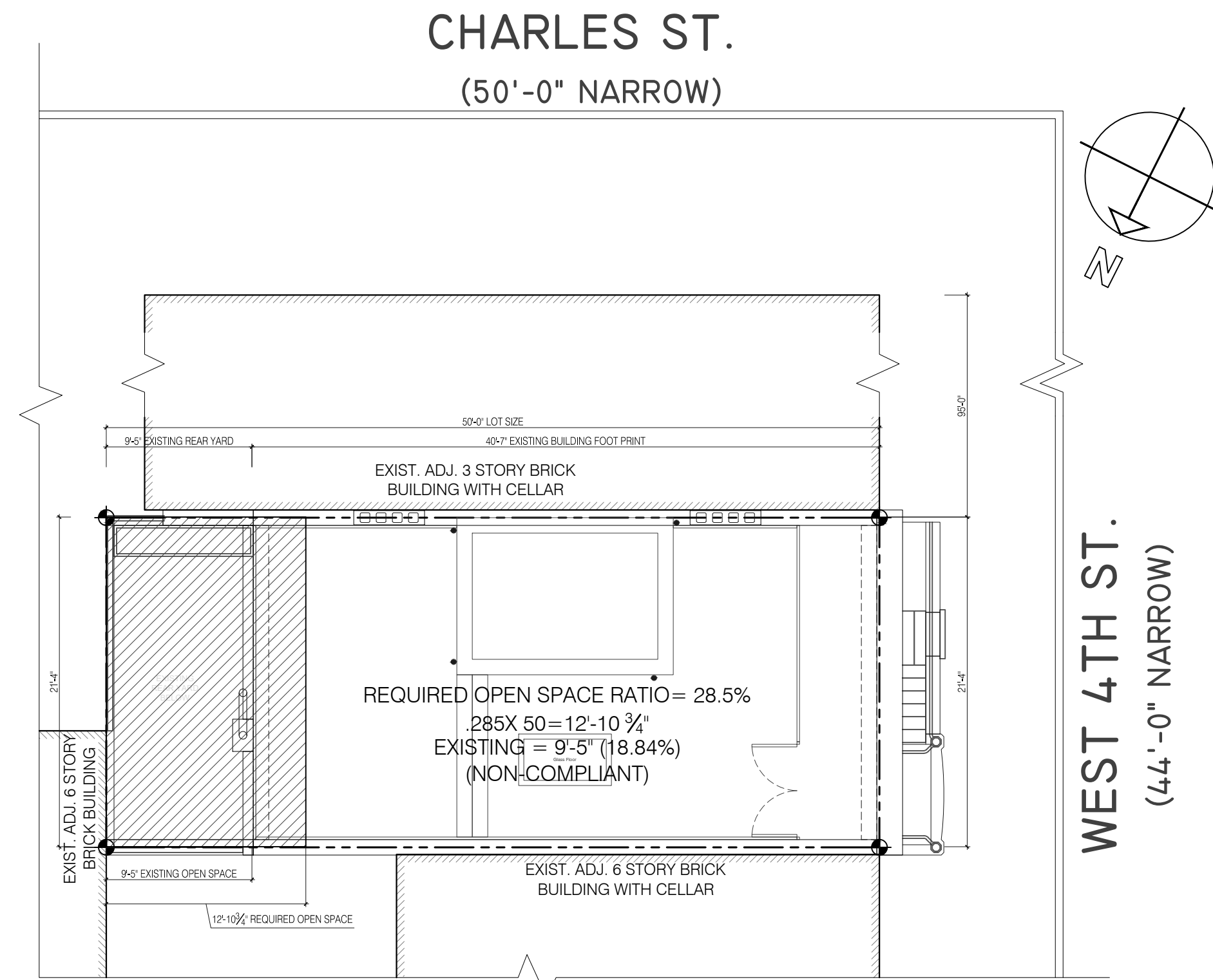
SEBASTIEN SEGERS ARCHITECTE

17 RUE DES MARGUETTES 75012 PARIS, FRANCE
TEL: +33-7-6105-3980 FAX:

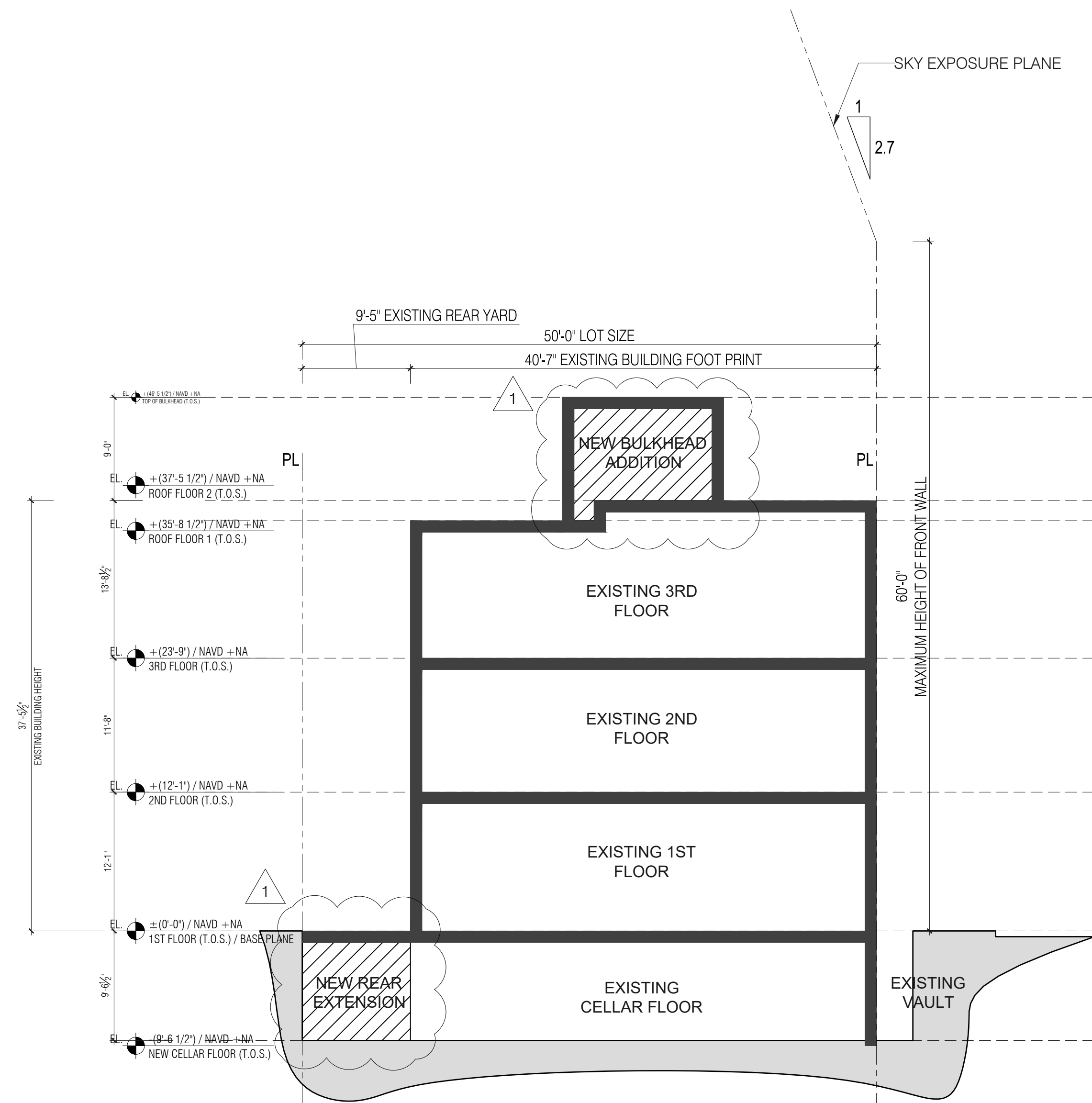
1 GROSS FLOOR AREA DIAGRAMS
1/8" = 1'-0"



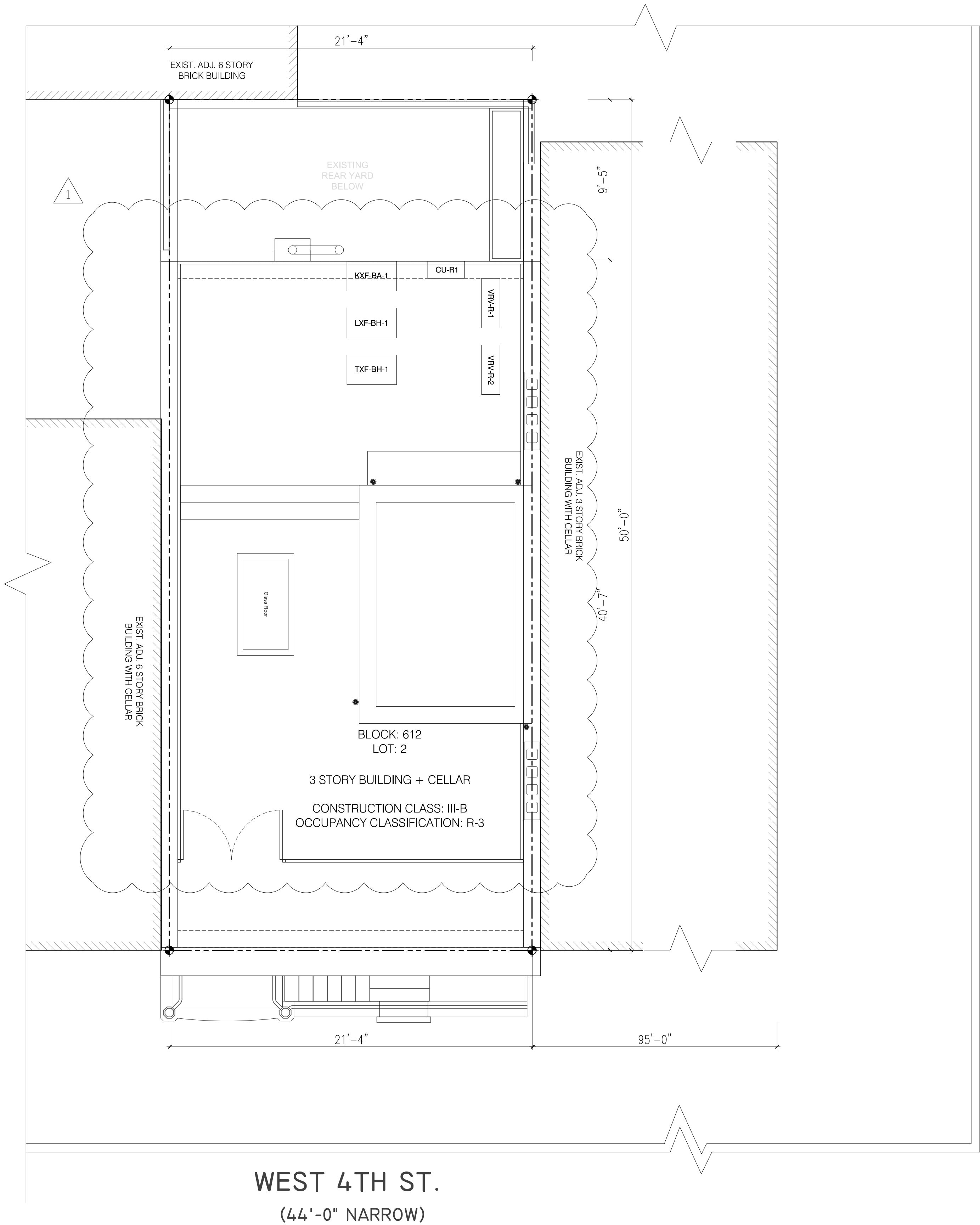
2 OPEN SPACE CALCULATION DIAGRAM
1/8" = 1'-0"



3 SECTION DIAGRAM
1/8" = 1'-0"

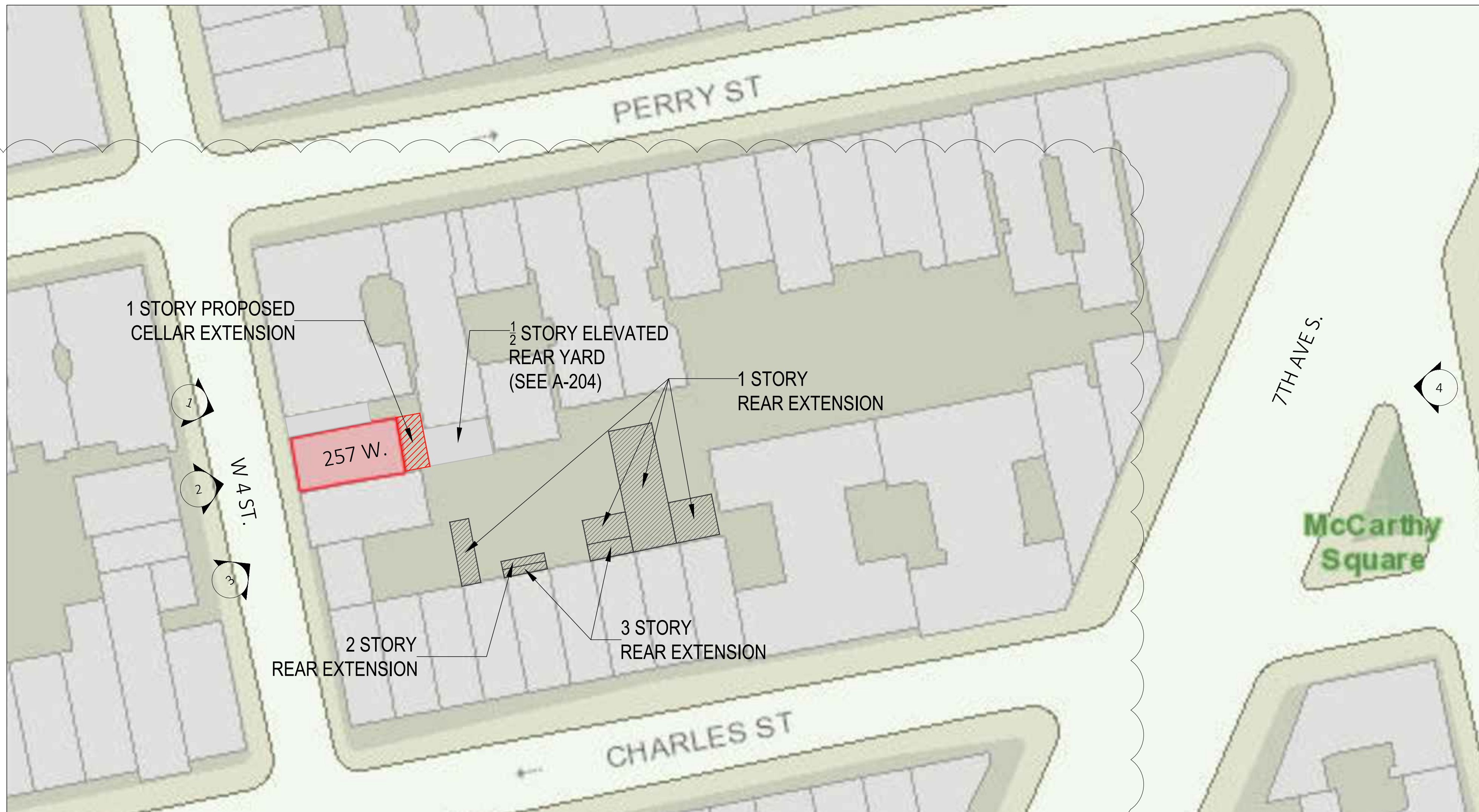


257 WEST 4TH STREET



257 WEST 4TH STREET

1



1



2



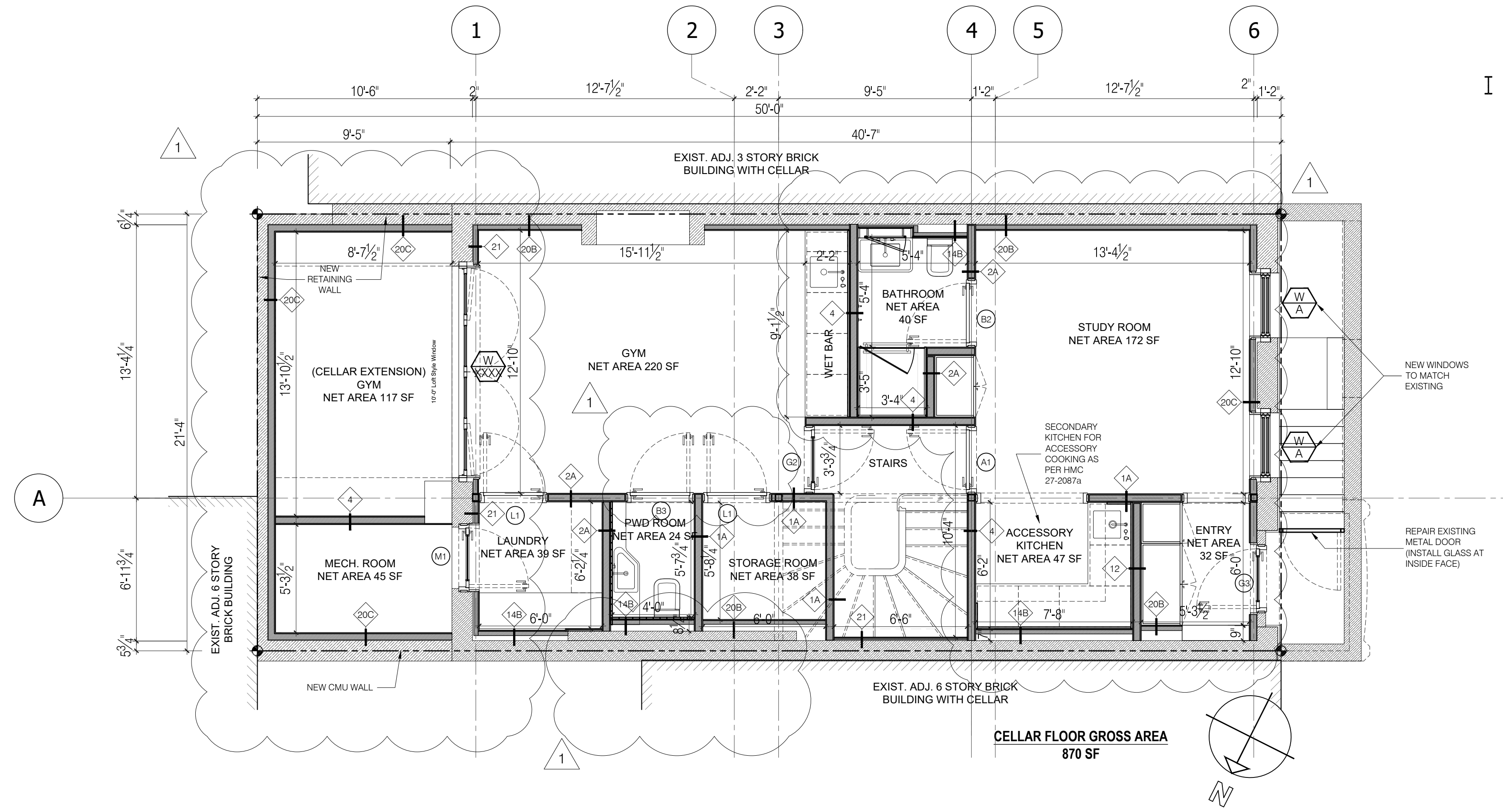
3



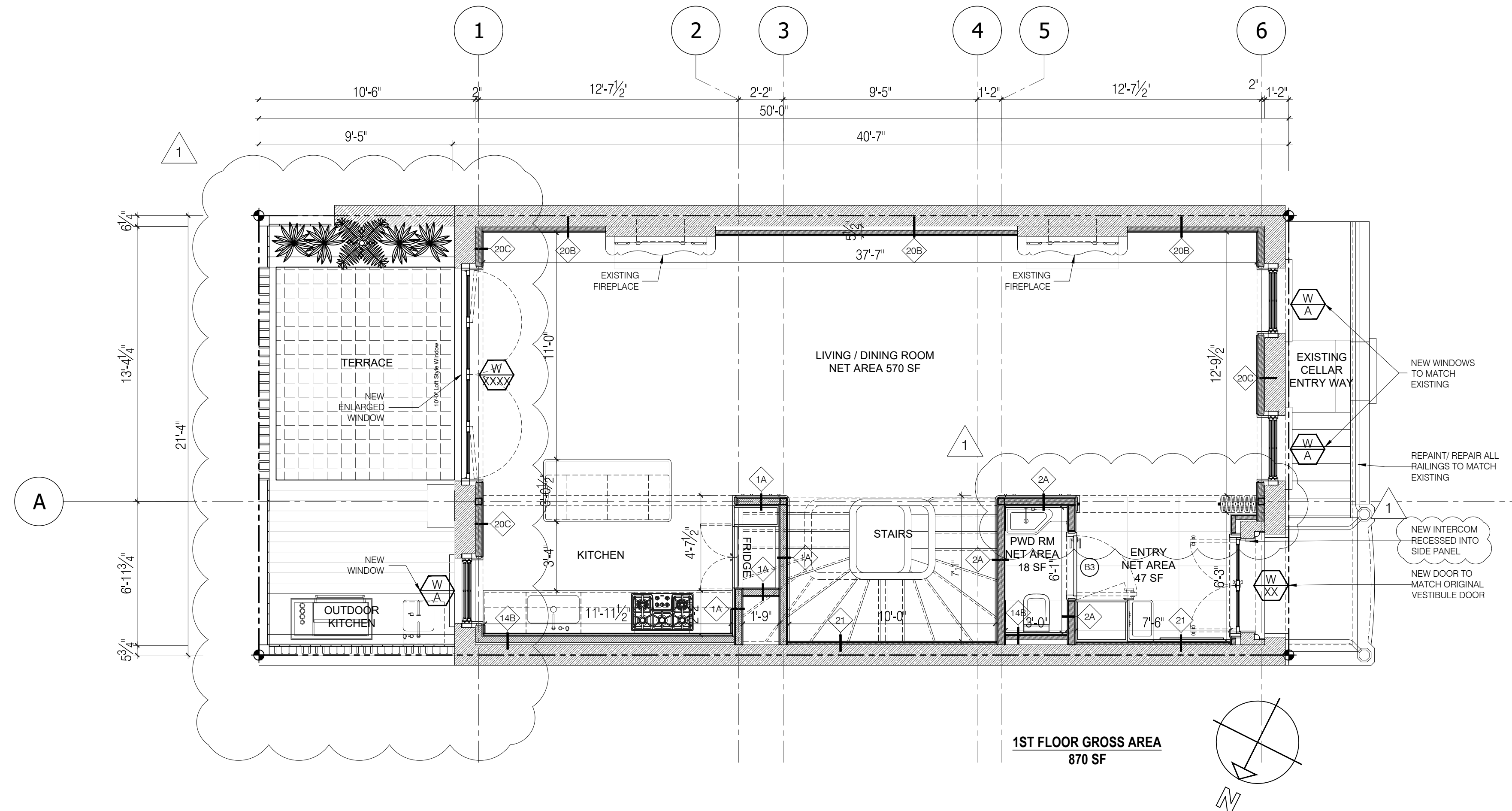
4

257 WEST 4TH STREET

1 CELLAR FLOOR
1/4" = 1'-0"

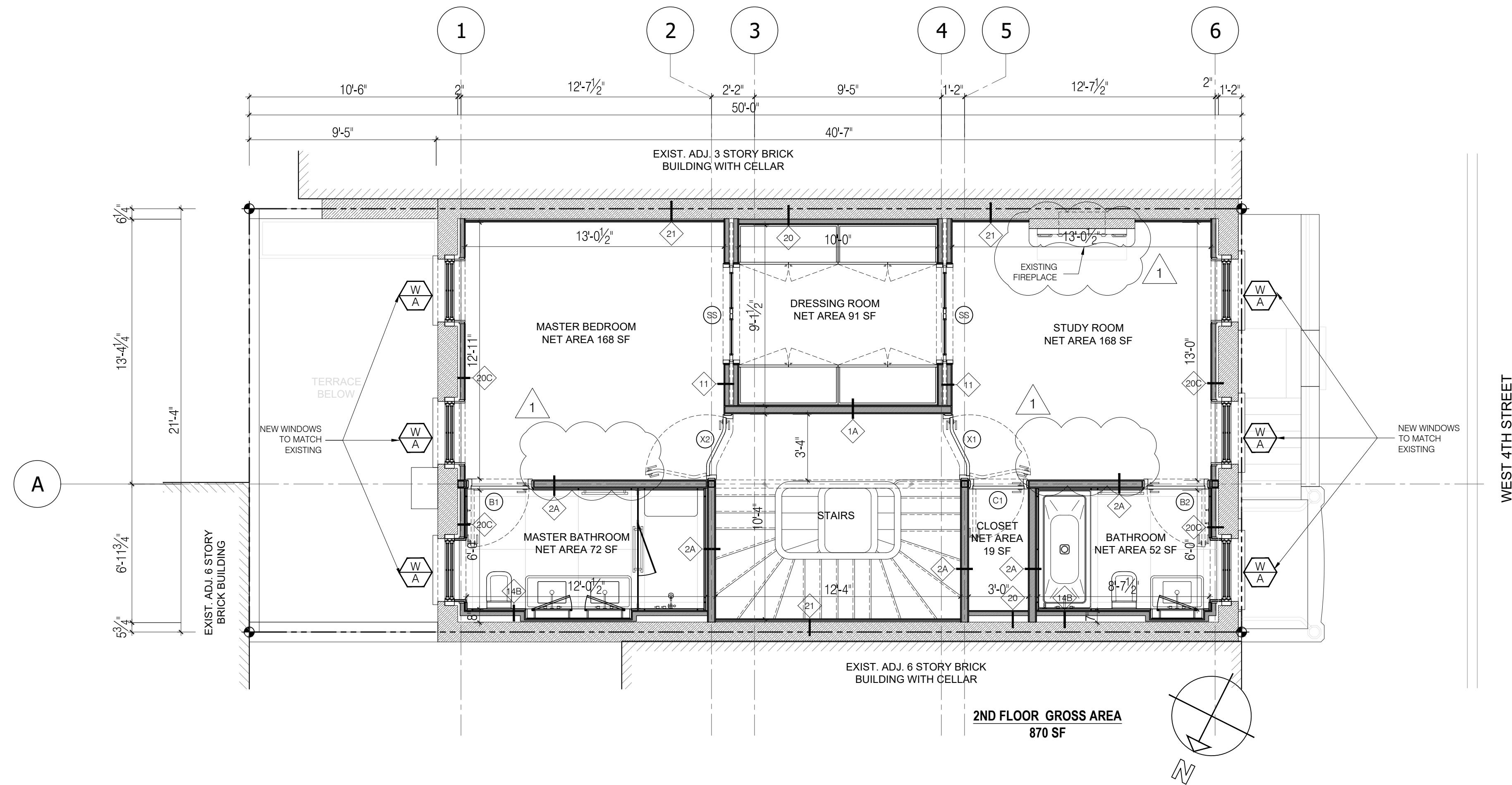


2 1ST FLOOR
1/4" = 1'-0"

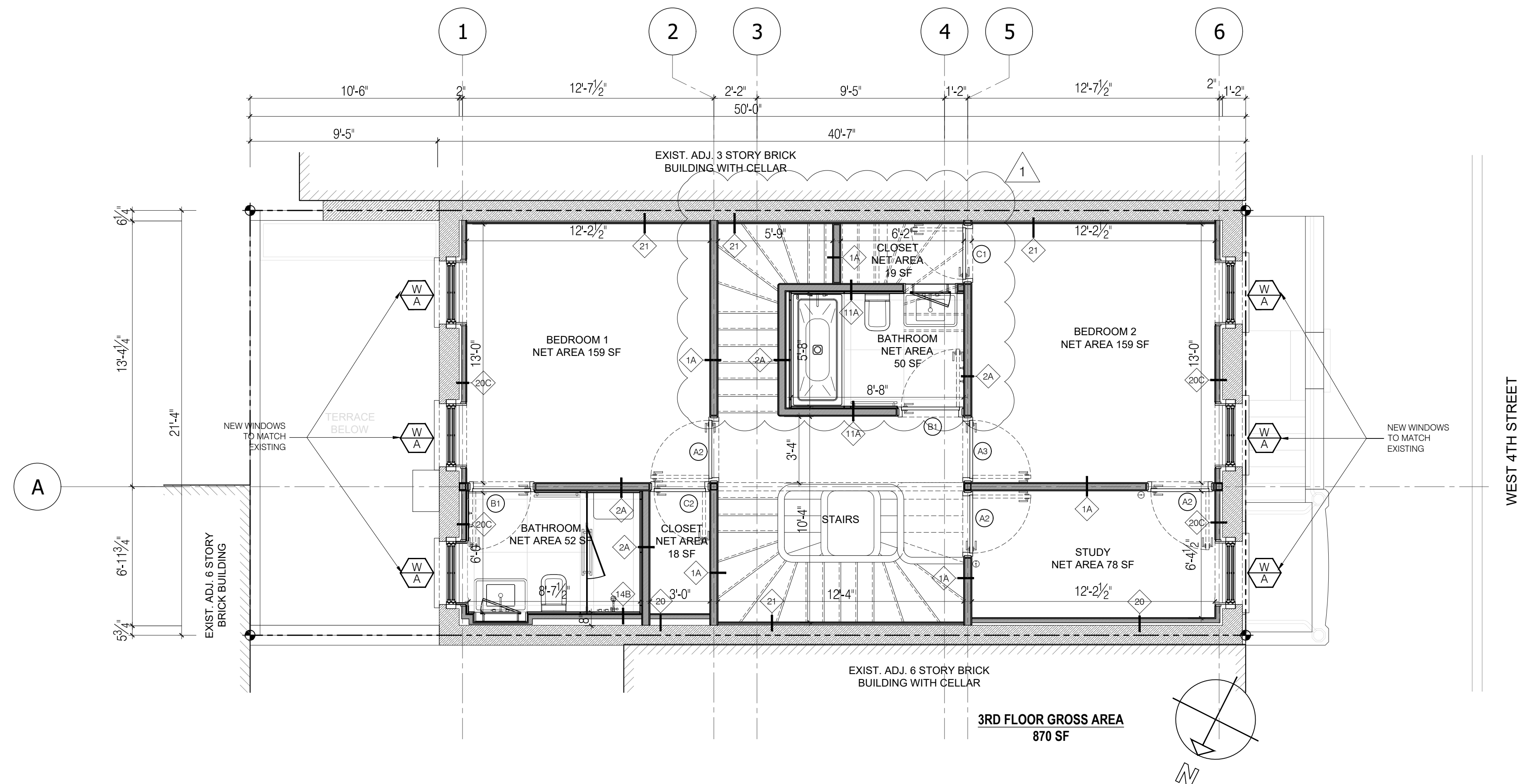


257 WEST 4TH STREET

1
2ND FLOOR
1/4" = 1'-0"

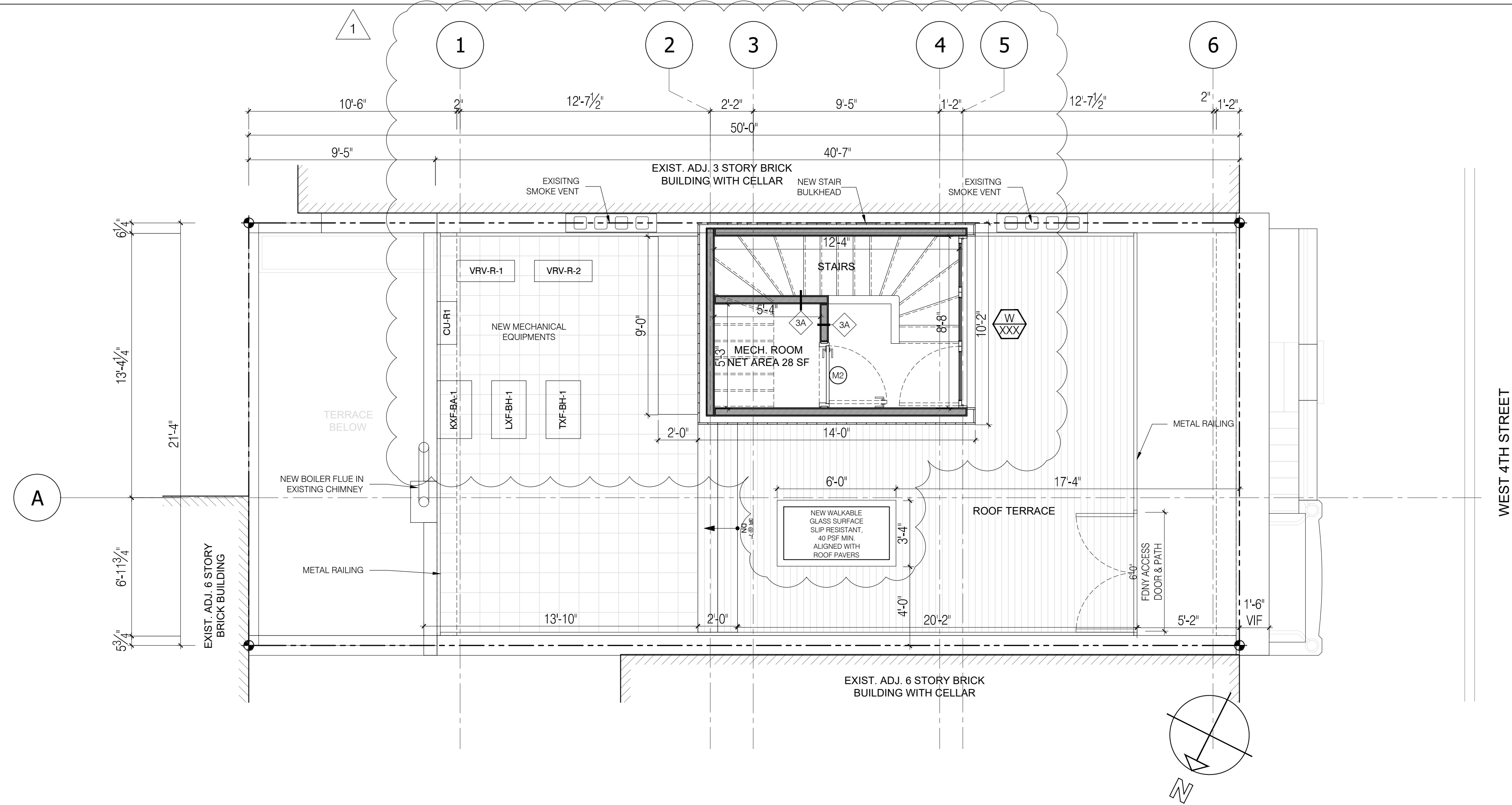


2
3RD FLOOR
1/4" = 1'-0"

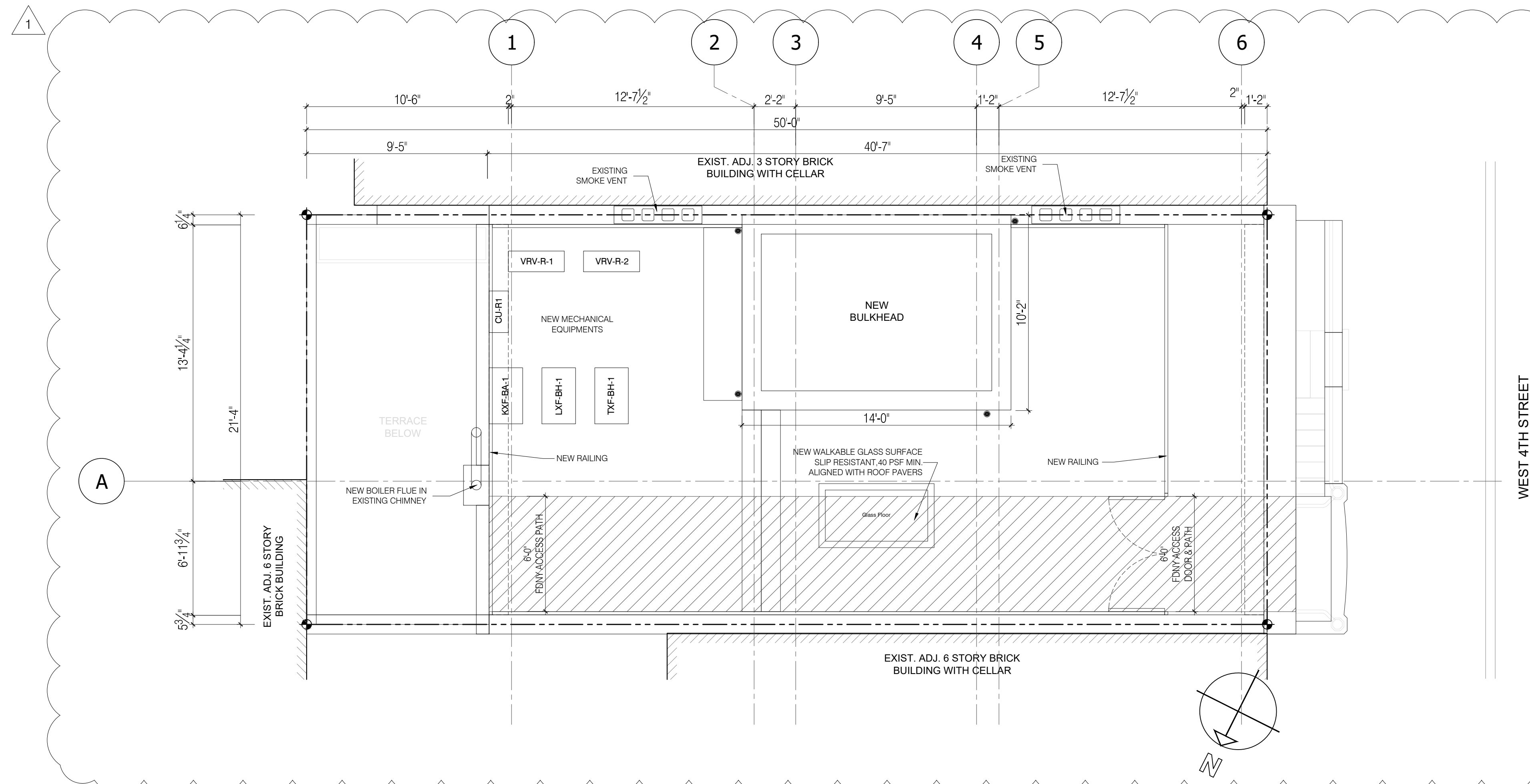


257 WEST 4TH STREET

1 ROOF FLOOR
1/4" = 1'-0"



2 BULKHEAD
1/4" = 1'-0"



257 WEST 4TH STREET

1

EXISTING FRONT ELEVATION

1/4" = 1'-0"



2

PROPOSED FRONT ELEVATION

1/4" = 1'-0"

FACADE RESTORATION PROCEDURES:

- BROWNSTONE WINDOW AND DOOR LINTELS AND SILLS
- SCAFFOLD FACADE AS REQUIRED OR ANY OTHER MEANS OF ACCESS (GC TO FILE WITH DOB).
- DOCUMENT EXISTING LINTEL AND SILL PROFILES.
- SALVAGE EXISTING BROWNSTONE FOR COLOR MATCHING AS REQUIRED.
- REMOVE ALL EXISTING LOOSE AND DETERIORATED BROWNSTONE FROM LINTELS AND SILLS BACK TO SOLID STONE AS REQUIRED.
- PROVIDE BASE AND SCRATCH COATS OF MORTAR TO REBUILD PROFILE.
- PROVIDE BROWNSTONE STUCCO SAMPLES FOR COLOR APPROVAL AS REQUIRED.
- PROVIDE FINISH COAT OF BROWNSTONE STUCCO.

METAL CORNICE

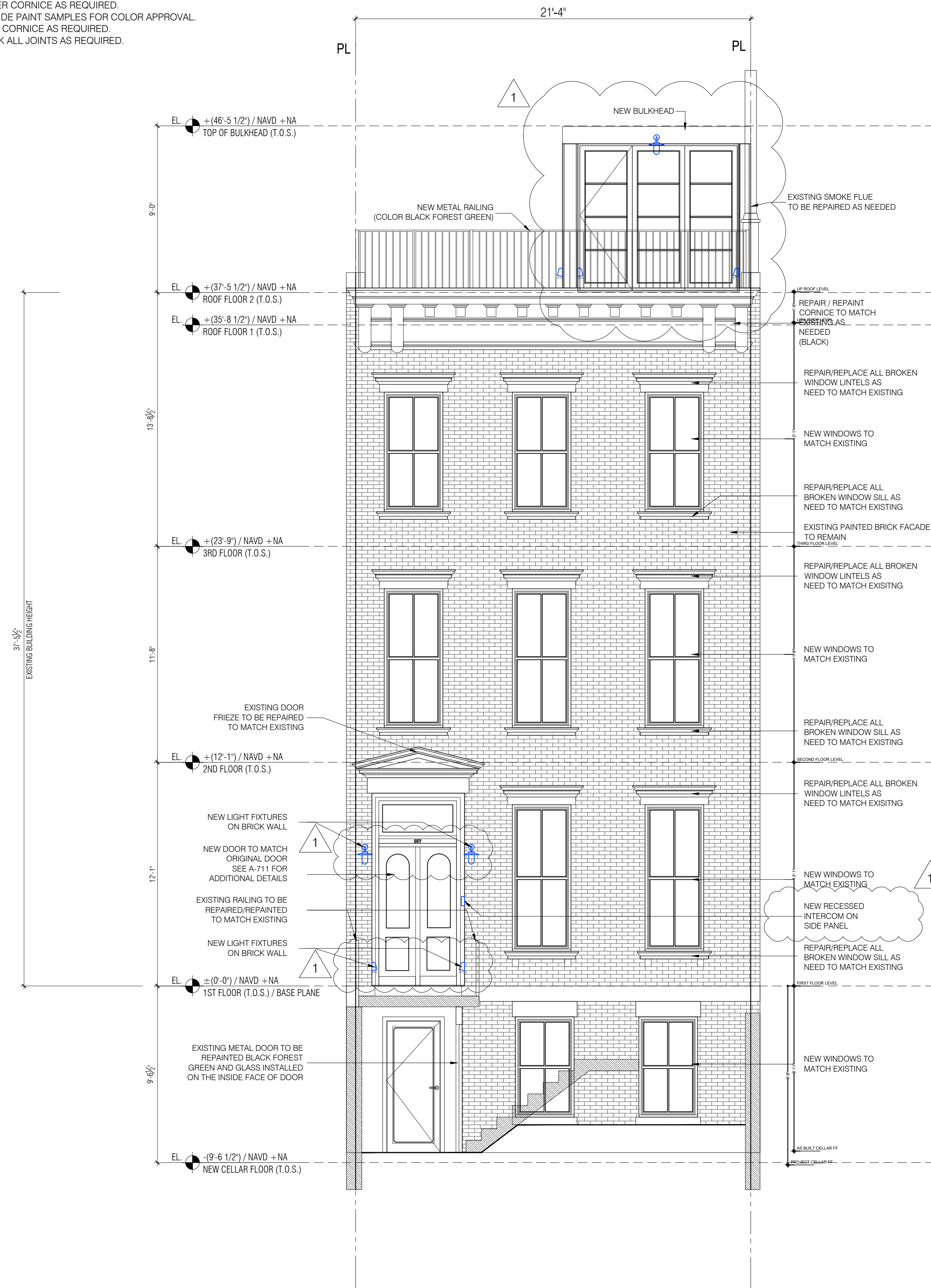
- SCAFFOLD FACADE AS REQUIRED OR ANY OTHER MEANS OF ACCESS (GC TO FILE WITH DOB).
- DETERMINE ORIGINAL PAINT COLOR IF POSSIBLE.
- REMOVE ALL LOOSE PAINT.
- CUT BACK HEAVILY RUSTED AREAS/HOLES IN CORNICE AS REQUIRED.
- APPLY RUST CONVERTER IN ANY RUSTED AREAS
- INSTALL GALVANIZED SHEET METAL PATCHES AS REQUIRED.
- PATCHES TO BE SOLDERED OR RIVETED AS REQUIRED.
- COMPLETE PREPARATION WORK FOR PAINTING OF CORNICE.
- PRIMER CORNICE AS REQUIRED.
- PROVIDE PAINT SAMPLES FOR COLOR APPROVAL.
- PAINT CORNICE AS REQUIRED.
- CAULK ALL JOINTS AS REQUIRED.

BRICKWORK

- SCAFFOLD FACADE AS REQUIRED OR ANY OTHER MEANS OF ACCESS (GC TO FILE WITH DOB).
- REMOVE SAMPLES OF EXISTING MORTAR.
- ANALYZE SAMPLES TO DETERMINE ORIGINAL MORTAR COMPOSITION AND COLOR.
- LOW PRESSURE POWERWASH, HOT WATER/STEAM CLEAN EXISTING BRICKWORK AS REQUIRED.
- REMOVE EXISTING MORTAR TO APPROPRIATE DEPTH FOR REPOINTING AS REQUIRED.
- PROVIDE MORTAR SAMPLES FOR APPROVAL AS REQUIRED.
- REPOINT ENTIRE FACADE AS REQUIRED.

GENERAL NOTES:

ALL EXISTING EXTERIOR WINDOWS AND DOORS TO BE REPLACED WITH NEW ONES TO MATCH EXISTIN

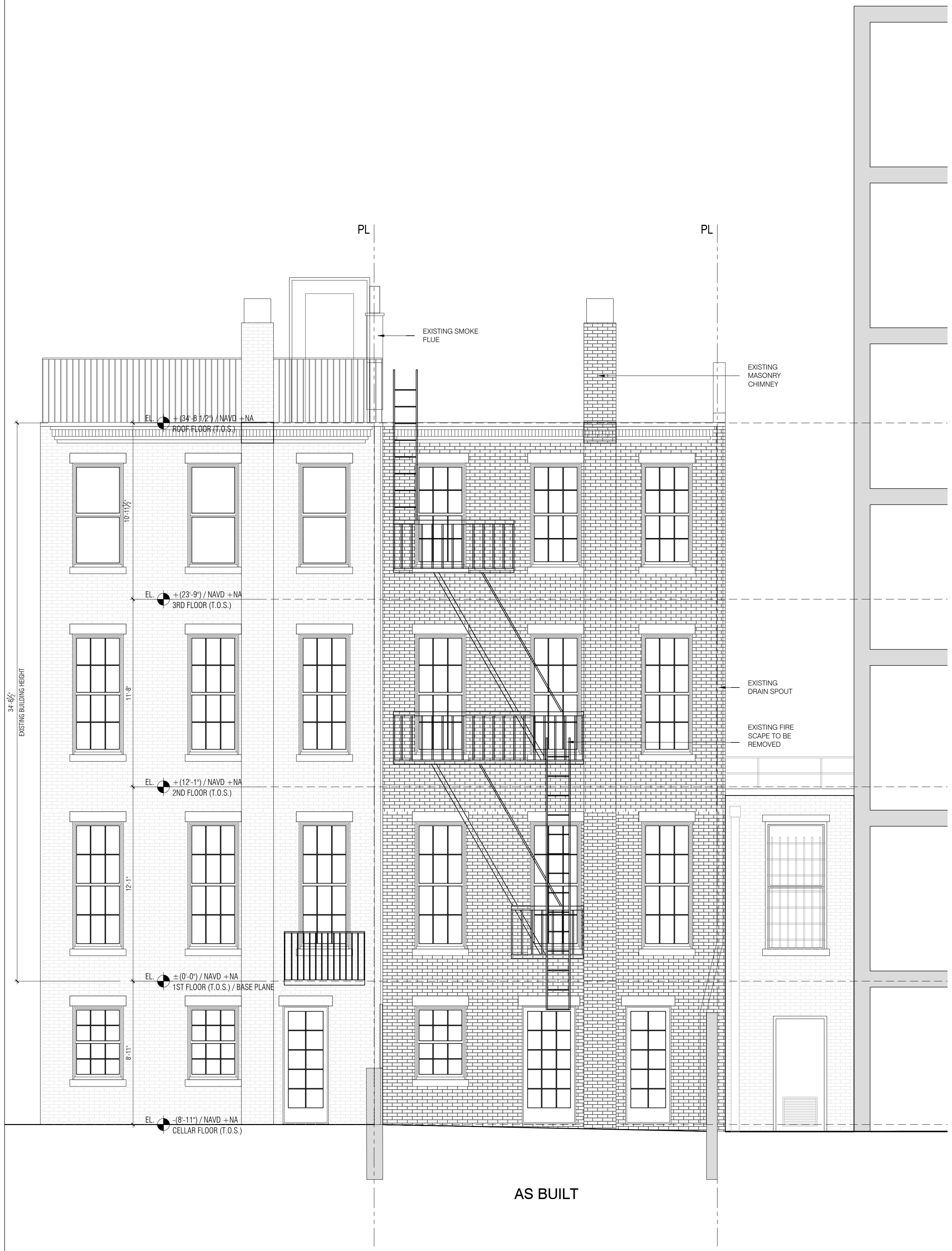


257 WEST 4TH STREET

1

EXISTING REAR ELEVATION

1/4" = 1'-0"



2

PROPOSED REAR ELEVATION

1/4" = 1'-0"

FACADE RESTORATION PROCEDURES:

- BROWNSTONE WINDOW AND DOOR LINTELS AND SILLS
- SCAFFOLD FACADE AS REQUIRED OR ANY OTHER MEANS OF ACCESS (GC TO FILE WITH DOB).
- DOCUMENT EXISTING LINTEL AND SILL PROFILES.
- SALVAGE EXISTING BROWNSTONE FOR COLOR MATCHING AS REQUIRED.
- REMOVE ALL EXISTING LOOSE AND DETERIORATED BROWNSTONE FROM LINTELS AND SILLS BACK TO SOLID STONE AS REQUIRED.
- PROVIDE BASE AND SCRATCH COATS OF MORTAR TO REBUILD PROFILE.
- PROVIDE BROWNSTONE STUCCO SAMPLES FOR COLOR APPROVAL AS REQUIRED.
- PROVIDE FINISH COAT OF BROWNSTONE STUCCO.

- BRICKWORK
- SCAFFOLD FACADE AS REQUIRED OR ANY OTHER MEANS OF ACCESS (GC TO FILE WITH DOB).
- REMOVE SAMPLES OF EXISTING MORTAR.
- ANALYZE SAMPLES TO DETERMINE ORIGINAL MORTAR COMPOSITION AND COLOR.
- LOW PRESSURE POWERWASH, HOT WATER/STEAM CLEAN EXISTING BRICKWORK AS REQUIRED.
- REMOVE EXISTING MORTAR TO APPROPRIATE DEPTH FOR REPOINTING AS REQUIRED.
- PROVIDE MORTAR SAMPLES FOR APPROVAL AS REQUIRED.
- REPOINT ENTIRE FACADE AS REQUIRED.

- METAL CORNICE
- SCAFFOLD FACADE AS REQUIRED OR ANY OTHER MEANS OF ACCESS (GC TO FILE WITH DOB).
- DETERMINE ORIGINAL PAINT COLOR IF POSSIBLE.
- REMOVE ALL LOOSE PAINT.
- CUT BACK HEAVILY RUSTED AREAS/HOLES IN CORNICE AS REQUIRED.
- APPLY RUST CONVERTER IN ANY RUSTED AREAS
- INSTALL GALVANIZED SHEET METAL PATCHES AS REQUIRED.
- PATCHES TO BE SOLDERED OR RIVETED AS REQUIRED.
- COMPLETE PREPARATION WORK FOR PAINTING OF CORNICE.
- PRIMER CORNICE AS REQUIRED.
- PROVIDE PAINT SAMPLES FOR COLOR APPROVAL.
- PAINT CORNICE AS REQUIRED.
- CAULK ALL JOINTS AS REQUIRED.

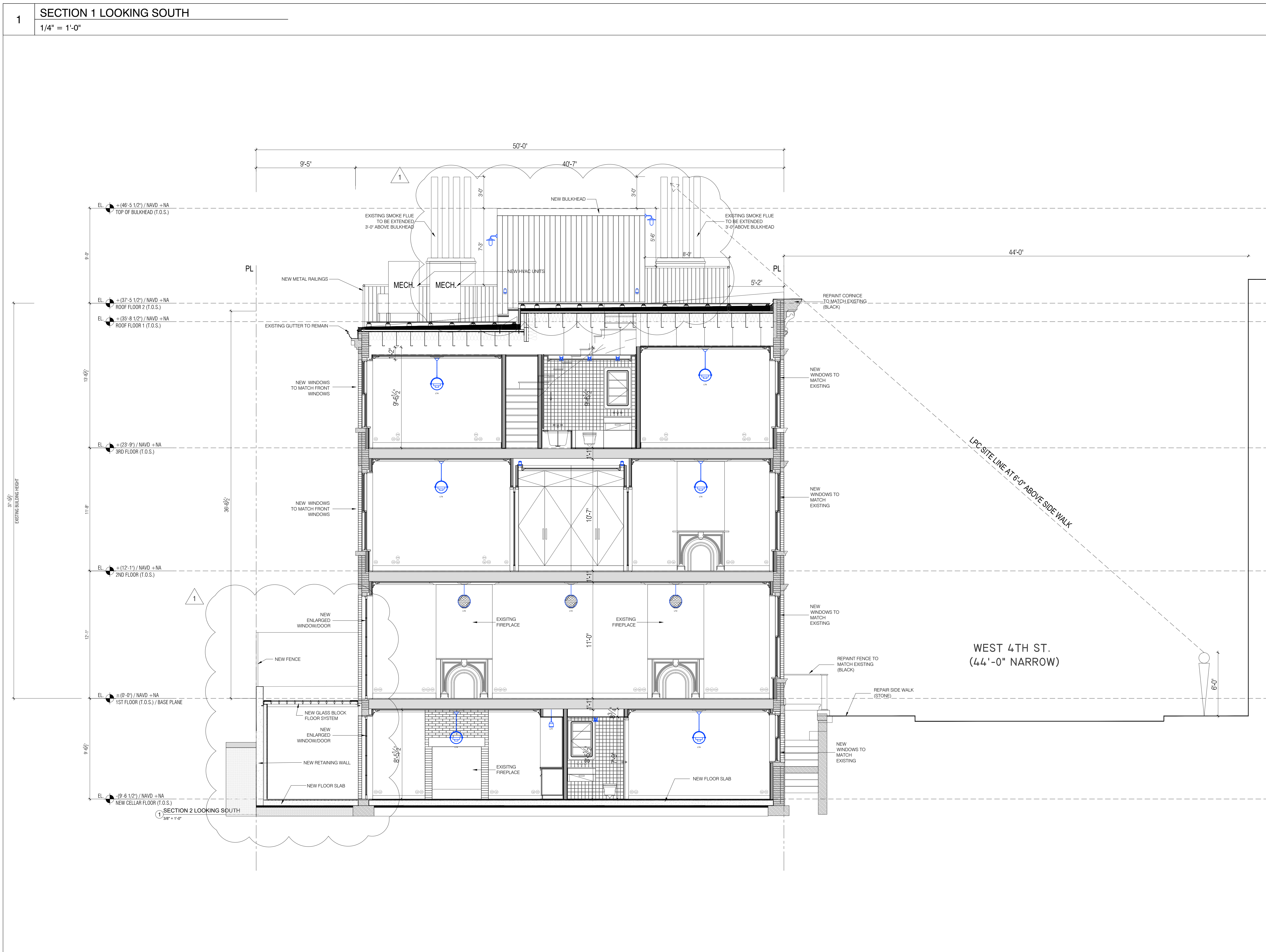
- GENERAL NOTES:
- ALL EXISTING EXTERIOR WINDOWS AND DOORS TO BE REPLACED WITH NEW ONES TO MATCH EXISTIN



257 WEST 4TH STREET



257 WEST 4TH STREET



257 WEST 4TH STREET