

# SITE LOCATION

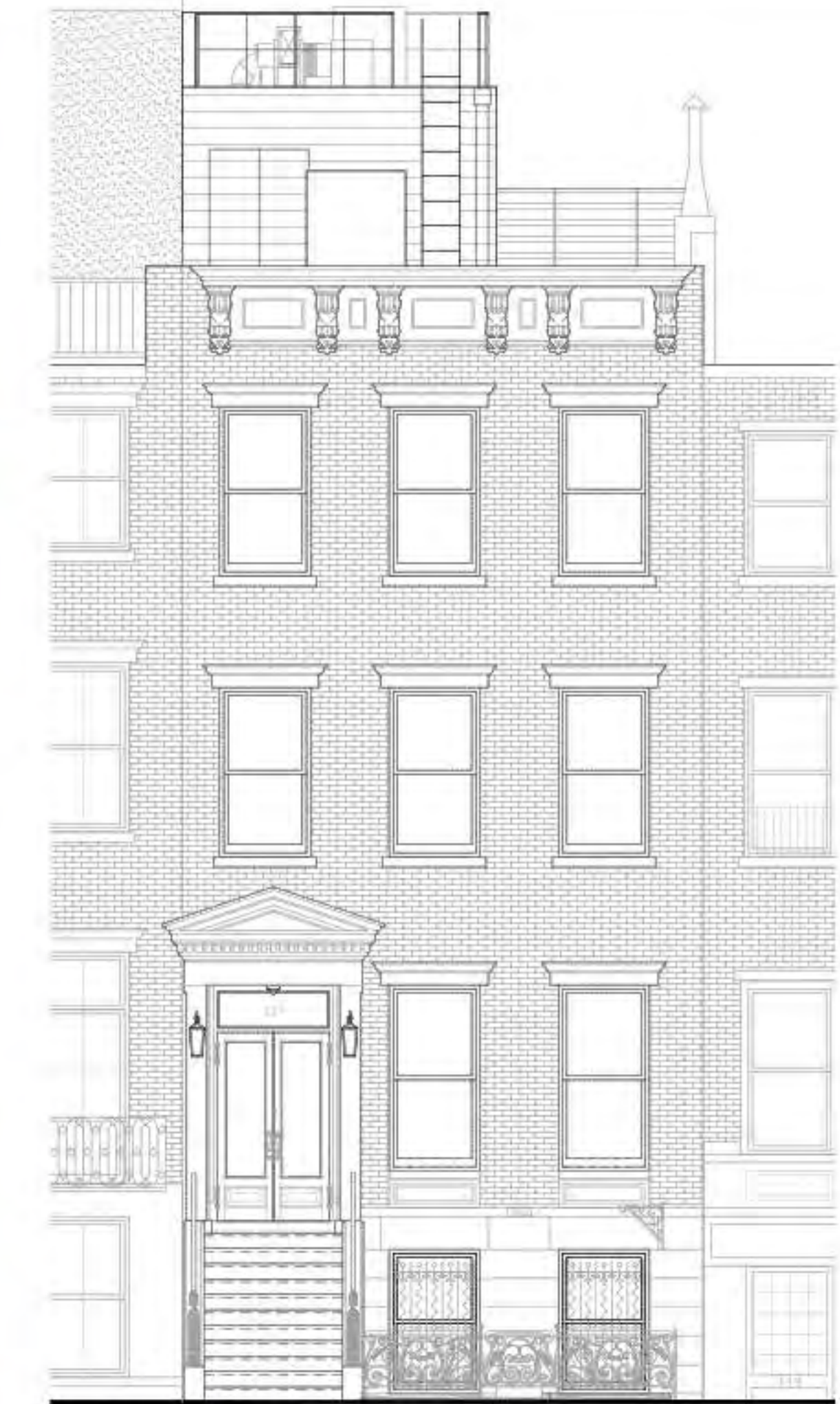
DISTRICT MAP, EXISTING ELEVATION PHOTOS & PROPOSED ELEVATIONS



GREENWICH VILLAGE - HISTORIC DISTRICT MAP  
NOT TO SCALE



EXISTING FRONT FACADE  
(DATE OF PHOTO 06/28/19)  
NOT TO SCALE



PROPOSED FRONT FACADE  
NOT TO SCALE (3/16" = 1'-0" on D size paper)



EXISTING REAR FACADE  
(DATE OF PHOTO 06/28/19)  
NOT TO SCALE



PROPOSED REAR FACADE  
NOT TO SCALE (3/16" = 1'-0" on D size paper)

  
 the proposed additions & interior alterations  
 to a single family residential townhouse at  
**121 WEST 11TH STREET**  
 greenwich village, manhattan borough  
 new york, ny 10011  
**IMAGEN architecture LLC**  
 architects & associates  
 24 west railroad avenue  
 PMB 285 tenafly nj 07670  
 tel 973 370 0033 fax 973 370 0063  
 IMAGEN@IMAGENarchitecture.com  
 raul.g.mederos.ra ny license 034595  
 CB hearing date 08-13-20 LPC hearing date TBD  
 landmarks preservation commission review  
**1 of 32**



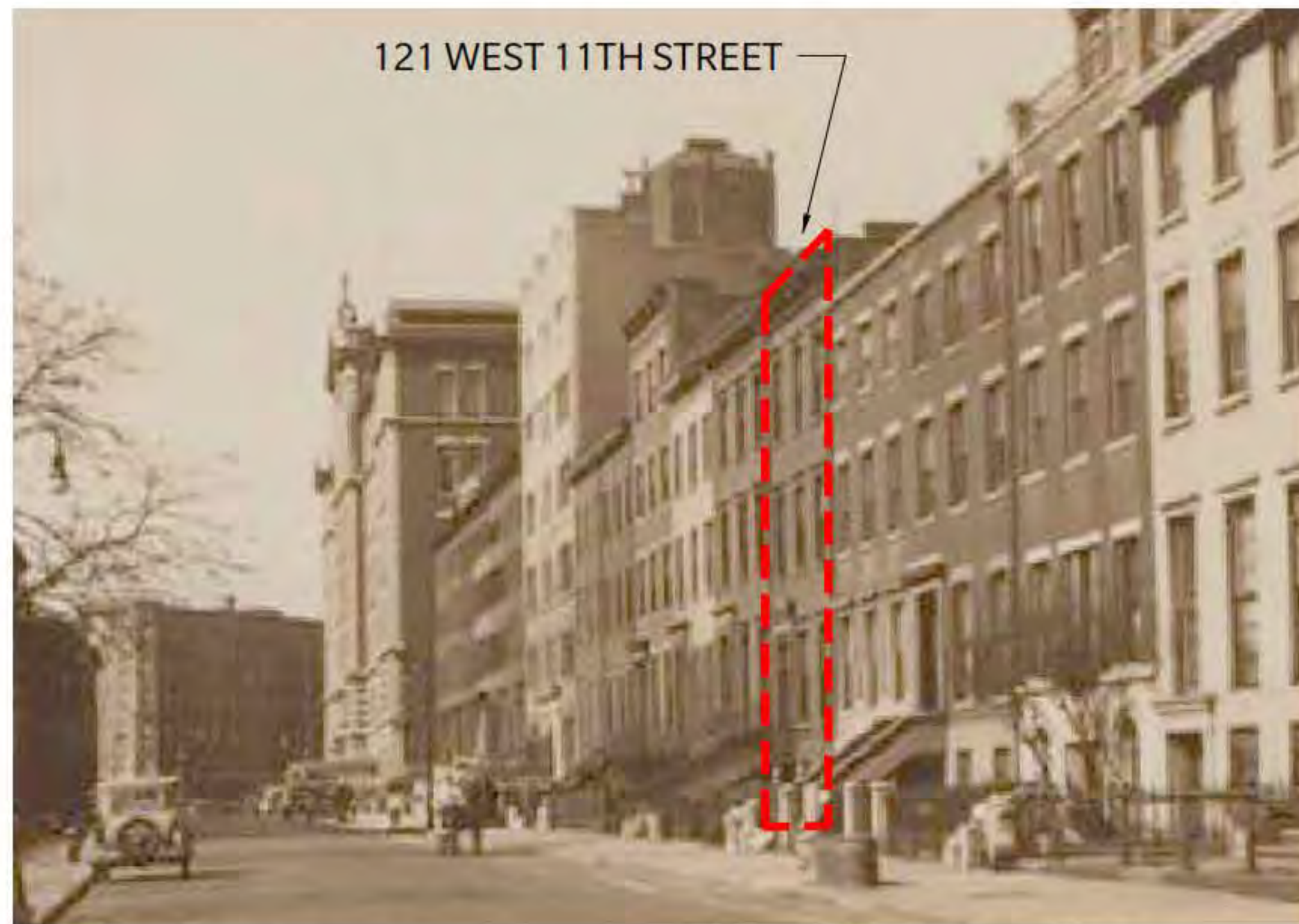
**HISTORY**  
HISTORIC PHOTOGRAPHS



1930's TAX PHOTO (NYC MUNICIPAL ARCHIVE)



1969 DESIGNATION PHOTO (NYC LPC)



1933 P.L. SPERR (NYPL)

JACQUELINE BIL-DUVALLO  
HISTORIC PRESERVATION CONSULTING, LLC

**architecture**

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# STREETSCAPE

PANORAMIC PHOTOGRAPHS OF NORTH & SOUTH SIDES OF STREET



PANORAMIC VIEW OF NORTH SIDE OF STREET  
(DATE OF PHOTOS 10/21/19)  
NOT TO SCALE

121 WEST 11TH STREET



PANORAMIC VIEW OF SOUTH SIDE OF STREET  
(DATE OF PHOTOS 10/21/19)  
NOT TO SCALE



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# CIRCA 1890 ALTERATIONS



roof raised, top floor windows enlarged, and pressed metal bracketed cornice installed. (cornice and top floor windows previously aligned with adjacent houses in its row, to the right.)

profiled projecting window lintels installed

one over one windows installed

double leaf glass doors installed in front of the original wood paneled doors

elaborate wrought iron stoop and areaway railing installed



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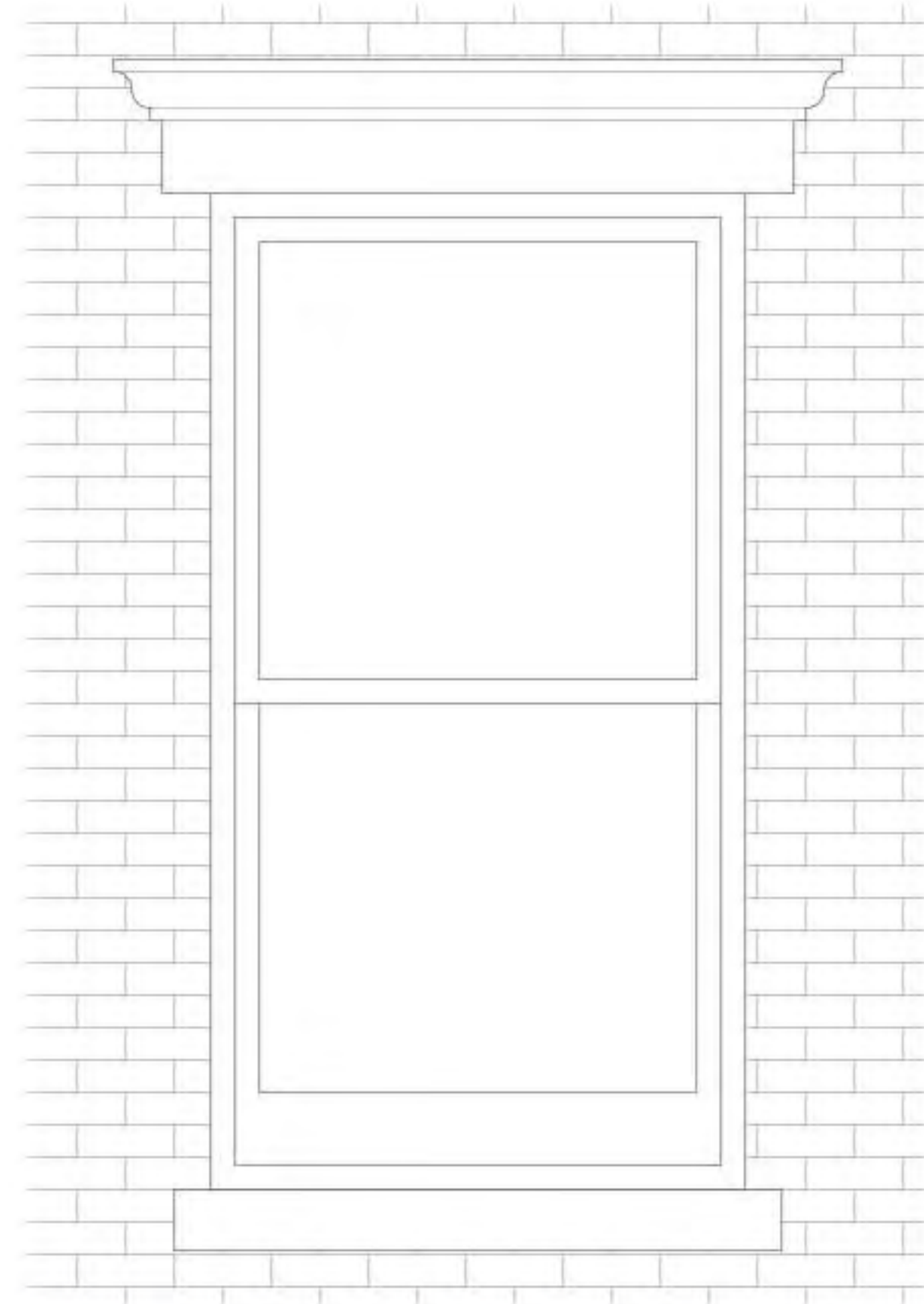
CB hearing date 08-13-20	LPC hearing date TBD
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# FRONT FIRST FLOOR WINDOWS

## EXISTING WINDOW CONDITIONS



EXISTING WINDOW ELEVATION, TYPICAL  
NOT TO SCALE (1" = 1'-0" on D size paper)



PHOTO OF FRONT FIRST FLOOR WINDOW  
(DATE OF PHOTO 03/03/20)  
NOT TO SCALE



PHOTO OF FRONT FIRST FLOOR WINDOW  
(DATE OF PHOTO 03/03/20)  
NOT TO SCALE



PHOTO OF FRONT FIRST FLOOR WINDOW  
(DATE OF PHOTO 03/03/20)  
NOT TO SCALE



PHOTO OF FRONT FIRST FLOOR WINDOW  
(DATE OF PHOTO 03/03/20)  
NOT TO SCALE

JACQUELINE BIL-DUVALLO  
HISTORIC PRESERVATION CONSULTING, LLC  
**IMAGEN**  
architecture

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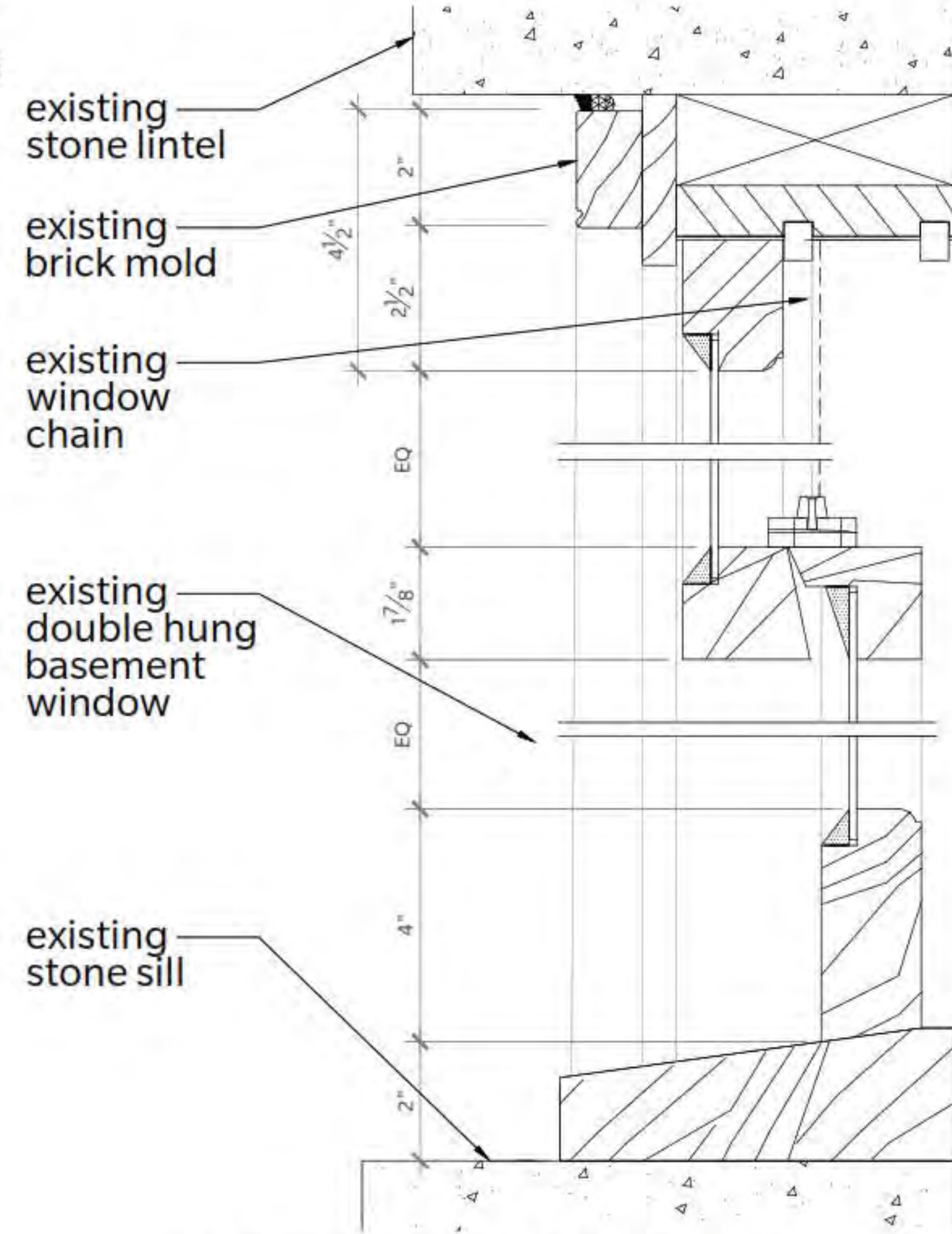
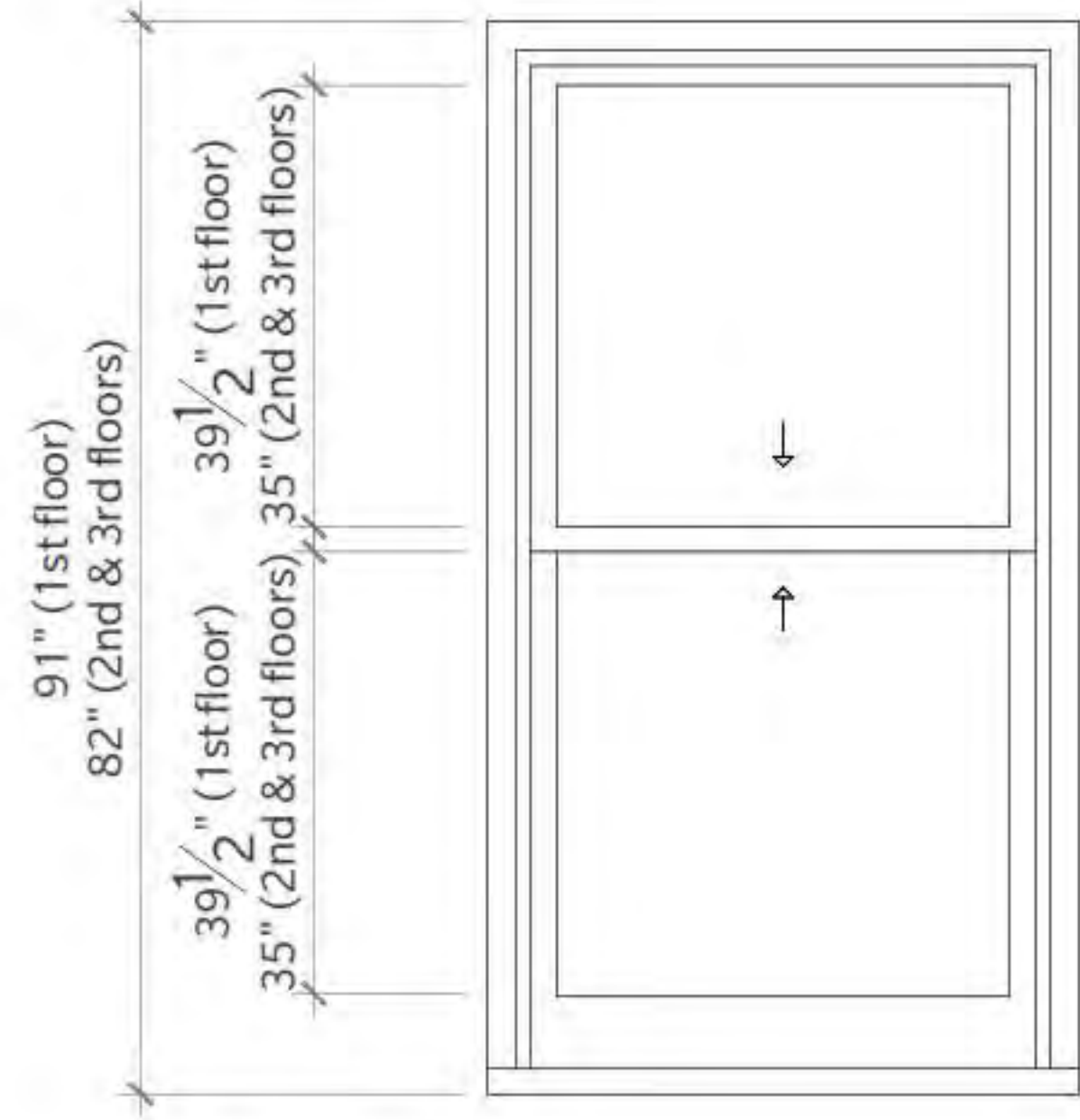
CB hearing date 08-13-20 LPC hearing date TBD

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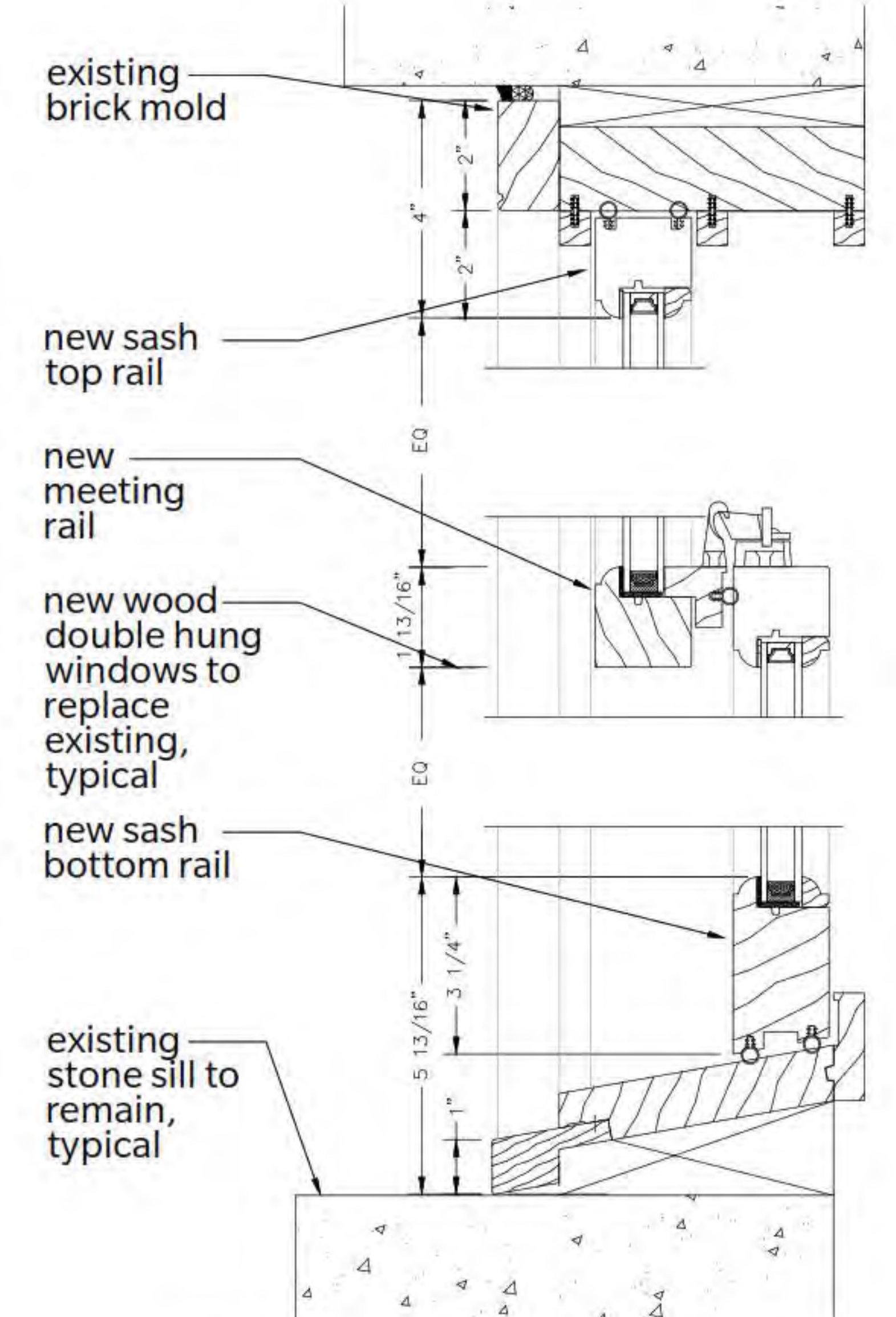
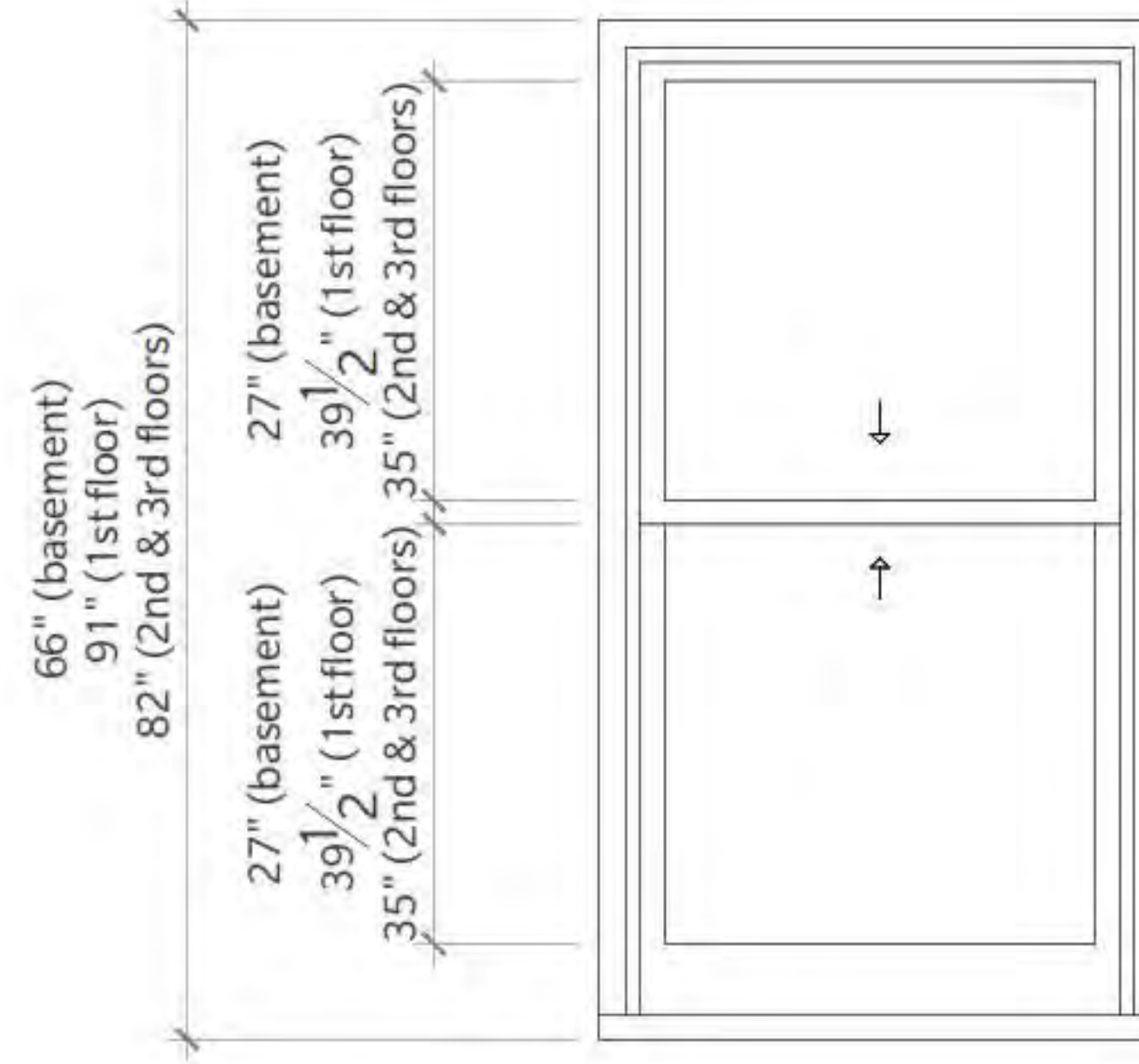
# FRONT WINDOW REPLACEMENT

## EXISTING & PROPOSED FRONT WINDOW DETAILS



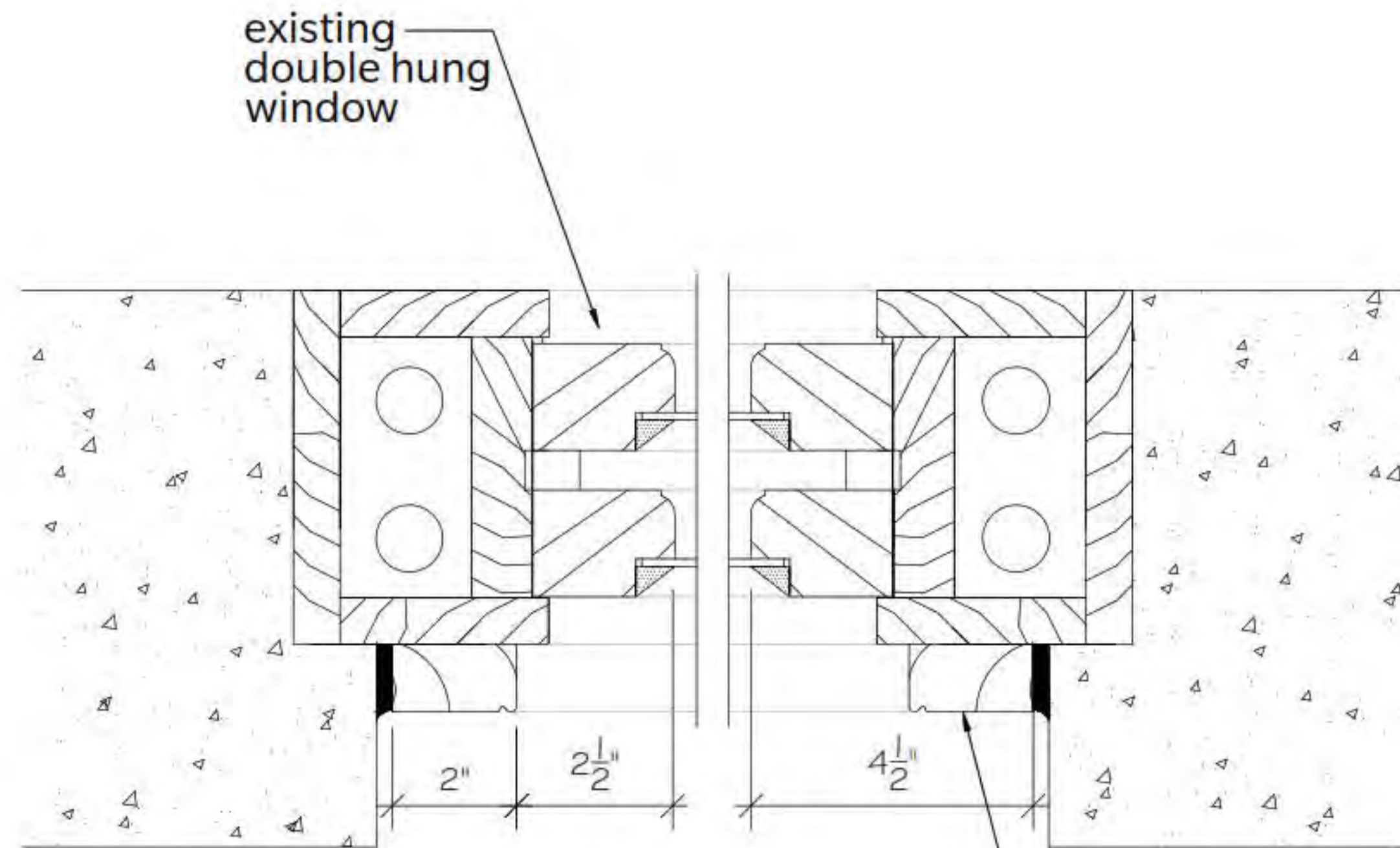
EXISTING FRONT DOUBLE HUNG WINDOW ELEVATION, TYPICAL (FIRST, SECOND & THIRD FLOORS)  
NOT TO SCALE (1" = 1'-0" on D size paper)

EXISTING FRONT DOUBLE HUNG WINDOW SECTION, TYPICAL (FIRST, SECOND & THIRD FLOORS)  
NOT TO SCALE (6" = 1'-0" on D size paper)

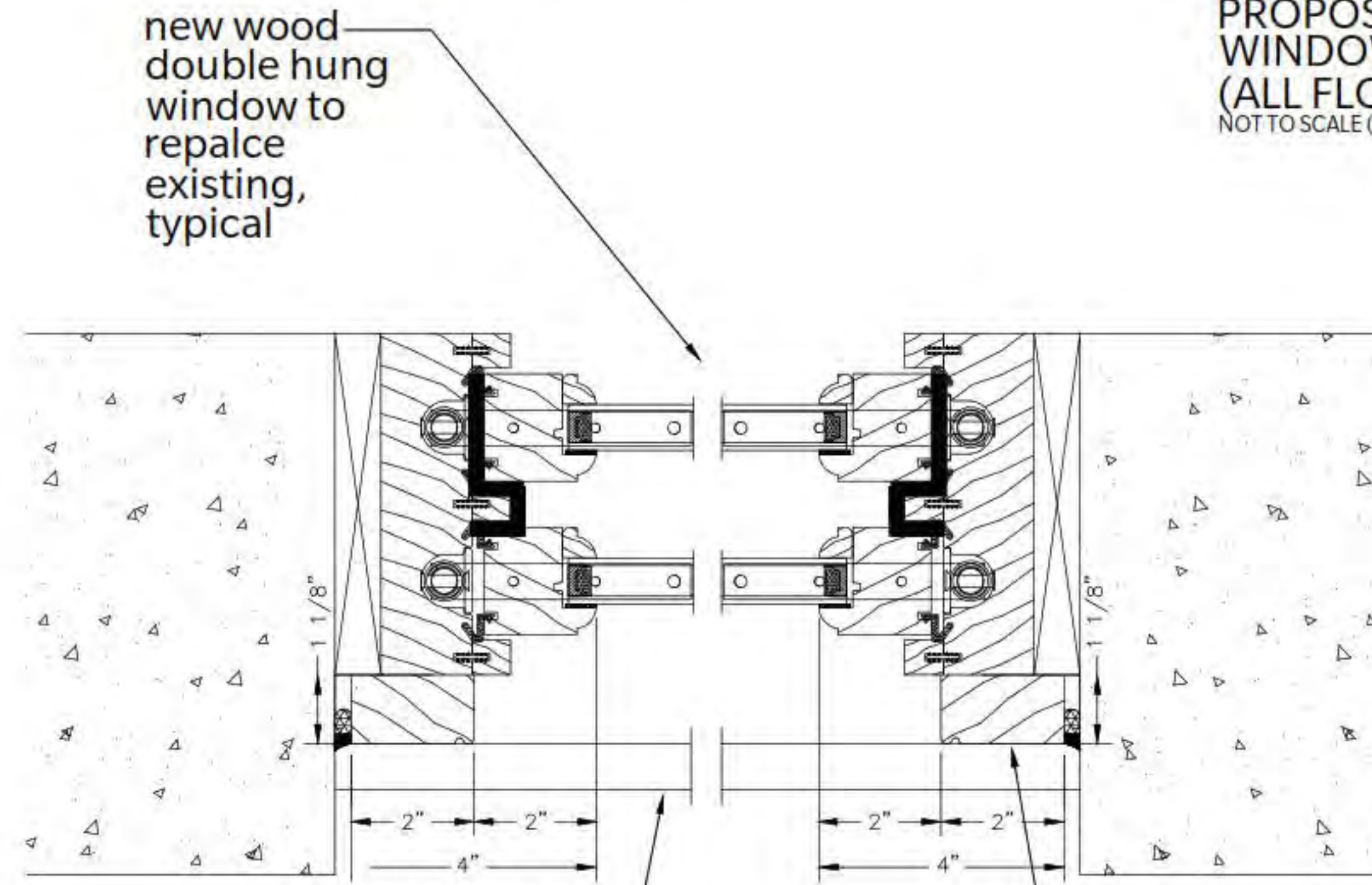


PROPOSED FRONT DOUBLE HUNG WINDOW ELEVATION, TYPICAL (ALL FLOORS INCLUDING BASEMENT)  
NOT TO SCALE (1" = 1'-0" on D size paper)

PROPOSED FRONT DOUBLE HUNG WINDOW SECTION, TYPICAL (ALL FLOORS INCLUDING BASEMENT)  
NOT TO SCALE (6" = 1'-0" on D size paper)



EXISTING FRONT DOUBLE HUNG WINDOW PLAN, TYPICAL (FIRST, SECOND & THIRD FLOORS)  
NOT TO SCALE (6" = 1'-0" on D size paper)



PROPOSED FRONT DOUBLE HUNG WINDOW PLAN, TYPICAL (ALL FLOORS INCLUDING BASEMENT)  
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ALL NEW WINDOWS TO BE FINISHED IN BLACK TO MATCH EXISTING

  
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# FRONT ELEVATIONS

## EXISTING & PROPOSED FRONT ELEVATIONS

### DEMOLITION SCOPE OF WORK (FRONT ELEVATION)

- A. remove existing light fixtures
- B. remove all existing wood windows, typical



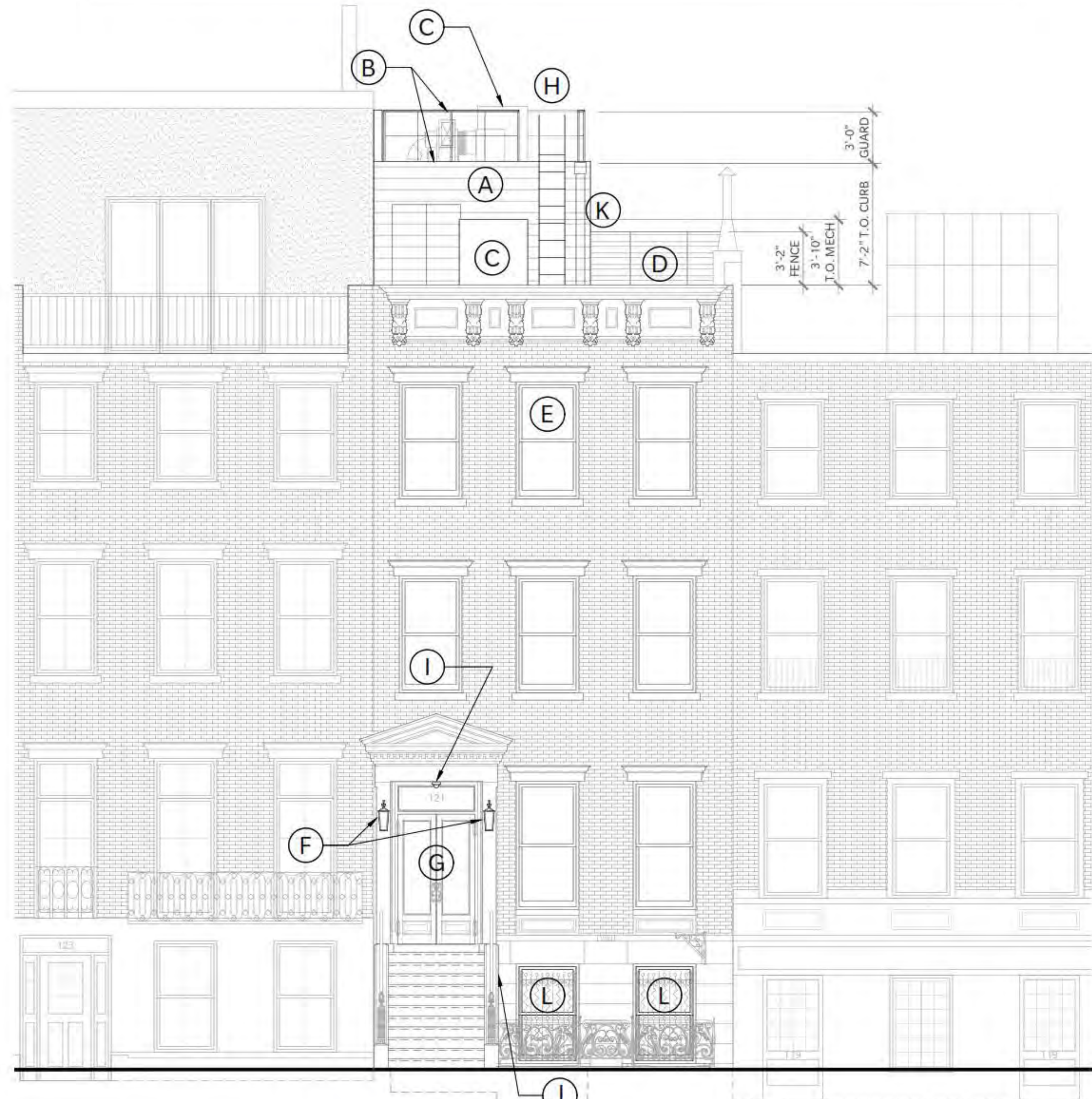
**EXISTING FRONT ELEVATION**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)

### PROPOSED SCOPE OF WORK (FRONT ELEVATION)

- A. new penthouse addition
- B. new 36 inch high metal cable guardrail and 6 inch high curb above roof of penthouse
- C. new mechanical equipment
- D. new 72 inch high metal fence
- E. new wood windows to match

- F. existing, typical new light fixtures to replace existing. see sheet L-XXX for more information
- G. refurbished double leaf entry doors, transom and door frame to match existing
- H. new fixed ladder, rungs 12 inch on center
- I. new security camera to be

- J. installed in soffit over entry doors
- K. new security camera to be installed on brownstone trim above entry door
- L. new downspouts
- M. new double hung windows to replace existing stationary units at basement level



**PROPOSED FRONT ELEVATION**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)



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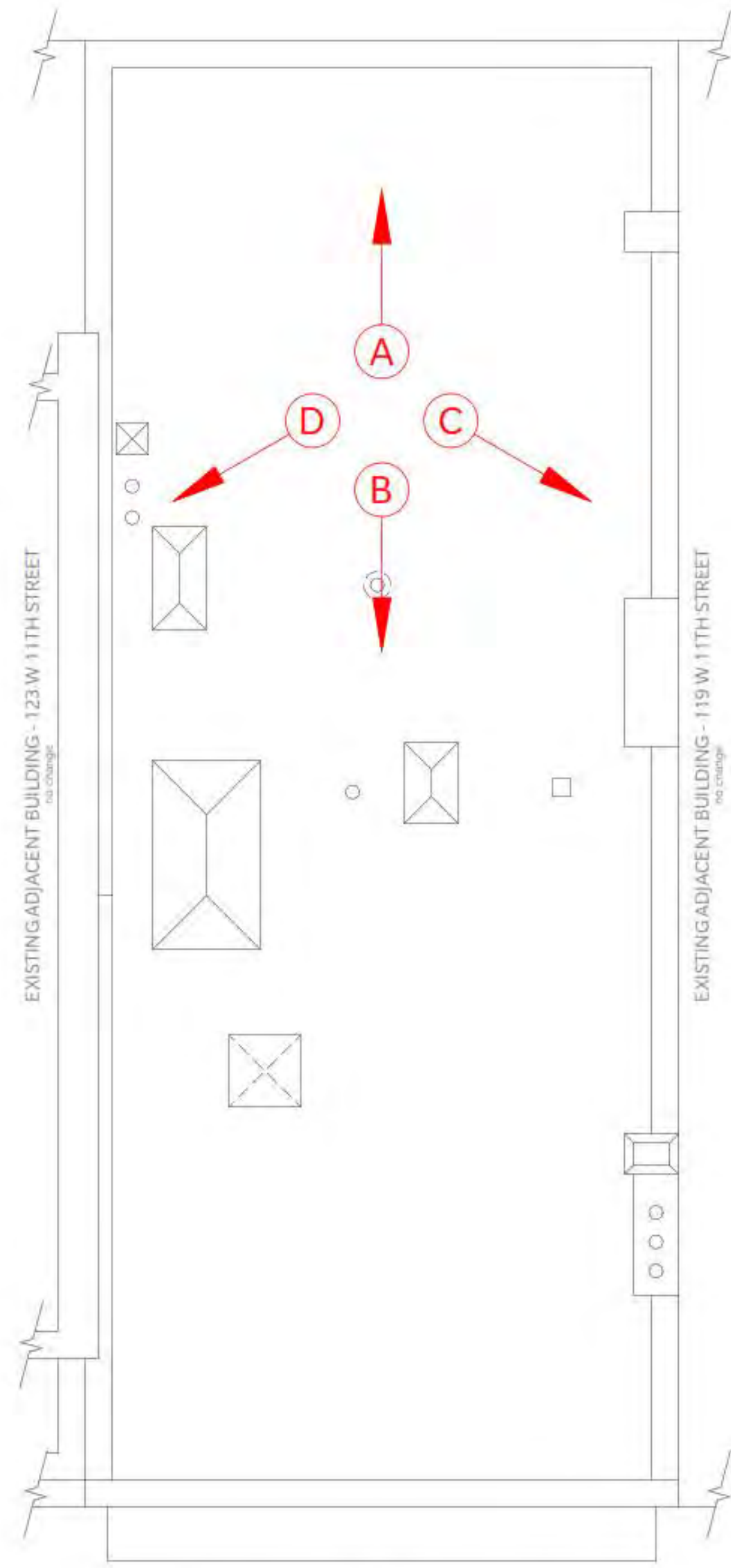
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# ROOF

## PHOTOGRAPHS OF EXISTING ROOF CONDITIONS



**EXISTING ROOF PLAN**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)



**PHOTO OF ROOF - LOOKING NORTH 'A'**  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE



**PHOTO OF ROOF - LOOKING SOUTH 'B'**  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE



**PHOTO OF ROOF - LOOKING EAST 'C'**  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE



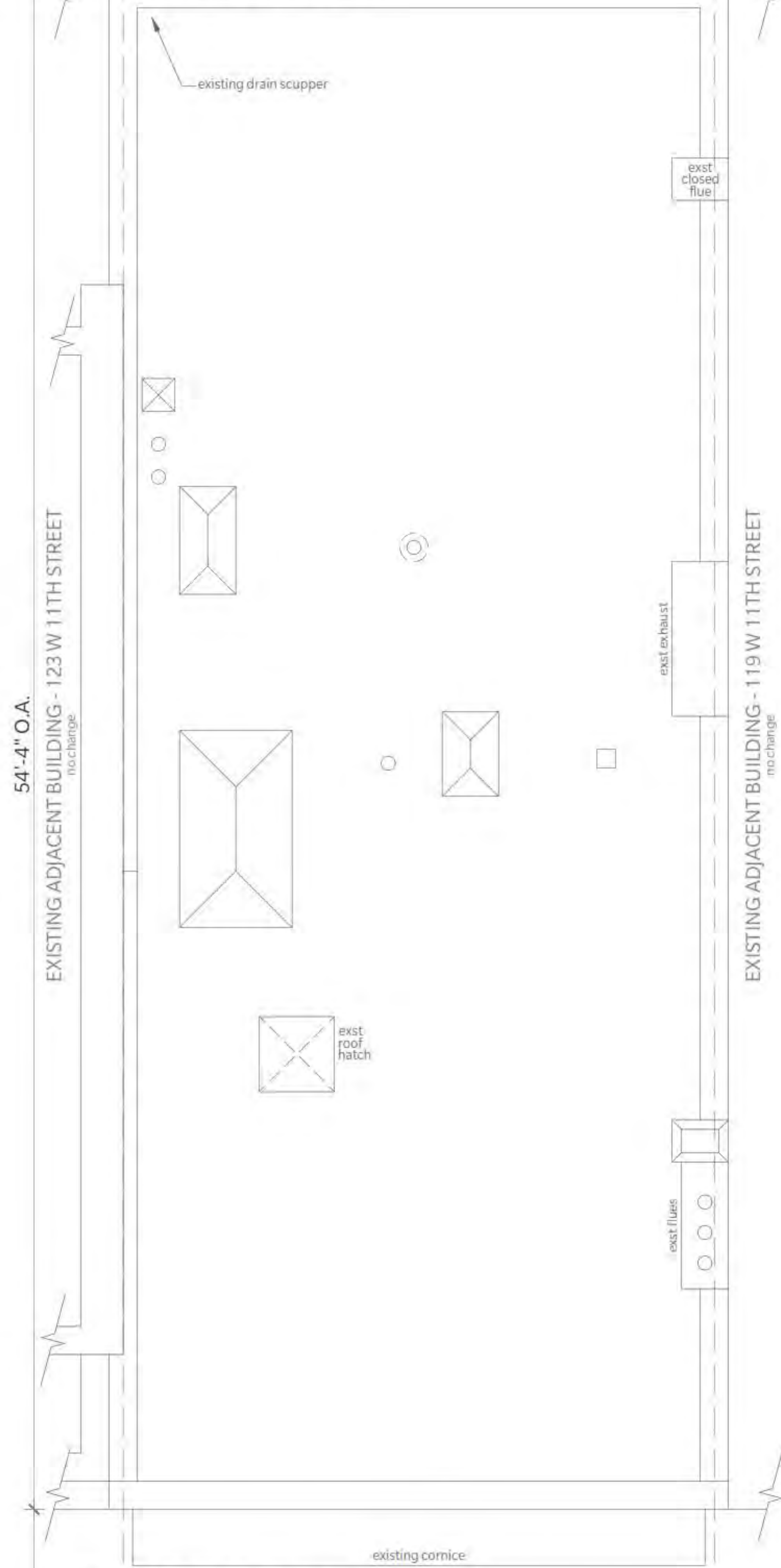
**PHOTO OF ROOF - LOOKING WEST 'D'**  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE

  
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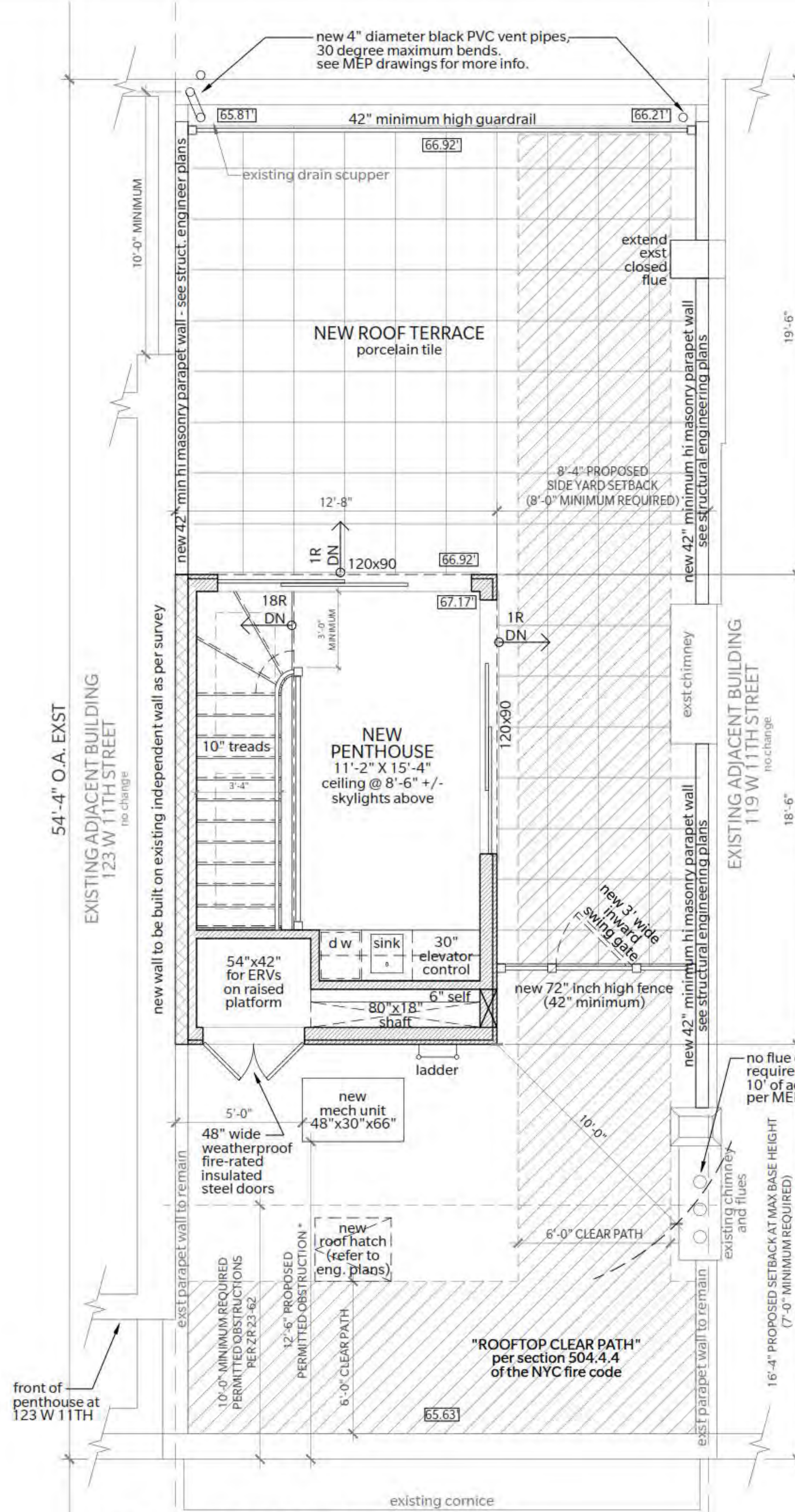


# ROOF ADDITION

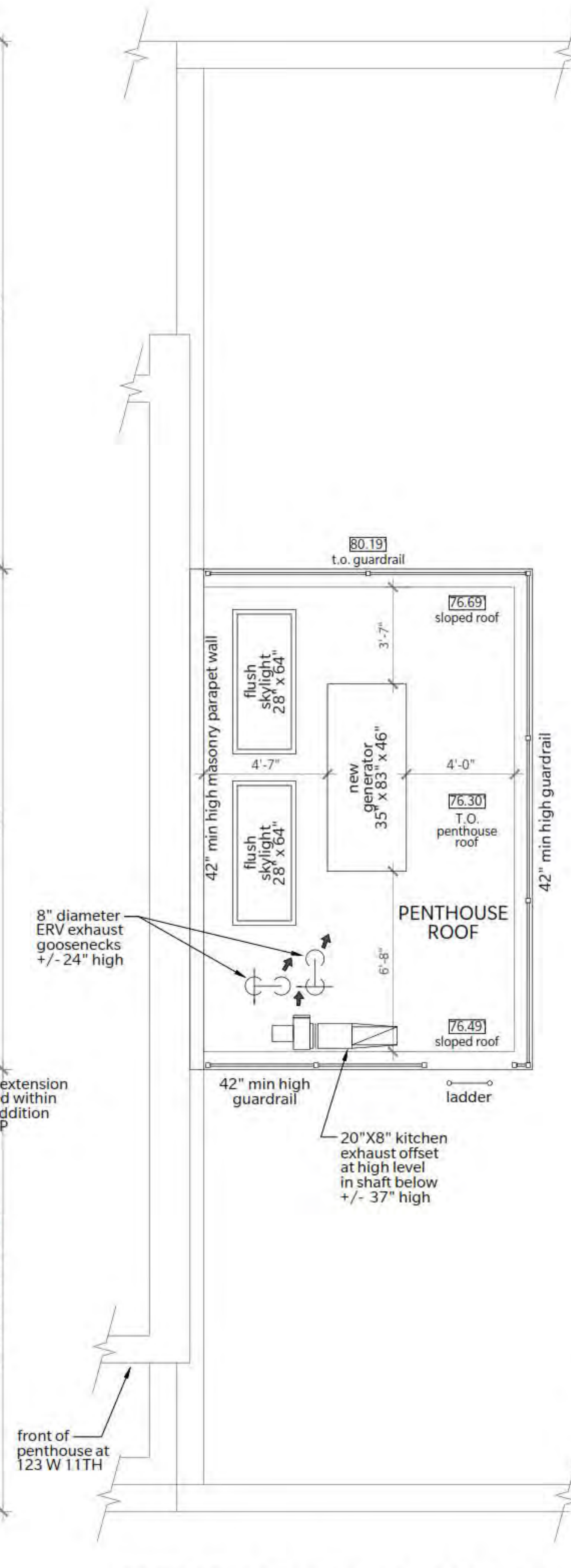
## EXISTING & PROPOSED ROOF PLANS



**EXISTING ROOF PLAN**  
NOT TO SCALE (3/8" = 1'-0" on D size paper)



**PROPOSED ROOF PLAN**  
NOT TO SCALE (3/8" = 1'-0" on D size paper)



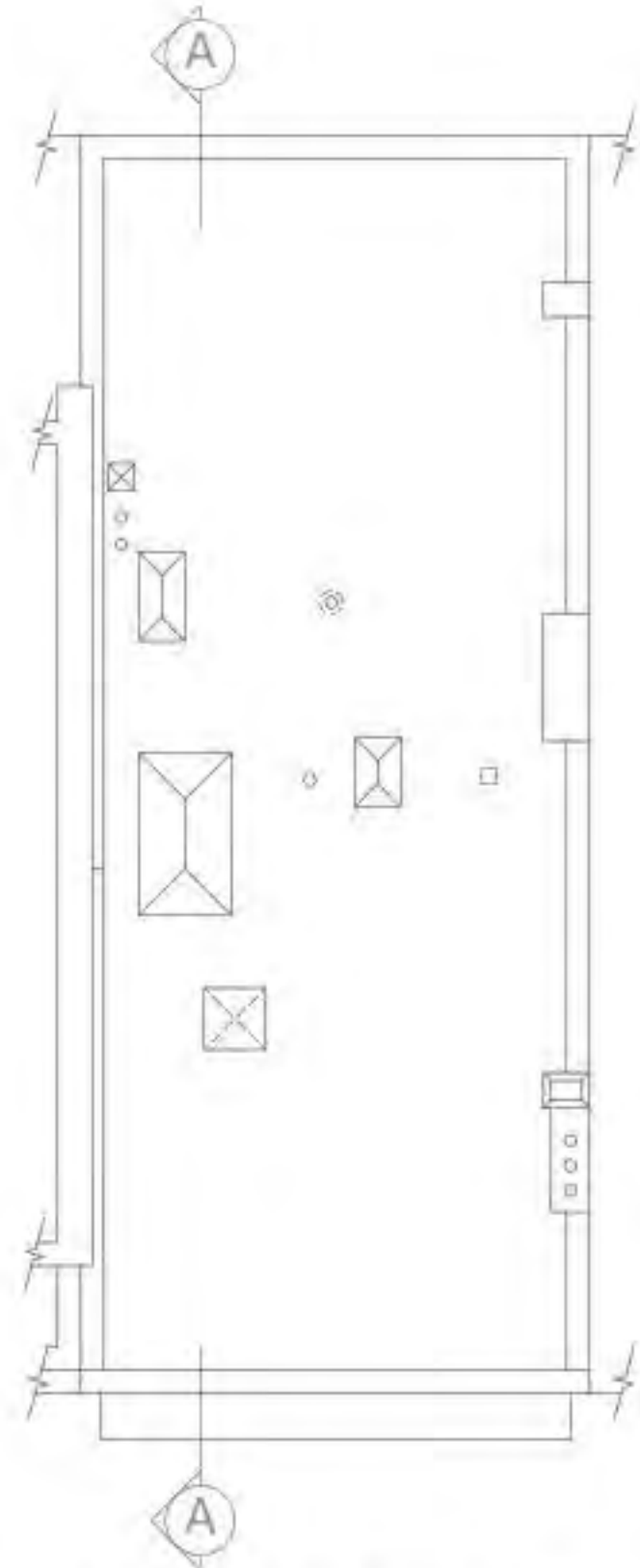
**PROPOSED PENTHOUSE ROOF PLAN**  
NOT TO SCALE (3/8" = 1'-0" on D size paper)

  
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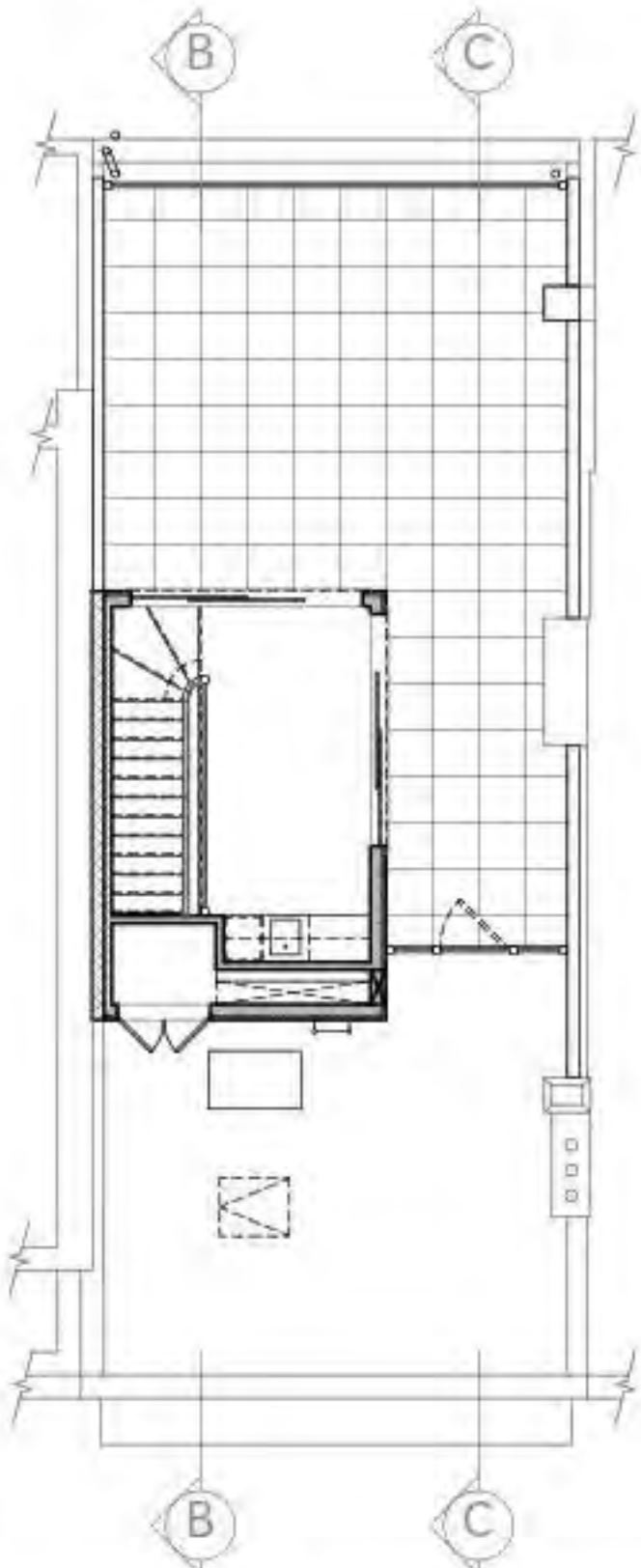


# ROOF ADDITION

## EXISTING & PROPOSED ROOF SECTIONS



EXISTING ROOF PLAN  
NOT TO SCALE (1/8" = 1'-0" on D size paper)



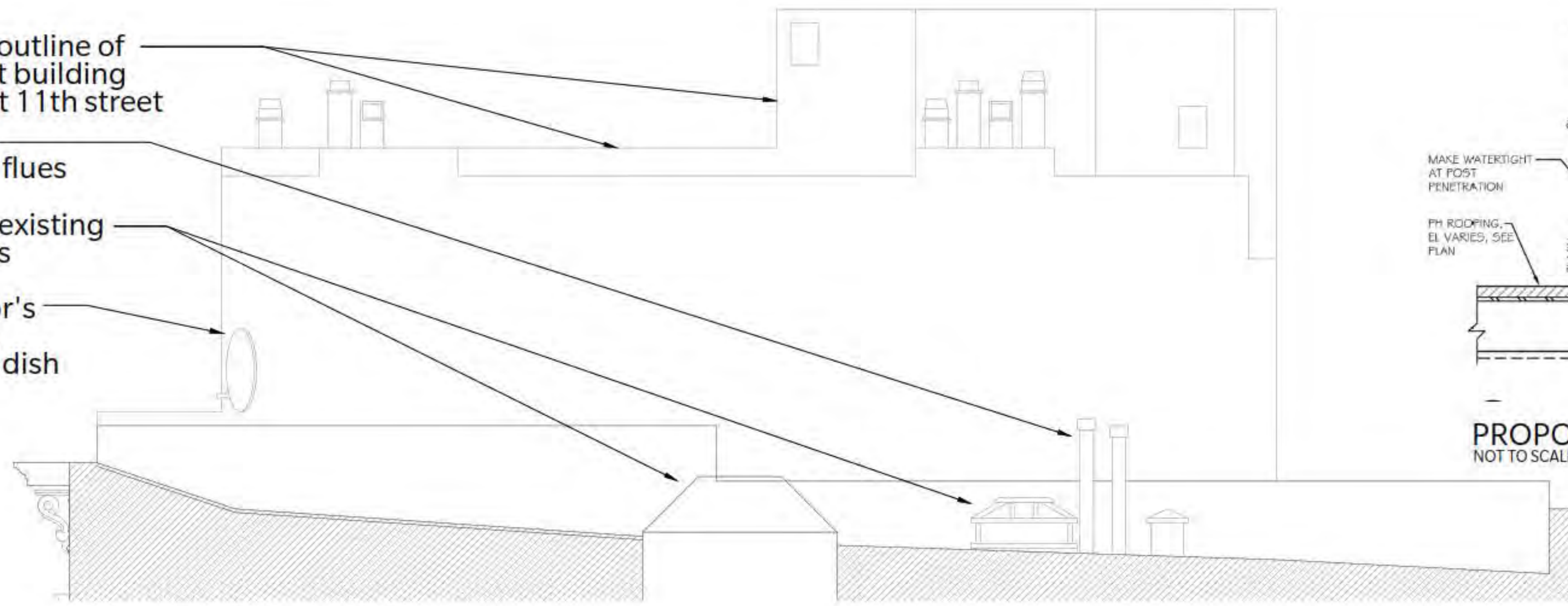
PROPOSED ROOF PLAN  
NOT TO SCALE (1/8" = 1'-0" on D size paper)

rooftop outline of adjacent building 123 west 11th street

remove existing flues

remove existing skylights

neighbor's existing satellite dish



EXISTING ROOF SECTION 'A'  
NOT TO SCALE

8" diameter ERV exhaust goosenecks +/- 24" high  
20"X8" kitchen exhaust offset at high level in shaft below +/- 37" high  
new kemperol roofing system

6" high perimeter curb

3'-0" GUARD  
7'-2" T.O. CURB  
3'-10" T.O. MECH

new generator 46" high

PROPOSED ROOF SECTION 'B'  
NOT TO SCALE

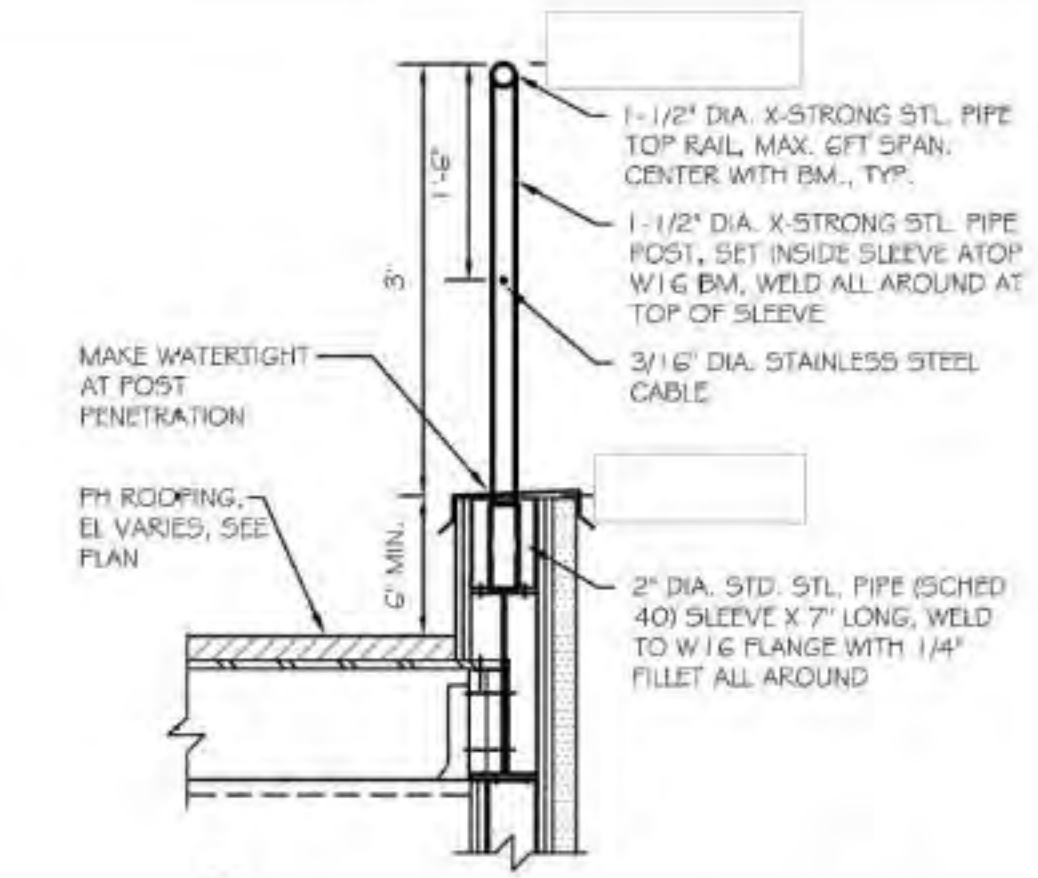
new fixed ladder  
new noncombustible cement board exterior wall coverings  
new 72" high fence and gate  
new mechanical unit  
new downspout

3'-2" T.O. FENCE

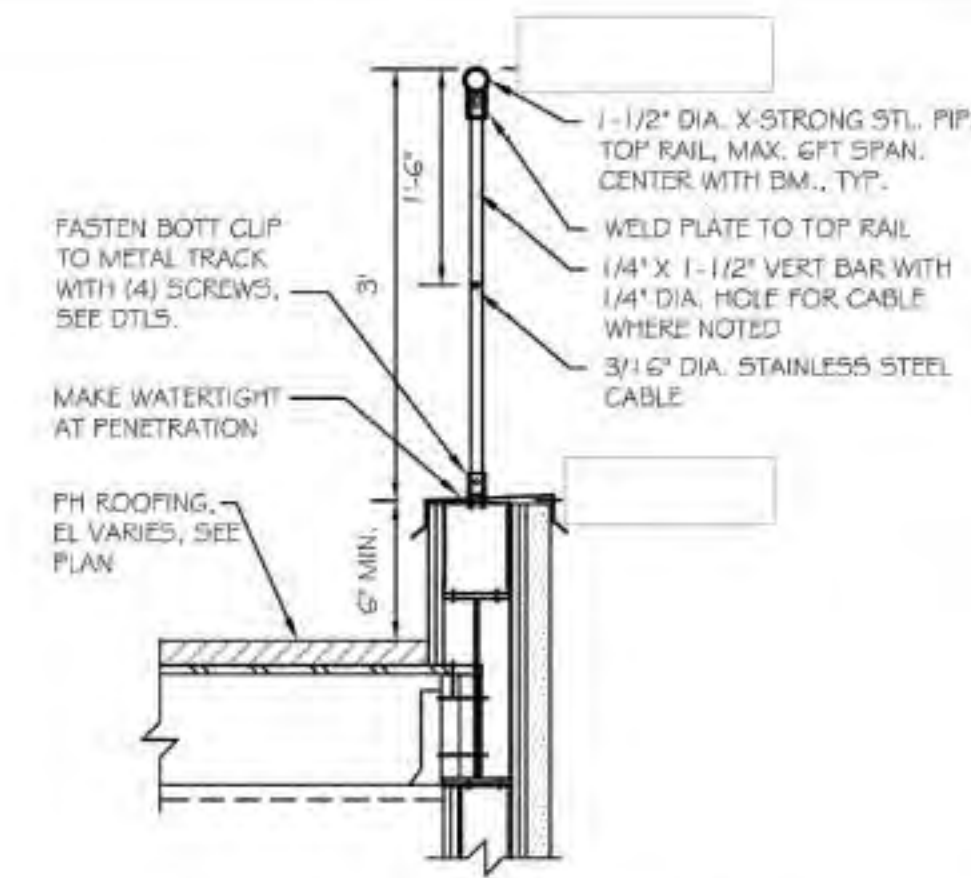
7'-6" door unit

10'-2" MID BASE POINT TO T.O. ROOF CURB

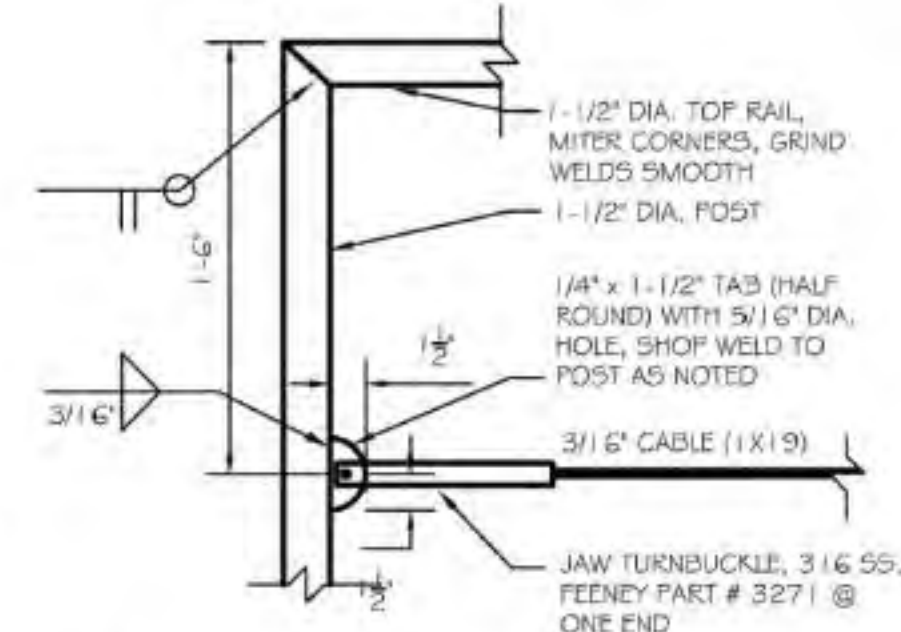
PROPOSED ROOF SECTION 'C'  
NOT TO SCALE



PROPOSED SECTION AT POST  
NOT TO SCALE (3/4" = 1'-0" on D size paper)



PROPOSED SECTION AT VERTICAL SPACER BAR  
NOT TO SCALE (3/4" = 1'-0" on D size paper)



CABLE TO CORNER POST DETAIL  
NOT TO SCALE (1-1/2" = 1'-0" on D size paper)

rooftop outline of adjacent building 123 west 11th street

see 'proposed section at post' on sheet #12 for additional details

new 42" high true brick with common bond pattern masonry parapet wall

new 24"x24" porcelain tiles on pedestal system

new 4" black PVC flue pipe

### LEGEND

line of existing building envelope

rooftop outline of adjacent building 123 west 11th street

new 36" high cable guardrail

new 42" high true brick with common bond pattern masonry parapet wall

new 24x24 inch porcelain tiles on pedestal system

new 4" black PVC flue pipe



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# ROOF ADDITION

## PHOTOS OF ROOF MOCKUP

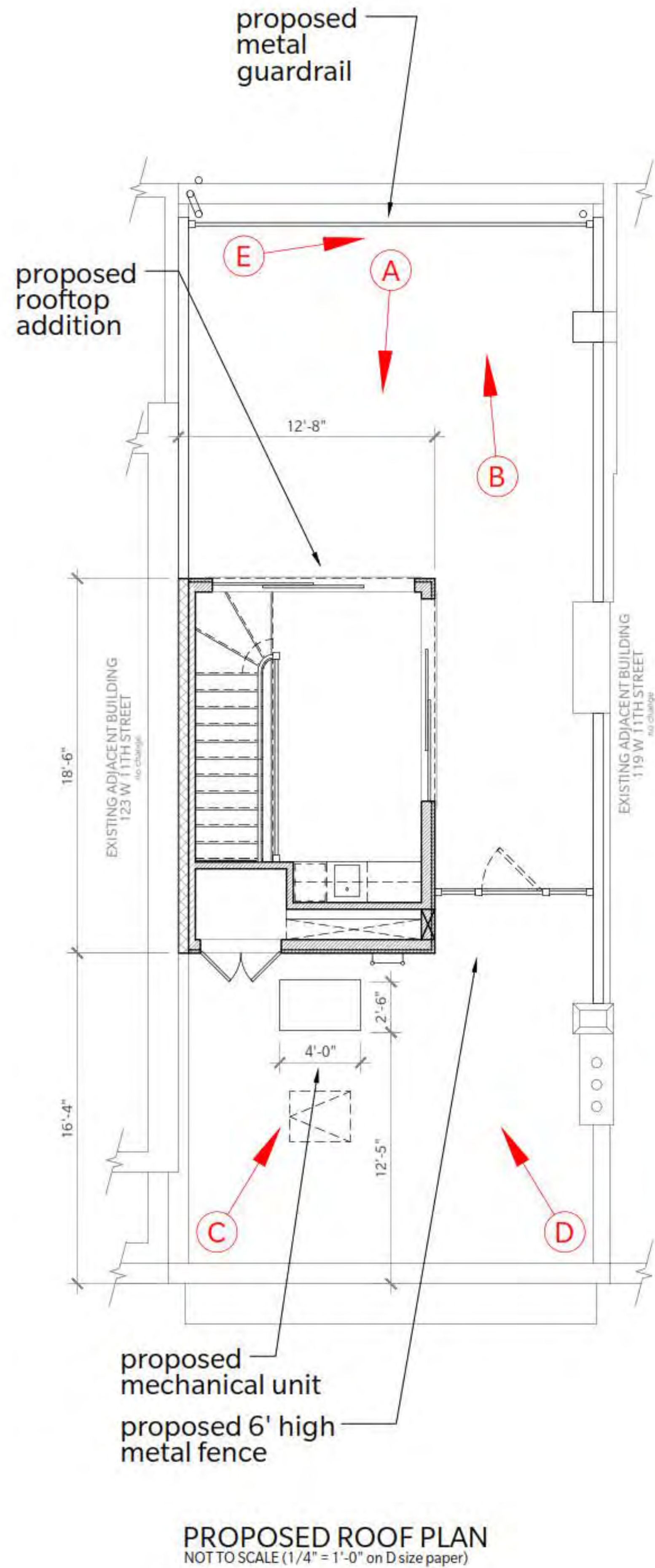


PHOTO OF ROOF MOCKUP 'A'  
(DATE OF PHOTO 05/12/20)  
NOT TO SCALE



PHOTO OF ROOF MOCKUP 'B'  
(DATE OF PHOTO 03/03/20)  
NOT TO SCALE

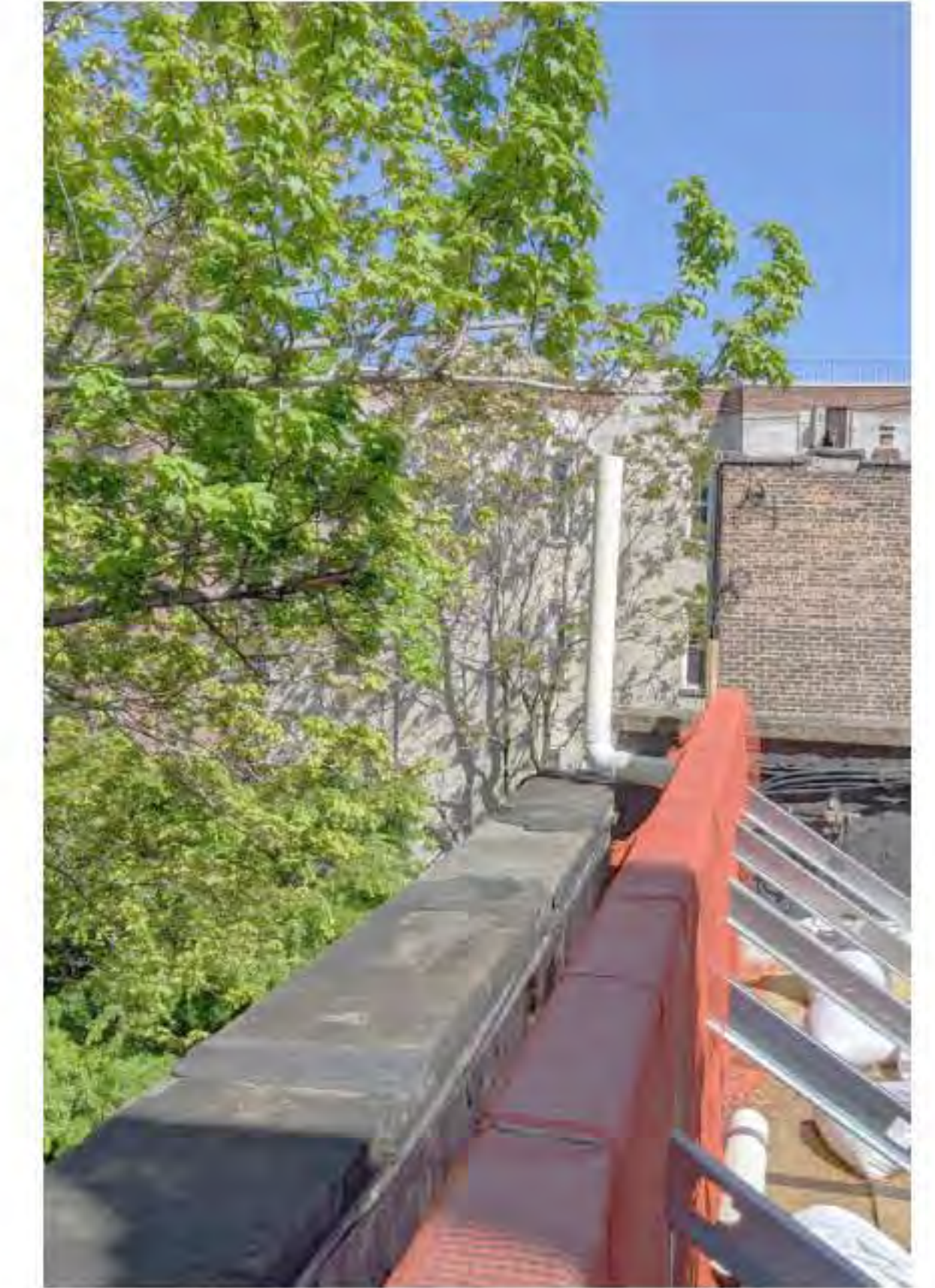


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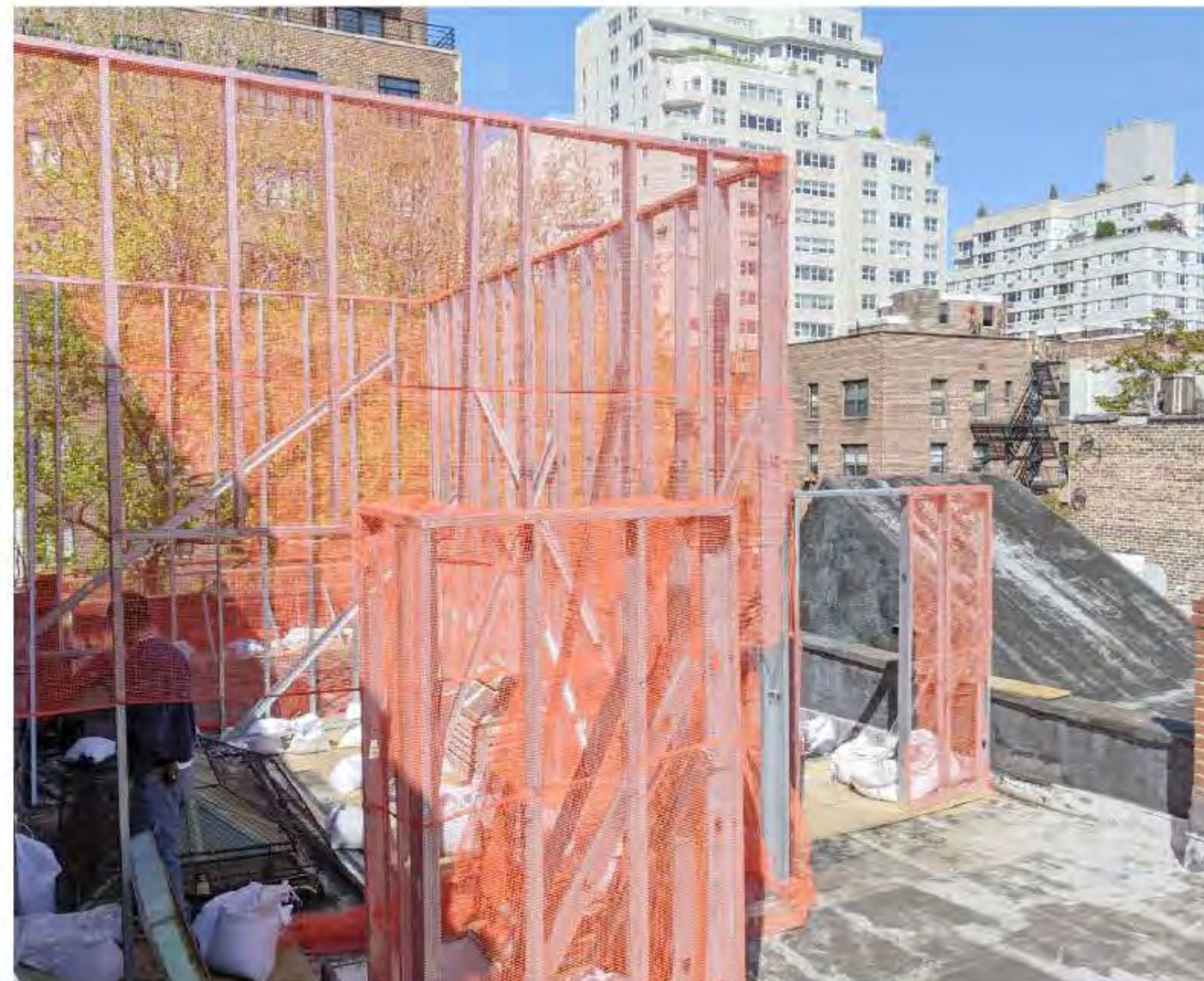


PHOTO OF ROOF MOCKUP 'C'  
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PHOTO OF ROOF MOCKUP 'D'  
(DATE OF PHOTO 05/12/20)  
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# ROOF ADDITION PANORAMAS



PHOTO OF ROOF MOCKUP FACING #119  
(DATE OF PHOTO 05/12/20)  
NOT TO SCALE



PHOTO OF ROOF MOCKUP FACING #123  
(DATE OF PHOTO 05/12/20)  
NOT TO SCALE



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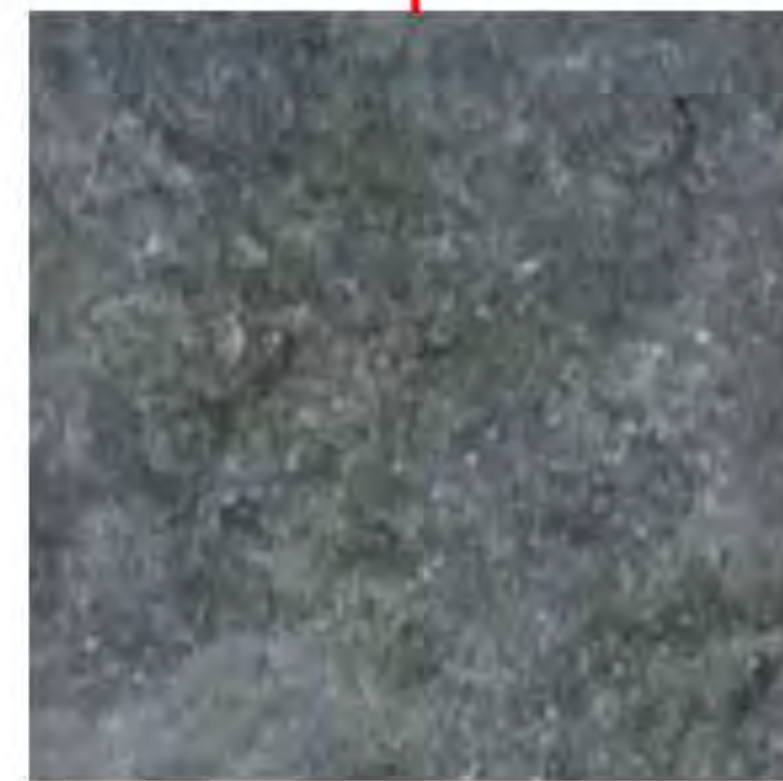
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**ROOF ADDITION**  
PROPOSED MATERIAL SAMPLES



**NON-COMBUSTIBLE  
SIMULATED WOOD  
HORIZONTAL SIDING**



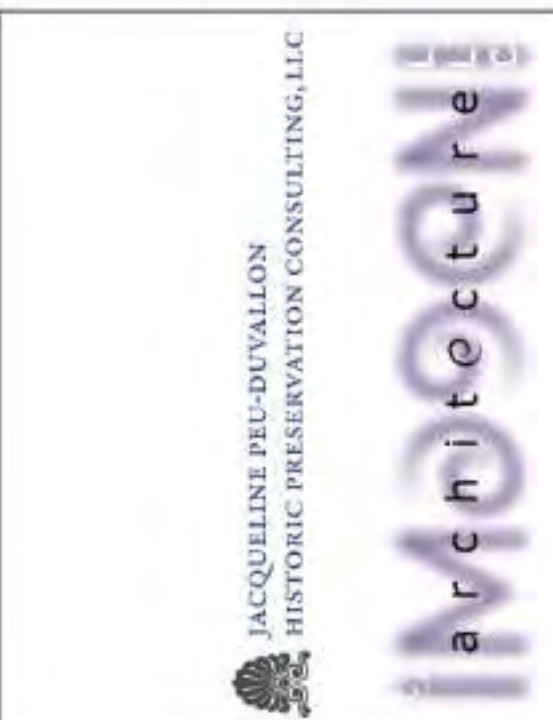
**24"X24" PORCELAIN TILES**



**TRUE BRICK WITH  
COMMON BOND PATTERN  
TO MATCH EXISTING  
REAR FACADE**



**2" THICK NATURAL BLUESTONE CAP**



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**08-13-20** LPC hearing date  
**TBD**

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# ROOF ADDITION

## PHOTOS OF ROOF MOCKUP (STREET VISIBILITY)



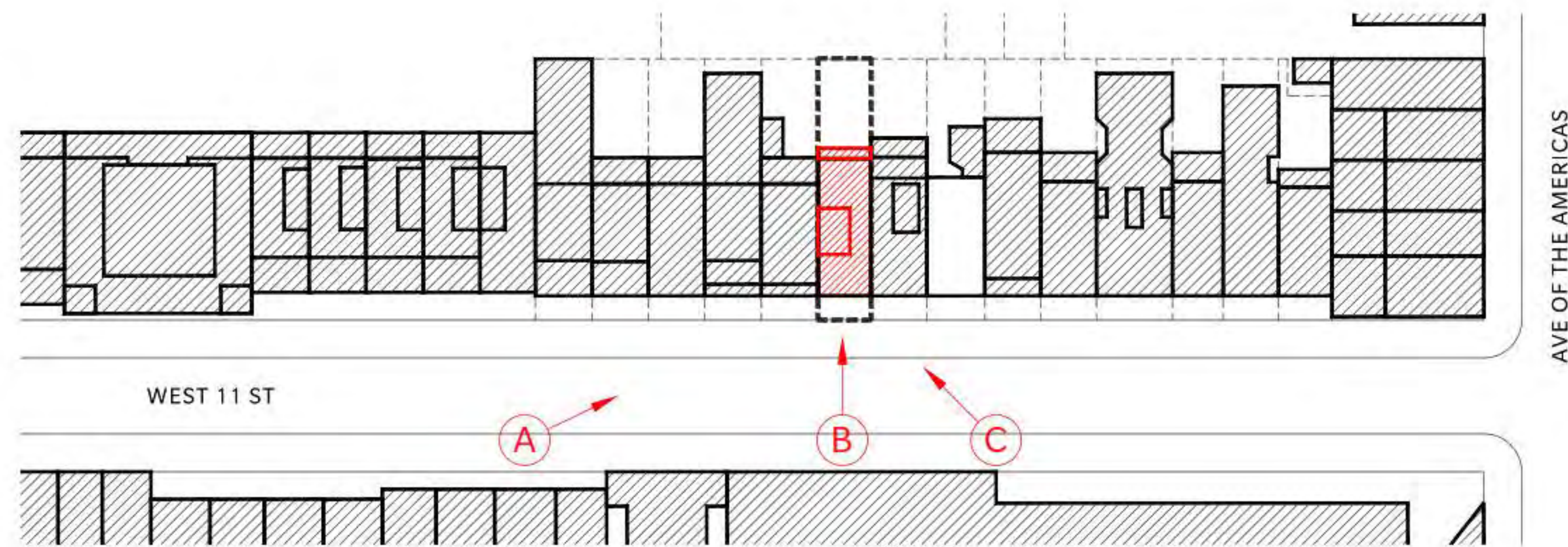
PHOTO OF ROOF MOCKUP FROM STREET 'A'  
(DATE OF PHOTO 03/03/20)  
NOT TO SCALE



PHOTO OF ROOF MOCKUP FROM STREET 'B'  
(DATE OF PHOTO 03/03/20)  
NOT TO SCALE



PHOTO OF ROOF MOCKUP FROM STREET 'C'  
(DATE OF PHOTO 03/03/20)  
NOT TO SCALE



CLOSEUP PHOTO OF ROOF MOCKUP FROM STREET 'C'  
(DATE OF PHOTO 03/03/20)  
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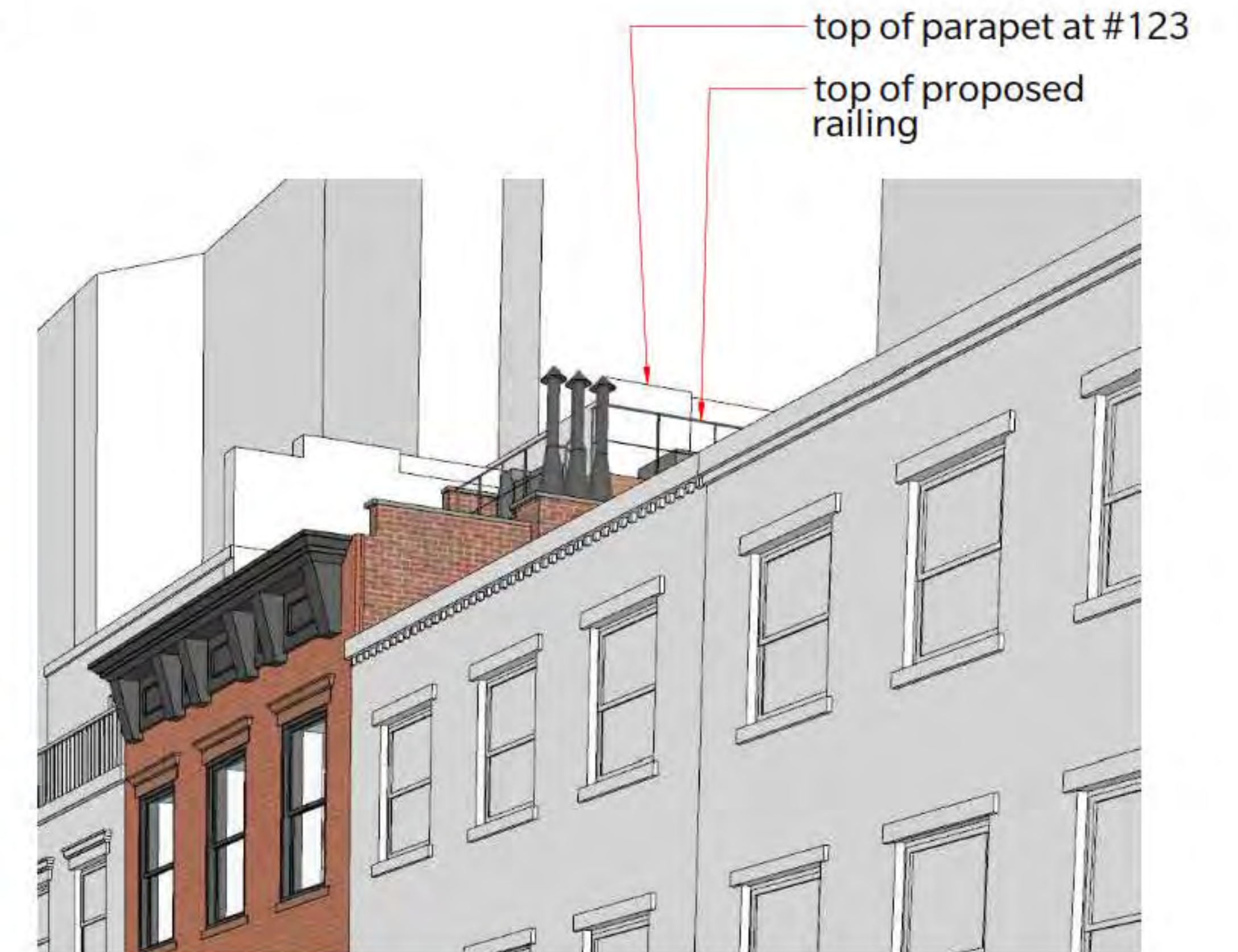
PHOTOS OF ROOF MOCKUP (STREET VISIBILITY)



PHOTO OF ROOF MOCKUP FROM STREET  
(DATE OF PHOTO 03/03/20)  
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CLOSEUP PHOTO OF ROOF MOCKUP FROM STREET  
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RENDERING OF ROOF ADDITION  
NOT TO SCALE



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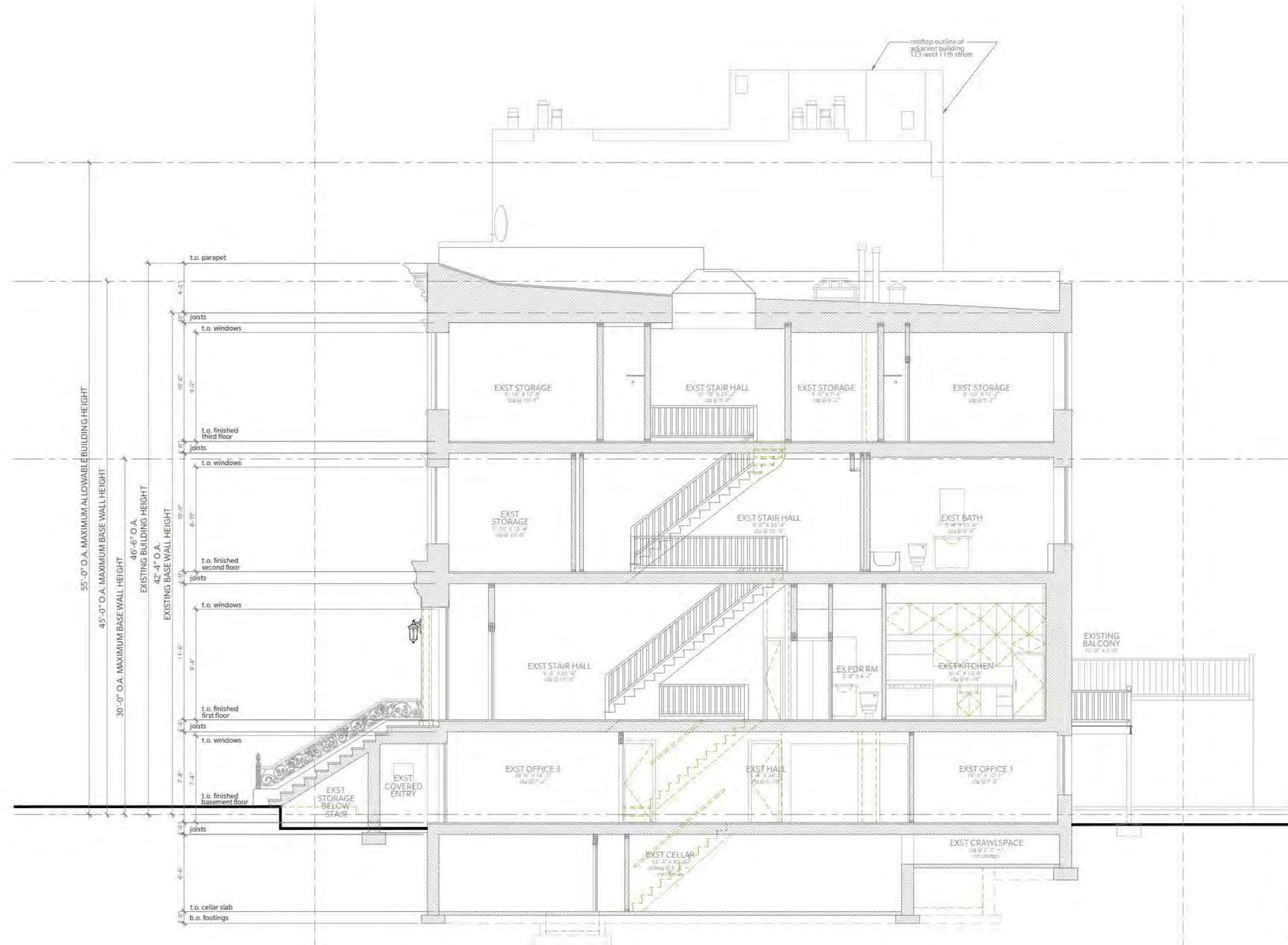
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ARCHITECTURAL DRAWINGS  
EXISTING & PROPOSED BUILDING SECTIONS



EXISTING SIGHTLINE BUILDING SECTION  
NO SCALE

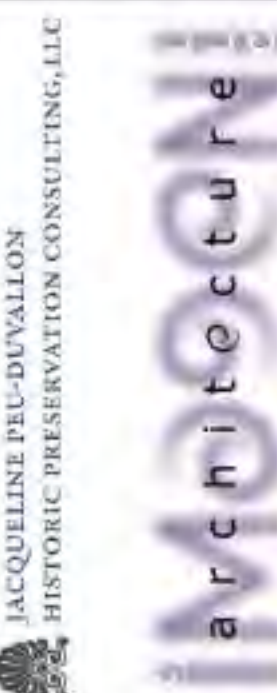
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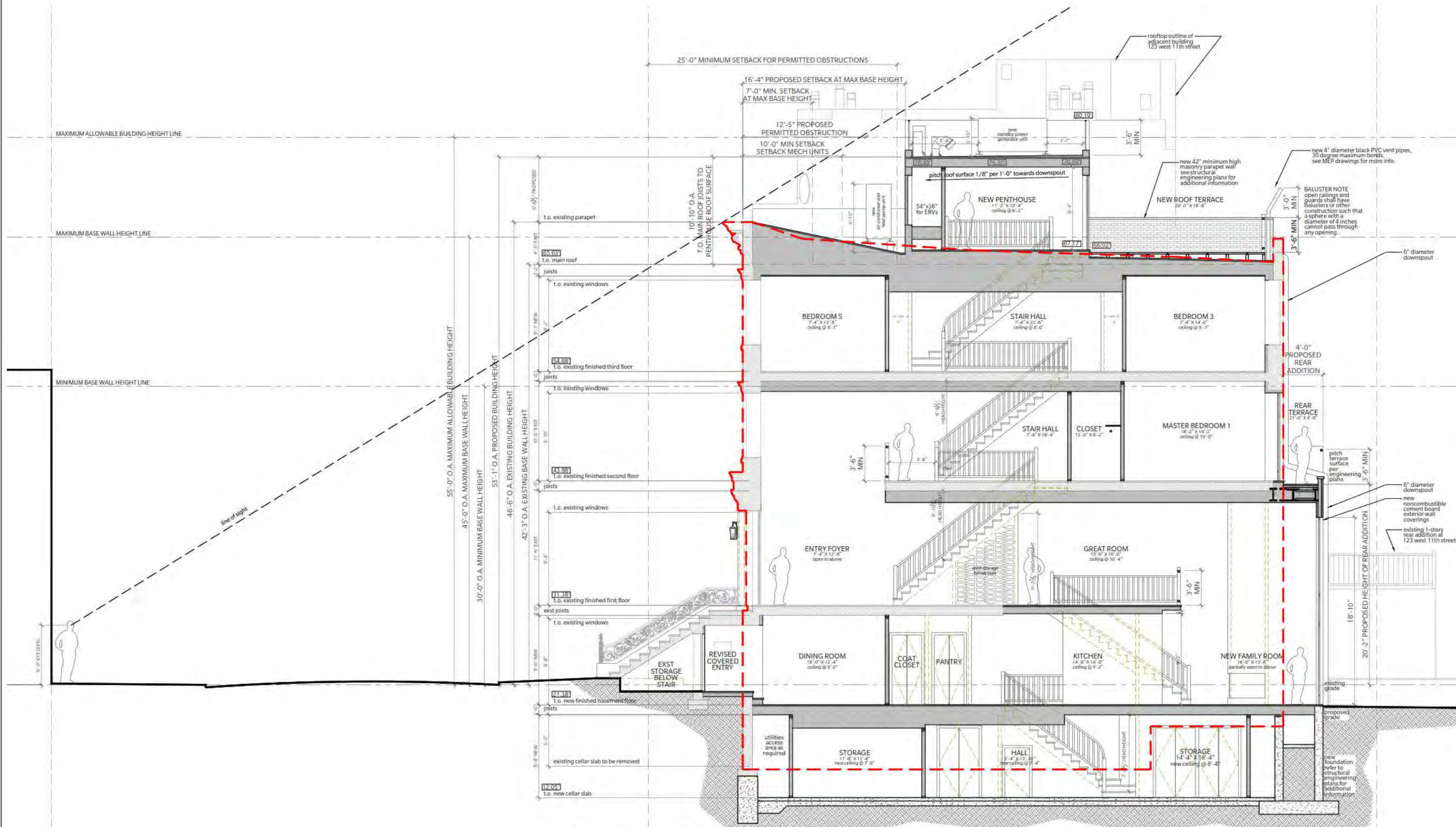
16 of 32





# ARCHITECTURAL DRAWINGS

## PROPOSED BUILDING SECTION



PROPOSED SIGHTLINE BUILDING SECTION  
NO SCALE

**LEGEND**

--- line of existing building envelope

**IMAGEN**  
architects & associates  
MACQUELINE BIL-DUVALLOO  
HISTORIC PRESERVATION CONSULTING, LLC

the proposed additions & interior alterations to a single family residential townhouse at  
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IMAGEN@IMAGENarchitecture.com  
raul g mederos ra ny license 034595

CB hearing date 08-13-20 LPC hearing date TBD

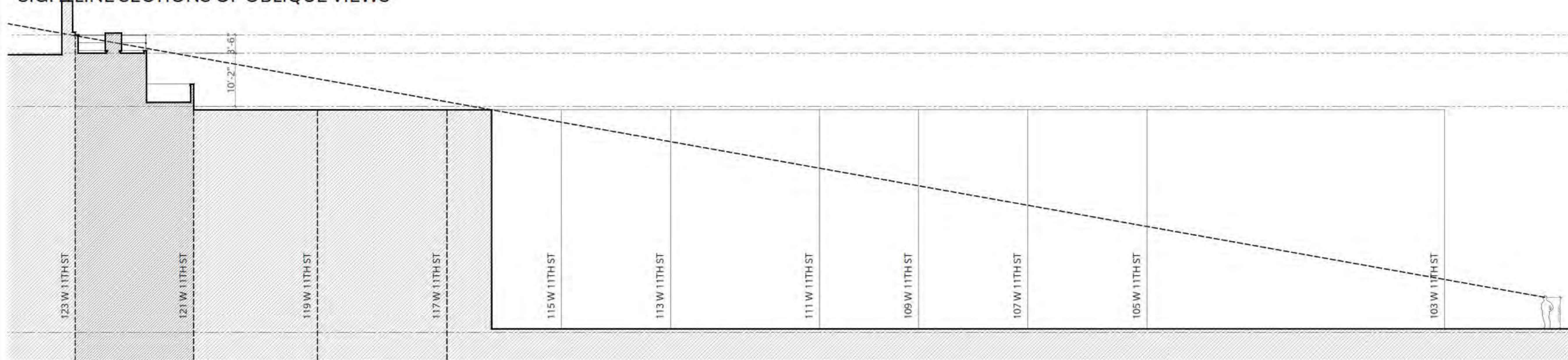
landmarks preservation commission review

17 of 32

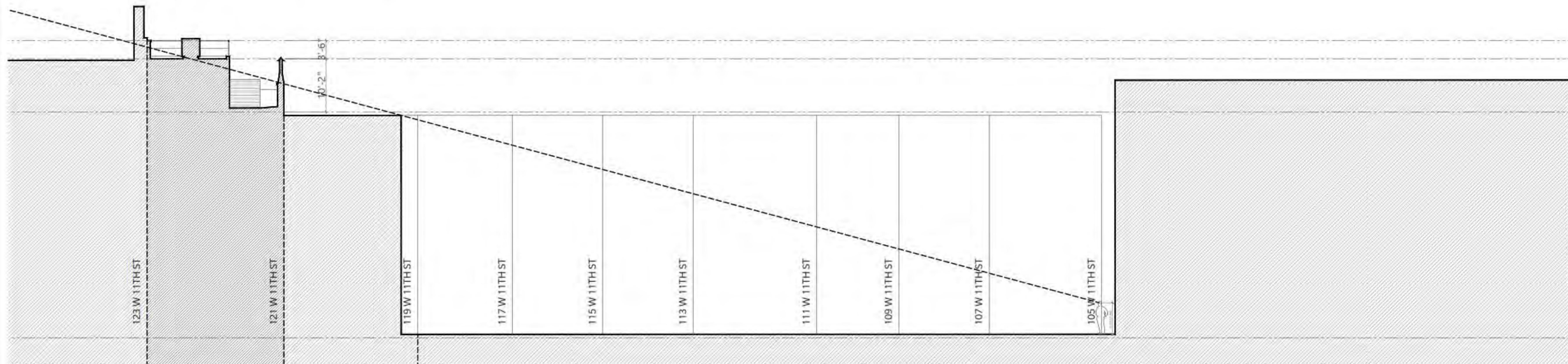


# ARCHITECTURAL DRAWINGS

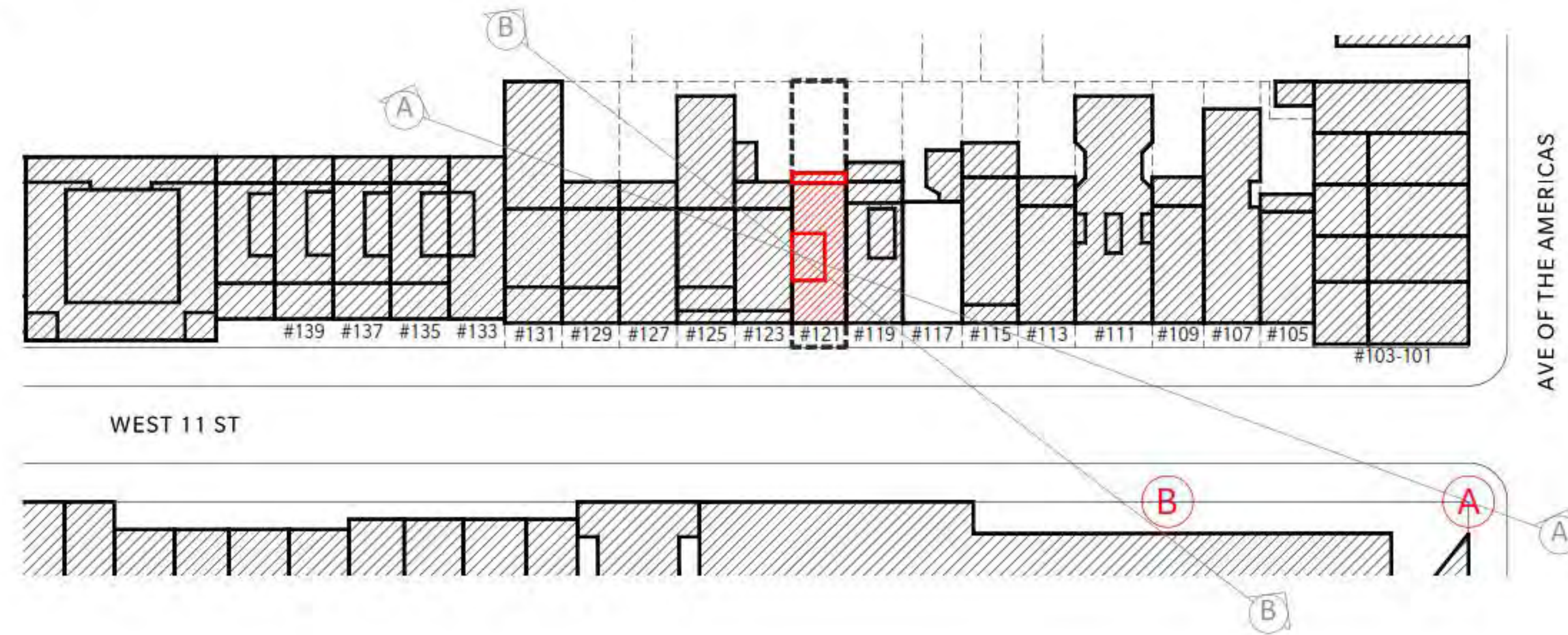
## SIGHTLINE SECTIONS OF OBLIQUE VIEWS



PROPOSED OBLIQUE SIGHTLINE SECTION 'A'  
NO SCALE



PROPOSED OBLIQUE SIGHTLINE SECTION 'B'  
NO SCALE



VIEW FROM SECTION 'A'  
(DATE OF PHOTO 03/03/20)  
NO SCALE



VIEW FROM SECTION 'B'  
(DATE OF PHOTO 03/03/20)  
NO SCALE



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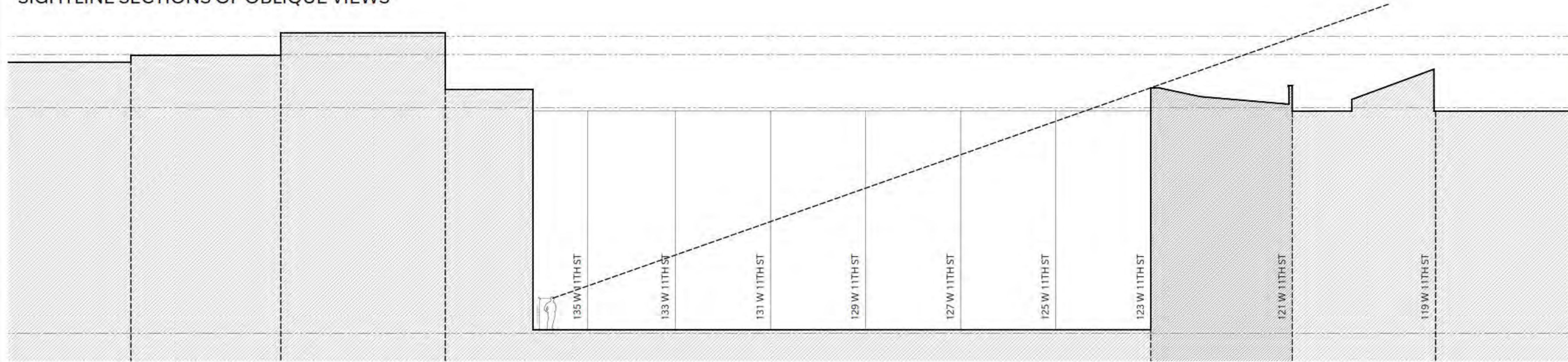
CB hearing date: 08-13-20  
 LPC hearing date: TBD

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# ARCHITECTURAL DRAWINGS

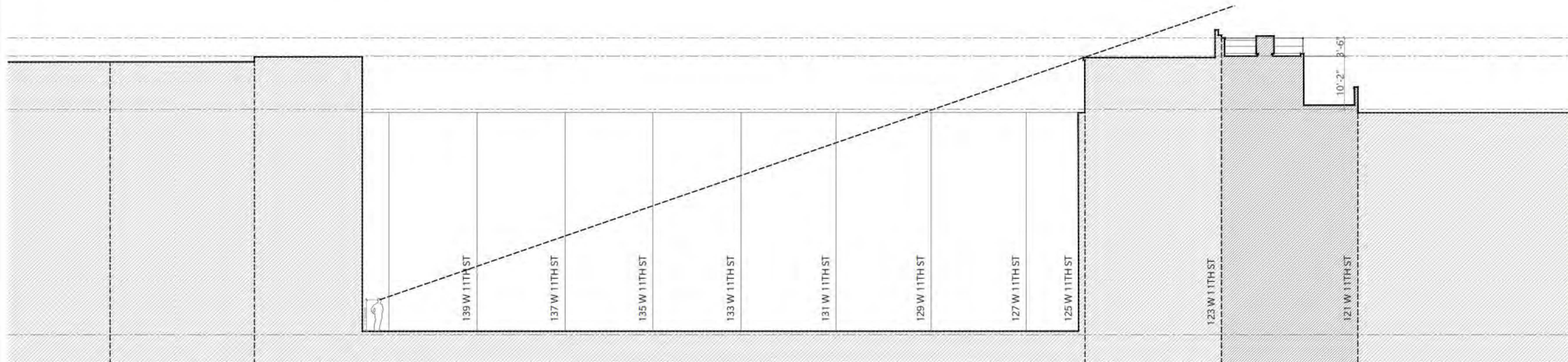
## SIGHTLINE SECTIONS OF OBLIQUE VIEWS



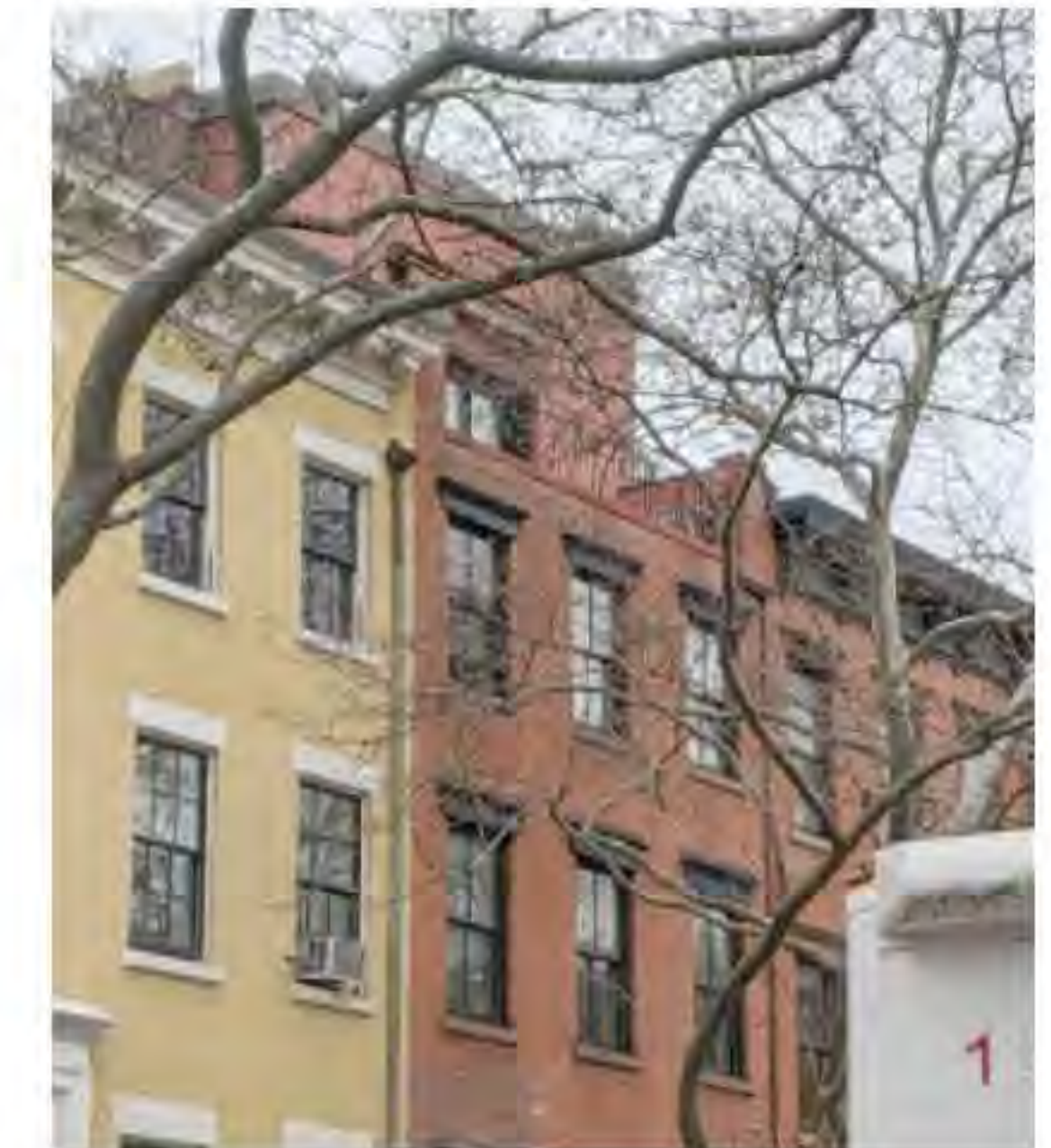
PROPOSED OBLIQUE SIGHTLINE SECTION 'C'  
NO SCALE



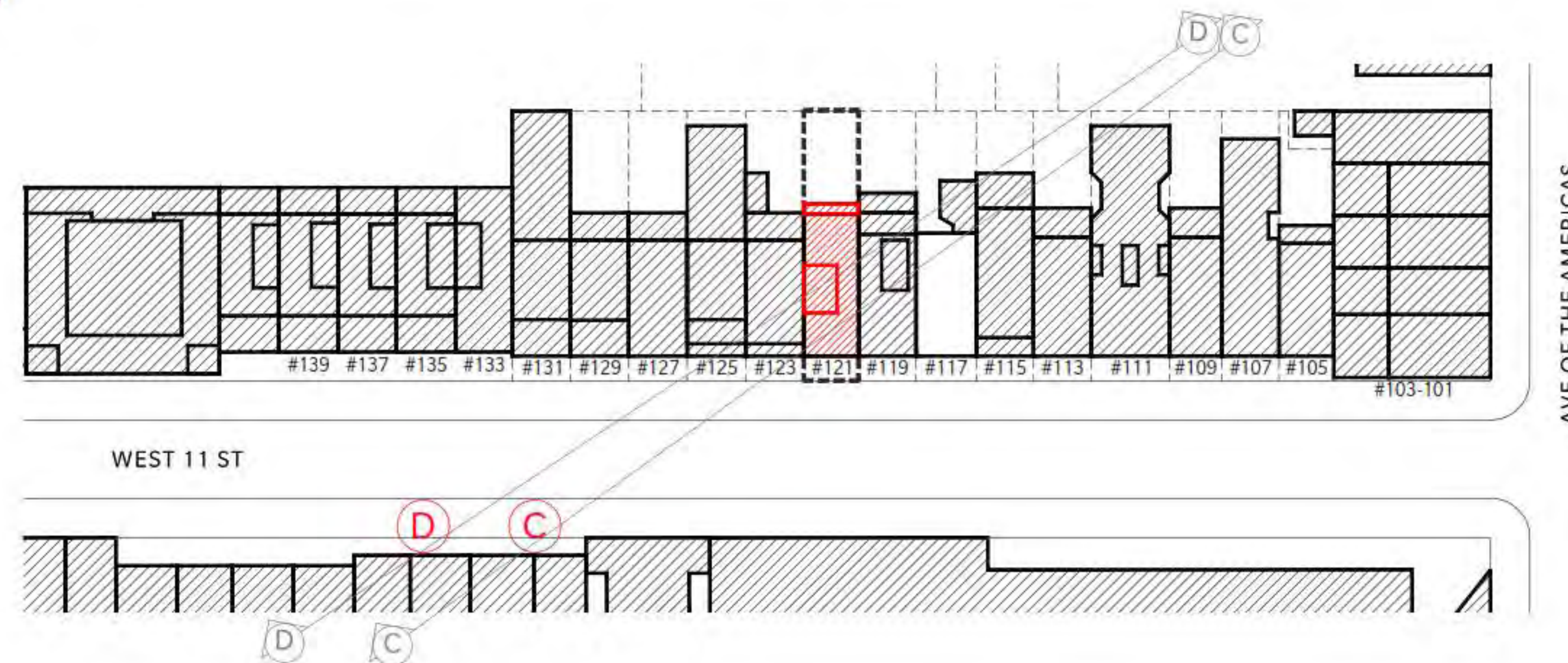
VIEW FROM SECTION 'C'  
(DATE OF PHOTO 03/03/20)  
NO SCALE



PROPOSED OBLIQUE SIGHTLINE SECTION 'D'  
NO SCALE



VIEW FROM SECTION 'D'  
(DATE OF PHOTO 03/03/20)  
NO SCALE



AVE OF THE AMERICAS

WEST 11 ST

IMAGEN  
architects

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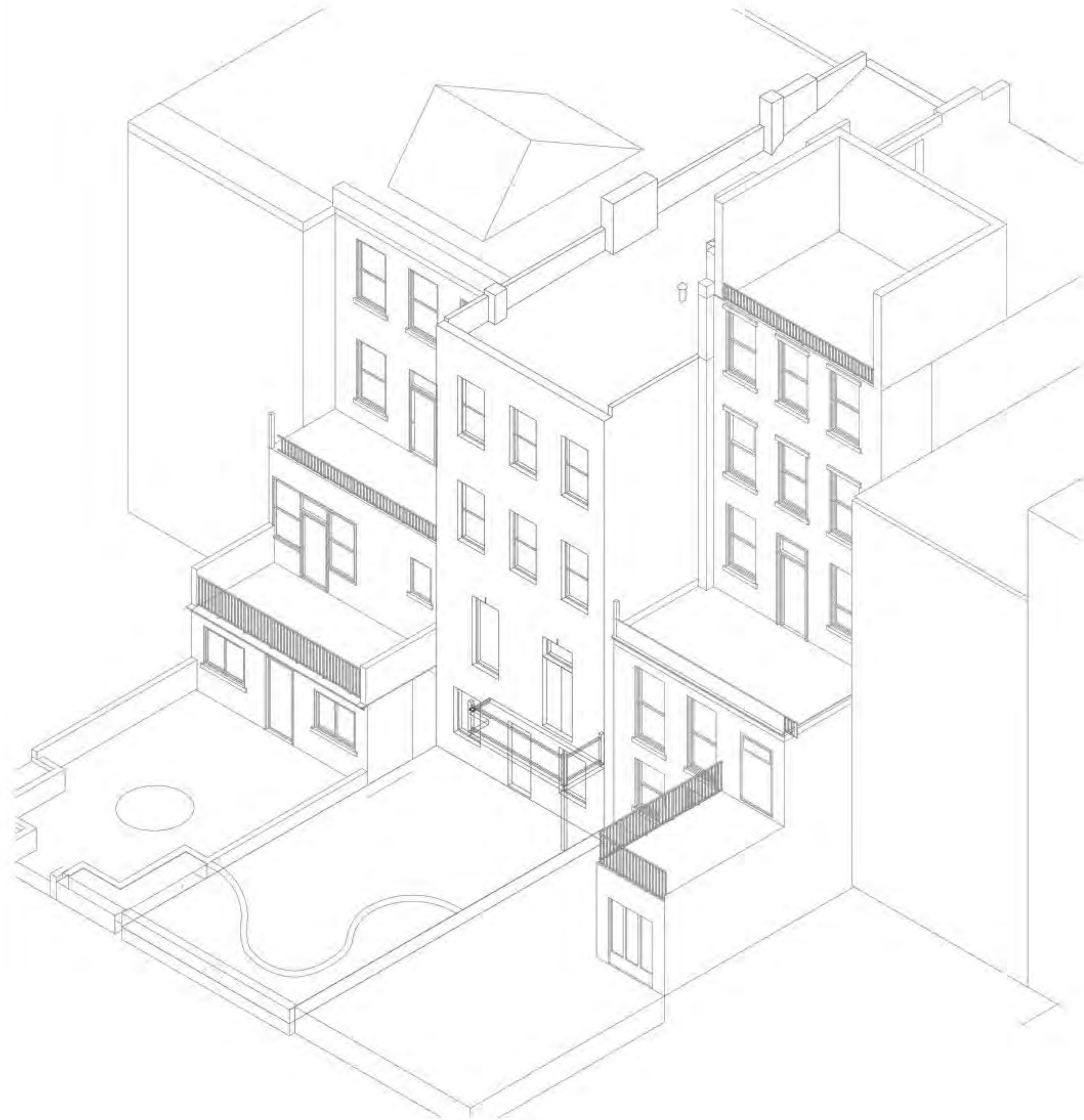
CB hearing date  
**08-13-20**

LPC hearing date  
**TBD**

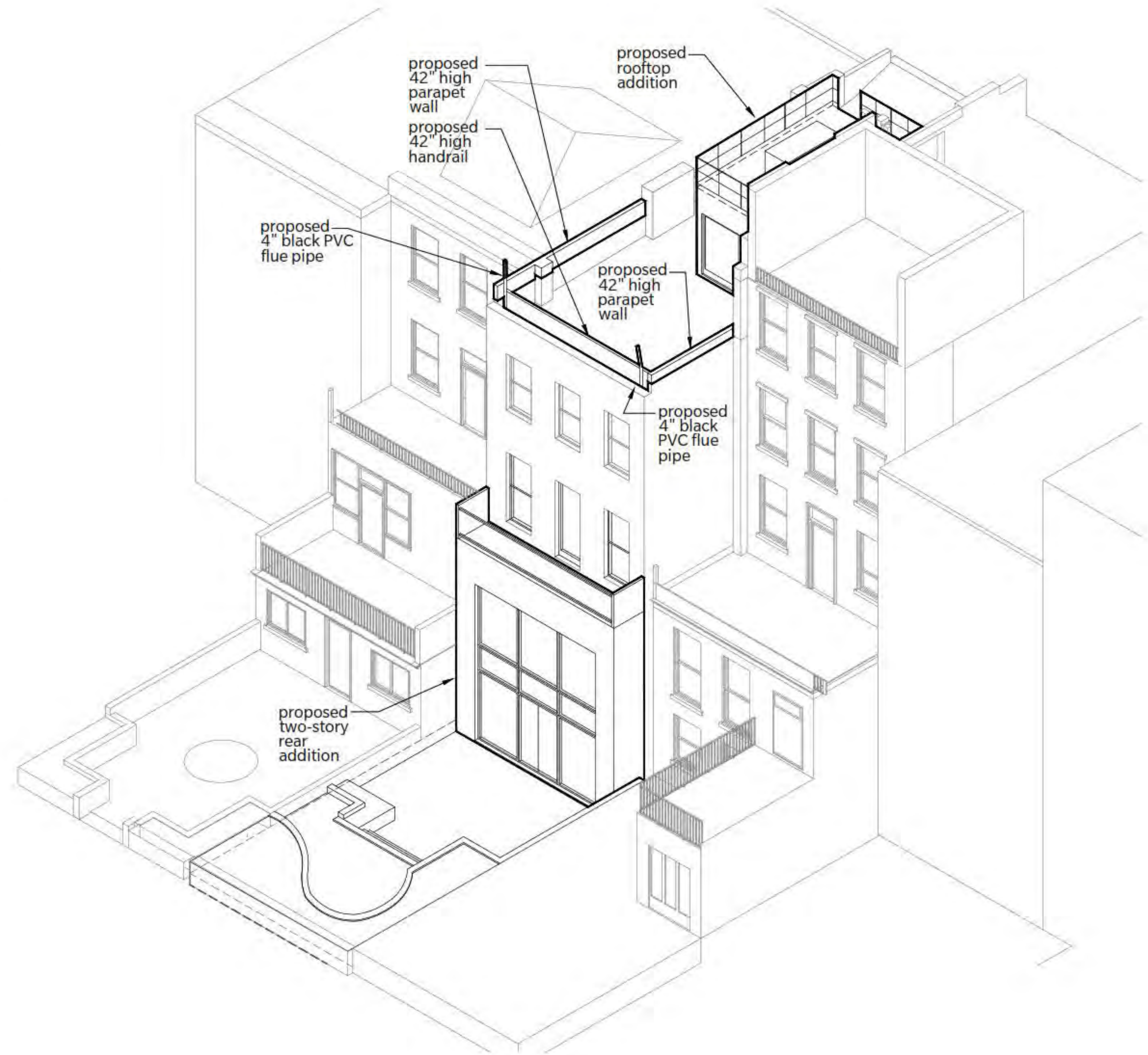
landmarks preservation commission review



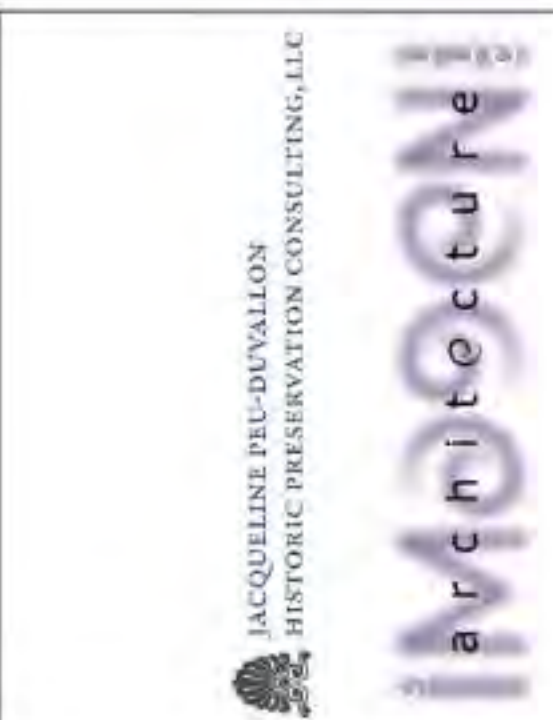
**ARCHITECTURAL DRAWINGS**  
**EXISTING & PROPOSED REAR AXONOMETRIC DIAGRAM**



**EXISTING REAR AXONOMETRIC VIEW**  
 NOT TO SCALE (1/8" = 1'-0" on D size paper)



**PROPOSED REAR AXONOMETRIC VIEW**  
 NOT TO SCALE (1/8" = 1'-0" on D size paper)



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**REAR FACADE**  
EXISTING CONDITIONS OF REAR FACADE



PHOTO OF REAR FACADE - 119 W 11TH ST  
(DATE OF PHOTO 07/22/19)  
NOT TO SCALE



PHOTO OF REAR FACADE - 121 W 11TH ST  
(DATE OF PHOTO 07/22/19)  
NOT TO SCALE



PHOTO OF REAR FACADE - 123 W 11TH ST  
(DATE OF PHOTO 07/22/19)  
NOT TO SCALE



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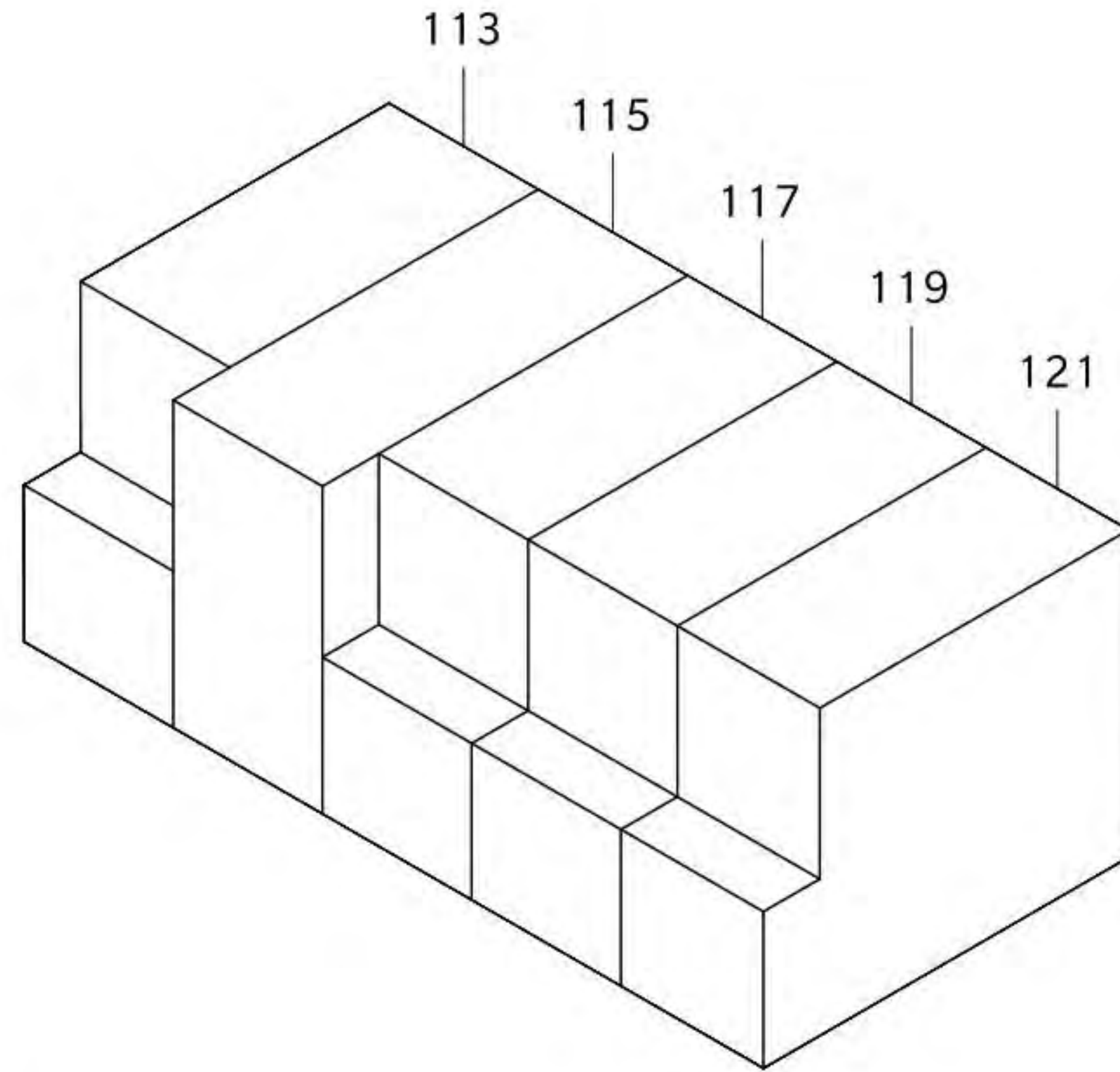


# SITE EVOLUTION

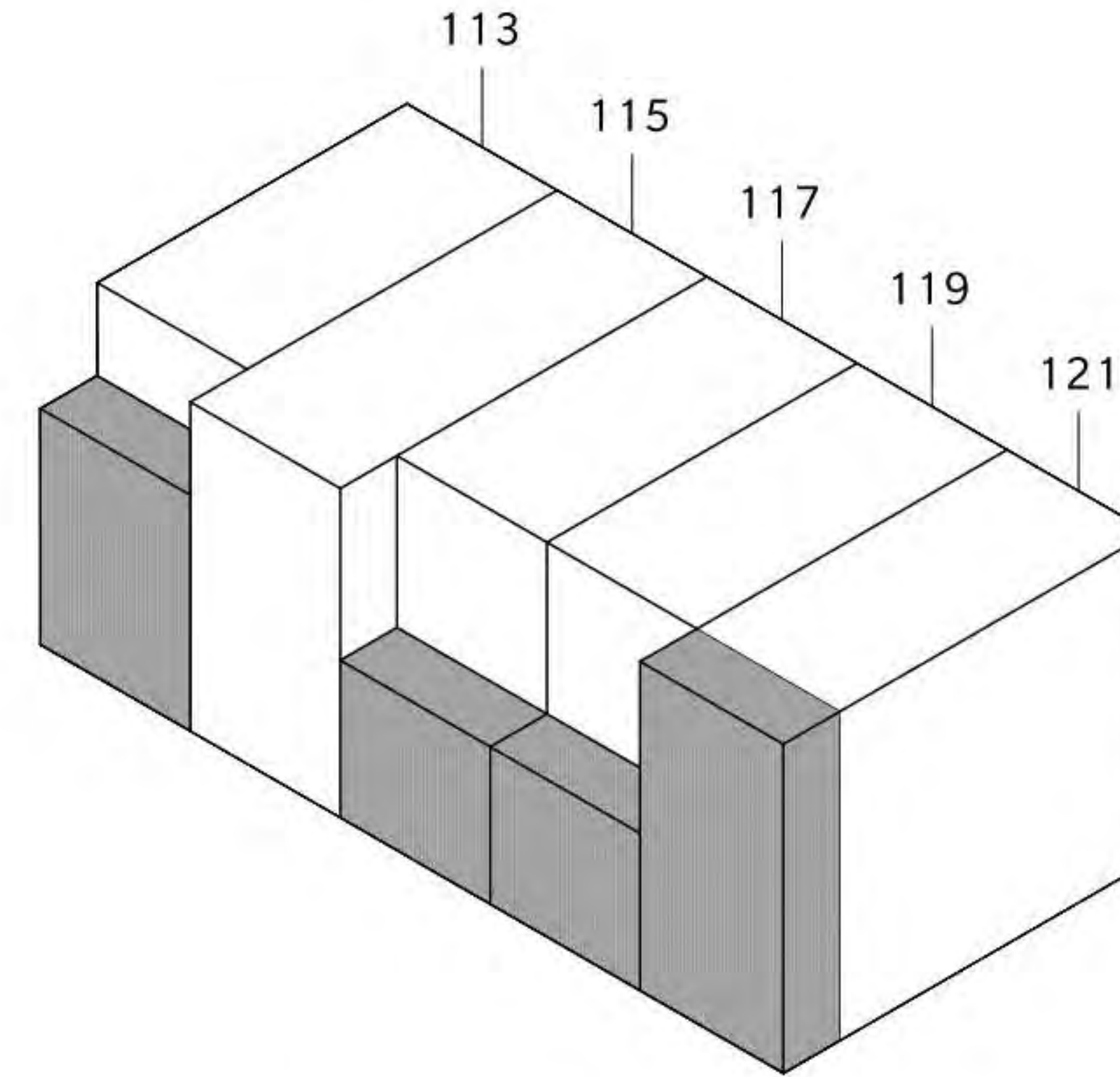
## HISTORIC REAR AND ROOF ADDITIONS #113-121



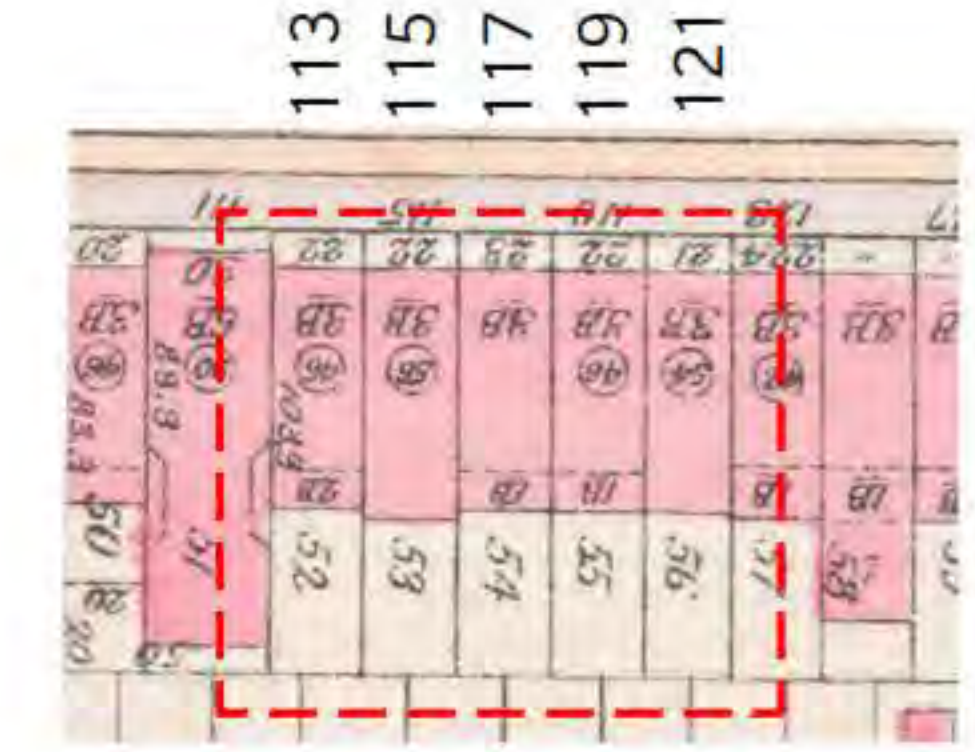
1891 BROMLEY ATLAS



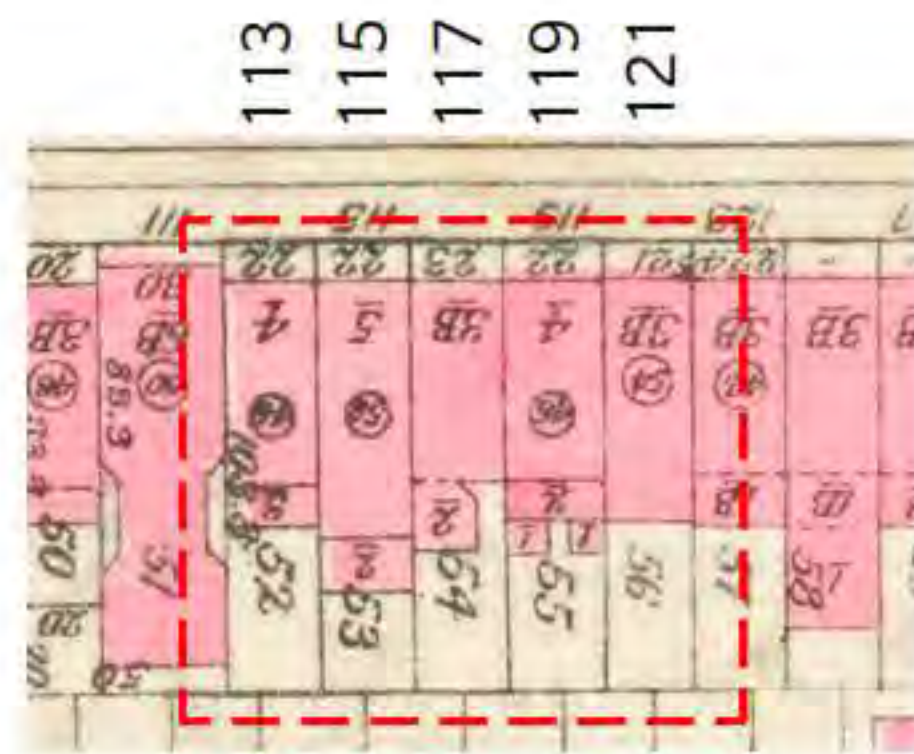
1891 AXONOMETRIC REAR VIEW #113-121  
NOT TO SCALE (1/16" = 1'-0" on D size paper)



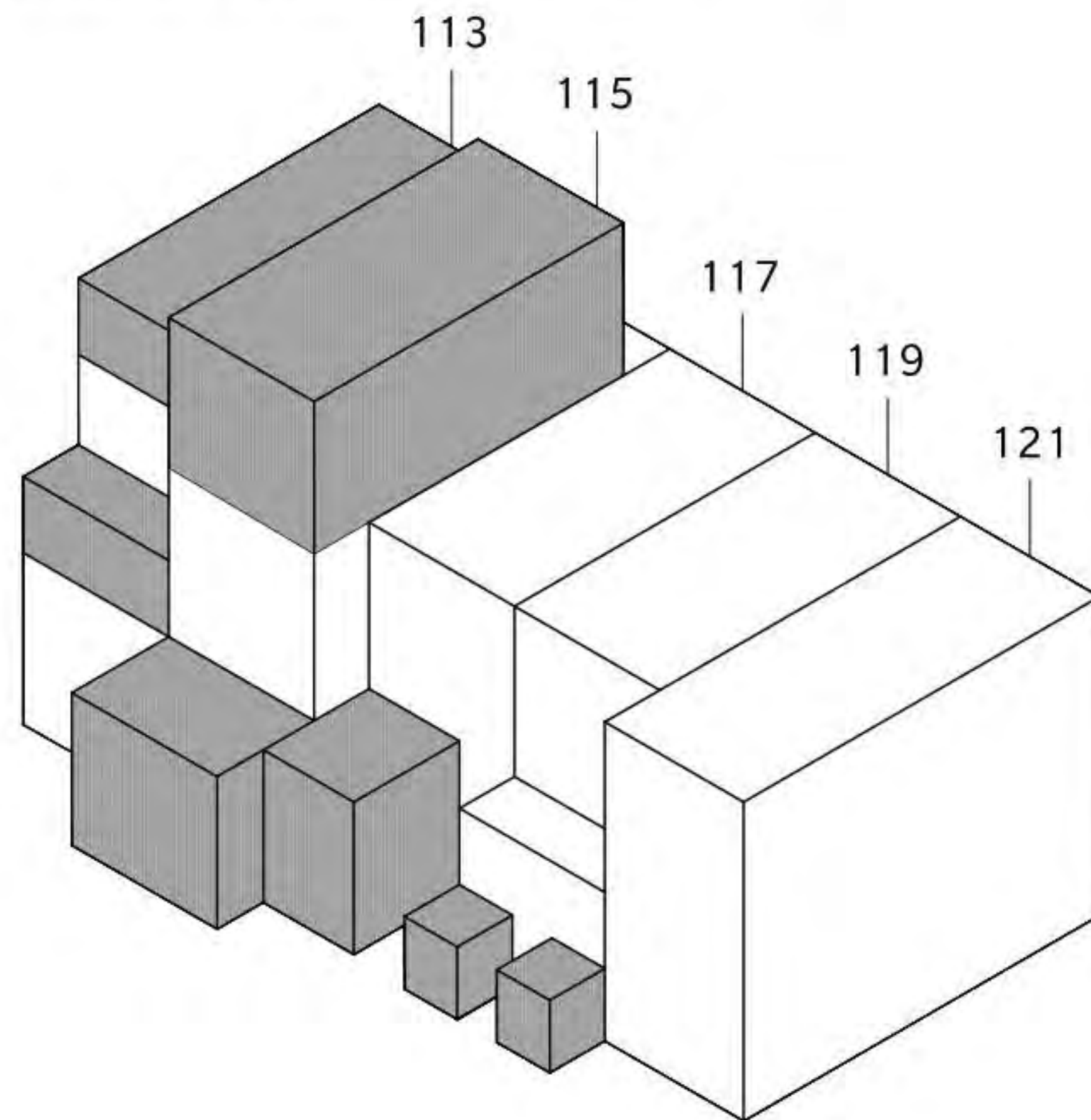
1916 AXONOMETRIC REAR VIEW #113-121  
NOT TO SCALE (1/16" = 1'-0" on D size paper)



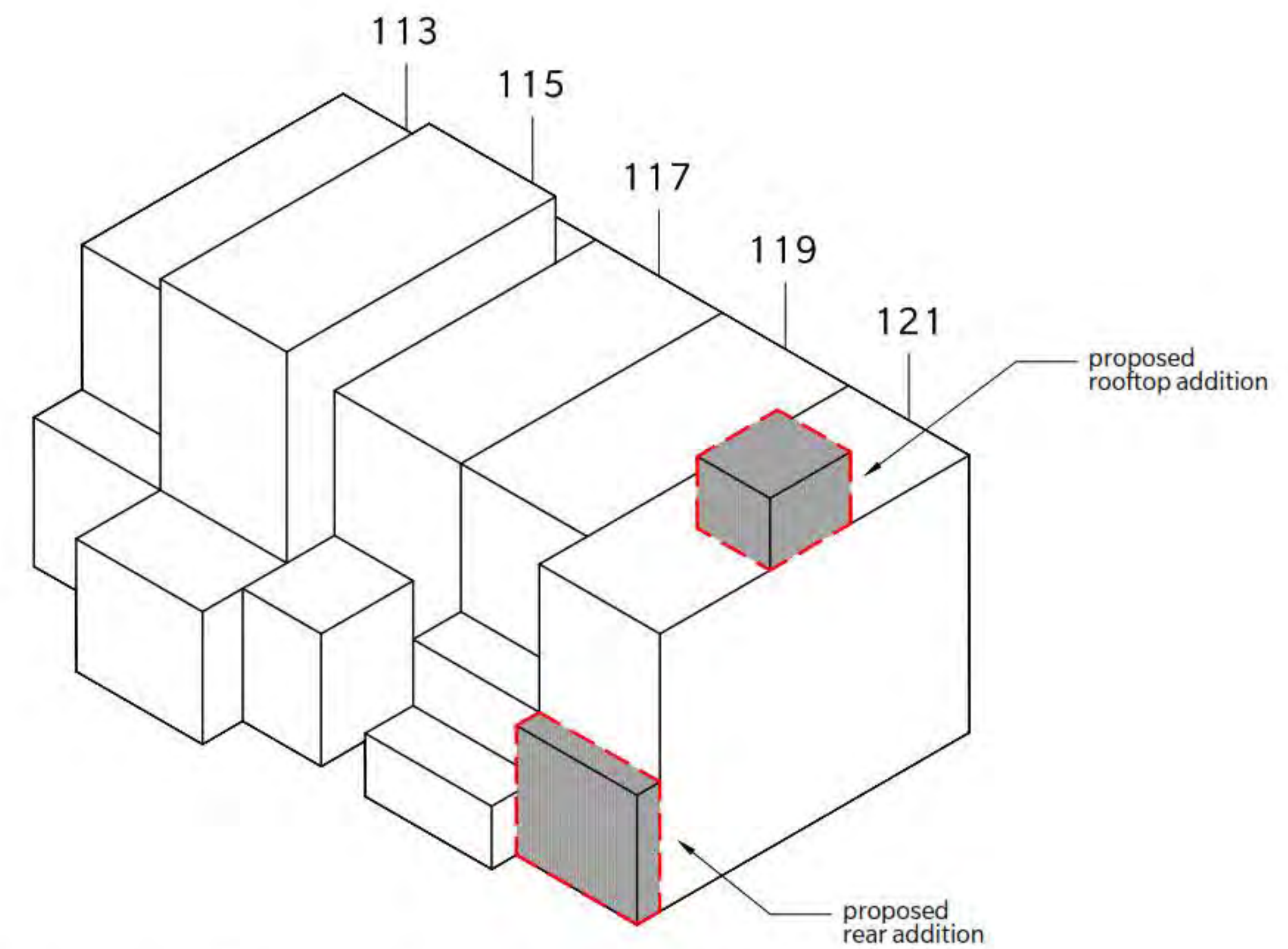
1916 BROMLEY ATLAS



1930 BROMLEY ATLAS



1930 AXONOMETRIC REAR VIEW #113-121  
NOT TO SCALE (1/16" = 1'-0" on D size paper)

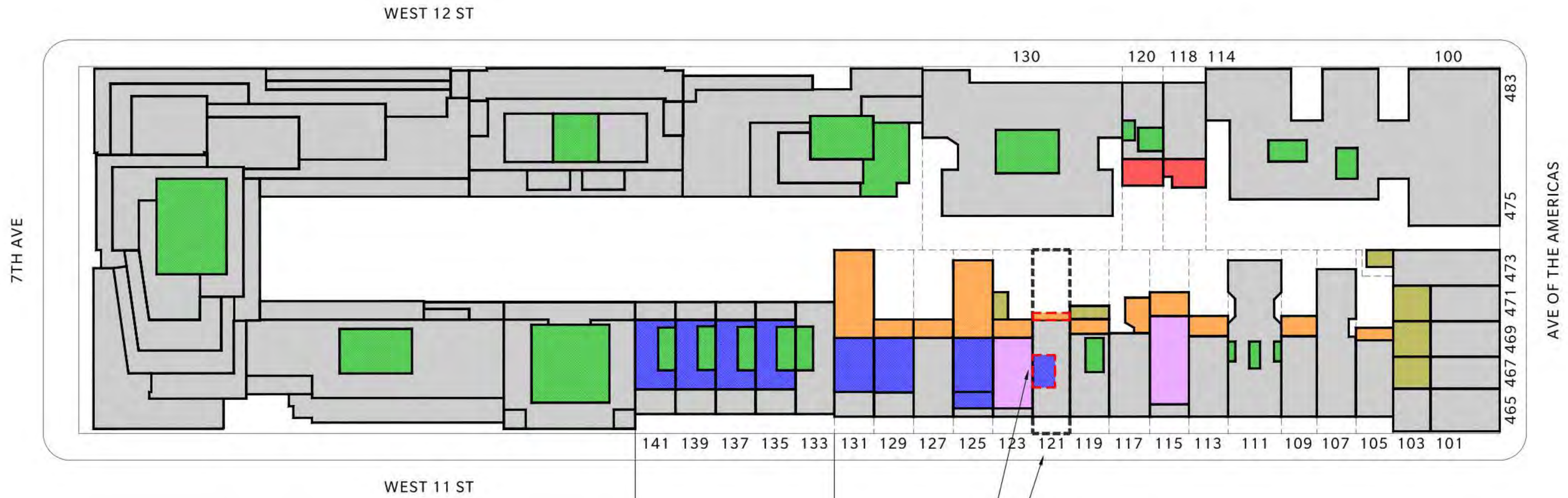


PROPOSED AXONOMETRIC REAR VIEW #113-121  
NOT TO SCALE (1/16" = 1'-0" on D size paper)

  
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**22 of 32**



# BLOCK PLAN



## PROPOSED BLOCK PLAN

NOT TO SCALE (1" = 30' on D size paper)

information on this block plan has been taken from <http://www.maps.nyc.gov/taxmap>

NEW CONSTRUCTION  
POST-DESIGNATION (2013)

121 W 11TH STREET  
2-STORY REAR ADDITION AND  
1-STORY PENTHOUSE ADDITION  
TOP OF PENTHOUSE PARAPET AT 80.19' ELEVATION

123 W 11TH STREET  
TOP OF TALLEST FREESTANDING  
MASONRY WALL AT 85.9' ELEVATION

## LEGEND



IMAGEN architecture  
 ARCHITECTS & ASSOCIATES  
 HISTORIC PRESERVATION CONSULTING, LLC  
 JACQUELINE BIL-DUVALLOX

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**23 of 32**



# REAR ELEVATION

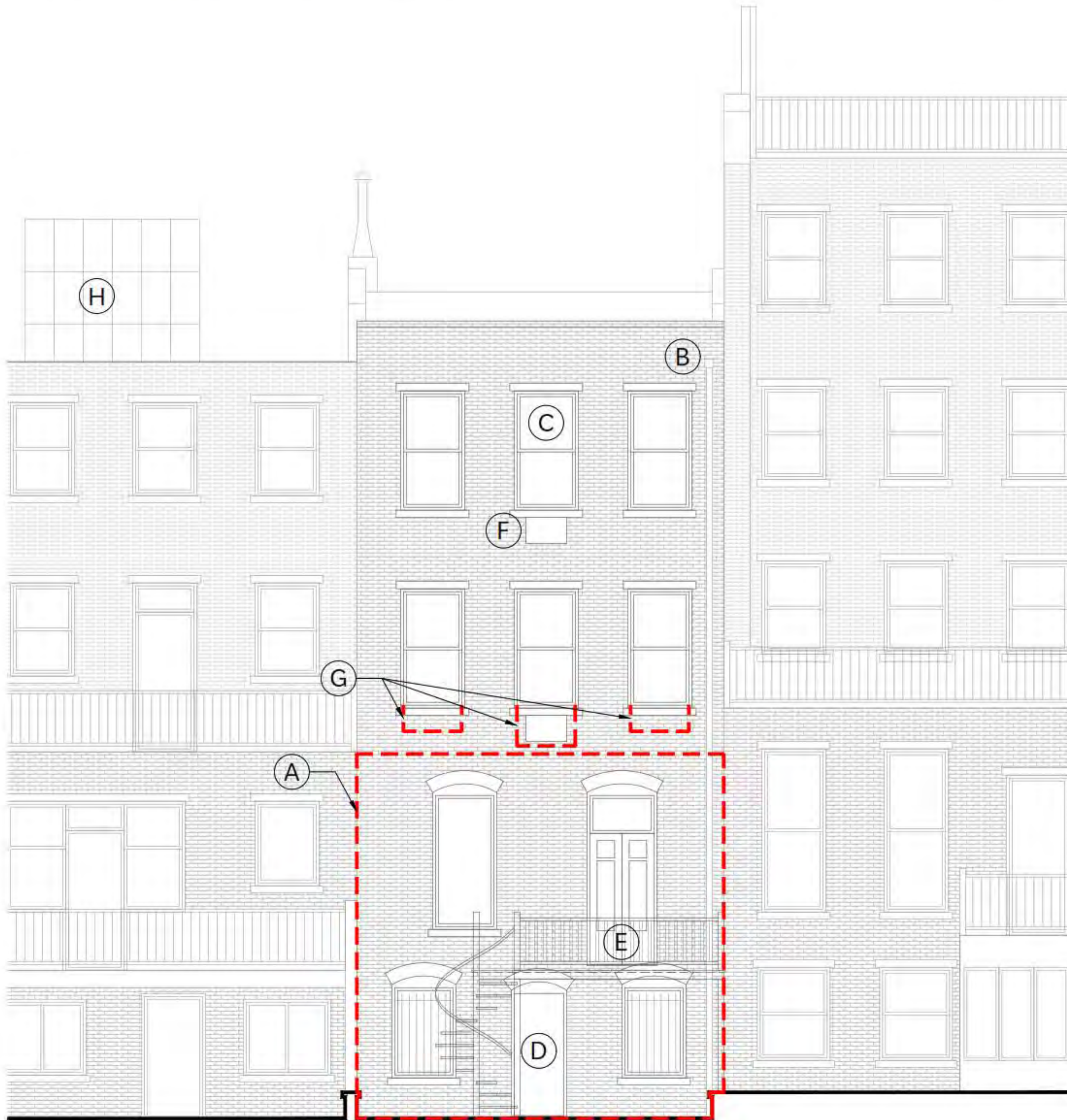
## EXISTING & PROPOSED REAR ELEVATIONS

### DEMOLITION SCOPE OF WORK

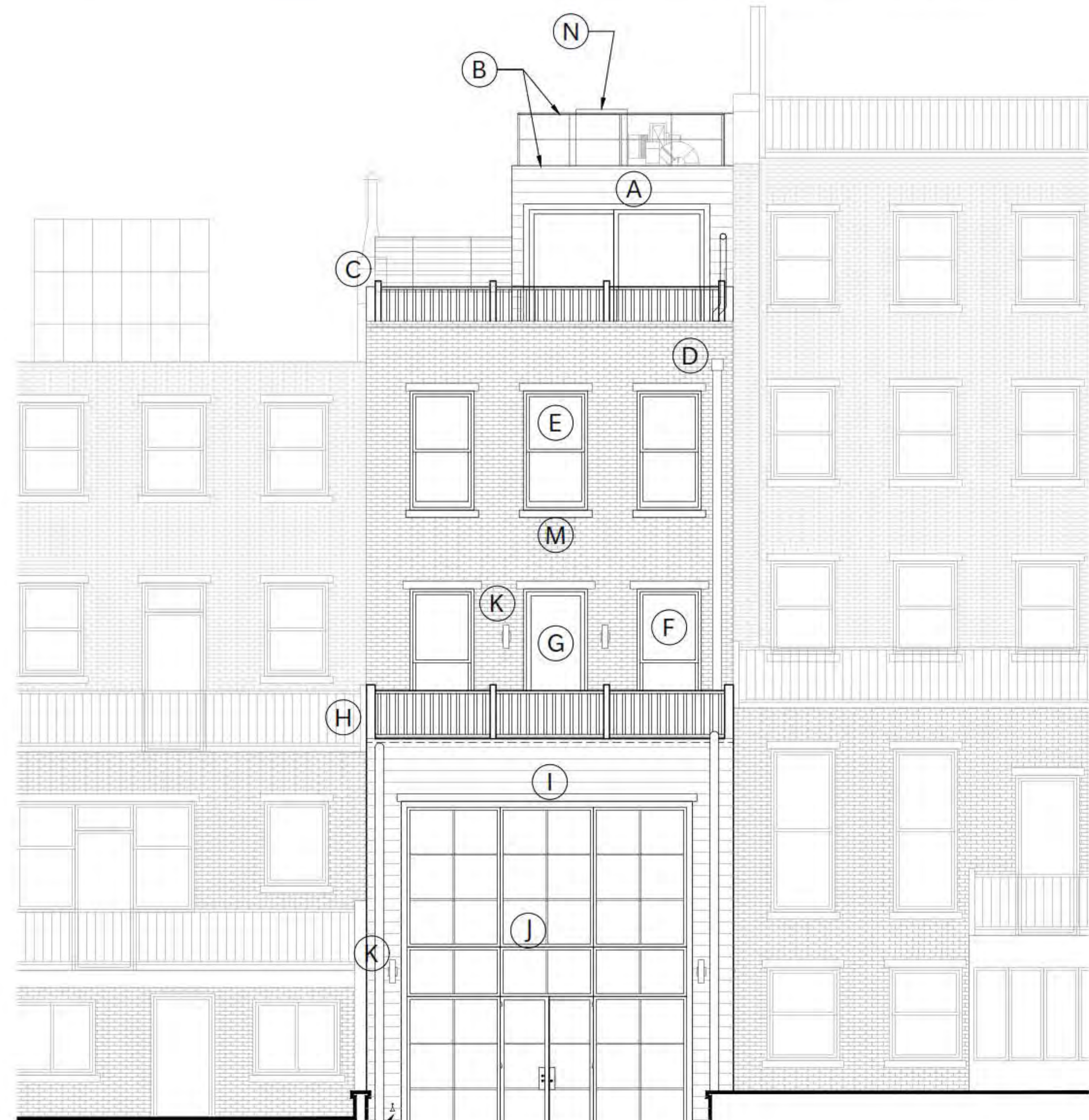
- A. rear masonry wall within dashed line is proposed to be removed. refer to structural drawings by others for demolition sequence. existing rear masonry wall outside of dashed line to remain.
- B. existing scupper to remain
- C. remove existing wood windows, typical
- D. remove existing rear doors, typical
- E. remove existing metal terrace and spiral stairs
- F. remove existing ac unit
- G. lower existing window sills
- H. existing sloping skylight structure over #119

### PROPOSED SCOPE OF WORK (REAR ELEVATION)

- A. new frame penthouse addition.
- B. new 36 inch high metal cable guardrail and 6 inch high curb above roof of penthouse
- C. new 42 inch high minimum metal guardrail on roof
- D. new downspouts, typical
- E. new wood windows to replace existing in kind, typical
- F. new enlarged wood windows on second floor as shown
- G. new wood door unit on second floor as shown
- H. new 42 inch minimum high metal guardrail on terrace
- I. new two story rear addition
- J. new two-story steel framed combination window unit with outswing double leaf doors. horizontal center transom to suggest line of existing first floor behind it
- K. new light fixtures
- L. new hose bib
- M. seal ac unit opening with existing bricks from removed portal below
- N. new mechanical equipment



**EXISTING REAR ELEVATION**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)



**PROPOSED REAR ELEVATION**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)



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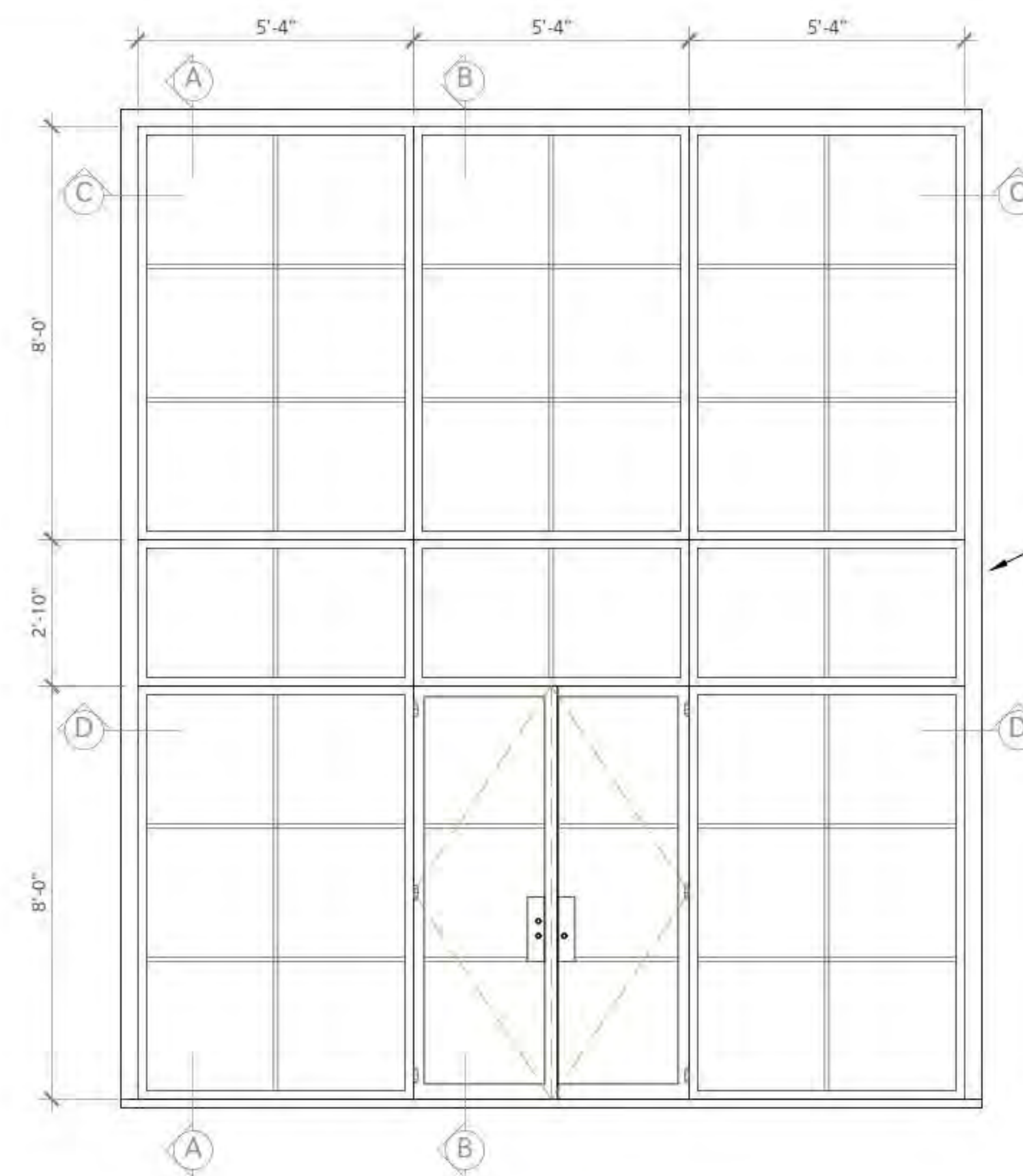
CB hearing date  
**08-13-20** LPC hearing date  
**TBD**

landmarks preservation commission review  
**24 of 32**



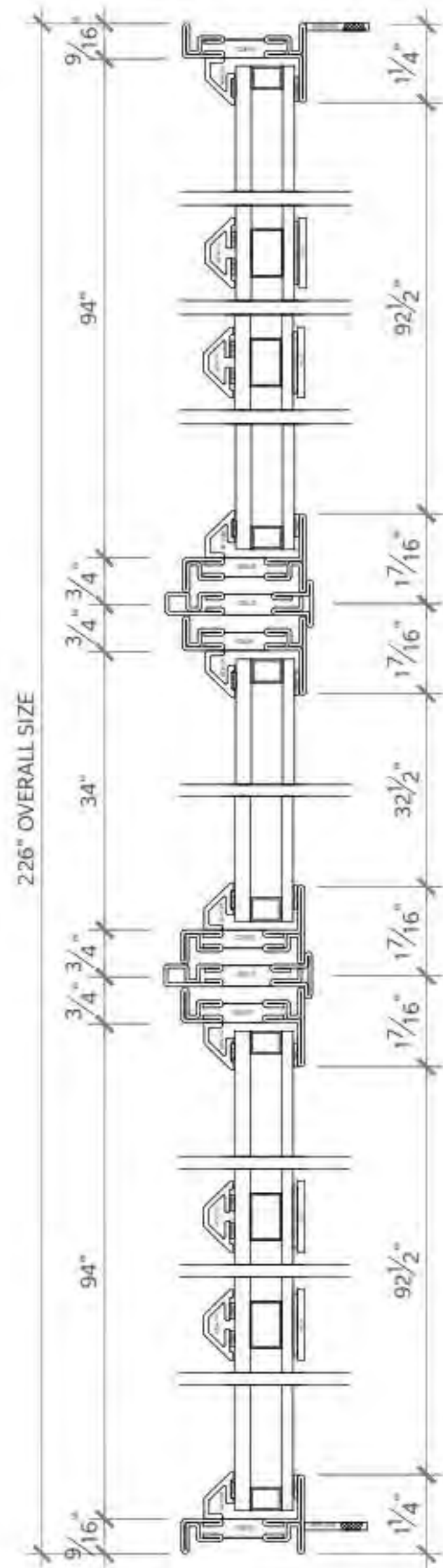
# REAR DOOR/WINDOW DETAILS

PROPOSED PLANS, SECTIONS AND DETAILS

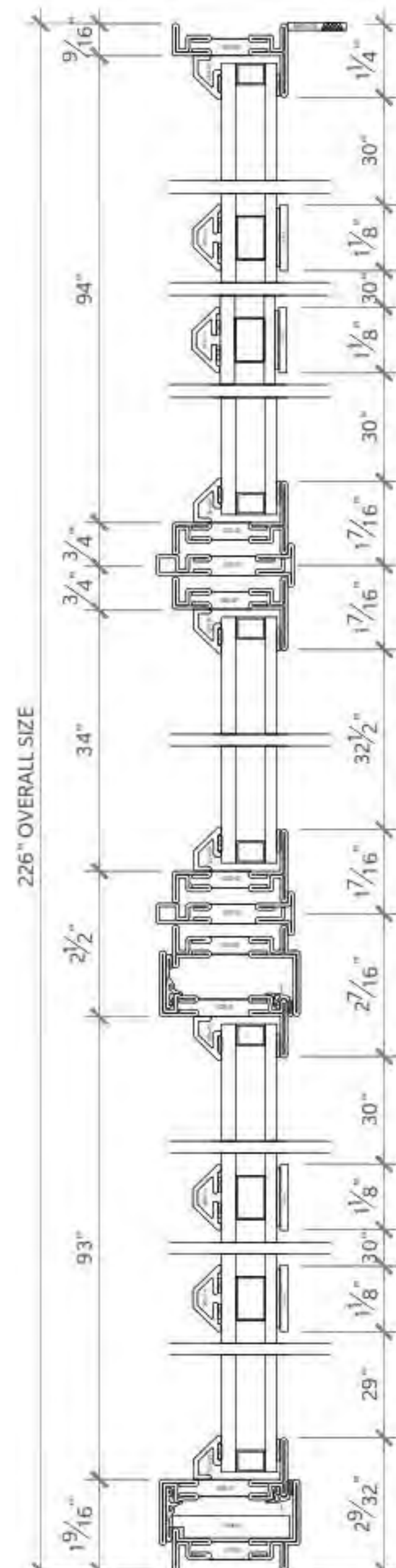


**PROPOSED ELEVATION**  
**REAR TWO-STORY STEEL-FRAMED**  
**COMBINATION WINDOW UNIT**  
**WITH OUTSWING DOUBLE LEAF DOORS**  
 NOT TO SCALE (1/2" = 1'-0" on D size paper)

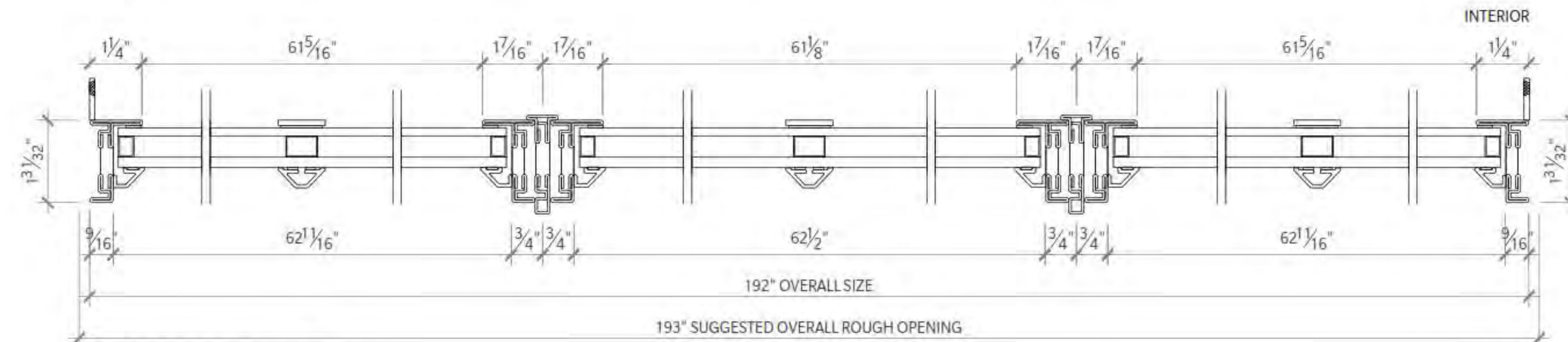
proposed horizontal center transom to suggest line of the existing first floor behind it



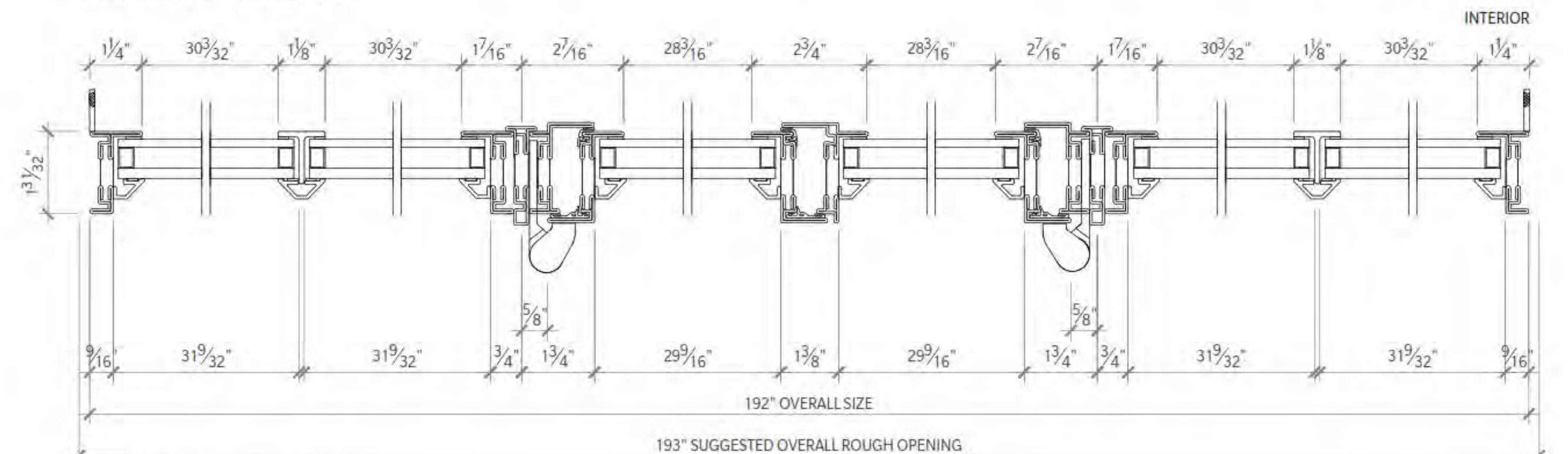
**PROPOSED SECTION 'A'**  
 NOT TO SCALE (6" = 1'-0" on D size paper)



**PROPOSED SECTION 'B'**  
 NOT TO SCALE (6" = 1'-0" on D size paper)



**PROPOSED PLAN 'C'**  
 NOT TO SCALE (6" = 1'-0" on D size paper)



**PROPOSED PLAN 'D'**  
 NOT TO SCALE (6" = 1'-0" on D size paper)

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# BASEMENT AND REAR YARD

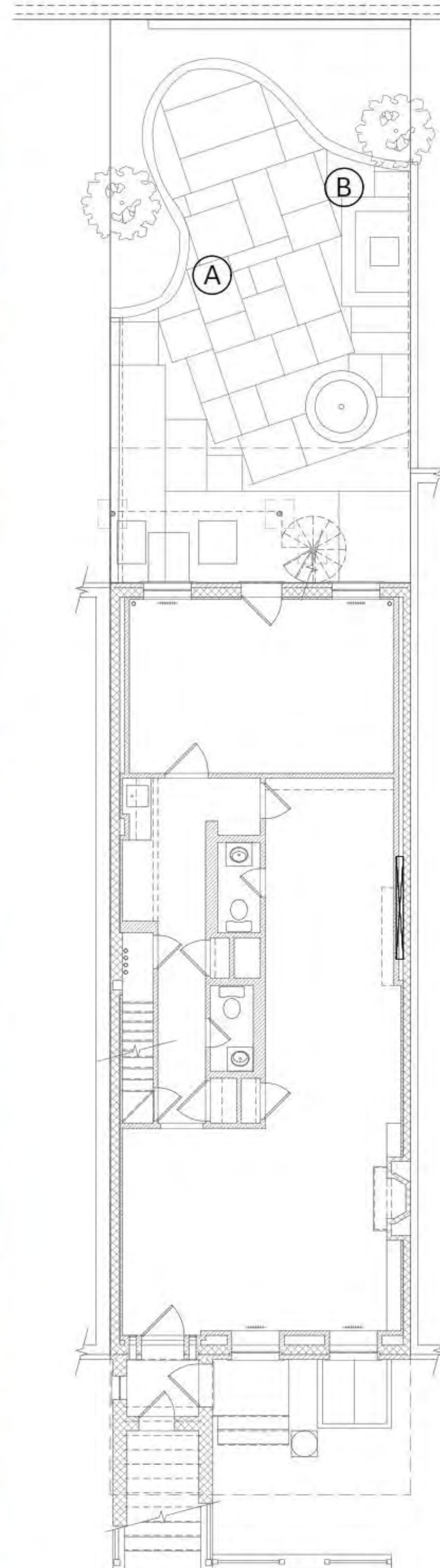
## EXISTING & PROPOSED PLANS



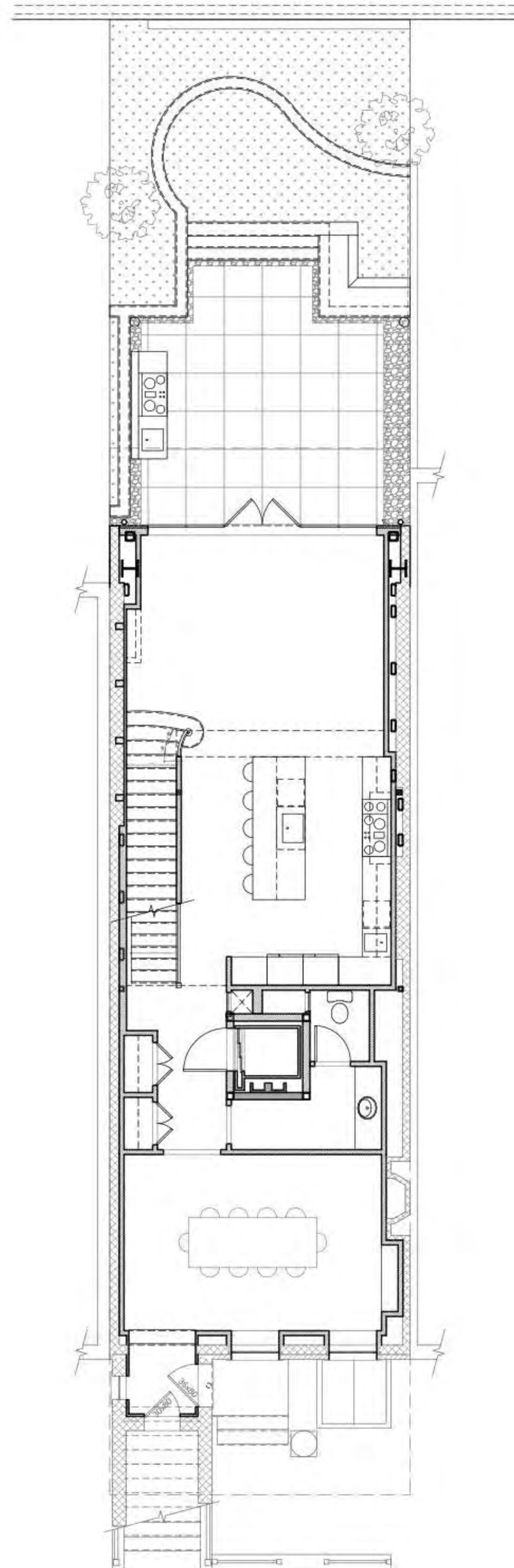
PHOTO OF REAR YARD FROM METAL TERRACE  
(DATE OF PHOTO 03/03/20)  
NOT TO SCALE



PHOTO OF REAR YARD FROM ROOF  
(DATE OF PHOTO 11/20/18)  
NOT TO SCALE



EXISTING BASEMENT PLAN  
NOT TO SCALE (3/16" = 1'-0" on D size paper)



PROPOSED BASEMENT PLAN  
NOT TO SCALE (3/16" = 1'-0" on D size paper)



PHOTO OF TREE ROOT EXCAVATION 'A'  
(DATE OF PHOTO 06/30/20)  
NOT TO SCALE



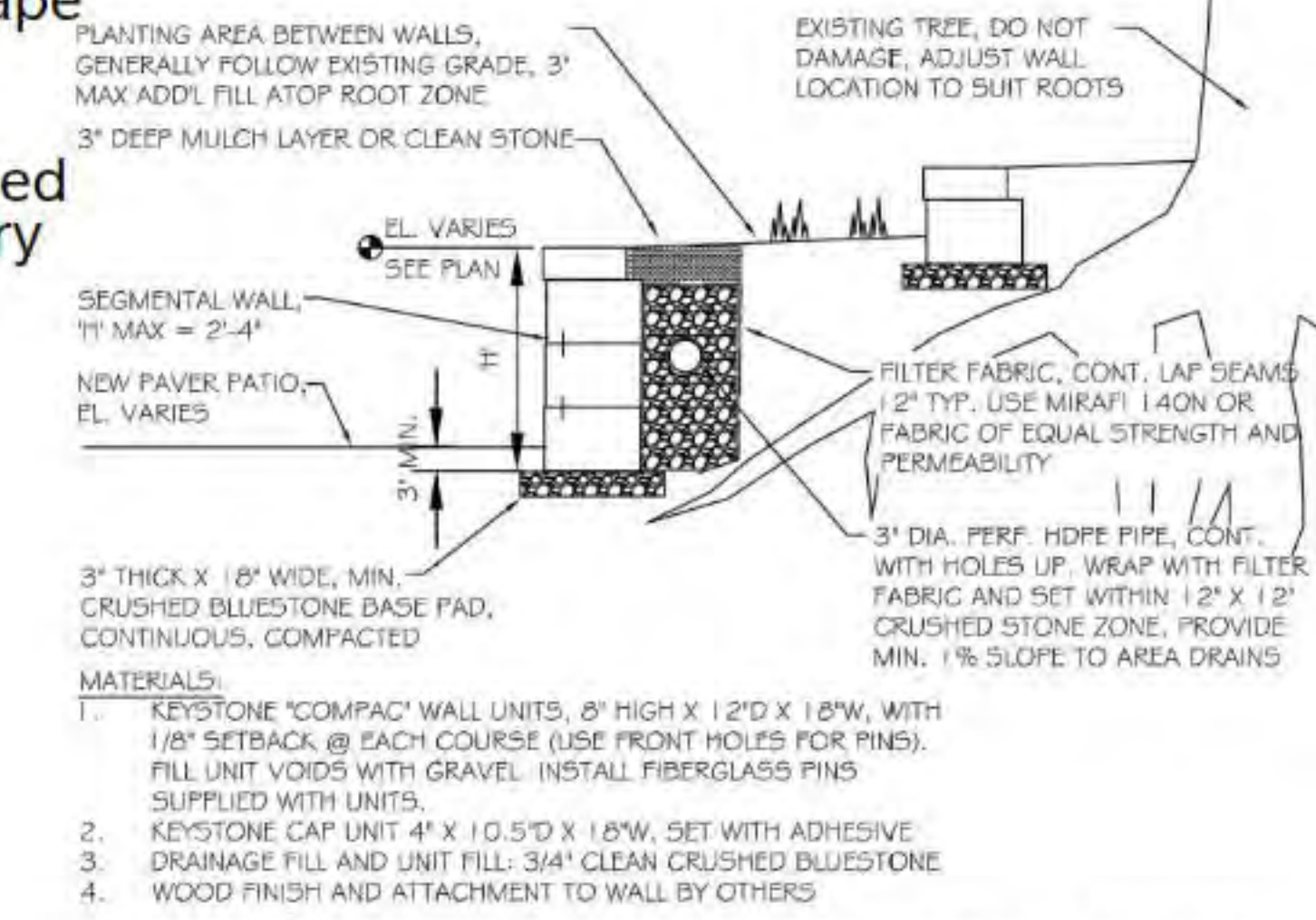
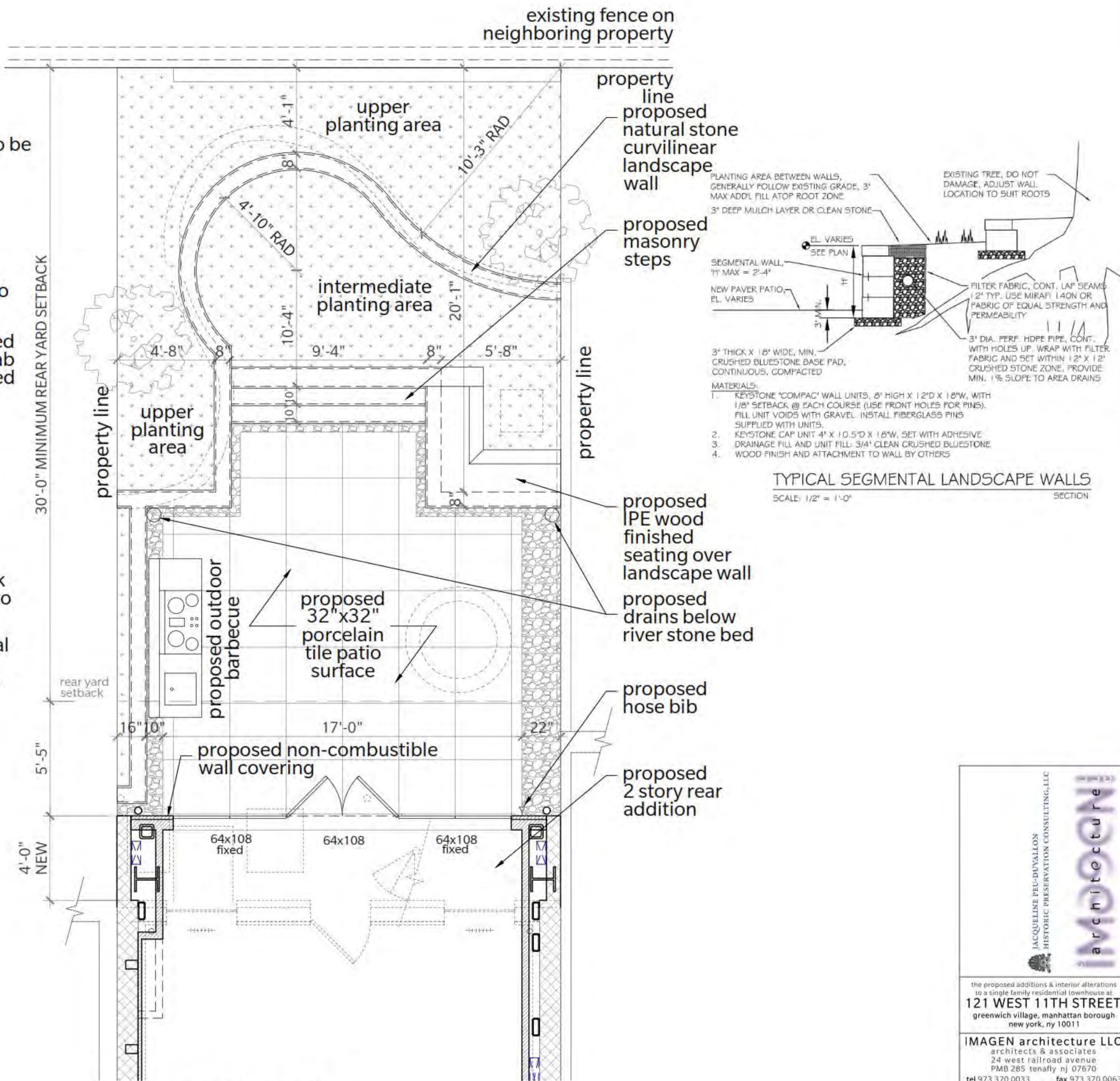
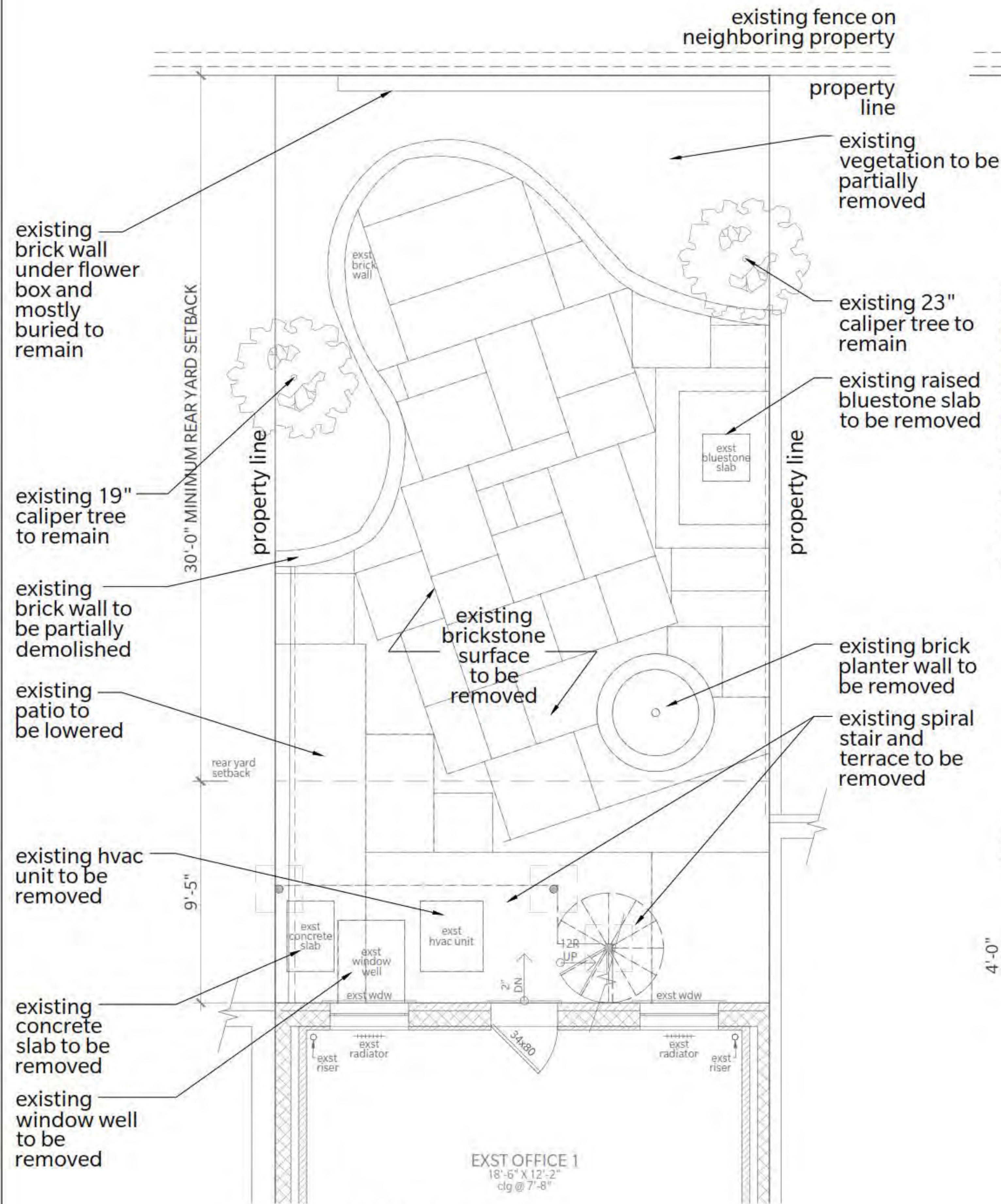
PHOTO OF TREE ROOT EXCAVATION 'B'  
(DATE OF PHOTO 06/30/20)  
NOT TO SCALE

  
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# REAR YARD

## EXISTING & PROPOSED REAR YARD PLANS



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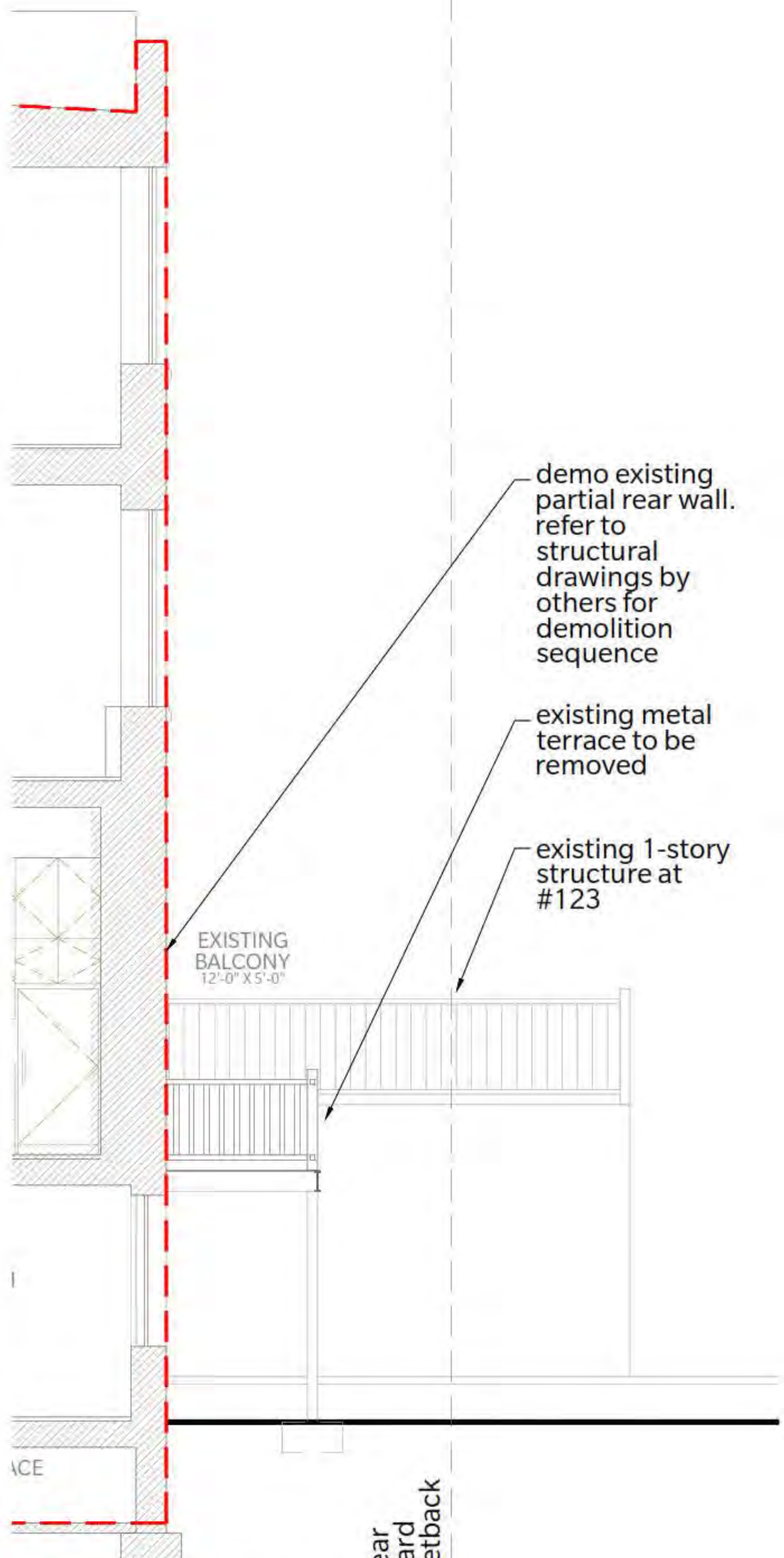
landmarks preservation commission review

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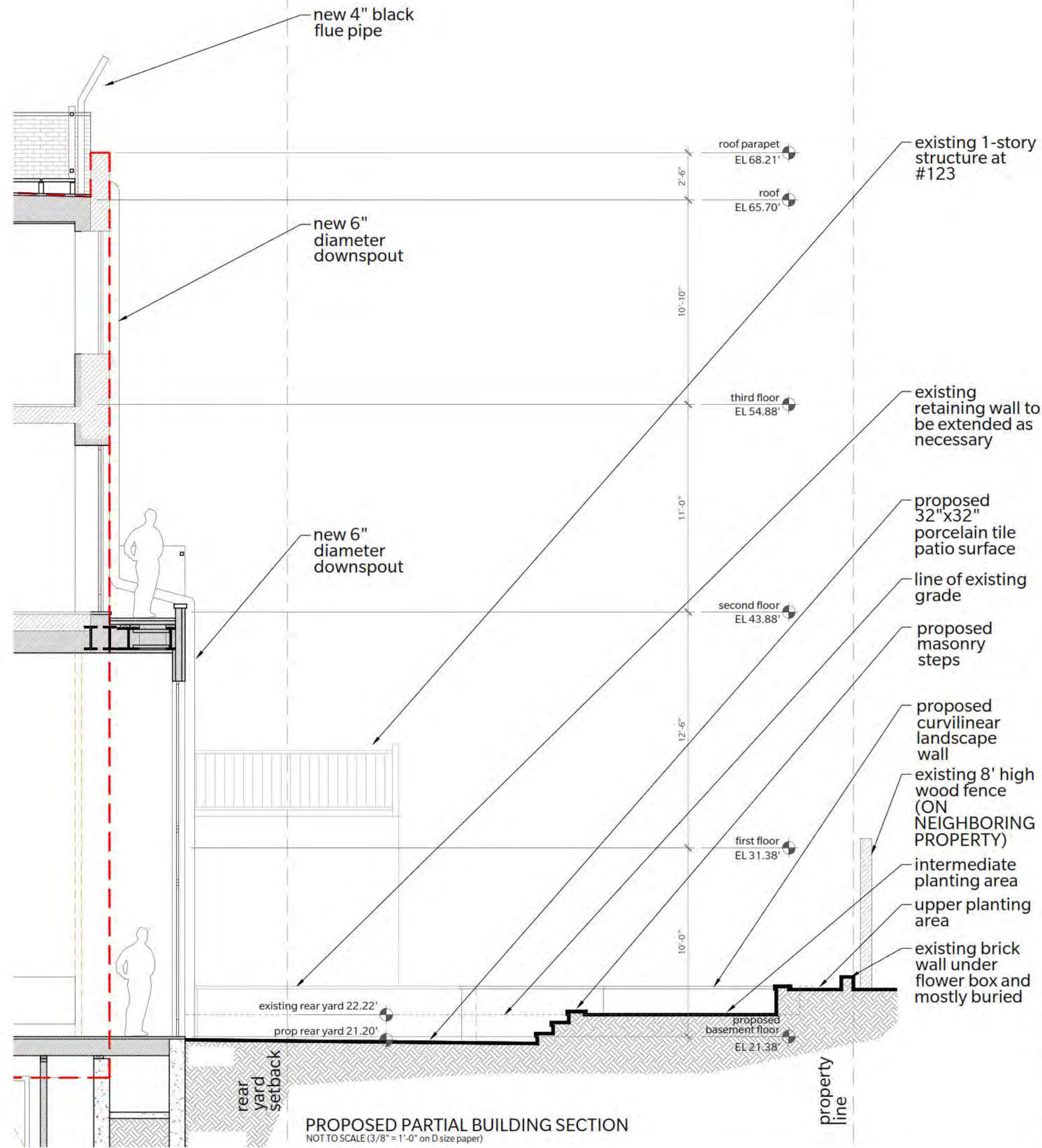


# REAR YARD

## EXISTING AND PROPOSED REAR YARD SECTIONS



**EXISTING PARTIAL BUILDING SECTION**  
NOT TO SCALE (3/8" = 1'-0" on D size paper)



**PROPOSED PARTIAL BUILDING SECTION**  
NOT TO SCALE (3/8" = 1'-0" on D size paper)

**LEGEND**

--- line of existing building envelope

**IMAGEN** architecture  
architects & associates  
HISTORIC PRESERVATION CONSULTING, LLC

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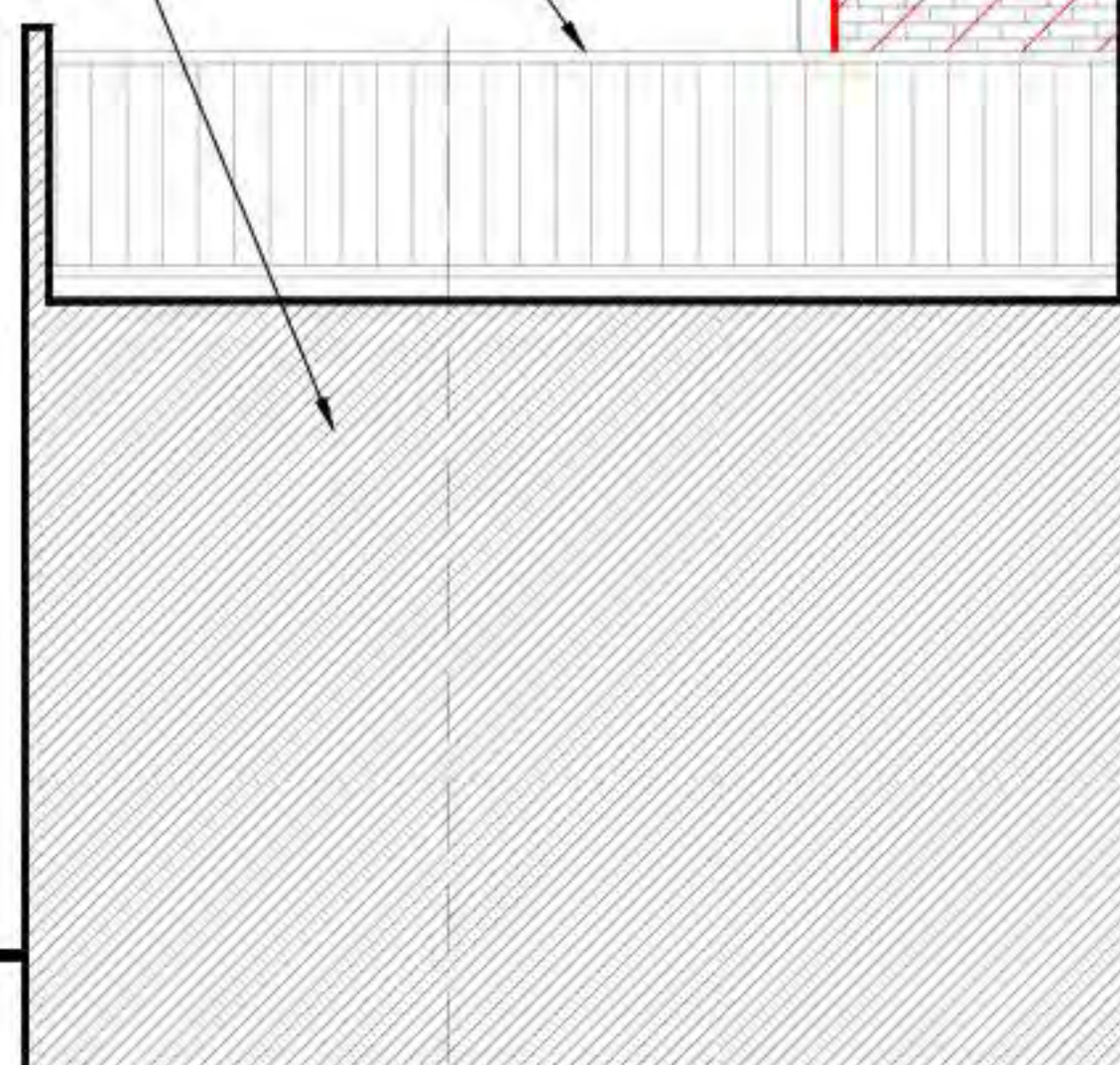


# REAR YARD SECTION VIEWS

PROPOSED VIEWS FROM #119 AND #123

rear yard setback

- proposed true brick with common bond pattern masonry parapet extension at #121 (for fire-code compliance)
- existing building at #121
- proposed downspout at #121
- exst parapet at #123
- proposed true brick with common bond pattern rear addition at #121
- proposed downspout at #121
- existing railing at #123
- existing 1-story structure at #123

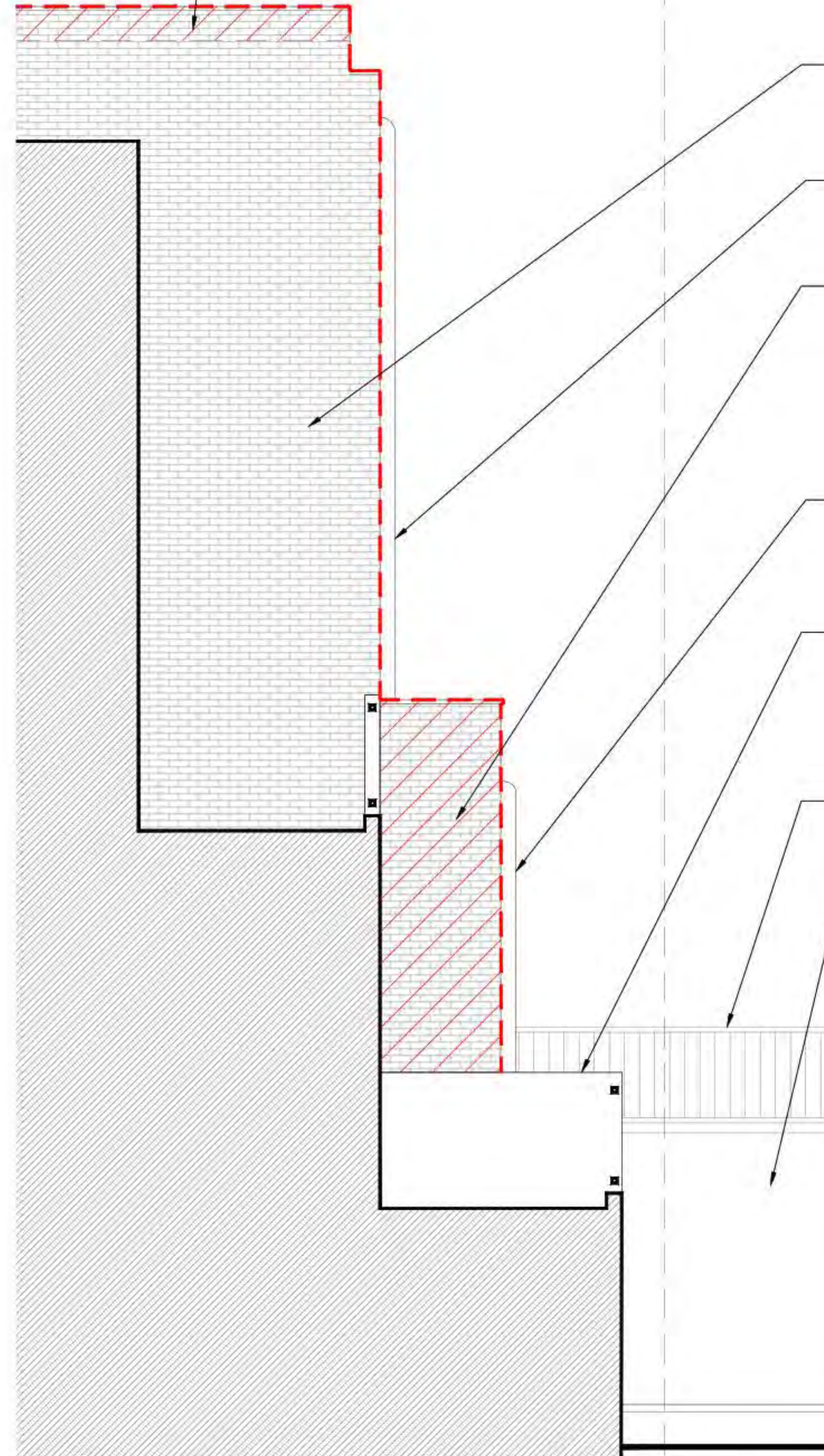


PROPOSED SECTION THROUGH #123 'A'  
NOT TO SCALE (3/8" = 1'-0" on D size paper)

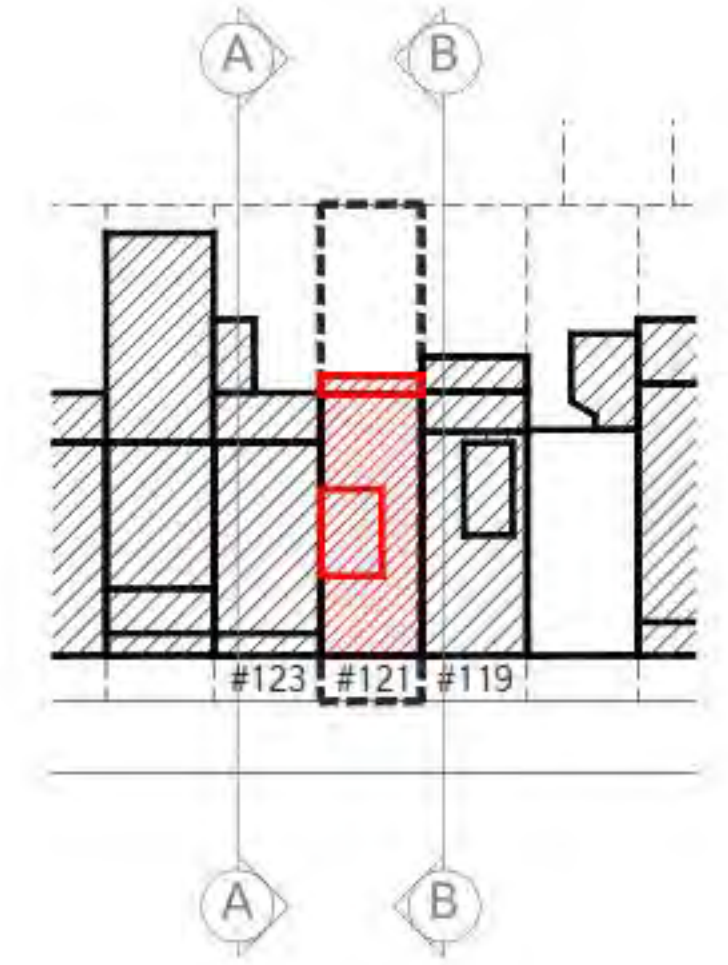
proposed true brick with common bond pattern masonry parapet extension at #121 (for fire-code compliance)

rear yard setback

- existing building at #121
- proposed downspout at #121
- proposed true brick with common bond pattern rear addition at #121
- proposed downspout at #121
- exst parapet at #119
- existing railing at #123
- existing 1-story structure at #123



PROPOSED SECTION THROUGH #119 'B'  
NOT TO SCALE (3/8" = 1'-0" on D size paper)

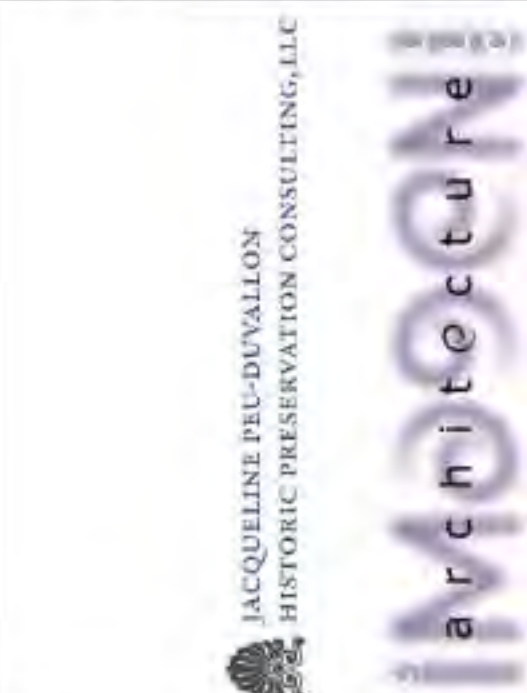


## LEGEND

--- line of #121 building envelope

existing structure at #121

proposed addition at #121



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LPC hearing date  
TBD

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# REAR YARD

## EXISTING AND PROPOSED REAR YARD PLANS

GRADE ELEVATION  
25.0 +/-

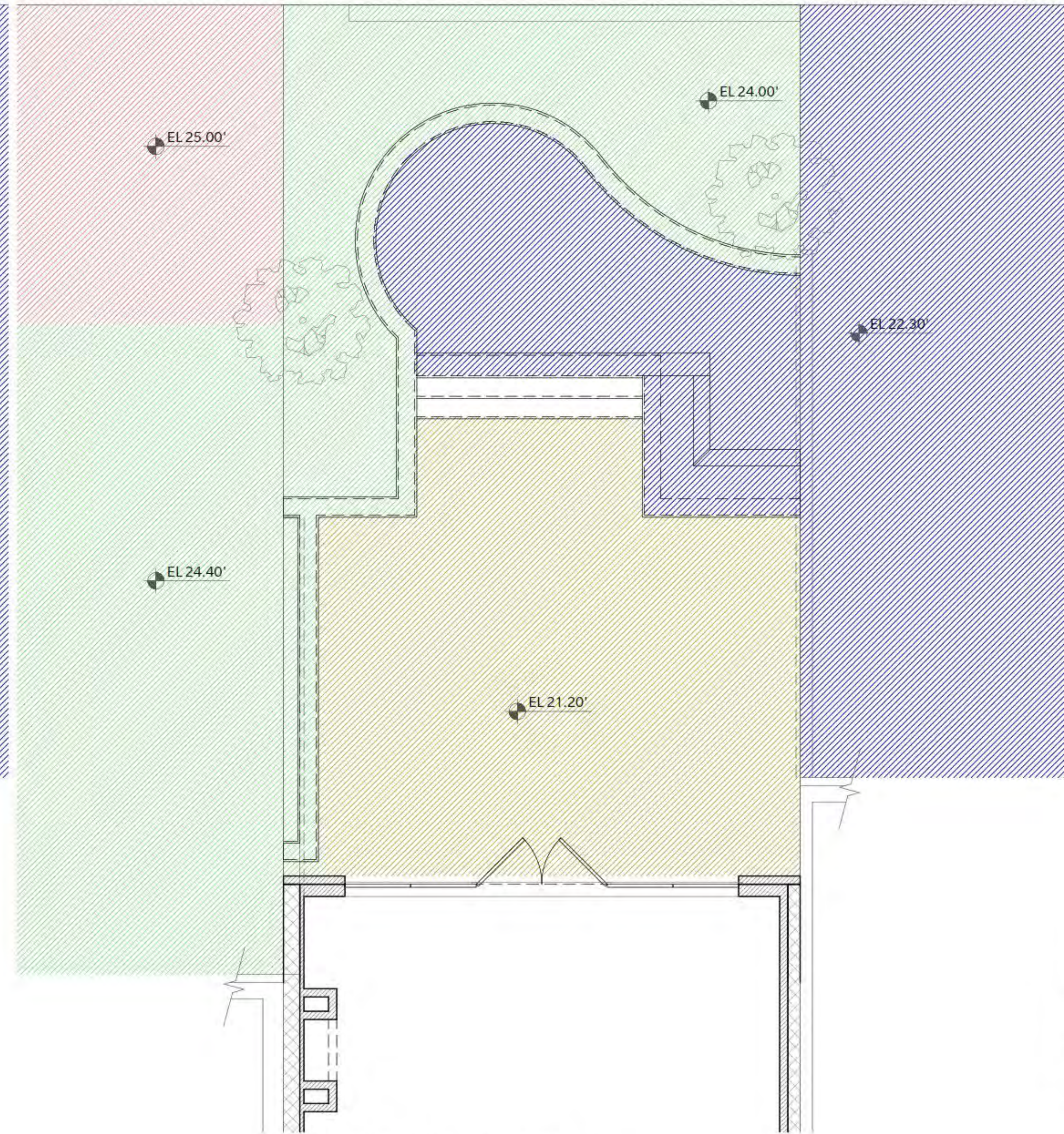
GRADE ELEVATION  
22.3 +/-

GRADE ELEVATION  
24.0 +/-

GRADE ELEVATION  
21.2 +/-



**EXISTING REAR YARD PLAN**  
NOT TO SCALE (3/8" = 1'-0" on D size paper)



**PROPOSED REAR YARD PLAN**  
NOT TO SCALE (3/8" = 1'-0" on D size paper)

IMAGEN  
architecture

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CB hearing date  
08-13-20

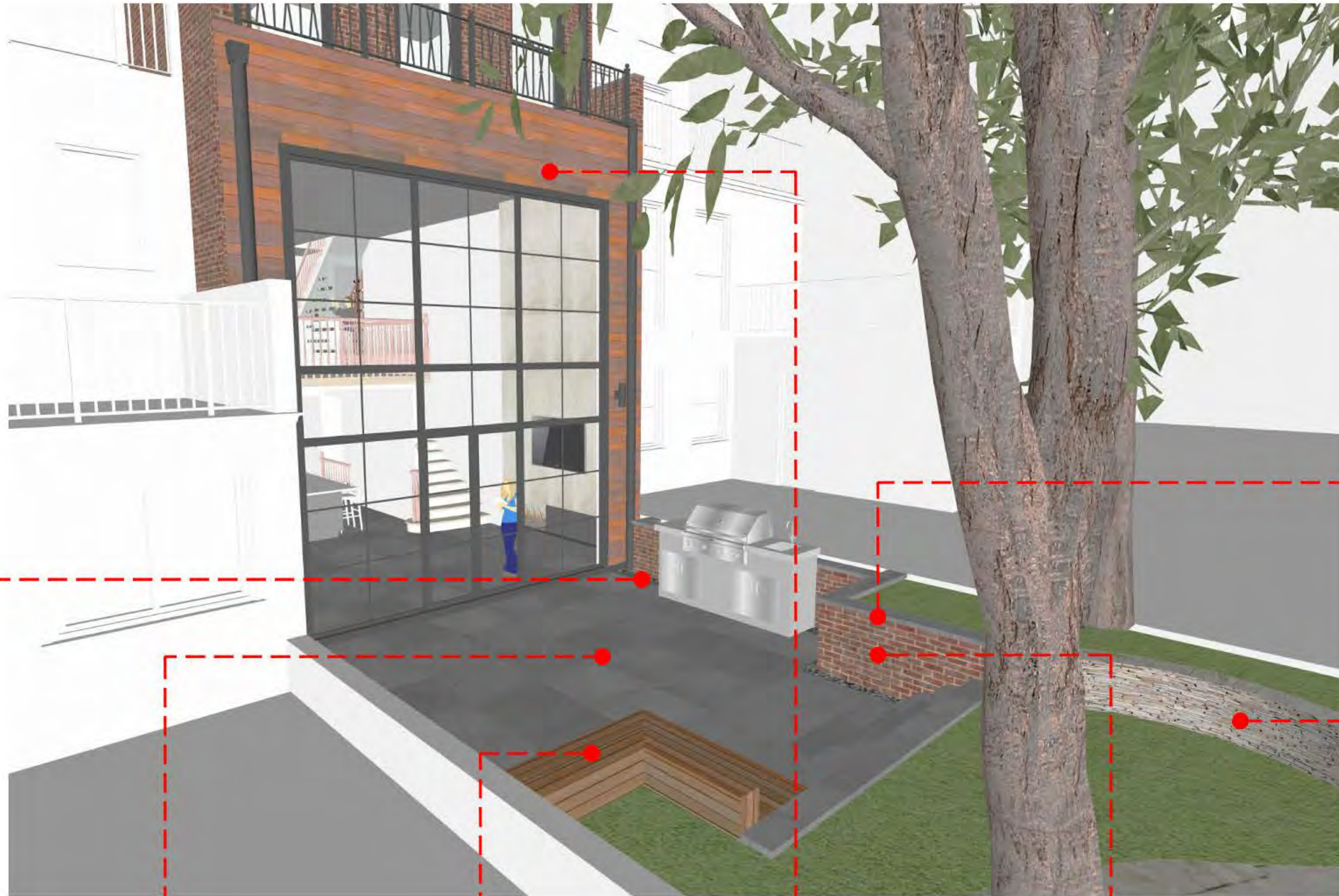
LPC hearing date  
TBD

landmarks preservation commission review



# REAR ADDITION AND REAR YARD

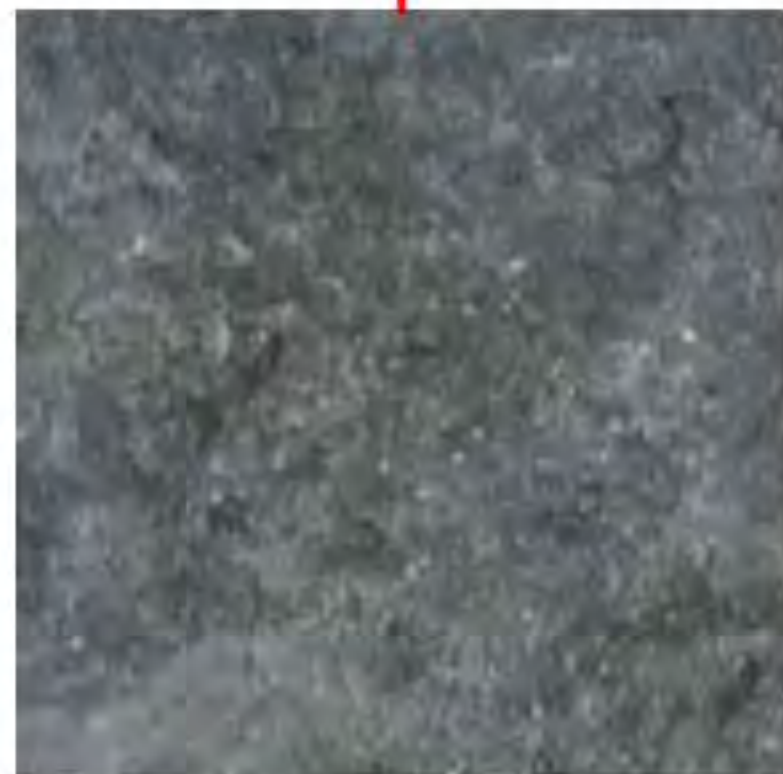
## PROPOSED MATERIAL SAMPLES



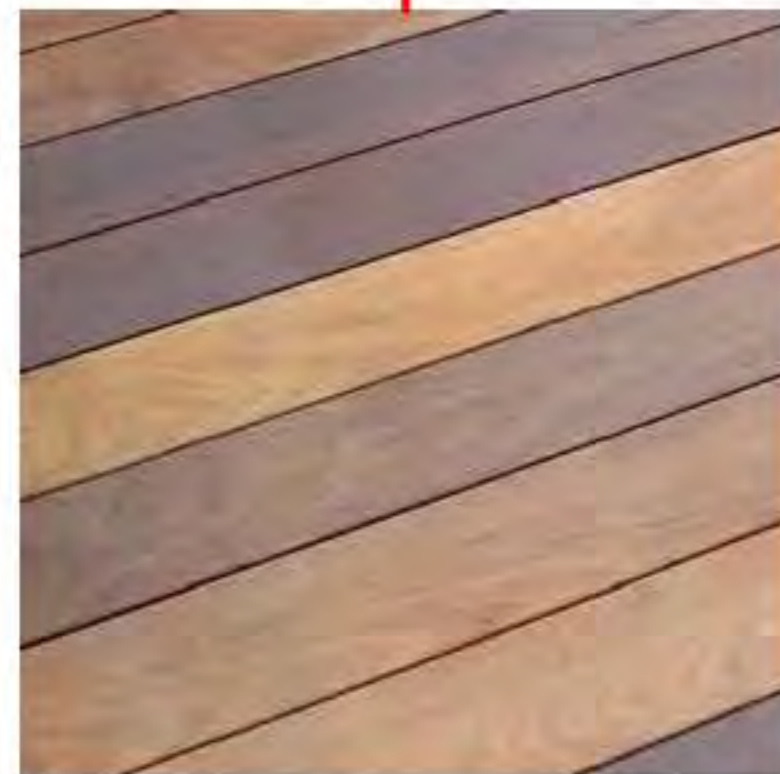
2" THICK NATURAL BLUESTONE CAP



GREY RIVER STONES



32"X32" PORCELAIN TILES



IPE WOOD FOR BENCHES



NON-COMBUSTIBLE  
SIMULATED WOOD  
HORIZONTAL SIDING



TRUE BRICK WITH  
COMMON BOND PATTERN  
TO MATCH EXISTING  
REAR FACADE



NATURAL STONE  
LANDSCAPE WALL

  
 the proposed additions & interior alterations  
 to a single family residential townhouse at  
**121 WEST 11TH STREET**  
 greenwich village, manhattan borough  
 new york, ny 10011  
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 architects & associates  
 24 west railroad avenue  
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 tel 973 370 0033 fax 973 370 0063  
 IMAGEN@IMAGENarchitecture.com  
 raul.g.mederos.ra ny license 034595

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 landmarks preservation commission review  
**31 of 32**



# FRONT AND REAR FACADES

## PROPOSED FRONT AND REAR FACADE ELEVATIONS

### PROPOSED SCOPE OF WORK (FRONT ELEVATION)

- A. new penthouse addition
- B. new 36 inch high metal cable guardrail and 6 inch high curb above roof of penthouse
- C. new mechanical equipment
- D. new 72 inch high metal fence
- E. new wood windows to match

- F. existing, typical new light fixtures to replace existing. see sheet L-XXX for more information
- G. refurbished double leaf entry doors, transom and door frame to match existing
- H. new fixed ladder, rungs 12 inch on center
- I. new security camera to be installed in soffit over entry doors

- J. new security camera to be installed on brownstone trim above entry door
- K. new downspouts
- L. new double hung windows to replace existing stationary units at basement level



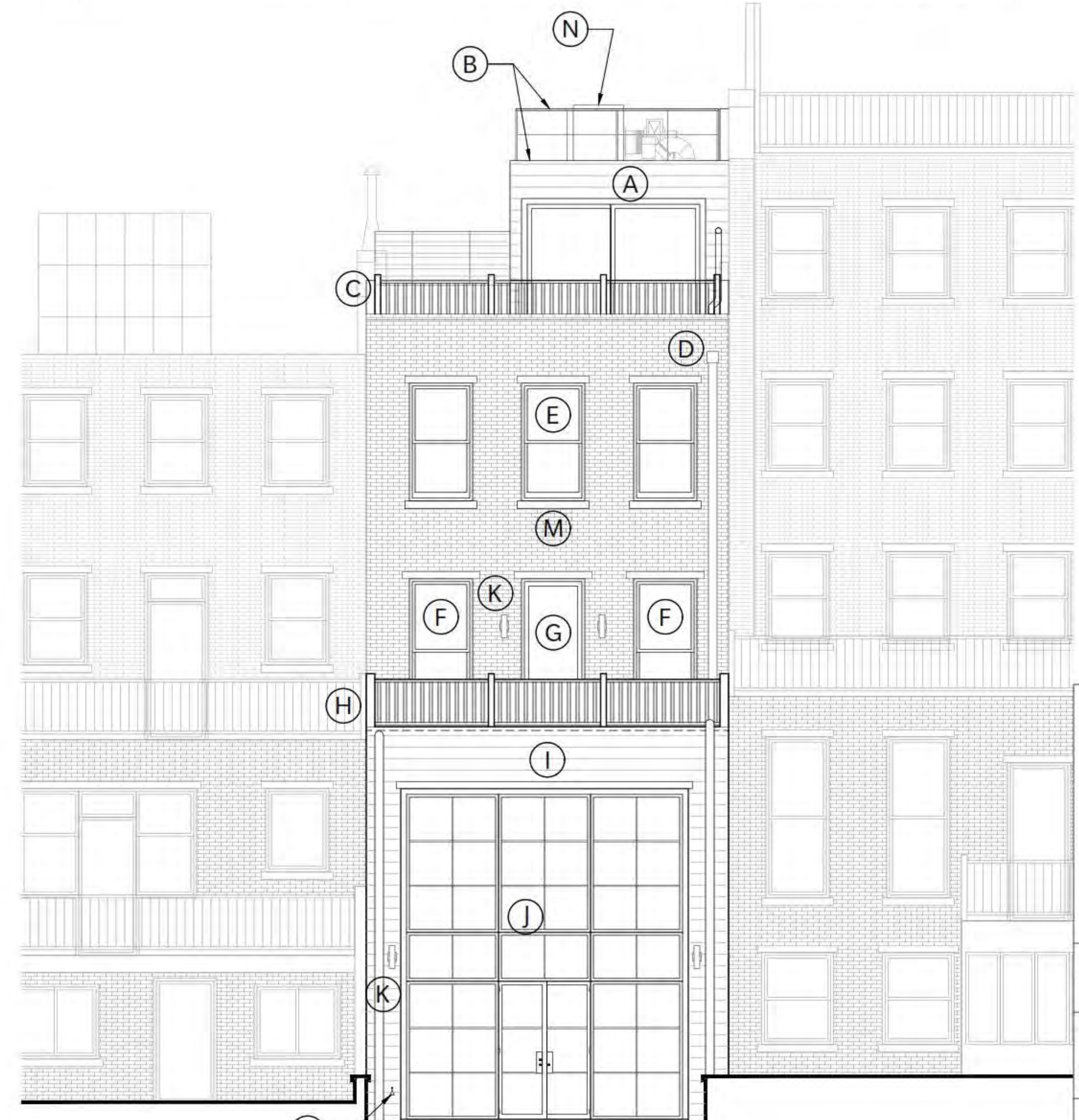
**PROPOSED FRONT ELEVATION**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)

### PROPOSED SCOPE OF WORK (REAR ELEVATION)

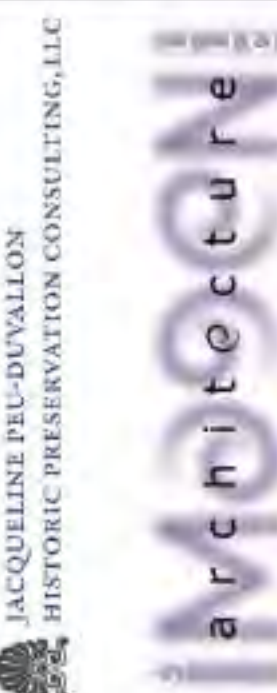
- A. new frame penthouse addition.
- B. new 36 inch high metal cable guardrail and 6 inch high curb above roof of penthouse
- C. new 42 inch high minimum metal guardrail on roof
- D. new downspouts, typical

- E. new wood windows to replace existing in kind, typical
- F. new enlarged wood windows on second floor as shown
- G. new wood door unit on second floor as shown
- H. new 42 inch minimum high metal guardrail on terrace
- I. new two story rear addition
- J. new two-story steel framed

- K. combination window unit with outswing double leaf doors. horizontal center transom to suggest line of existing first floor behind it
- L. new light fixtures
- M. new hose bib
- N. seal ac unit opening with existing bricks from removed portal below
- O. new mechanical equipment



**PROPOSED REAR ELEVATION**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)



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**08-13-20** LPC hearing date  
**TBD**

landmarks preservation commission review  
**32 of 32**



# APPENDIX



HACQUETTE BIL-DUVALLOON  
HISTORIC PRESERVATION CONSULTING, LLC

the proposed additions & interior alterations  
to a single family residential townhouse at  
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raul g mederos ra ny license 034595

CB hearing date <b>08-13-20</b>	LPC hearing date <b>TBD</b>
------------------------------------	--------------------------------

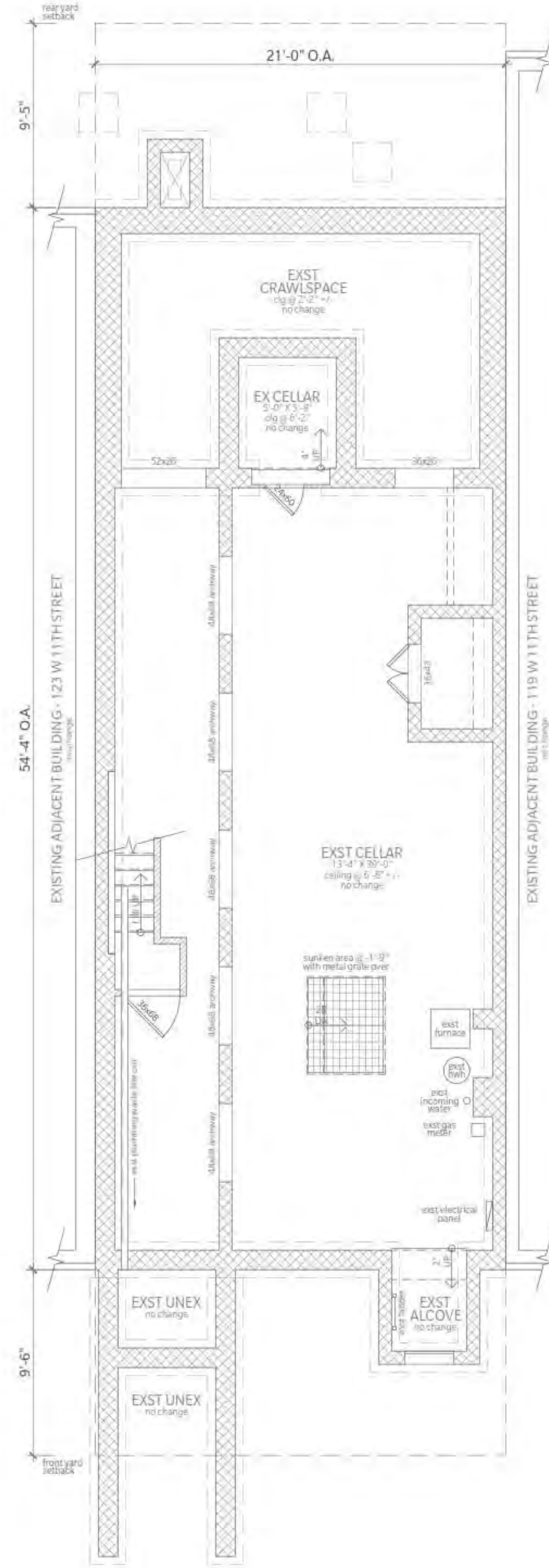
landmarks preservation commission review

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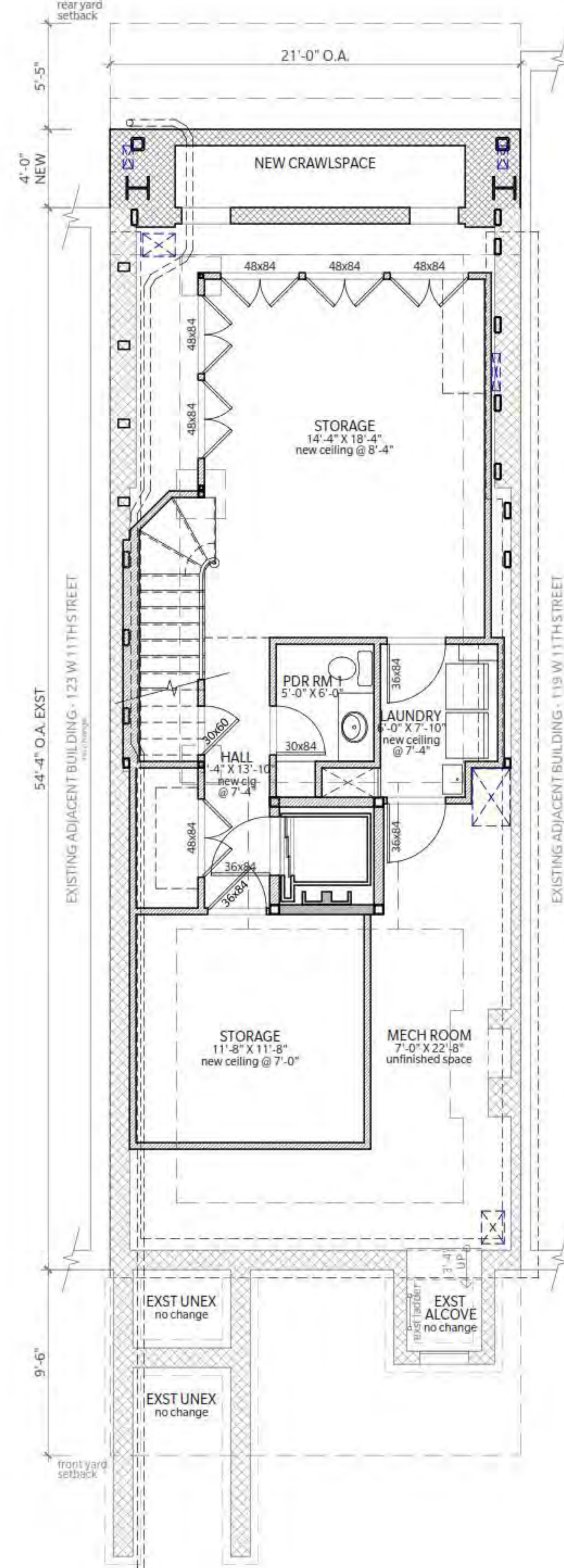


# CELLAR FLOOR

## EXISTING & PROPOSED CELLAR FLOOR PLANS



**EXISTING CELLAR FLOOR PLAN**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)

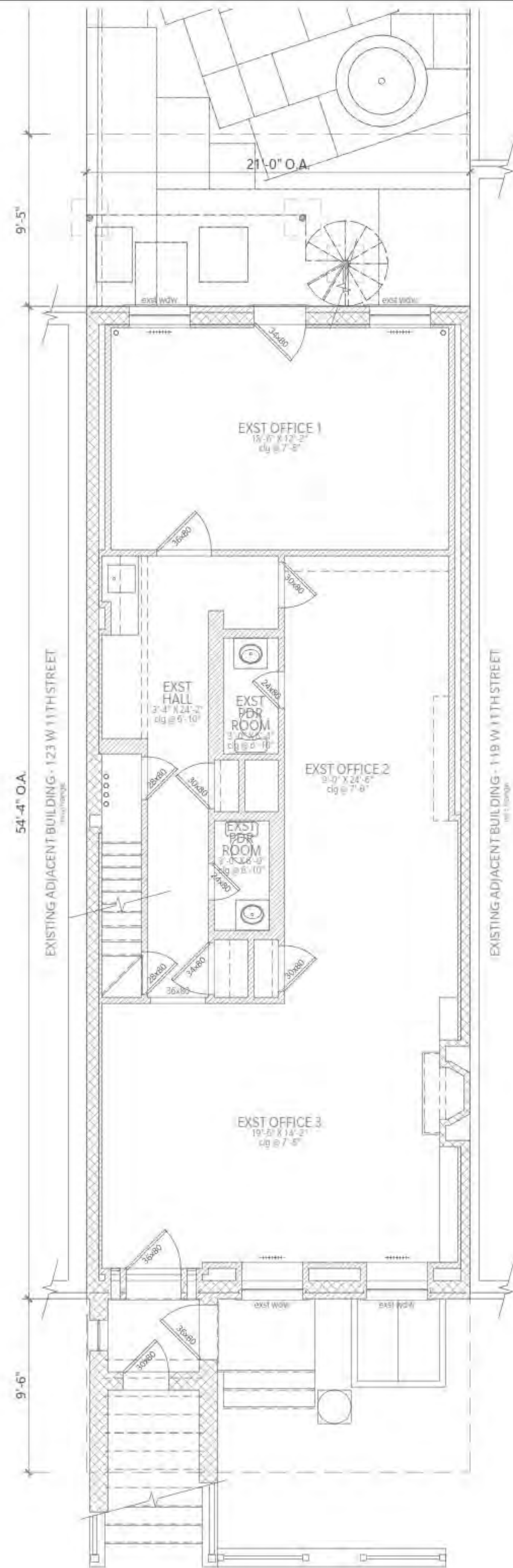


**PROPOSED CELLAR FLOOR PLAN**  
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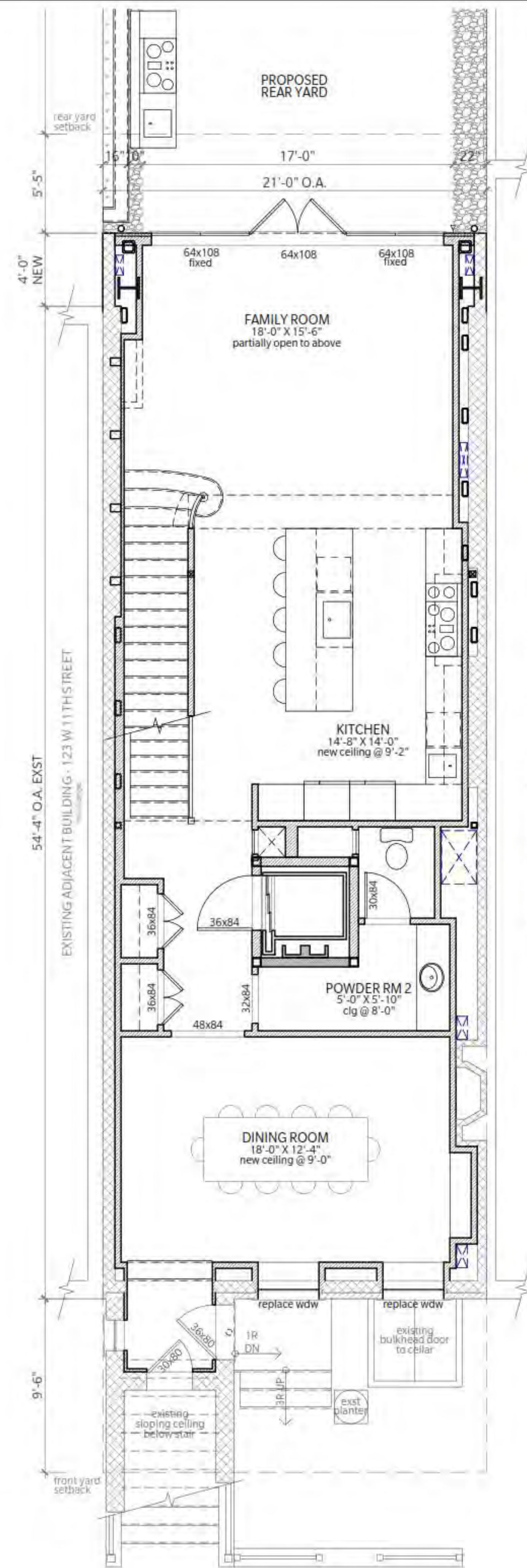
  
 the proposed additions & interior alterations to a single family residential townhouse at  
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 CB hearing date 08-13-20 LPC hearing date TBD  
 landmarks preservation commission review  
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**BASEMENT FLOOR**  
EXISTING & PROPOSED BASEMENT PLANS



**EXISTING BASEMENT PLAN**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)

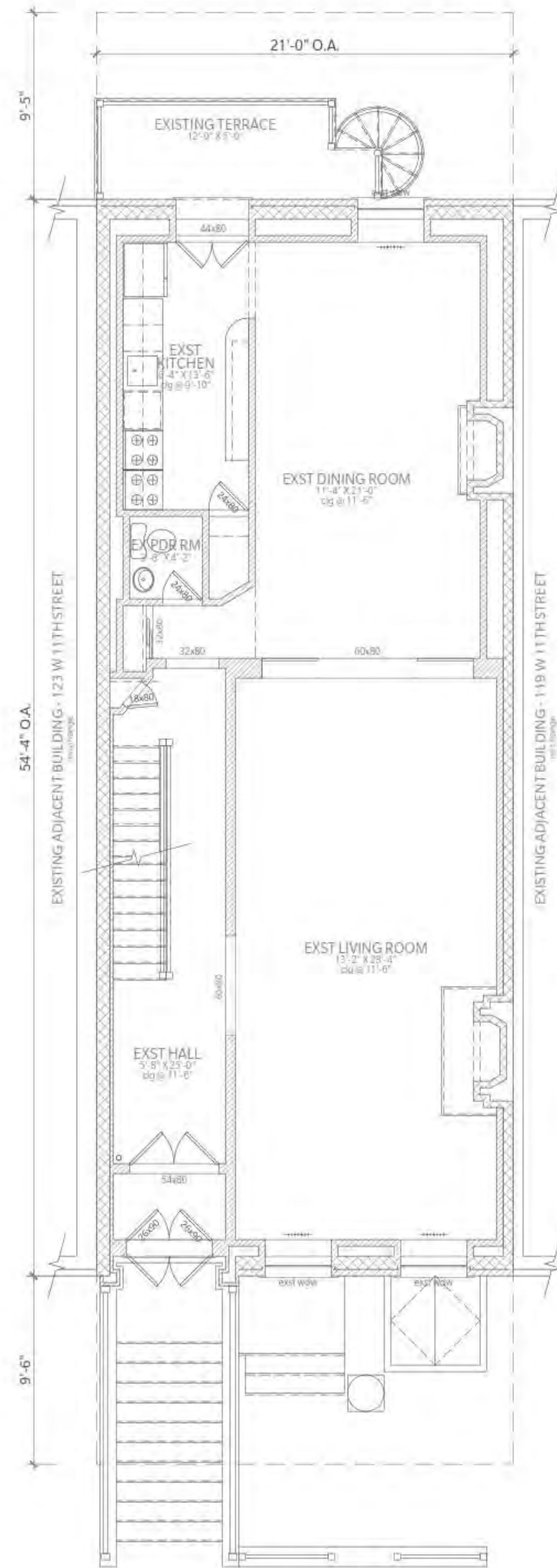


**PROPOSED BASEMENT PLAN**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)

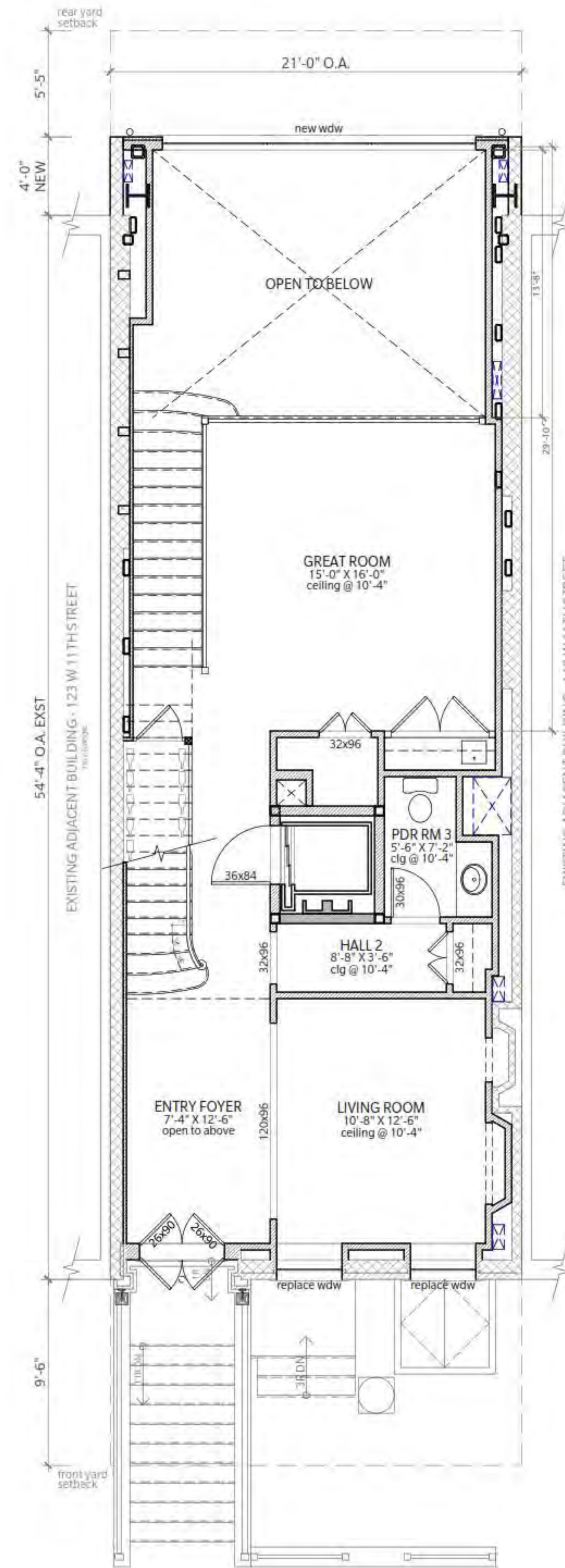
  
 the proposed additions & interior alterations to a single family residential townhouse at  
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 landmarks preservation commission review  
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**FIRST FLOOR**  
EXISTING & PROPOSED FIRST FLOOR PLANS



**EXISTING FIRST FLOOR PLAN**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)



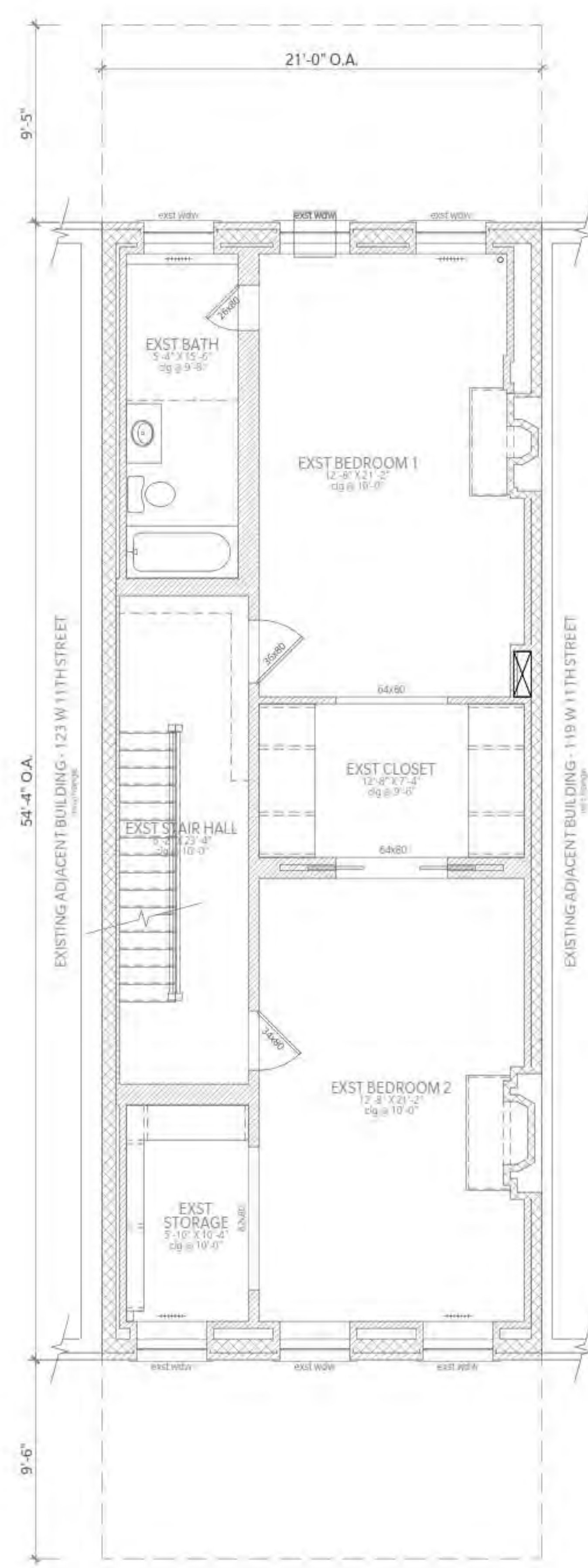
**PROPOSED FIRST FLOOR PLAN**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)

  
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 landmarks preservation commission review  
**L-001C of 32**

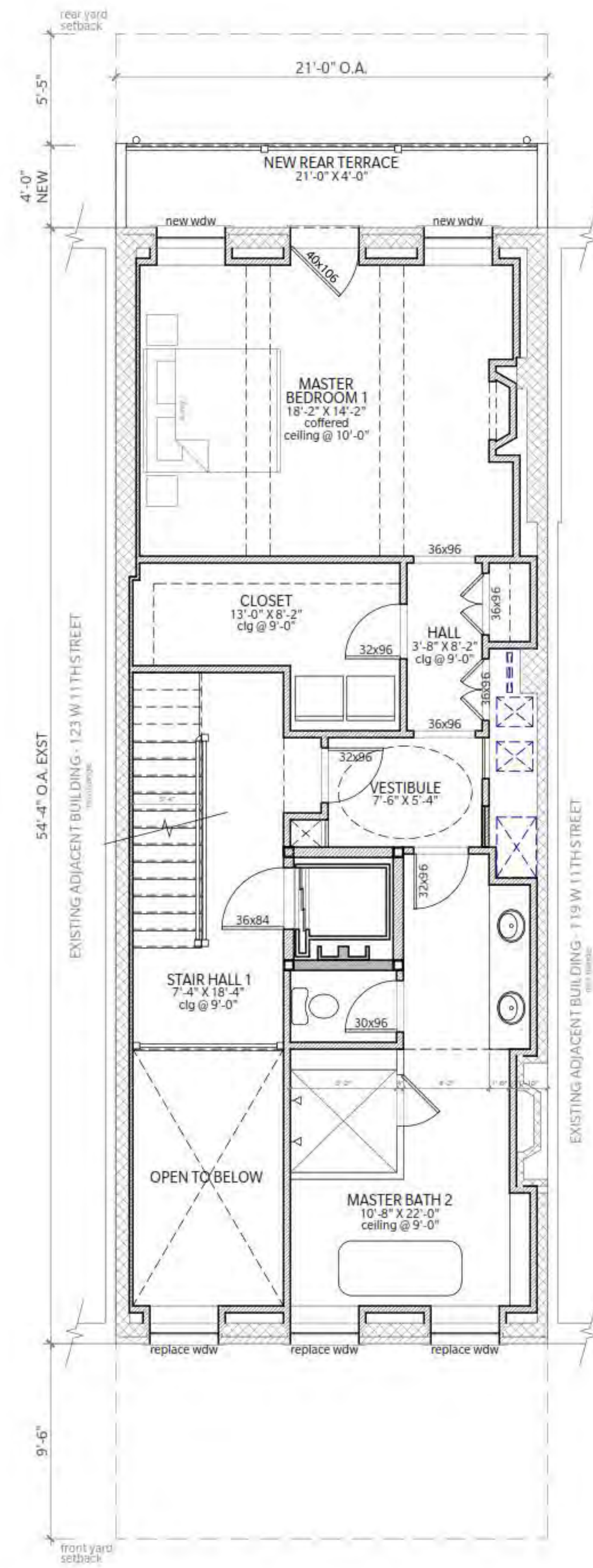


# SECOND FLOOR

## EXISTING & PROPOSED SECOND FLOOR PLANS



**EXISTING SECOND FLOOR PLAN**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)



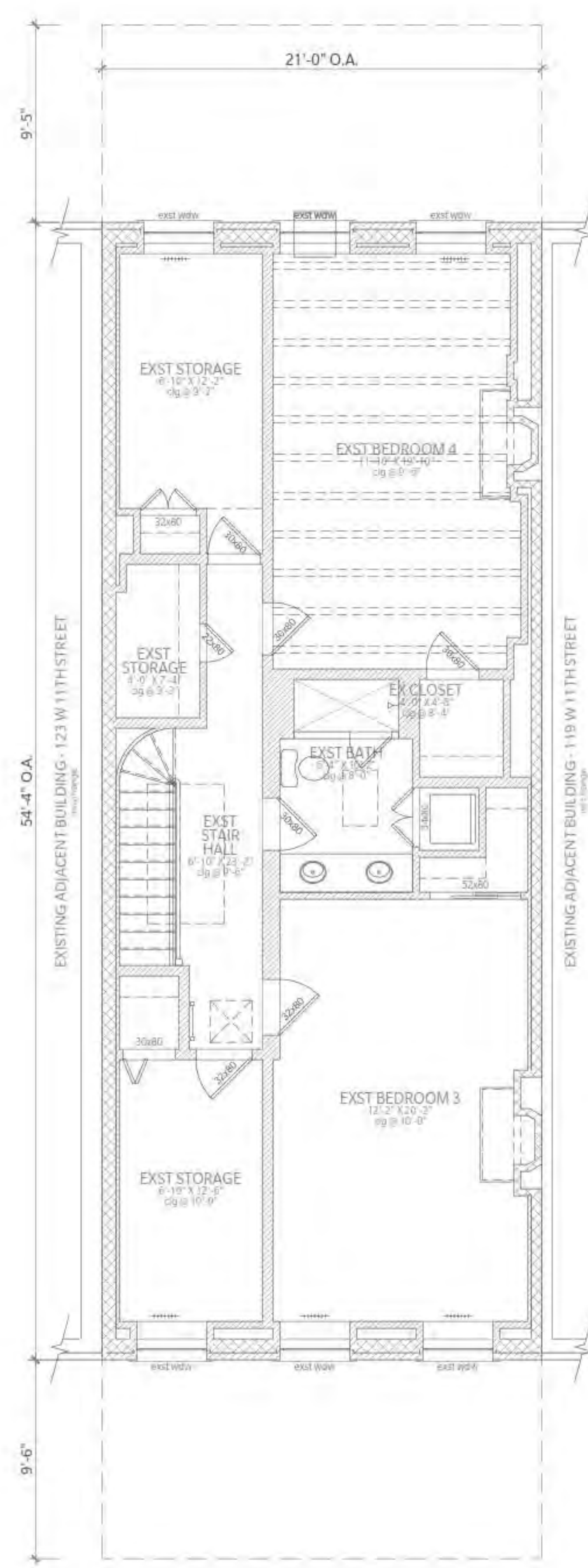
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NOT TO SCALE (1/4" = 1'-0" on D size paper)

  
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**L-001D of 32**

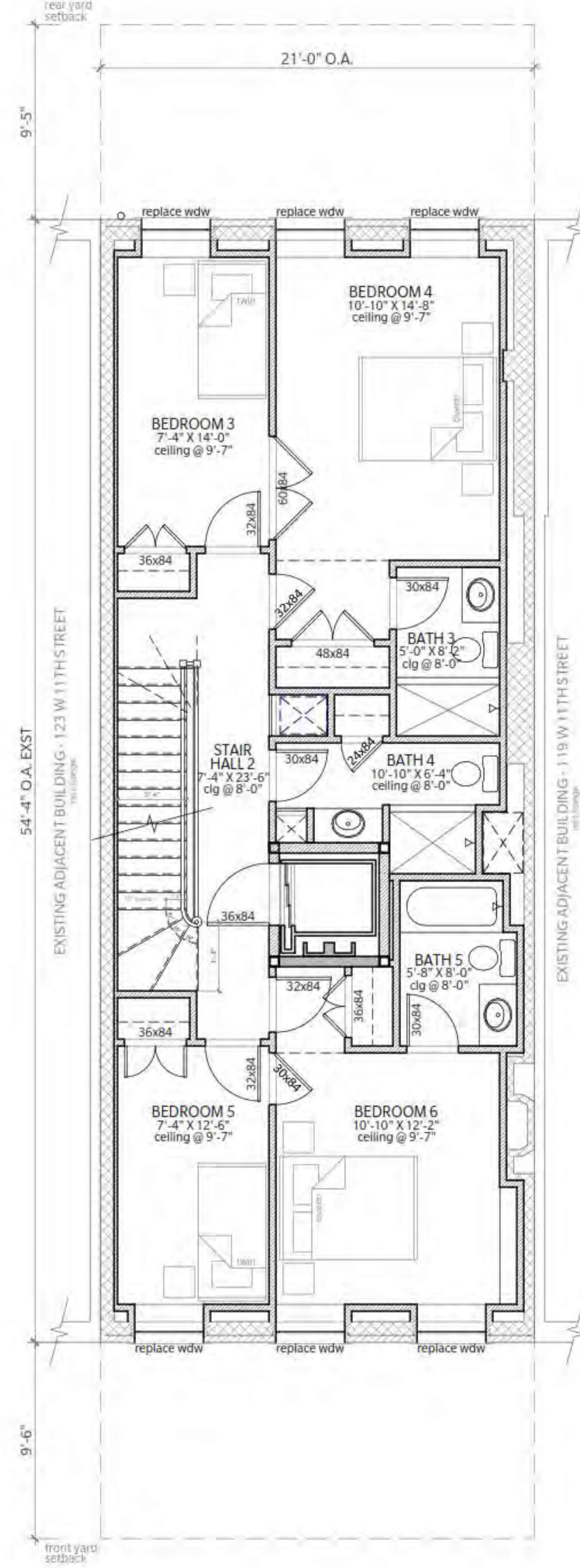


# THIRD FLOOR

## EXISTING & PROPOSED THIRD FLOOR PLANS



**EXISTING THIRD FLOOR PLAN**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)



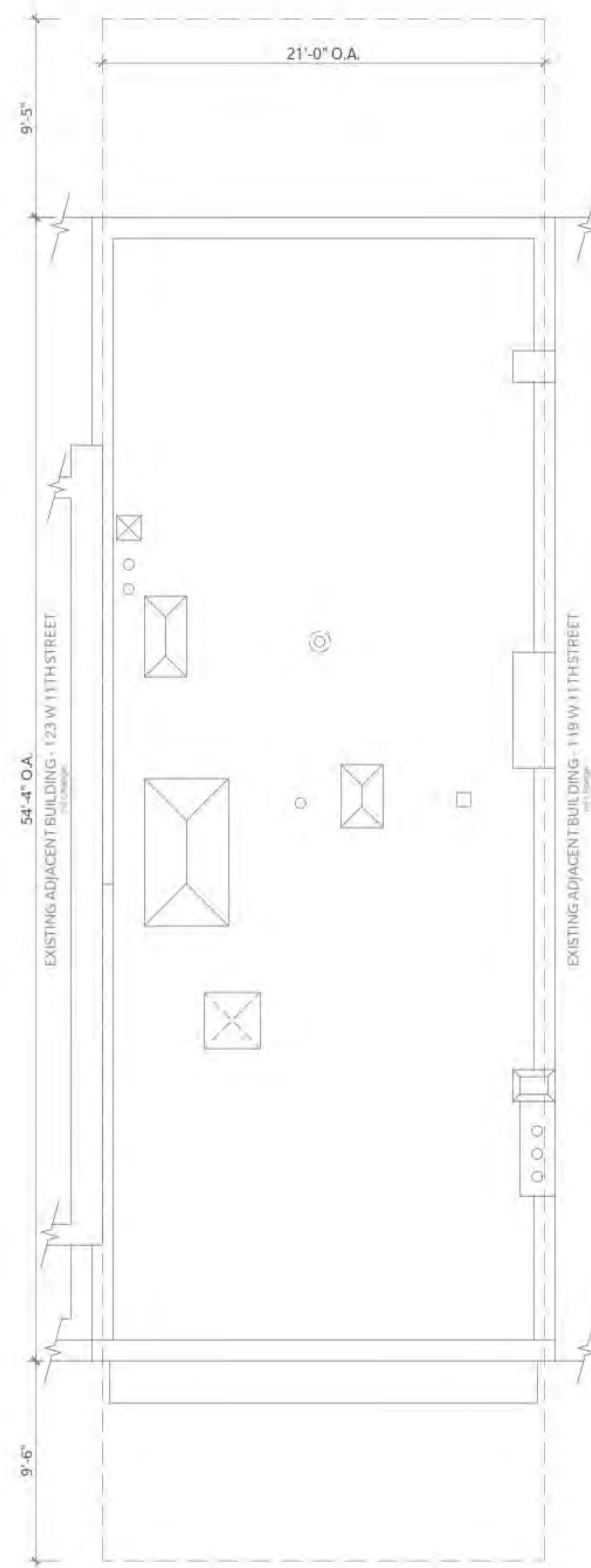
**PROPOSED THIRD FLOOR PLAN**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)

  
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**L-001E of 32**

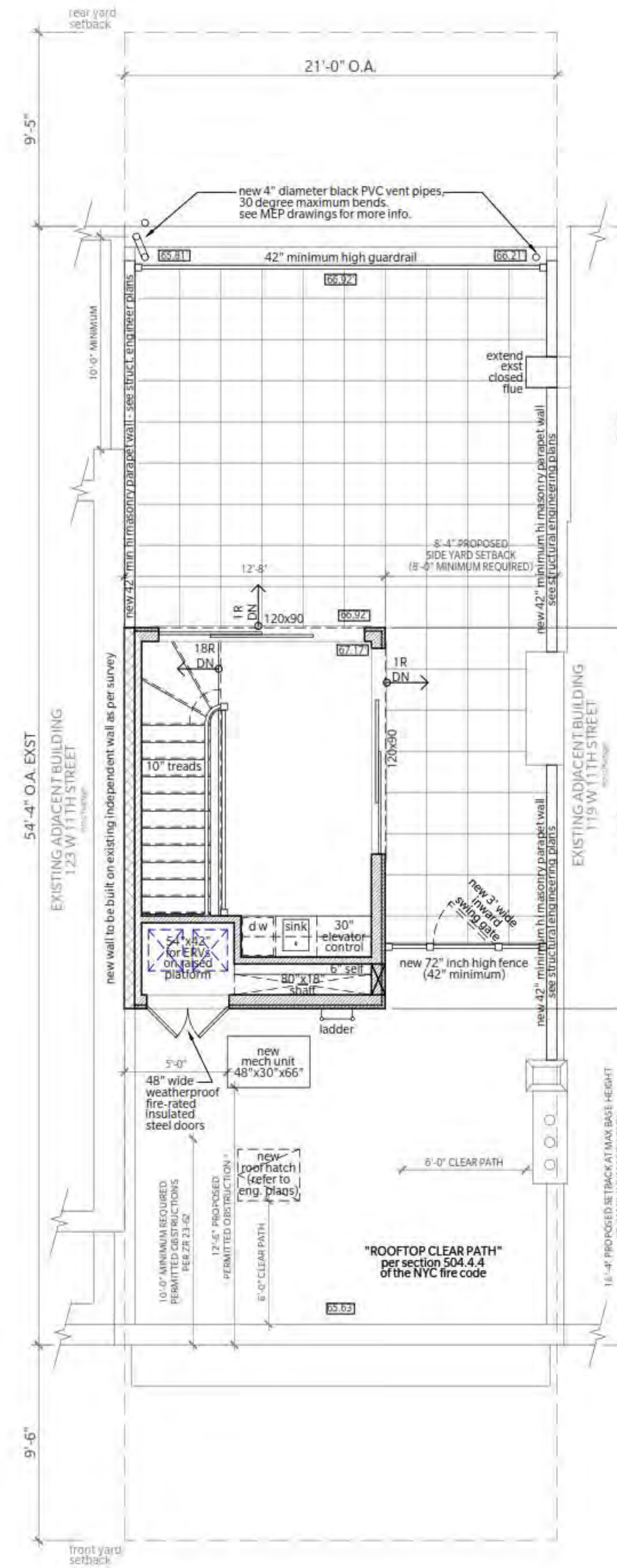


# ROOF

## EXISTING & PROPOSED ROOF PLANS



**EXISTING ROOF PLAN**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)

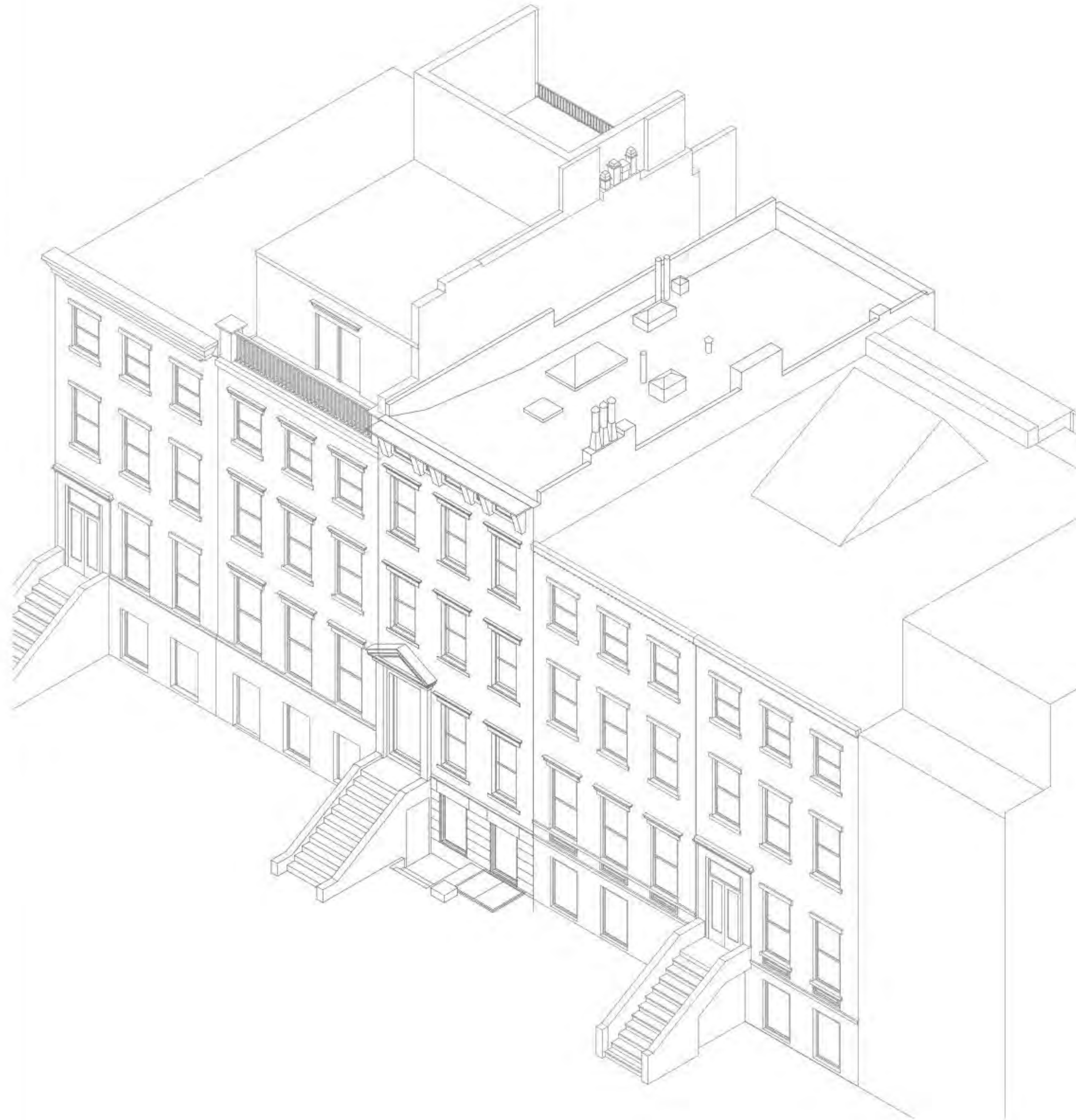


**PROPOSED ROOF PLAN**  
NOT TO SCALE (1/4" = 1'-0" on D size paper)

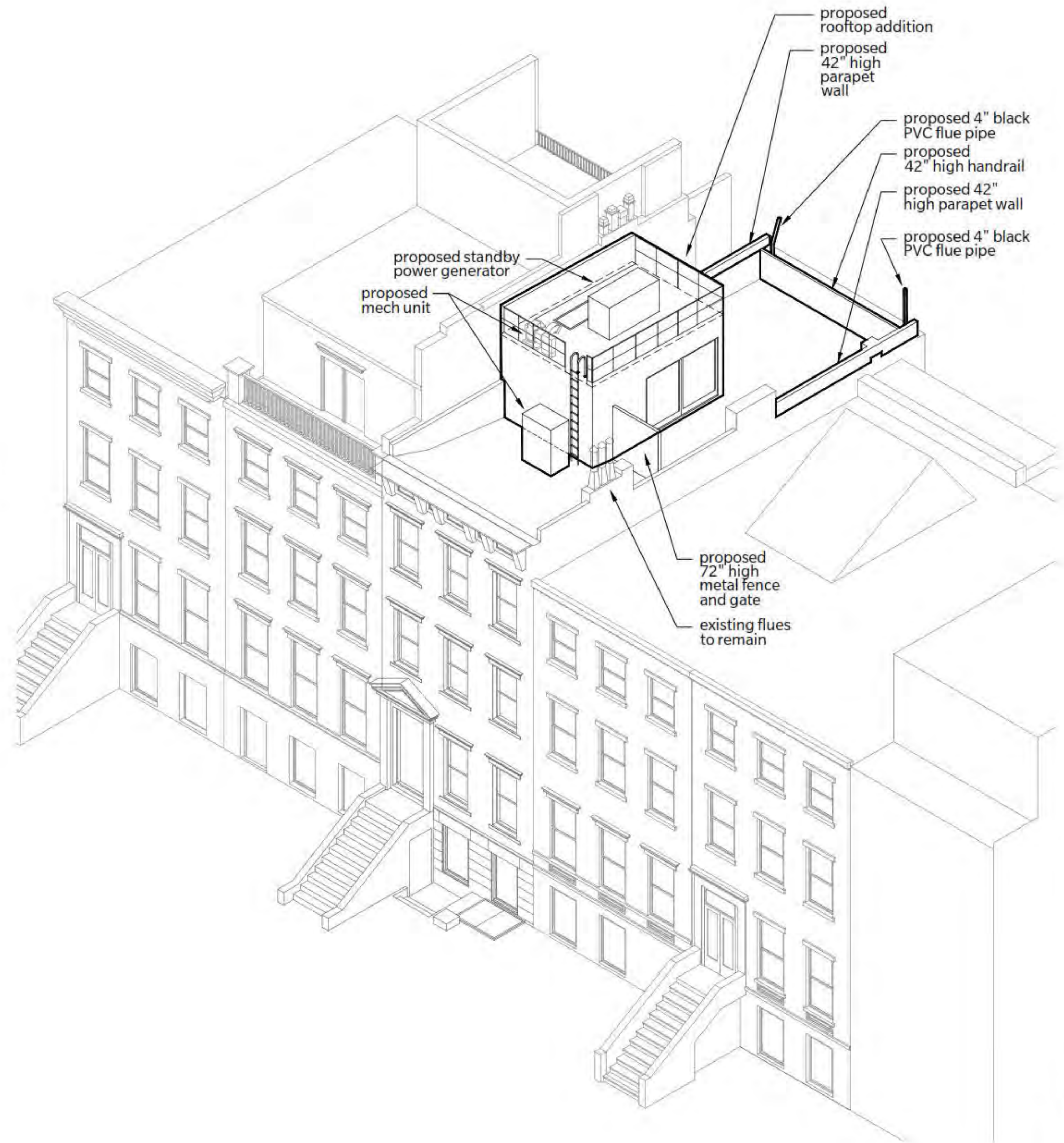
  
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 landmarks preservation commission review  
**L-001F of 32**



**ARCHITECTURAL DRAWINGS**  
EXISTING & PROPOSED AXONOMETRIC VIEWS



**EXISTING FRONT AXONOMETRIC VIEW**  
NOT TO SCALE (1/8" = 1'-0" on D size paper)



**PROPOSED FRONT AXONOMETRIC VIEW**  
NOT TO SCALE (1/8" = 1'-0" on D size paper)

JACQUELINE BIL-DUVALLOX  
 HISTORIC PRESERVATION CONSULTING, LLC  
**IMAGEN**  
 architecture

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CB hearing date 08-13-20	LPC hearing date TBD
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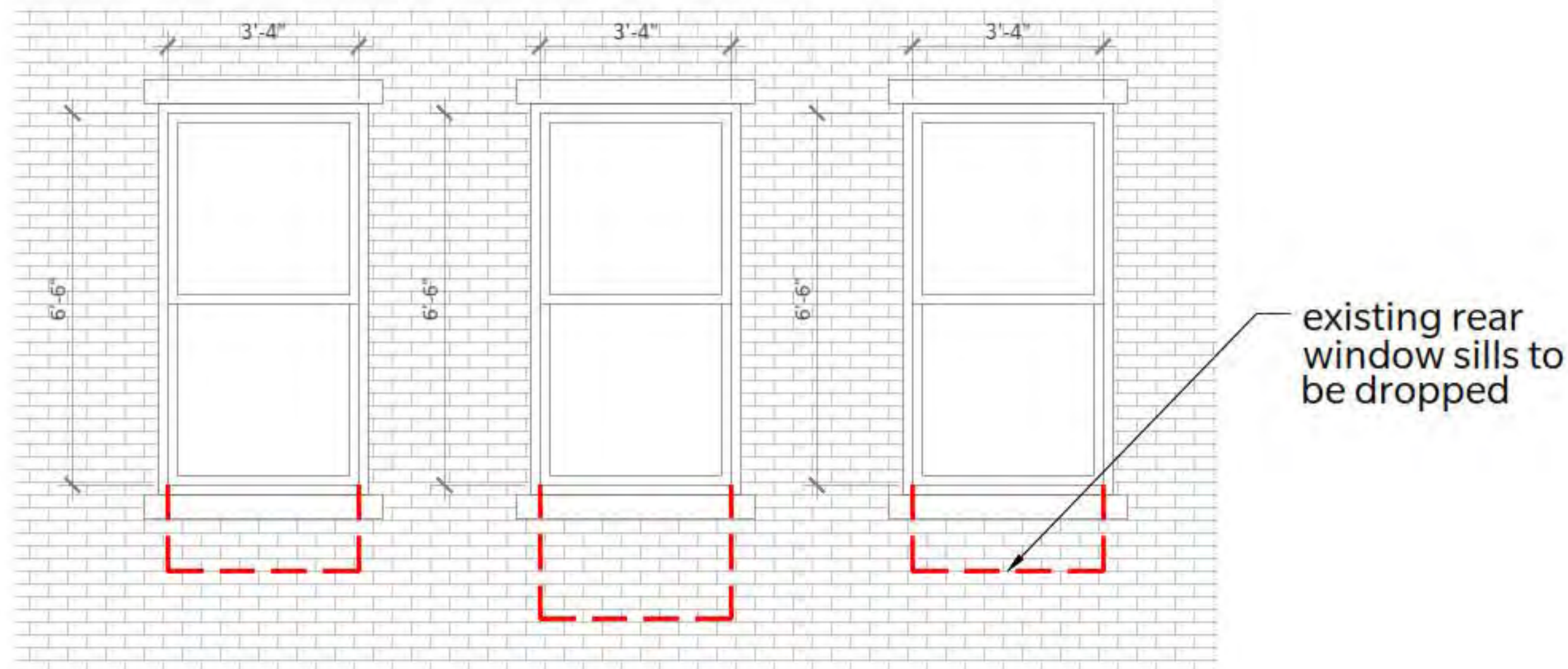
landmarks preservation commission review

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# UPPER REAR FACADE DETAILS - SECOND FLOOR

## EXISTING & PROPOSED REAR WINDOW AND DOOR DETAILS



existing rear window sills to be dropped

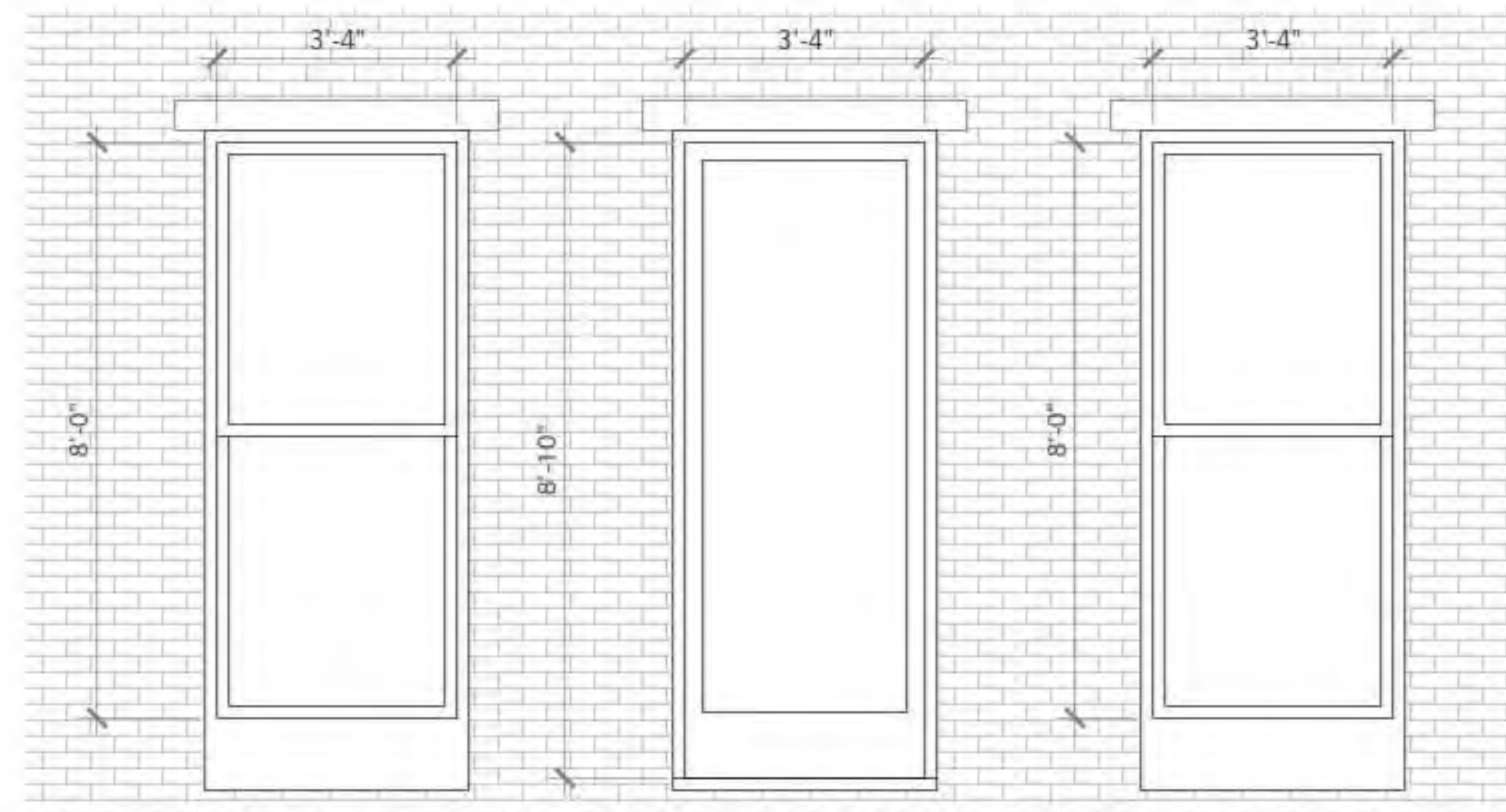
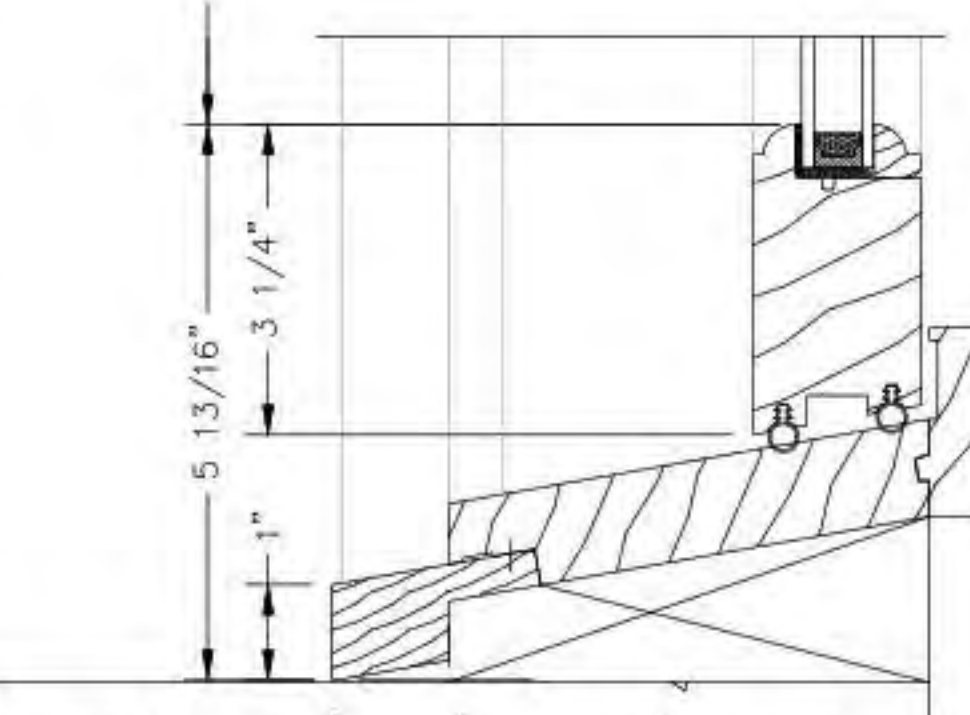
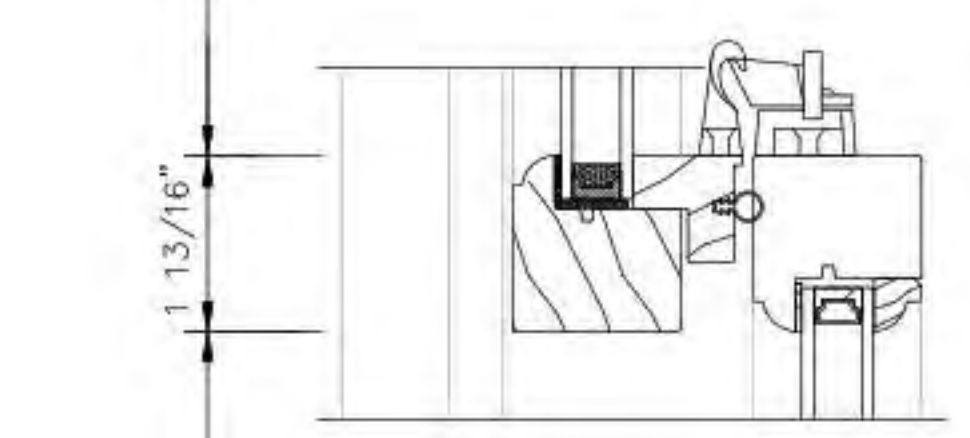
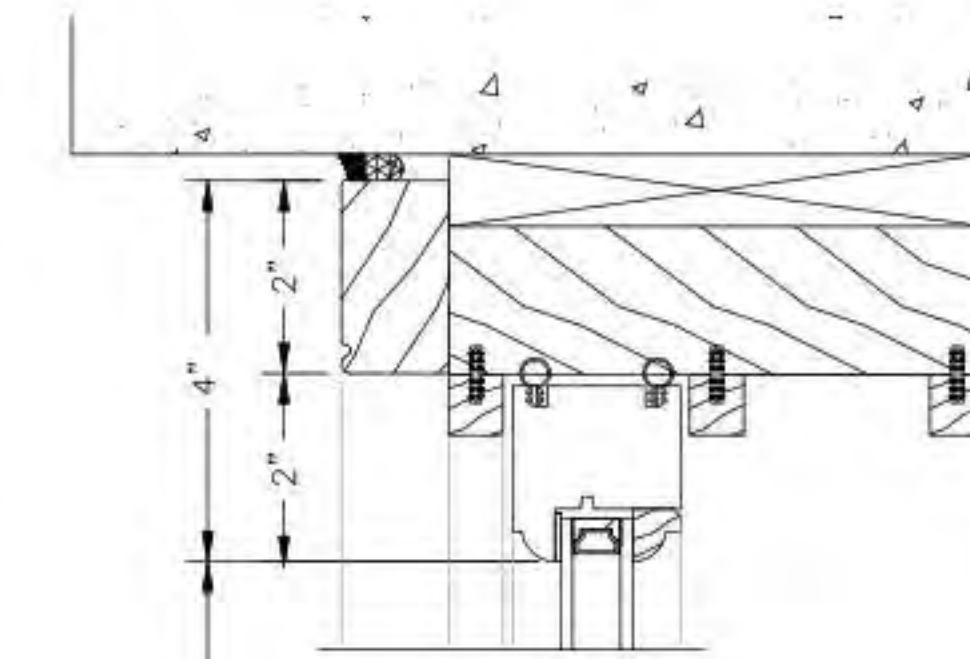
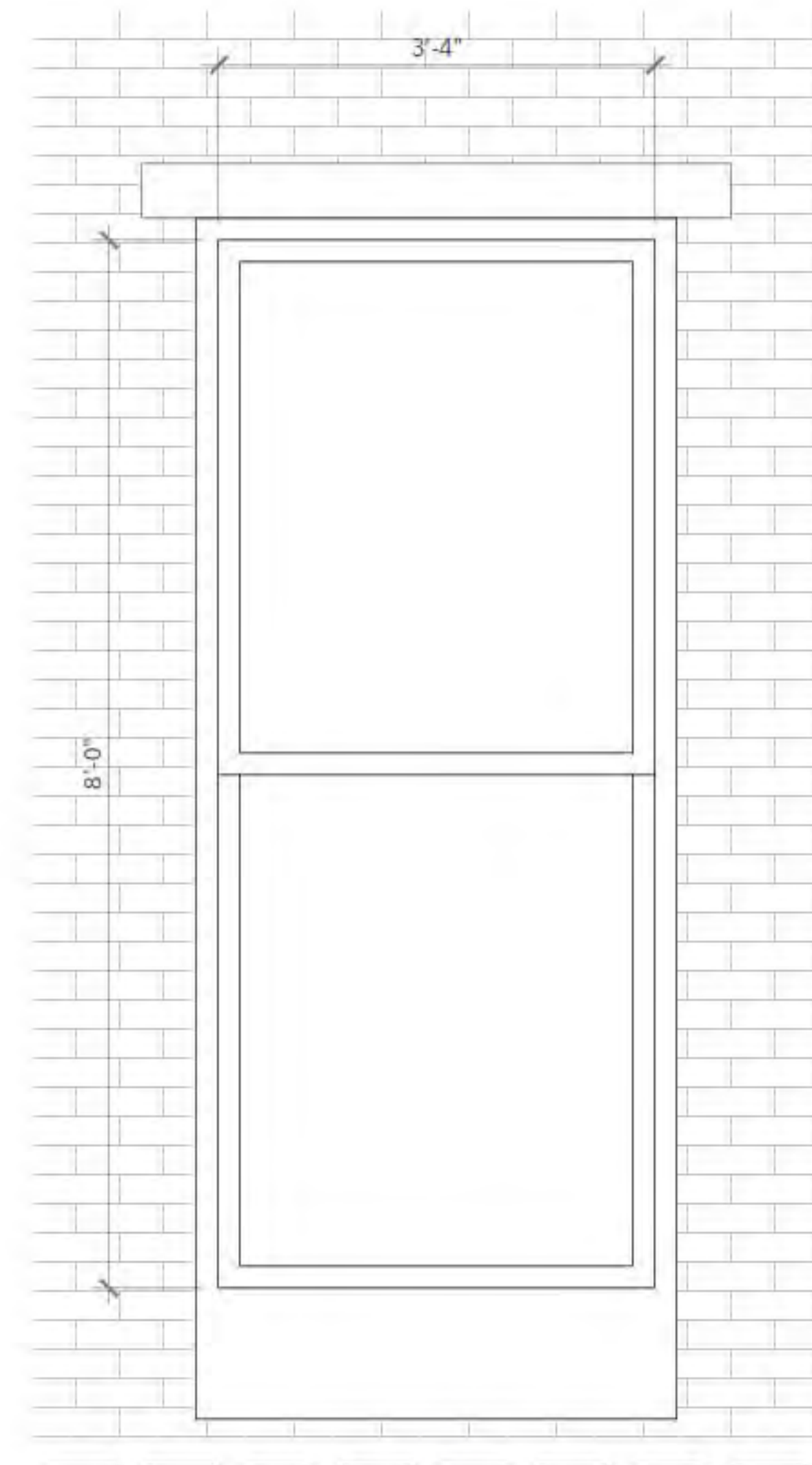
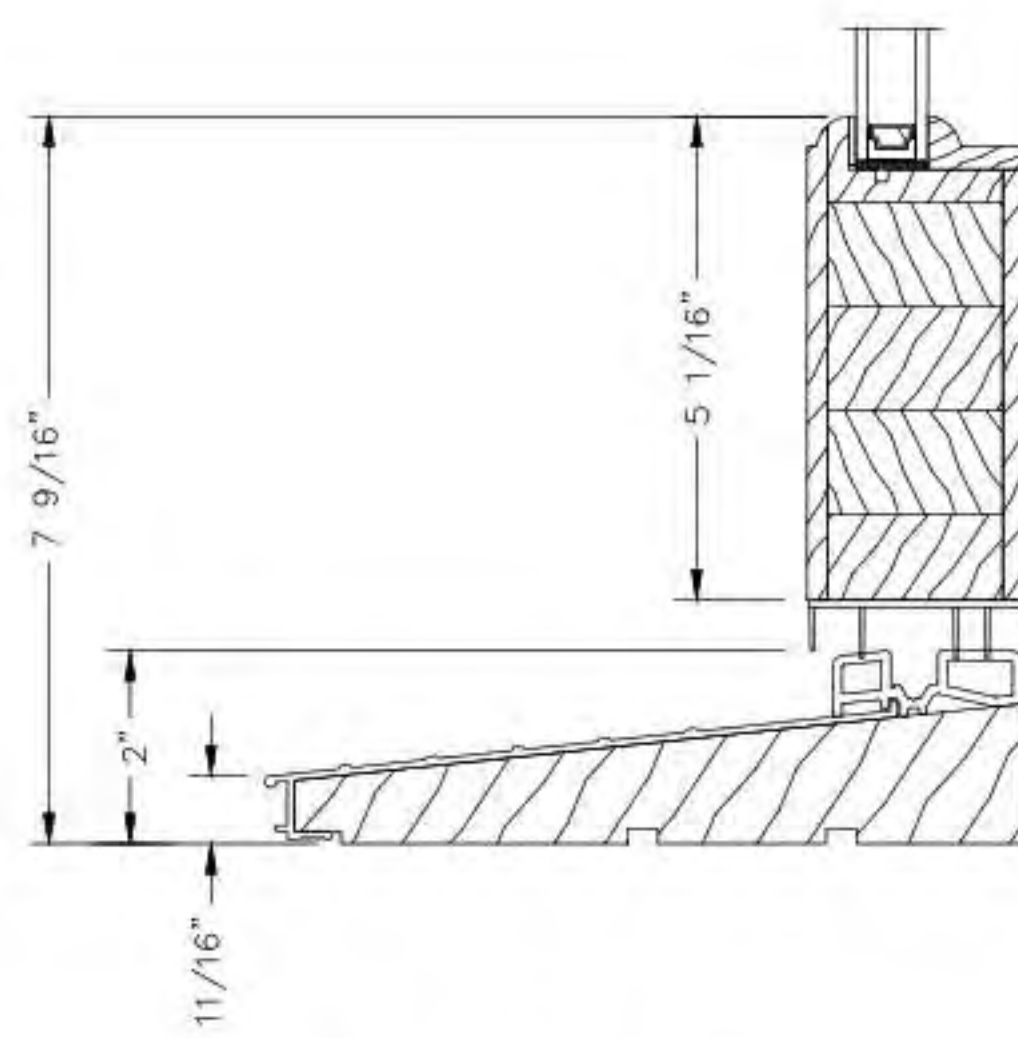
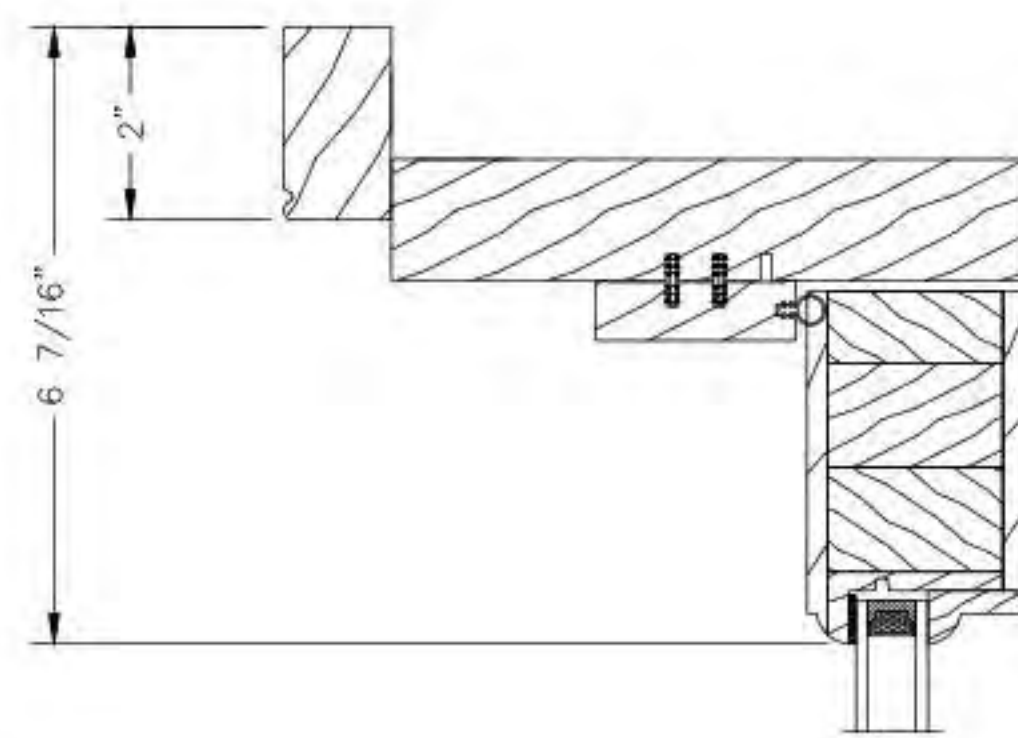
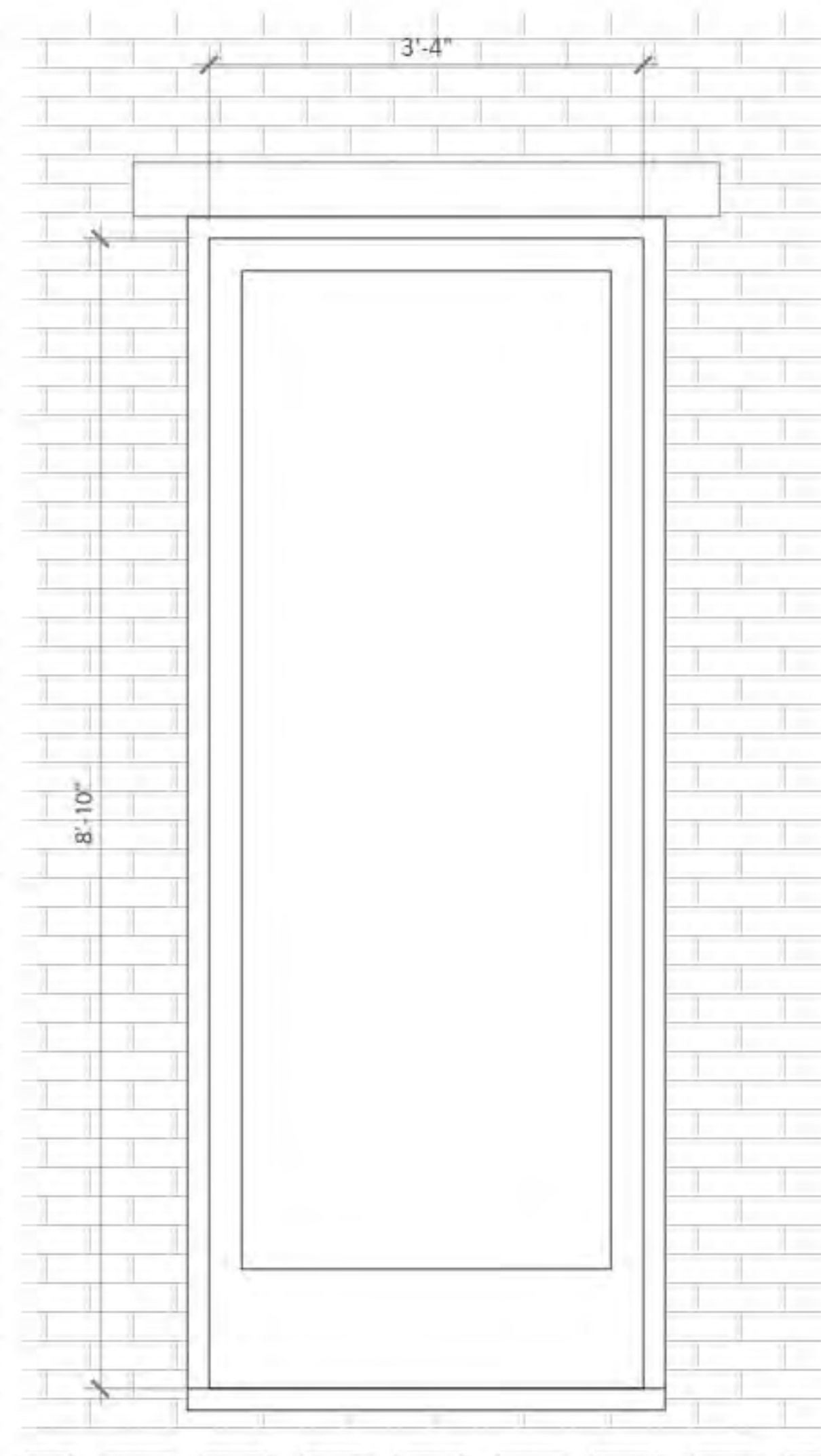
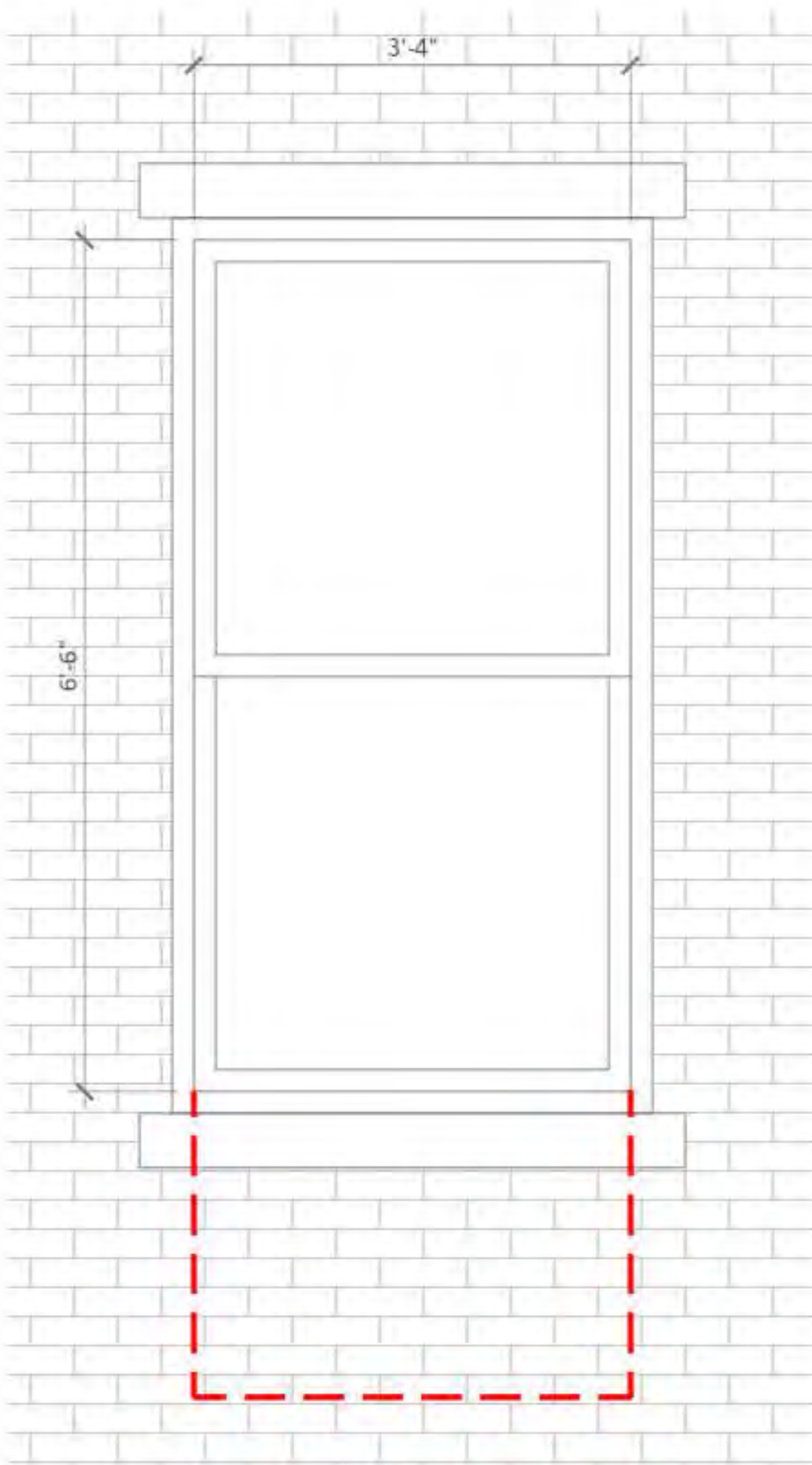


PHOTO OF EXISTING REAR SECOND FLOOR WINDOW  
NOT TO SCALE

EXISTING REAR ELEVATION - SECOND FLOOR  
NOT TO SCALE (1/2" = 1'-0" on D size paper)

PROPOSED REAR ELEVATION - SECOND FLOOR  
NOT TO SCALE (1/2" = 1'-0" on D size paper)



EXISTING WINDOW TYPICAL ELEVATION  
NOT TO SCALE (1" = 1'-0" on D size paper)

PROPOSED DOOR ELEVATION  
NOT TO SCALE (1" = 1'-0" on D size paper)

PROPOSED DOOR SECTION  
NOT TO SCALE (1" = 1'-0" on D size paper)

PROPOSED WINDOW TYPICAL ELEVATION  
NOT TO SCALE (1" = 1'-0" on D size paper)

PROPOSED WINDOW SECTION  
NOT TO SCALE (1" = 1'-0" on D size paper)

  
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**L-001H of 32**

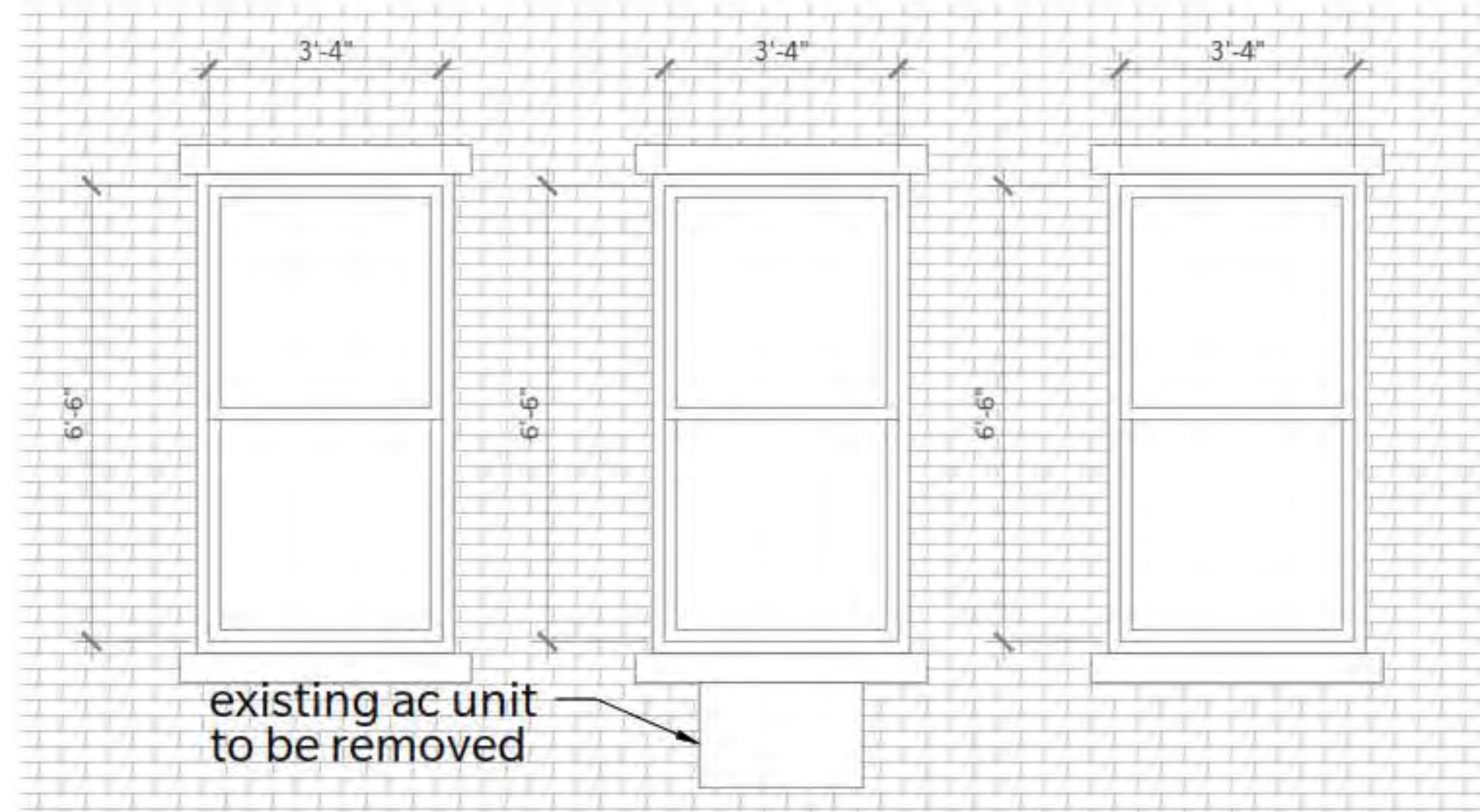


# UPPER REAR FACADE DETAILS - THIRD FLOOR

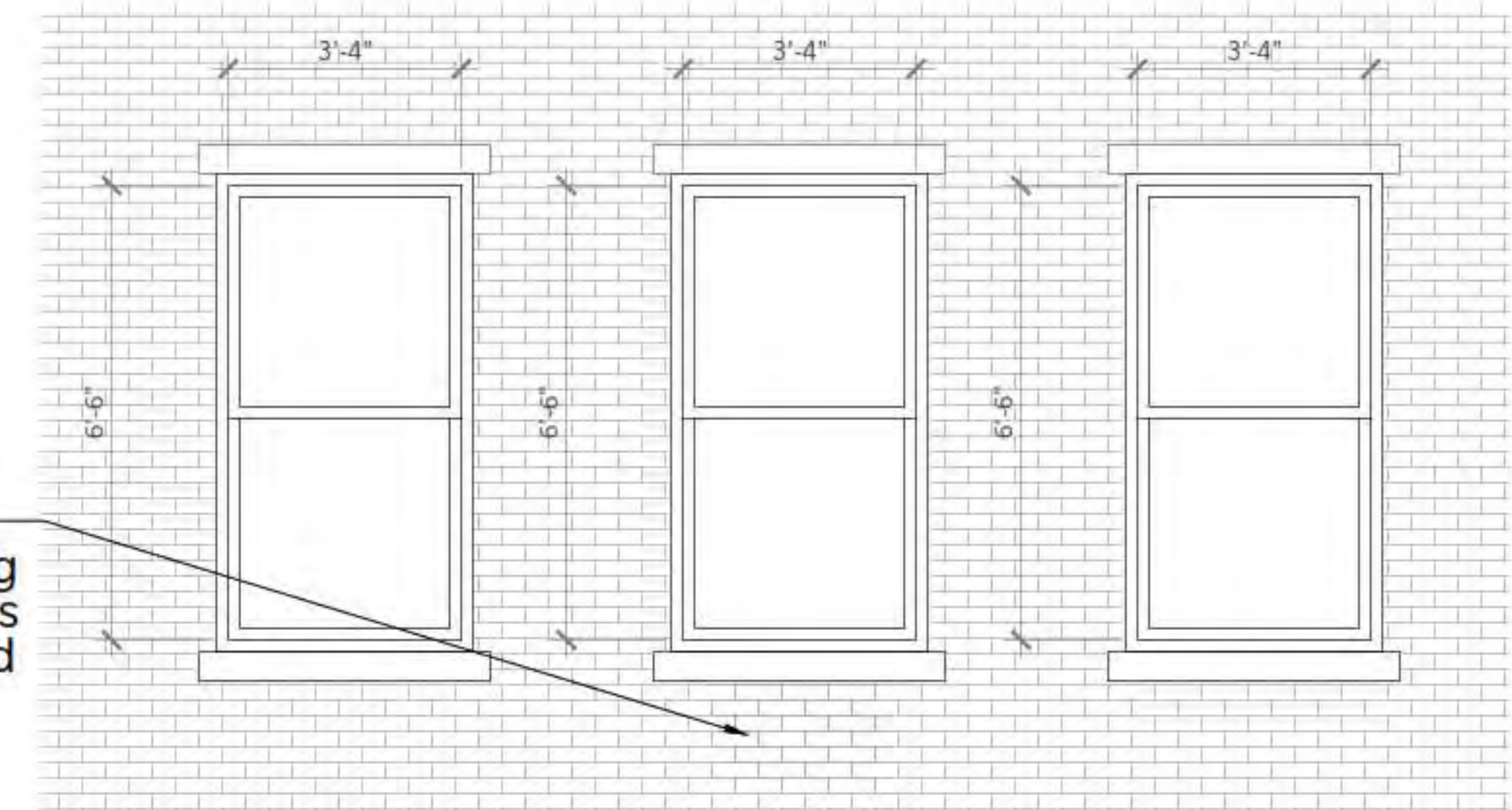
## EXISTING & PROPOSED REAR WINDOW DETAILS



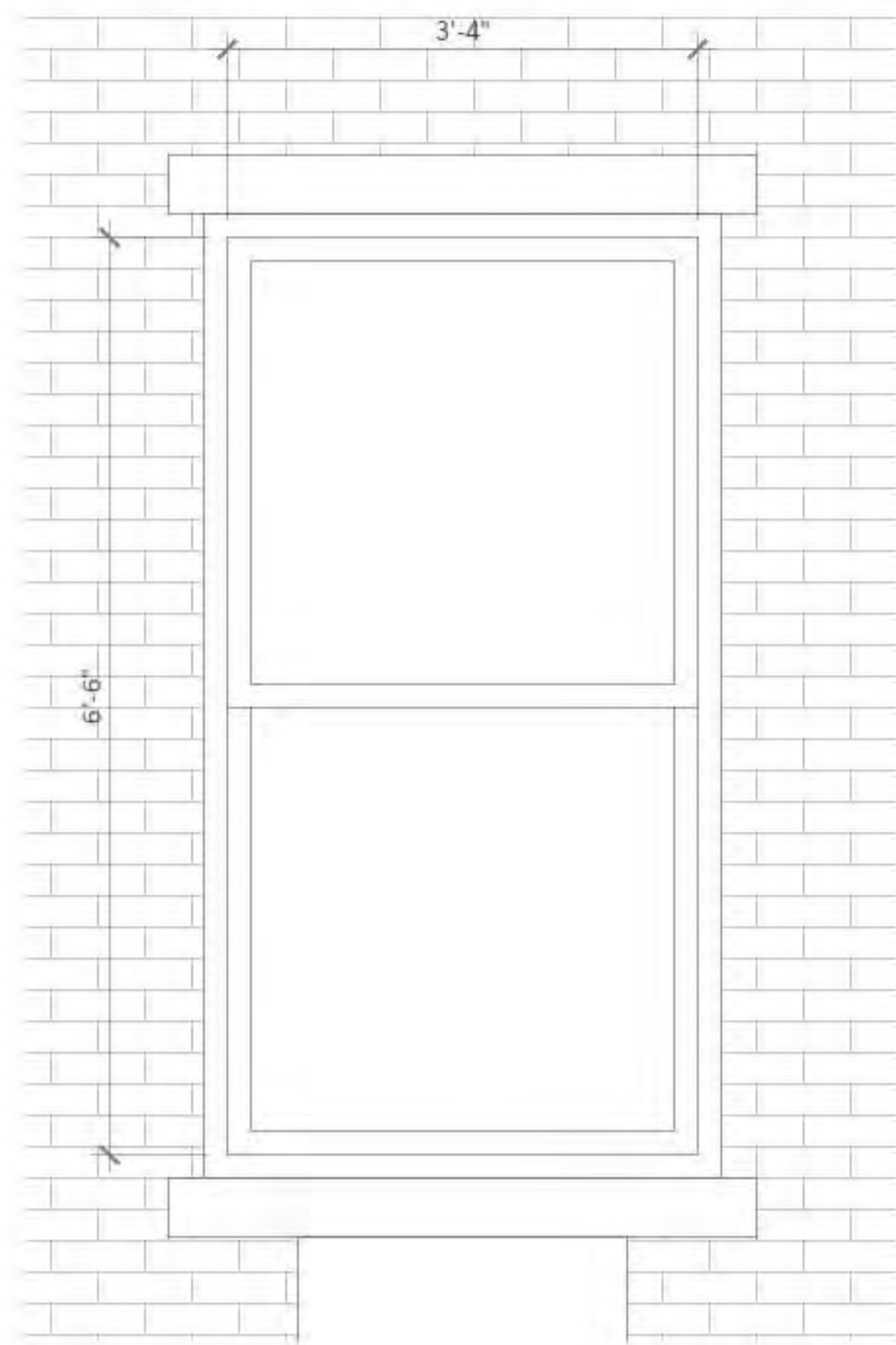
PHOTO OF EXISTING REAR THIRD FLOOR WINDOW  
NOT TO SCALE



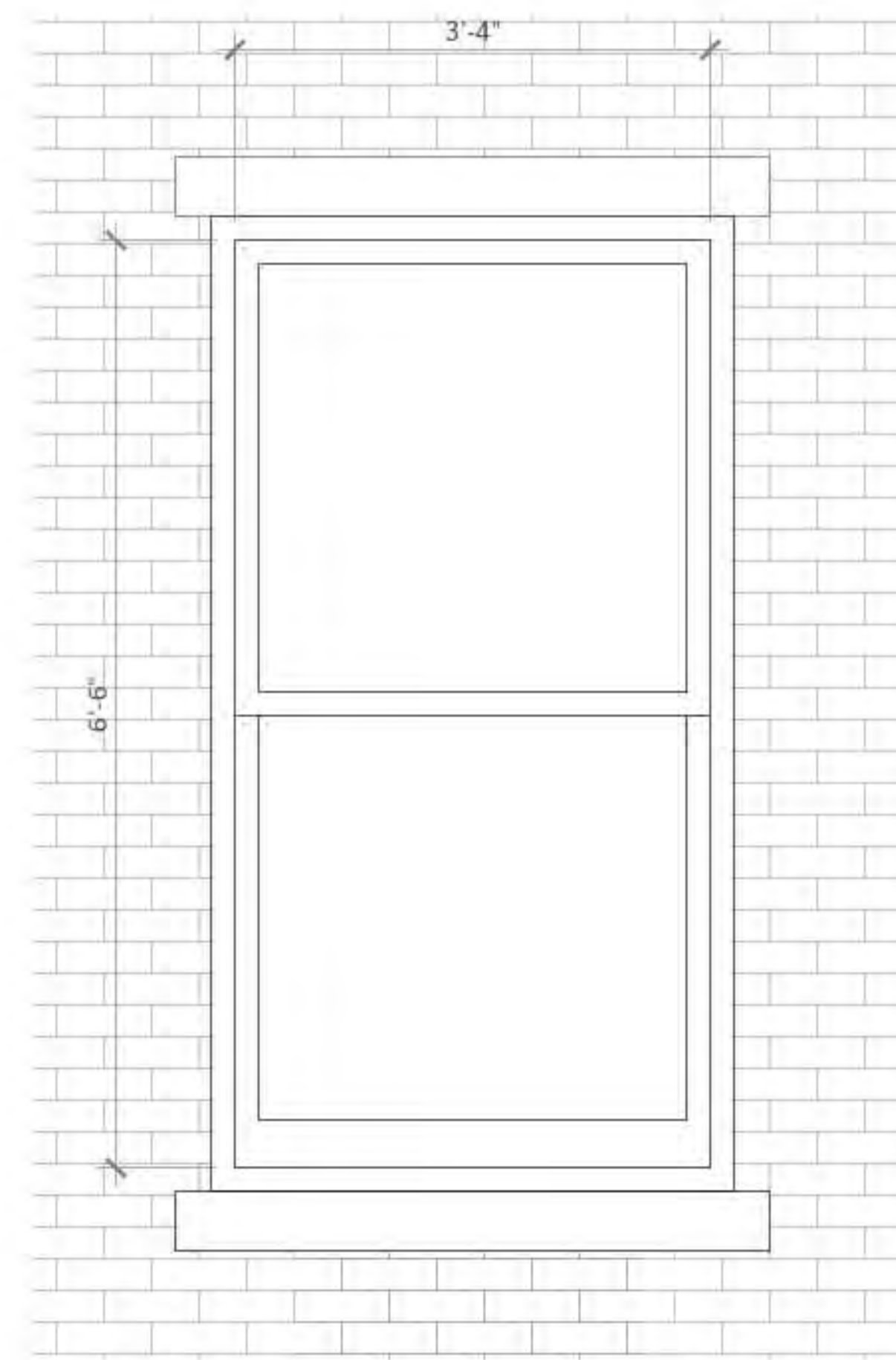
EXISTING REAR ELEVATION - THIRD FLOOR  
NOT TO SCALE (1/2" = 1'-0" on D size paper)



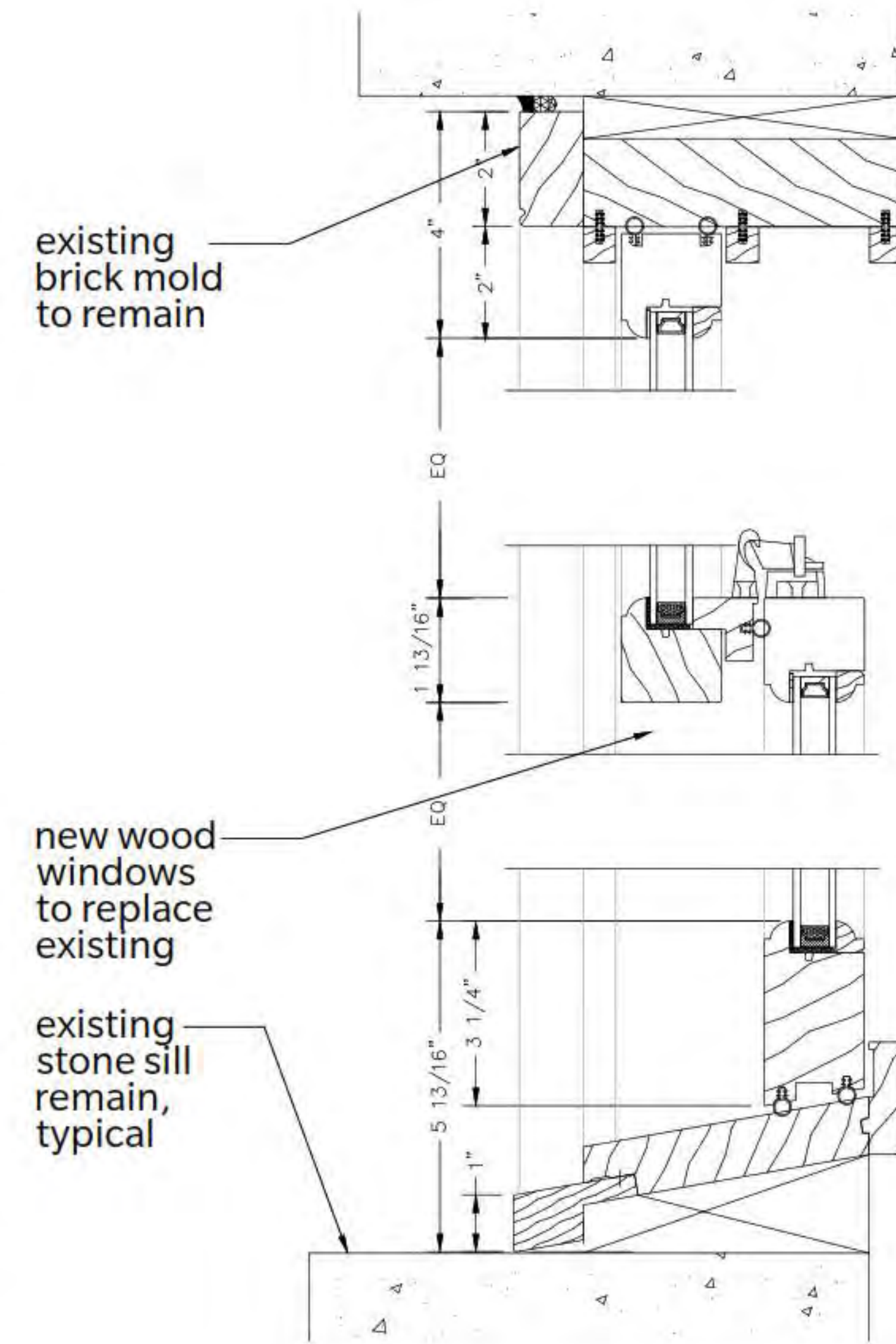
PROPOSED REAR ELEVATION - THIRD FLOOR  
NOT TO SCALE (1/2" = 1'-0" on D size paper)



EXISTING WINDOW ELEVATION  
NOT TO SCALE (1" = 1'-0" on D size paper)



PROPOSED WINDOW ELEVATION  
NOT TO SCALE (1" = 1'-0" on D size paper)



existing brick mold to remain

new wood windows to replace existing

existing stone sill remain, typical

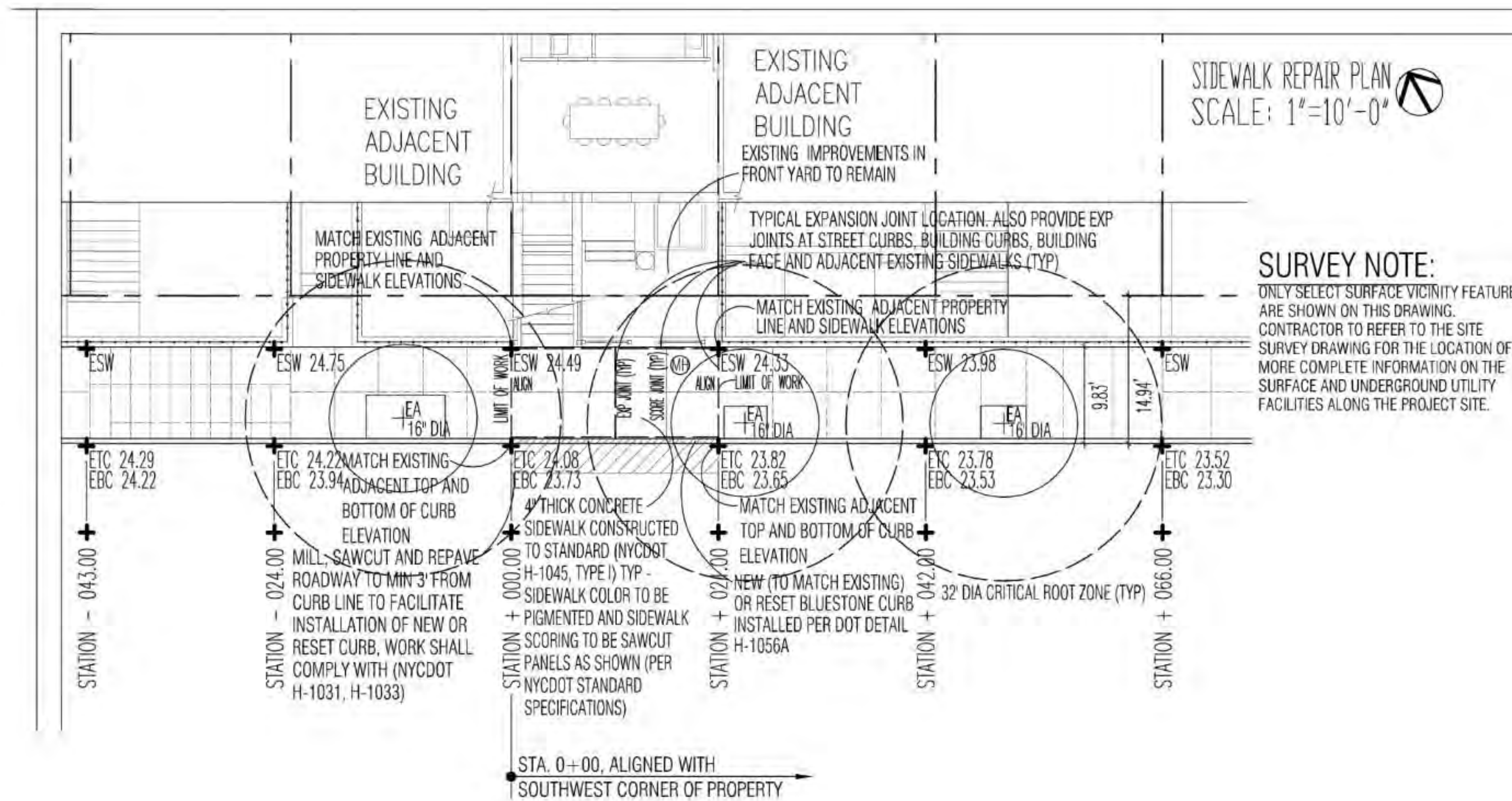
PROPOSED WINDOW SECTION  
NOT TO SCALE (1" = 1'-0" on D size paper)

  
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# BUILDERS PAVEMENT PLAN

## PROPOSED SIDEWALK REPAIR PLAN



### BUILDERS PAVEMENT PLAN LEGEND

+	LOCATION OF SPOT GRADE
11.11	EXISTING SPOT GRADE
11.11	PROPOSED SPOT GRADE
11.11 C	GRADE CORRECTED FROM SURVEY GRADE
11.11 INT	GRADE INTERPOLATED FROM EXISTING ADJACENT SPOT GRADES
PBC	PROPOSED BOTTOM OF CURB
EBC	EXISTING BOTTOM OF CURB
PTC	PROPOSED TOP OF CURB
ETC	EXISTING TOP OF CURB
PPL	PROPOSED GRADE AT PROPERTY LINE OR OUTSIDE FACE OF BUILDING
EPL	EXISTING GRADE AT PROPERTY LINE OR OUTSIDE FACE OF BUILDING
PTF	PROPOSED TOP OF FRAME GRADE AT EXISTING DRAINAGE STRUCTURE
ETF	EXISTING TOP OF FRAME GRADE AT EXISTING DRAINAGE STRUCTURE
* * *	EXISTING FIRE ALARM BOX (RESET TO NEW SIDEWALK GRADE)
⊙	EXISTING STREET LIGHTS (RESET TO NEW SIDEWALK GRADE)
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING CATCH BASIN (WITH GRATING AT EXISTING GRADE OR RESET TO NEW GRADE)
⊙	EXISTING MANHOLE
▨	STREET REPAIR OR RETOPPING
▬	NEW CURB - SEE PLAN FOR TYPE
▬	EXISTING CURB
⊕	EXISTING ADJACENT TREE TO REMAIN
⊕	EXISTING TREE INFORMATION INCLUDING SIZE OF TREE AND CRITICAL ROOT ZONE 'CRZ' SEE TREE PROTECTION NOTES

### SURVEY NOTE:

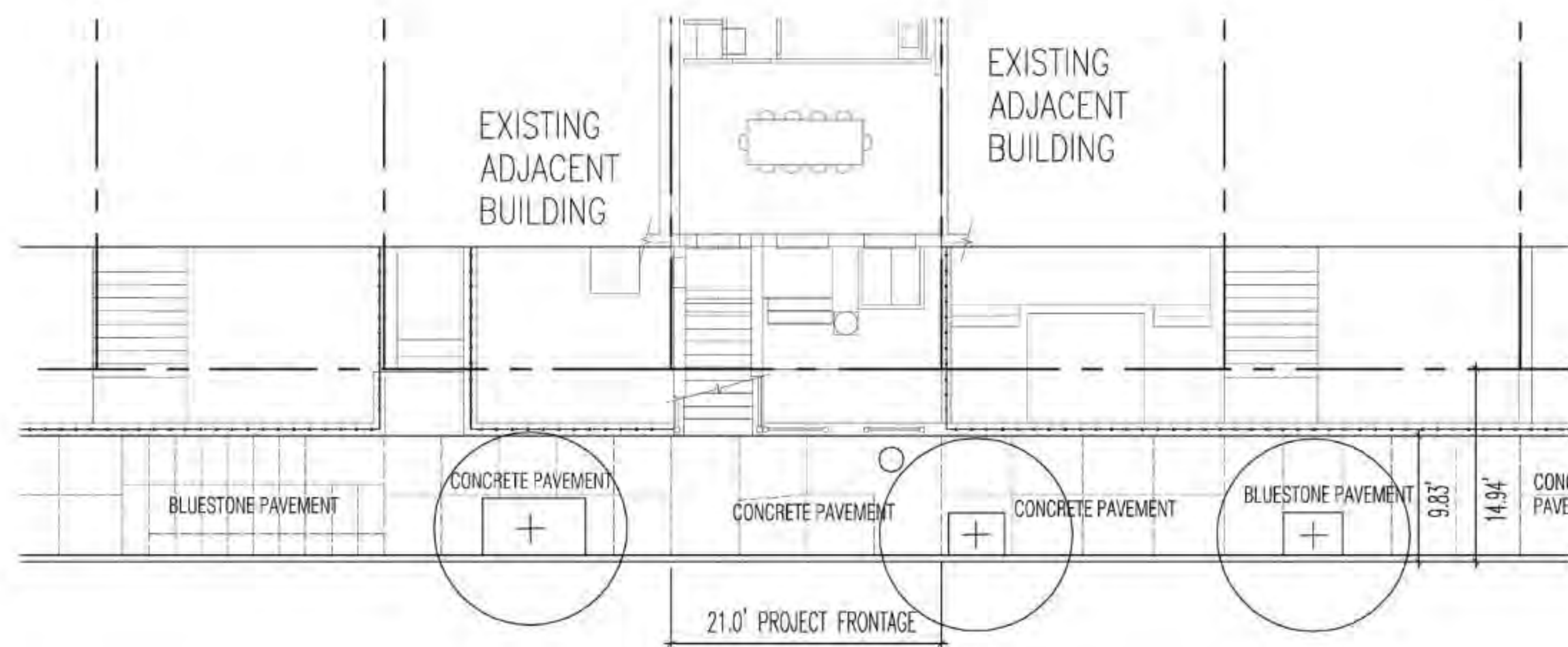
ONLY SELECT SURFACE VICINITY FEATURES ARE SHOWN ON THIS DRAWING. CONTRACTOR TO REFER TO THE SITE SURVEY DRAWING FOR THE LOCATION OF MORE COMPLETE INFORMATION ON THE SURFACE AND UNDERGROUND UTILITY FACILITIES ALONG THE PROJECT SITE.

### SIDEWALK REPAIR PLAN

NOT TO SCALE (1/8" = 1'-0" on D size paper)

as prepared by

SULLIVAN GROUP DESIGN, LLC  
56 pine street, 16a  
new york, ny 10005  
tel 212 352 8636  
date on plan - november 04, 2019

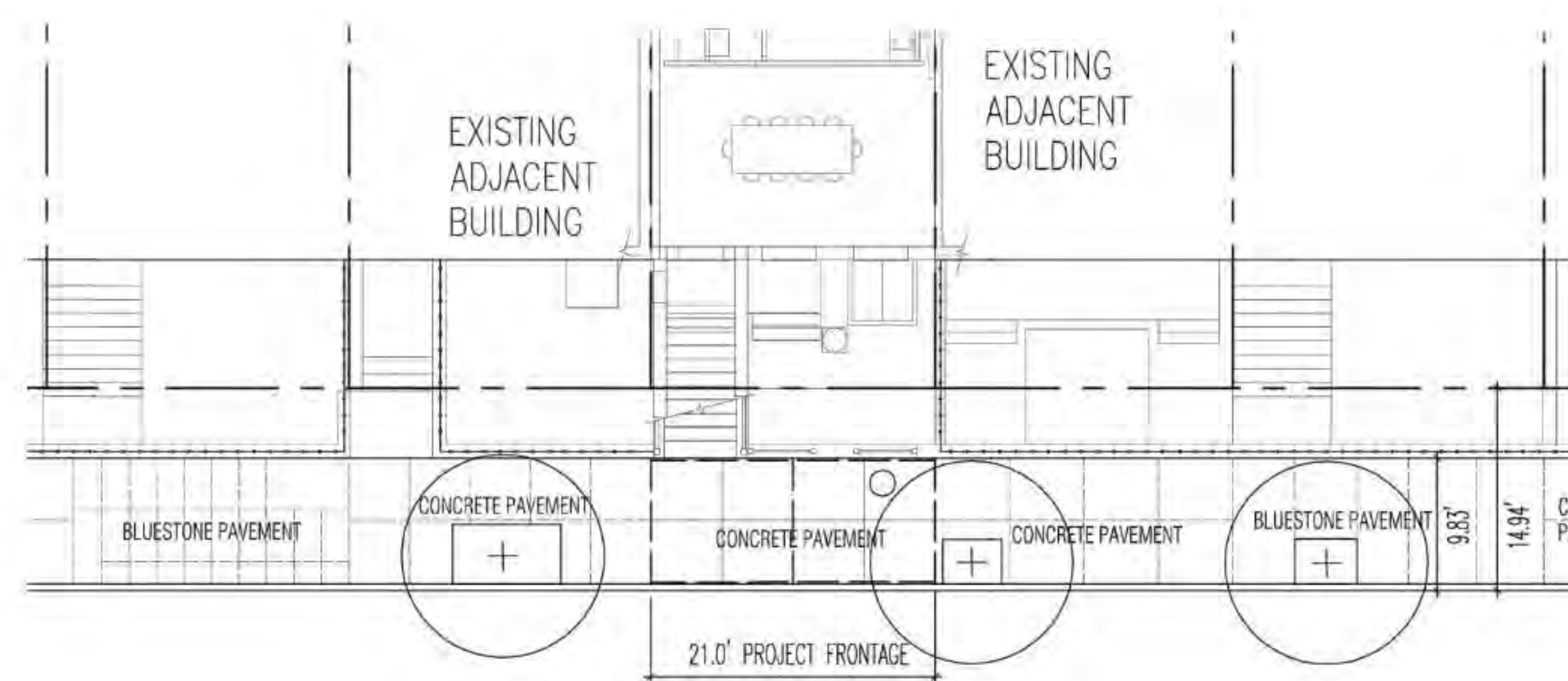


### EXISTING SIDEWALK SCORING PLAN

NOT TO SCALE (1/8" = 1'-0" on D size paper)

as prepared by

SULLIVAN GROUP DESIGN, LLC  
56 pine street, 16a  
new york, ny 10005  
tel 212 352 8636  
date on plan - november 04, 2019



### PROPOSED SIDEWALK SCORING PLAN

NOT TO SCALE (1/8" = 1'-0" on D size paper)

as prepared by

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date on plan - november 04, 2019



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CB hearing date  
**08-13-20** LPC hearing date  
**TBD**

landmarks preservation commission review

**L-001J of 32**



# AREAWAY AND UNDER-STOOP VESTIBULE

PHOTOGRAPHS OF EXISTING AREAWAY AND UNDER-STOOP VESTIBULE CONDITIONS



PHOTO OF VESTIBULE FROM AREAWAY  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE

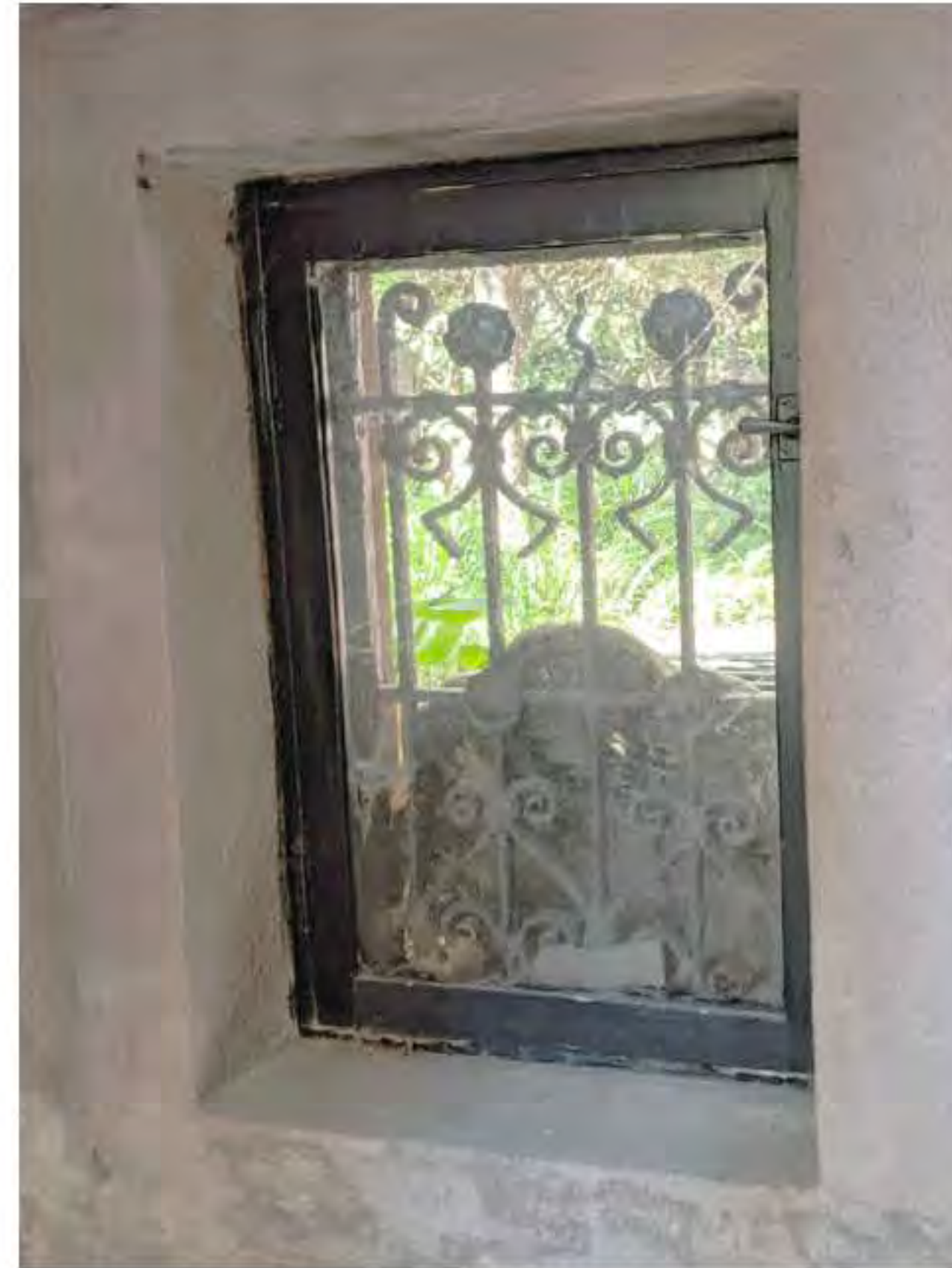


PHOTO OF VESTIBULE WINDOW FROM INTERIOR  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE

PHOTO OF AREAWAY  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE



PHOTO OF AREAWAY FROM VESTIBULE  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE



PHOTO OF DOORWAY AT AREAWAY  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE



PHOTO OF LANDING AT AREAWAY  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE

JACQUELINE BIL-DUVALLO  
HISTORIC PRESERVATION CONSULTING, LLC  
**IMAGEN**  
architecture

the proposed additions & interior alterations  
to a single family residential townhouse at  
**121 WEST 11TH STREET**  
greenwich village, manhattan borough  
new york, ny 10011

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architects & associates  
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PMB 285 tenafly nj 07670  
tel 973 370 0033 fax 973 370 0063  
IMAGEN@IMAGENarchitecture.com  
raul g mederos ra ny license 034595

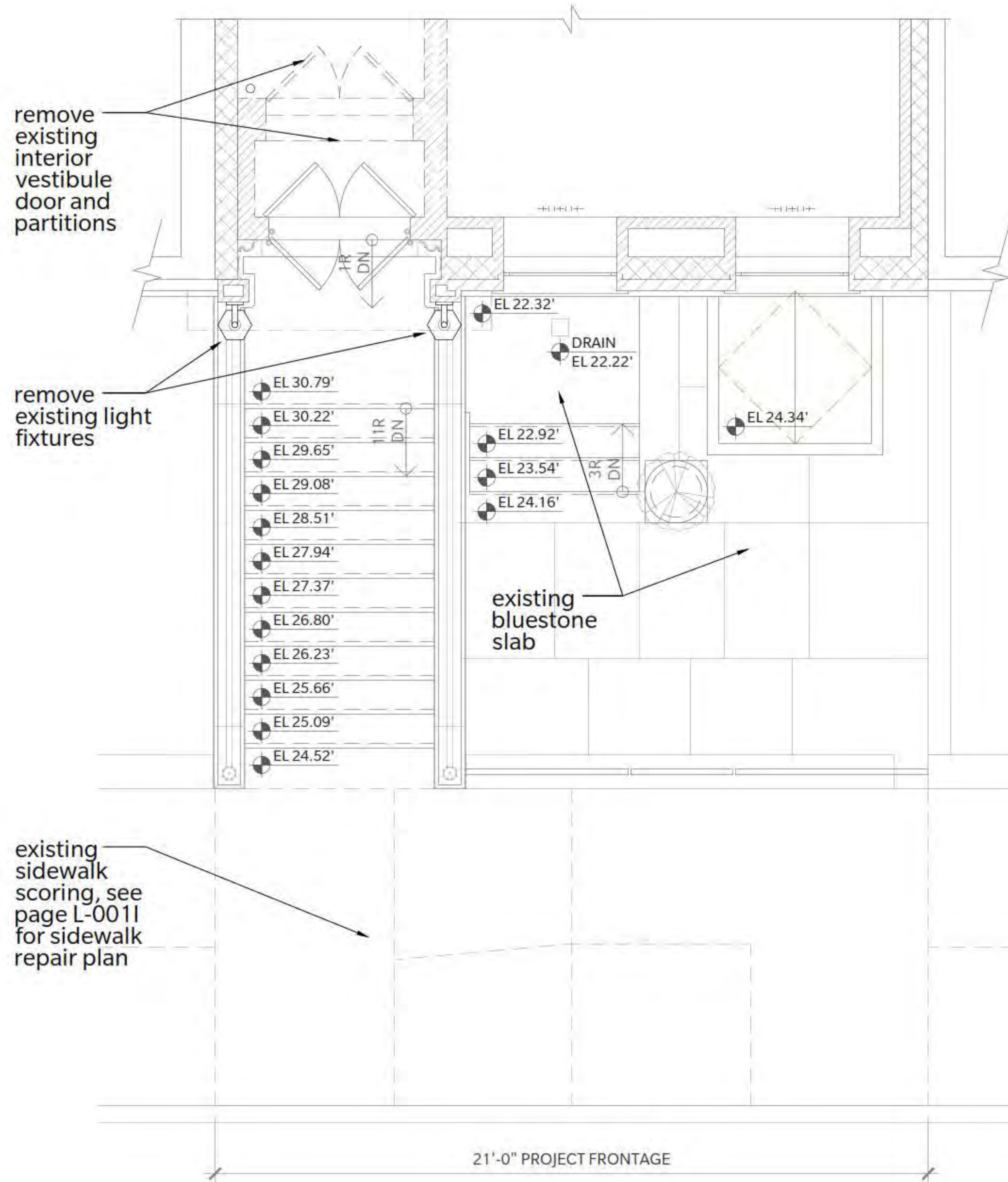
CB hearing date 08-13-20 LPC hearing date TBD

landmarks preservation commission review  
**L-001K of 32**

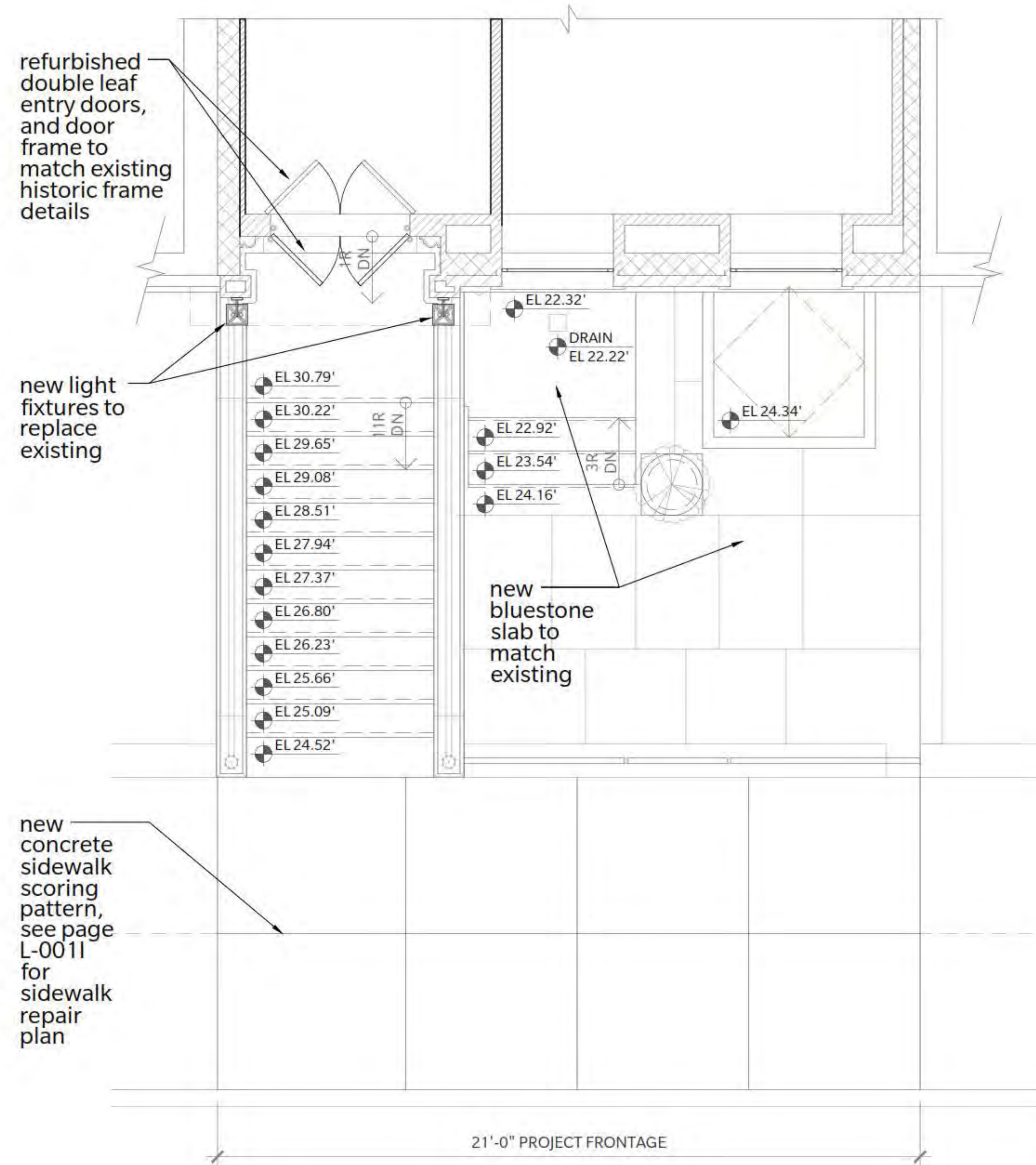


# FRONT STOOP ALTERATIONS

EXISTING & PROPOSED STOOP PLANS AND SIDEWALK SCORING PLANS



**EXISTING STOOP PLAN**  
NOT TO SCALE (1/2" = 1'-0" on D size paper)



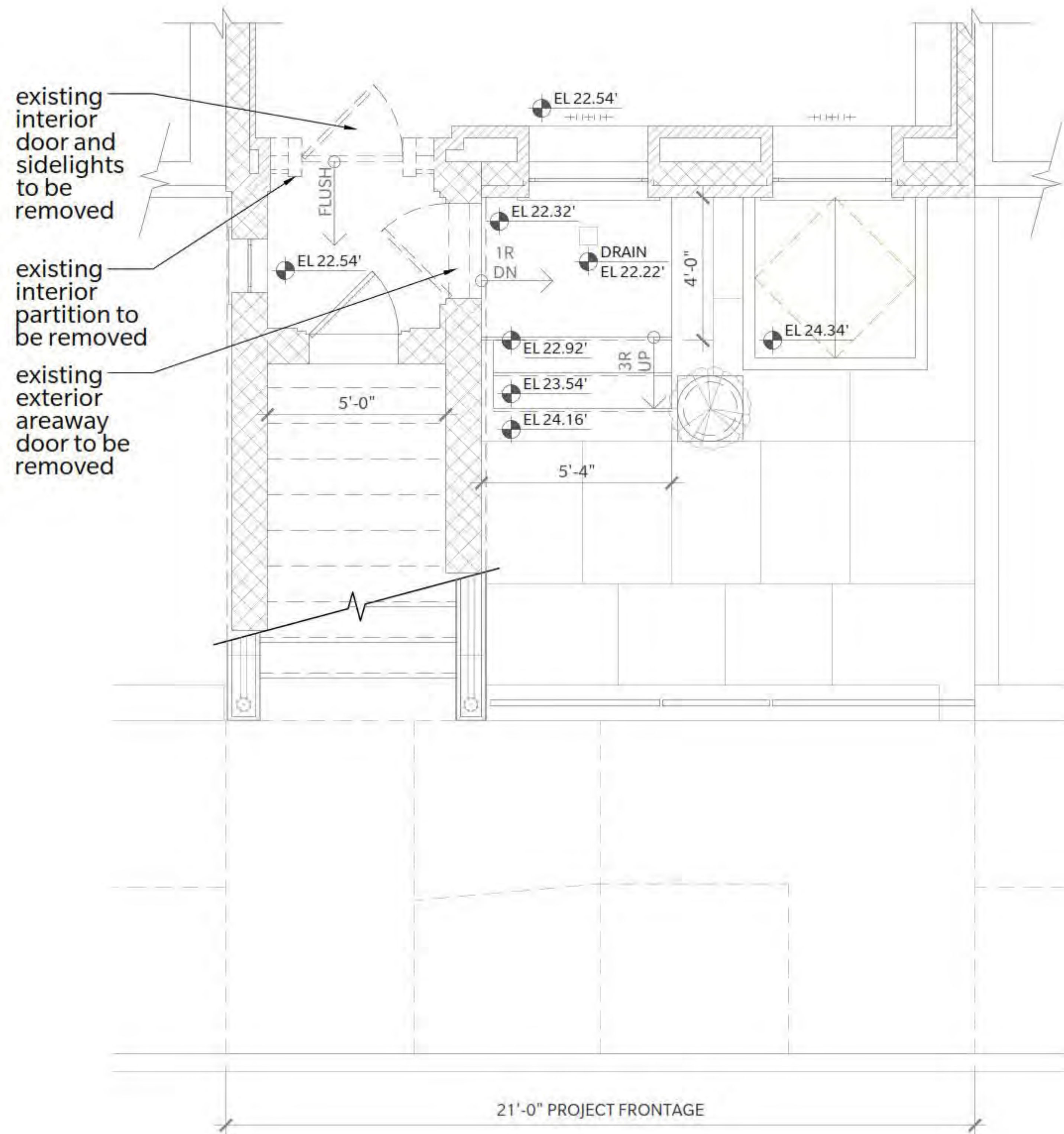
**PROPOSED STOOP PLAN**  
NOT TO SCALE (1/2" = 1'-0" on D size paper)

  
 the proposed additions & interior alterations to a single family residential townhouse at  
**121 WEST 11TH STREET**  
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 CB hearing date 08-13-20 LPC hearing date TBD  
 landmarks preservation commission review  
**L-001L of 32**

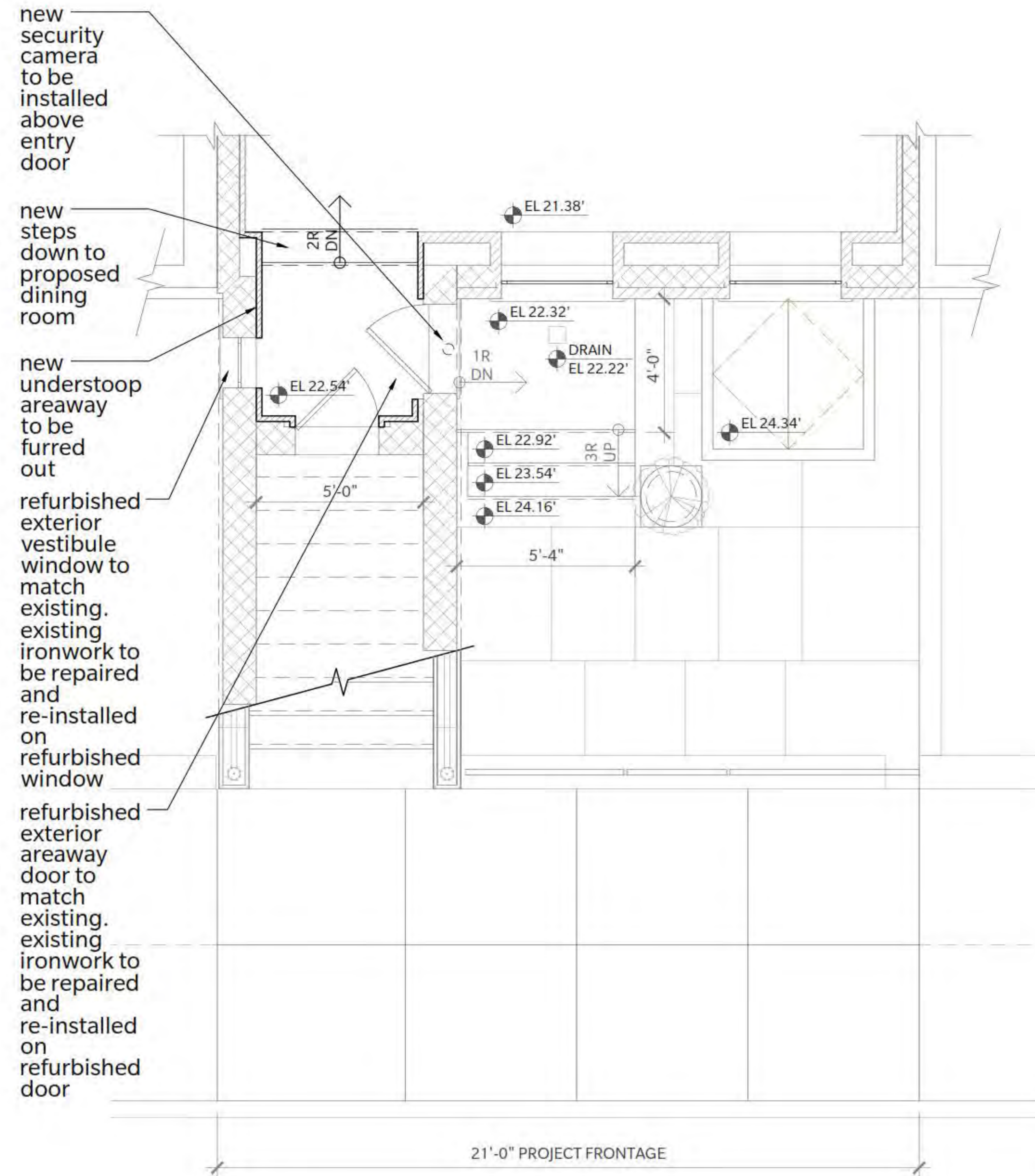


# AREAWAY AND UNDER-STOOP ENTRANCE ALTERATIONS

EXISTING & PROPOSED AREAWAY/UNDER-STOOP PLANS



**EXISTING STOOP PLAN AT LOW AREA**  
NOT TO SCALE (1/2" = 1'-0" on D size paper)



**PROPOSED STOOP PLAN AT LOW AREA**  
NOT TO SCALE (1/2" = 1'-0" on D size paper)



the proposed additions & interior alterations to a single family residential townhouse at  
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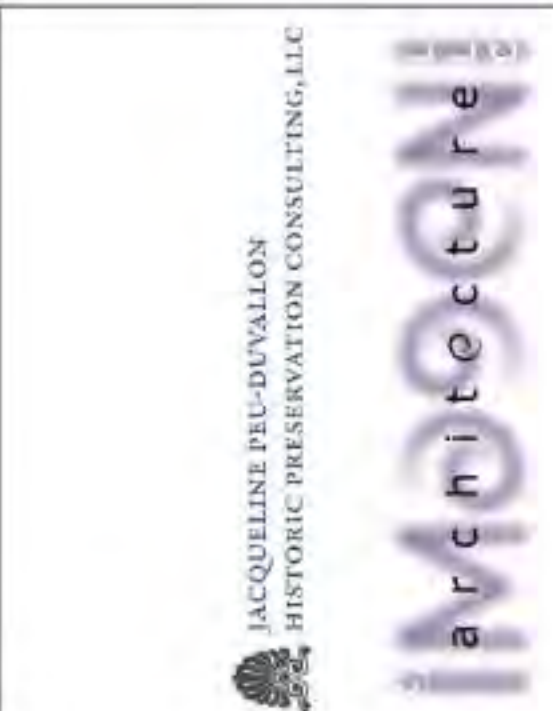
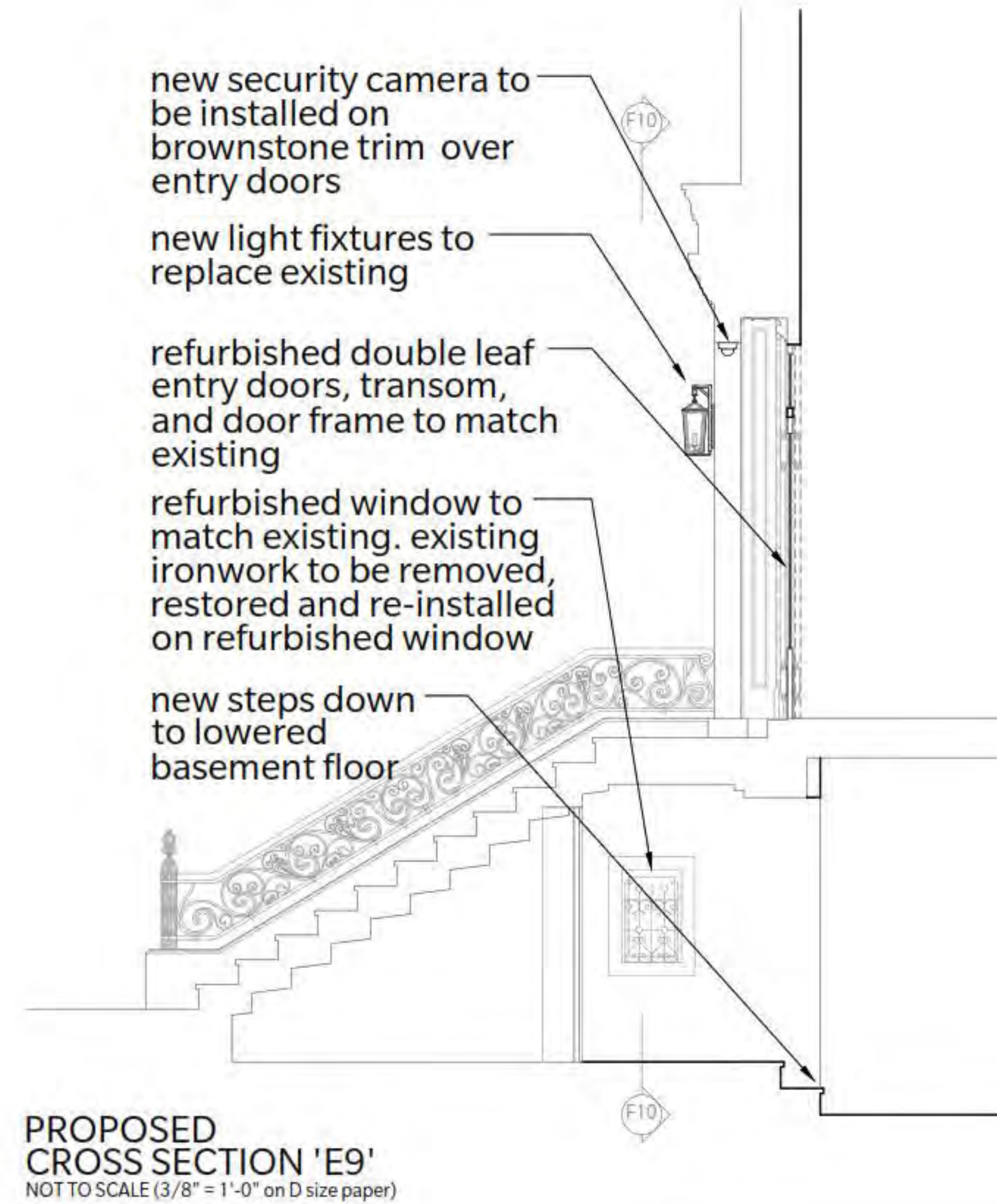
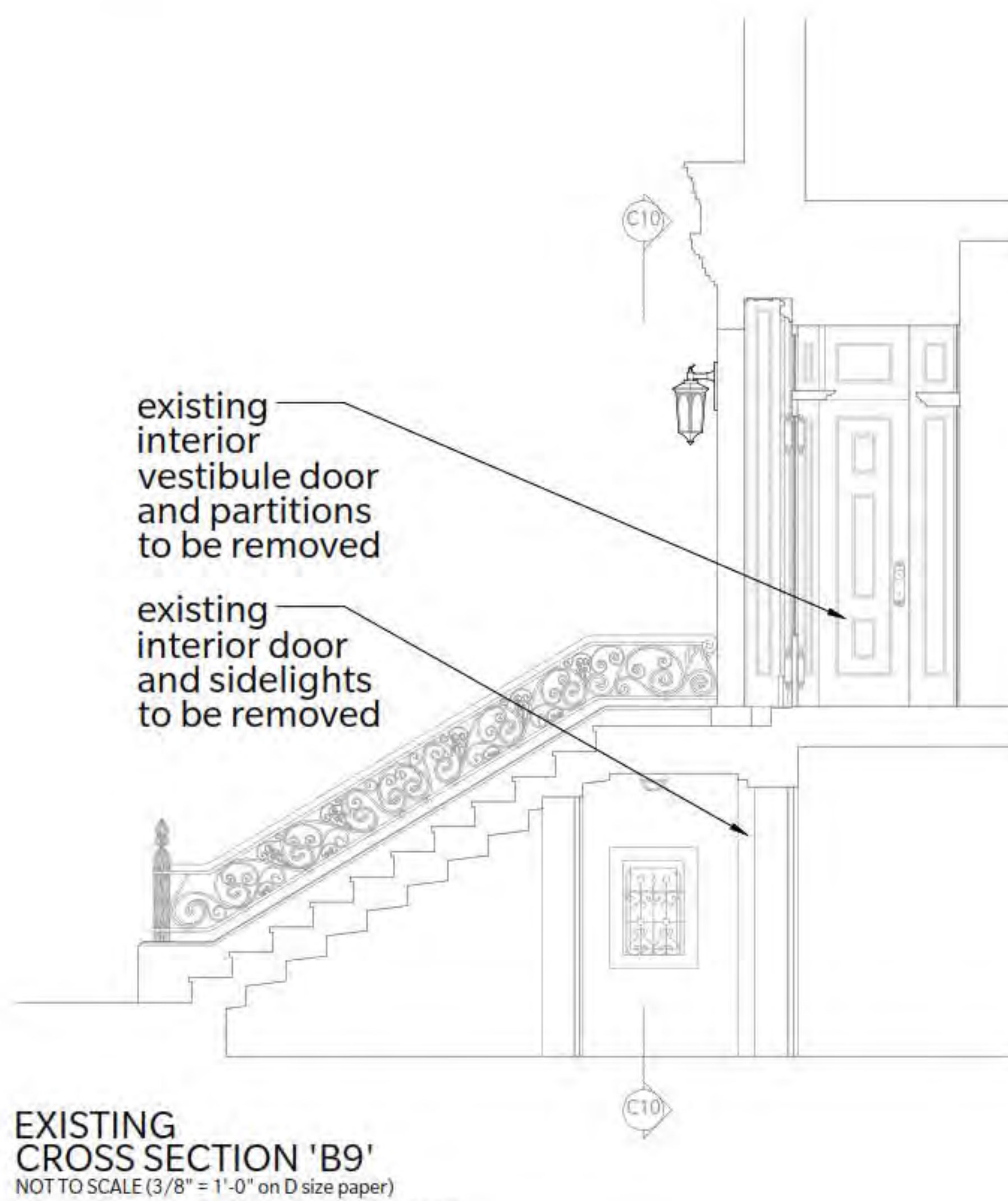
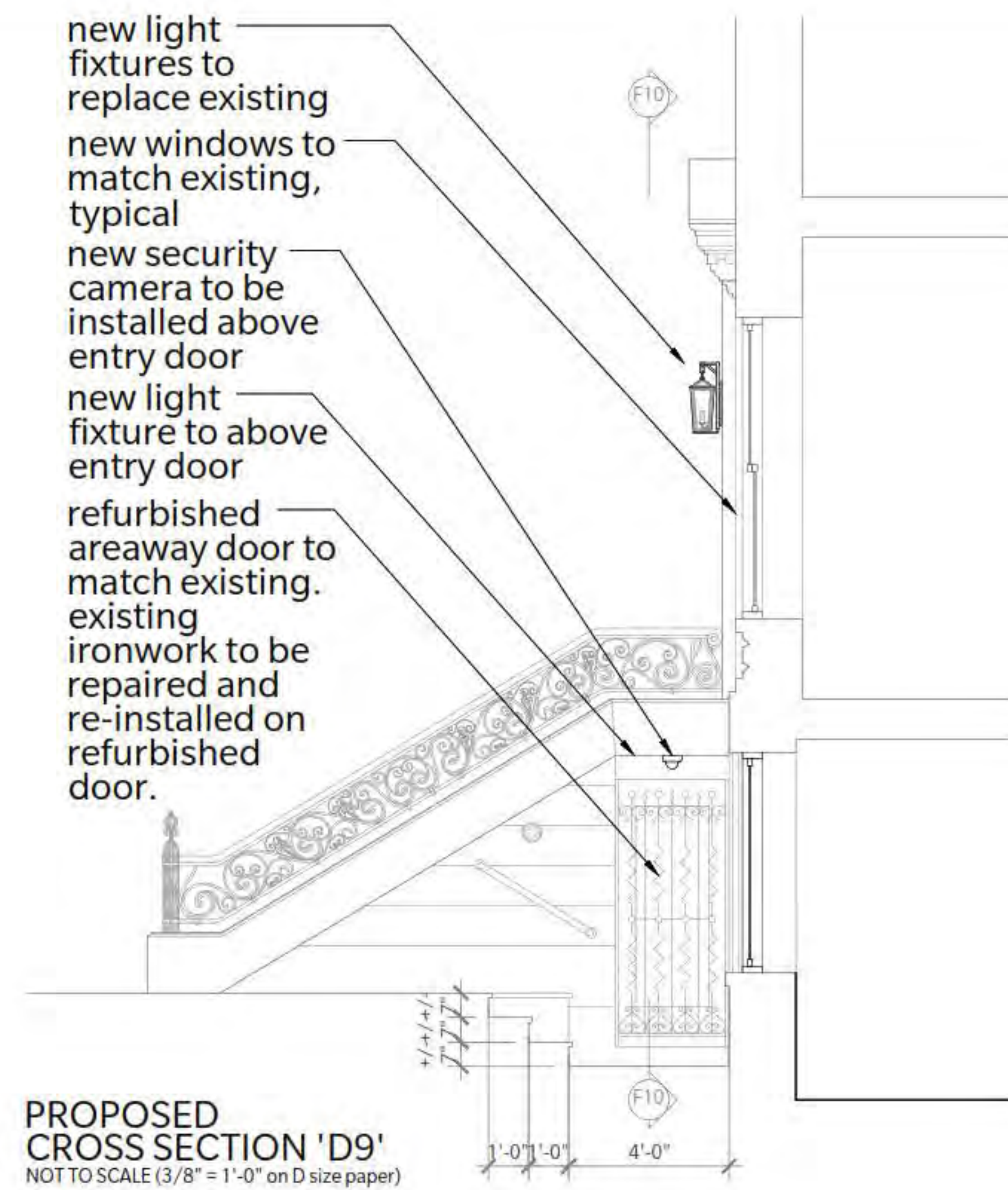
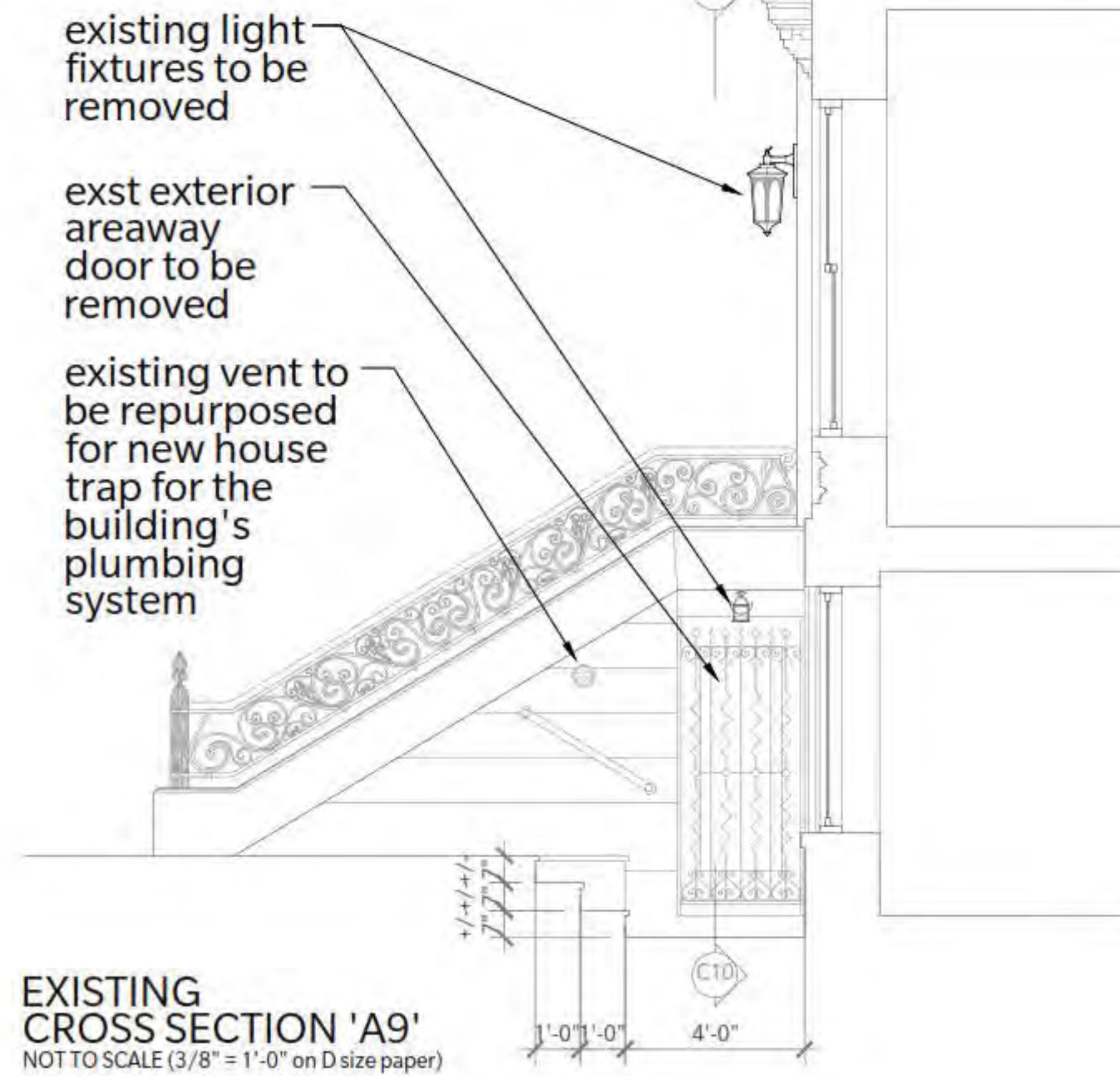
CB hearing date **08-13-20** LPC hearing date **TBD**

landmarks preservation commission review



# AREAWAY AND UNDER-STOOP ENTRANCE ALTERATIONS

## EXISTING & PROPOSED AREAWAY/UNDER-STOOP SECTIONS



the proposed additions & interior alterations to a single family residential townhouse at  
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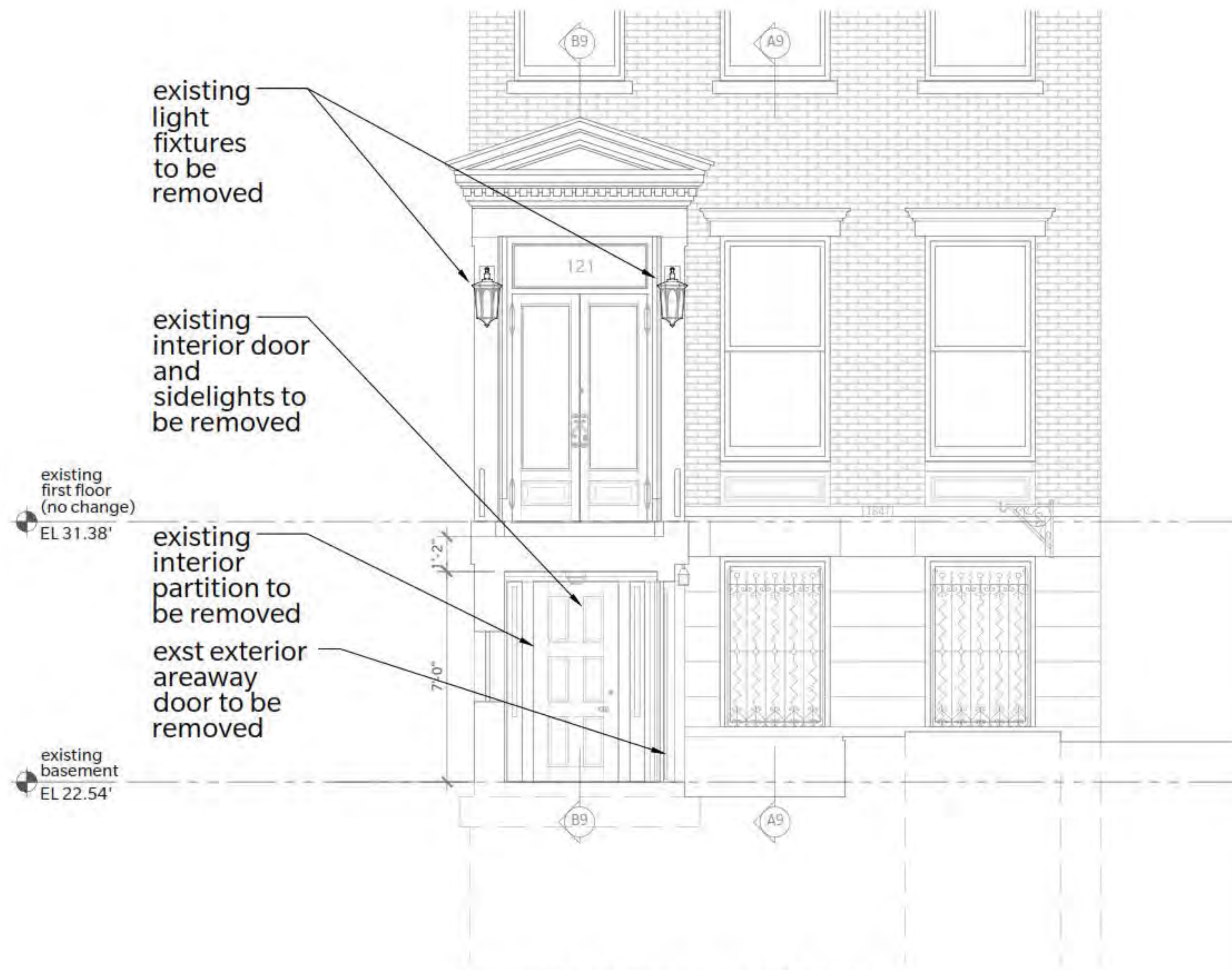
CB hearing date: 08-13-20  
 LPC hearing date: TBD

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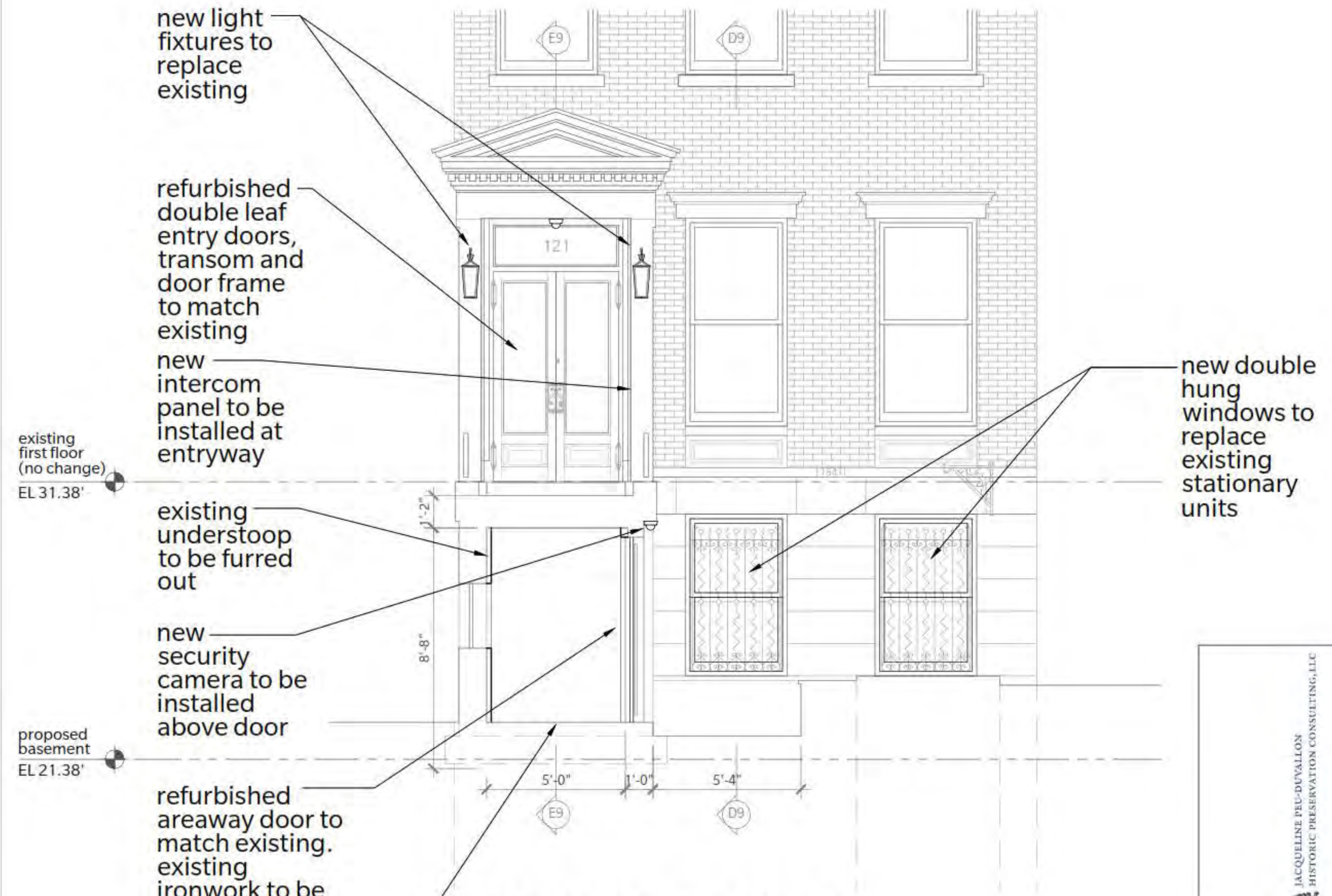


# AREAWAY AND UNDER-STOOP ENTRANCE ALTERATIONS

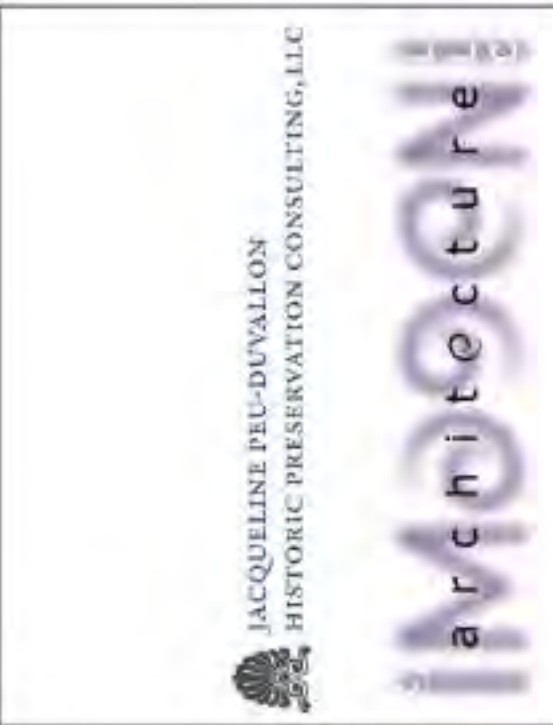
## EXISTING & PROPOSED AREAWAY/UNDER-STOOP SECTIONS



**EXISTING CROSS SECTION 'C10'**  
NOT TO SCALE (3/8" = 1'-0" on D size paper)



**PROPOSED CROSS SECTION 'F10'**  
NOT TO SCALE (3/8" = 1'-0" on D size paper)



the proposed additions & interior alterations to a single family residential townhouse at  
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CB hearing date  
**08-13-20** LPC hearing date  
**TBD**

landmarks preservation commission review  
**L-0010 of 32**



# FRONT FACADE

## EXISTING AND PROPOSED FIRST FLOOR FACADE



PHOTO OF FRONT ENTRY DOORS  
(DATE OF PHOTO 06/28/19)  
NOT TO SCALE



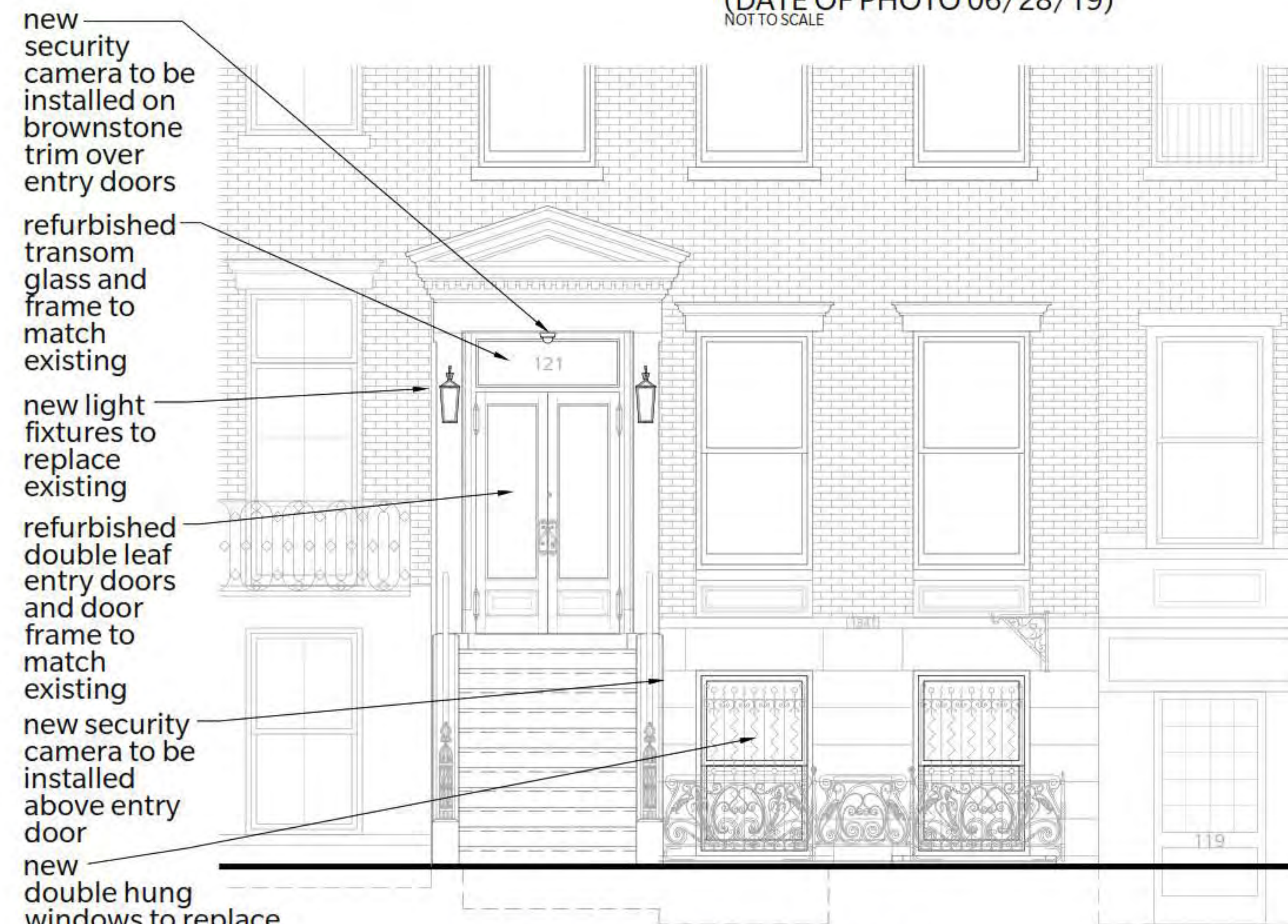
PHOTO OF FRONT YARD AREA  
(DATE OF PHOTO 06/28/19)  
NOT TO SCALE



PHOTO OF FRONT ENTRY STEPS  
(DATE OF PHOTO 06/28/19)  
NOT TO SCALE



EXISTING FIRST FLOOR ELEVATION  
NOT TO SCALE (3/8" = 1'-0" on D size paper)



PROPOSED FIRST FLOOR ELEVATION  
NOT TO SCALE (3/8" = 1'-0" on D size paper)

  
 the proposed additions & interior alterations  
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CB hearing date 08-13-20	LPC hearing date TBD
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landmarks preservation commission review  
L-001P of 32



# ENTRY DOORS DETAILS

## EXISTING CONDITIONS OF ENTRY DOORS



CLOSE UP OF EXISTING ENTRY DOORS  
(DATE OF PHOTO 03/03/20)  
NOT TO SCALE



CLOSE UP OF EXISTING SOFFIT OVER ENTRY DOORS  
(DATE OF PHOTO 03/03/20)  
NOT TO SCALE



CLOSE UP OF EXISTING ENTRY DOORS  
LOCATION OF EXISTING DOORBELL  
(DATE OF PHOTO 03/03/20)  
NOT TO SCALE



CLOSE UP OF EXISTING ENTRY DOOR HINGE  
(DATE OF PHOTO 03/03/20)  
NOT TO SCALE



CLOSE UP OF EXISTING ENTRY DOORS  
BROKEN GLASS IN LEFT OUTER DOOR  
(DATE OF PHOTO 03/03/20)  
NOT TO SCALE



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landmarks preservation commission review  
**L-001Q of 32**



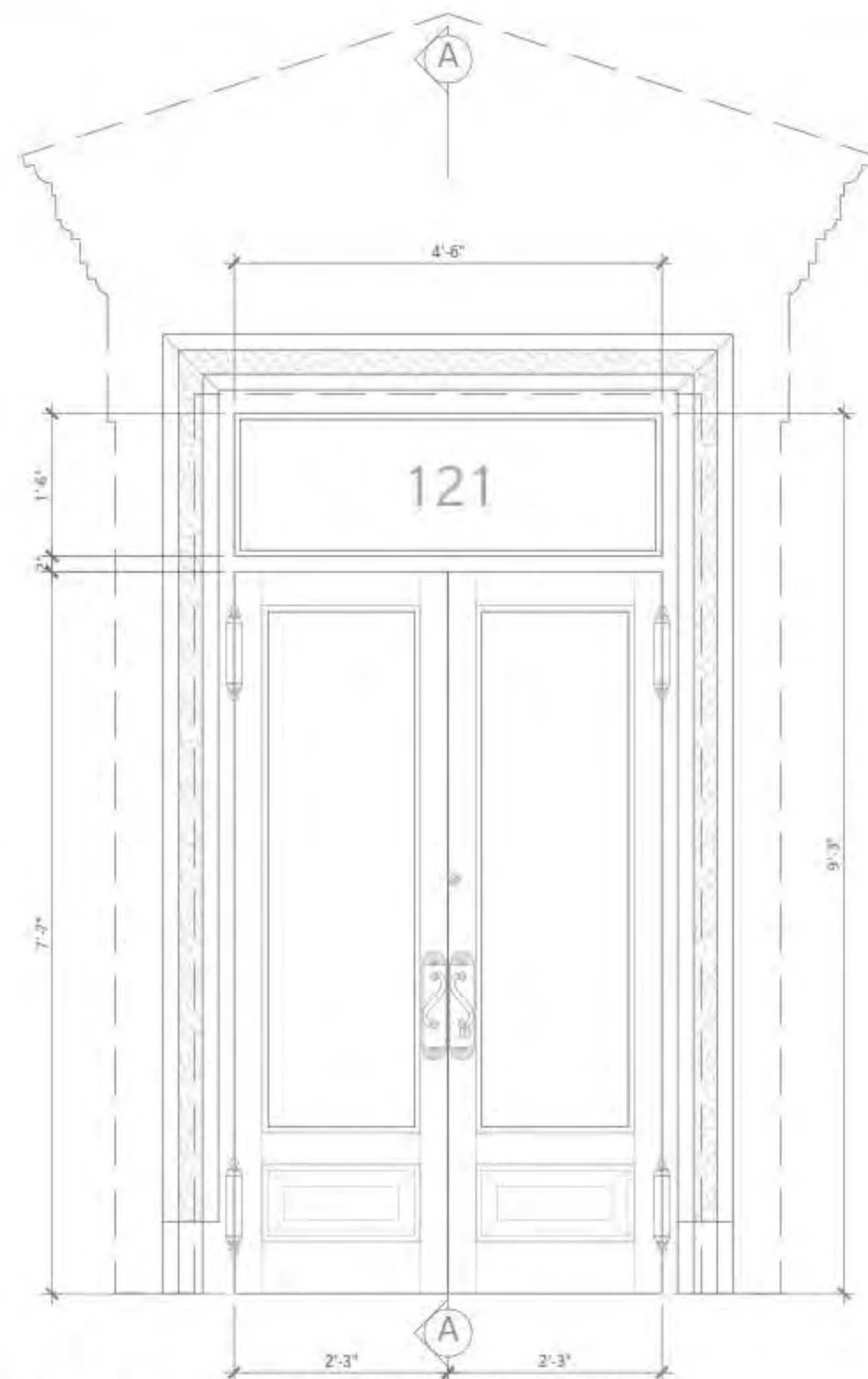
**ENTRY DOORS**  
EXISTING & PROPOSED DOOR DETAILS



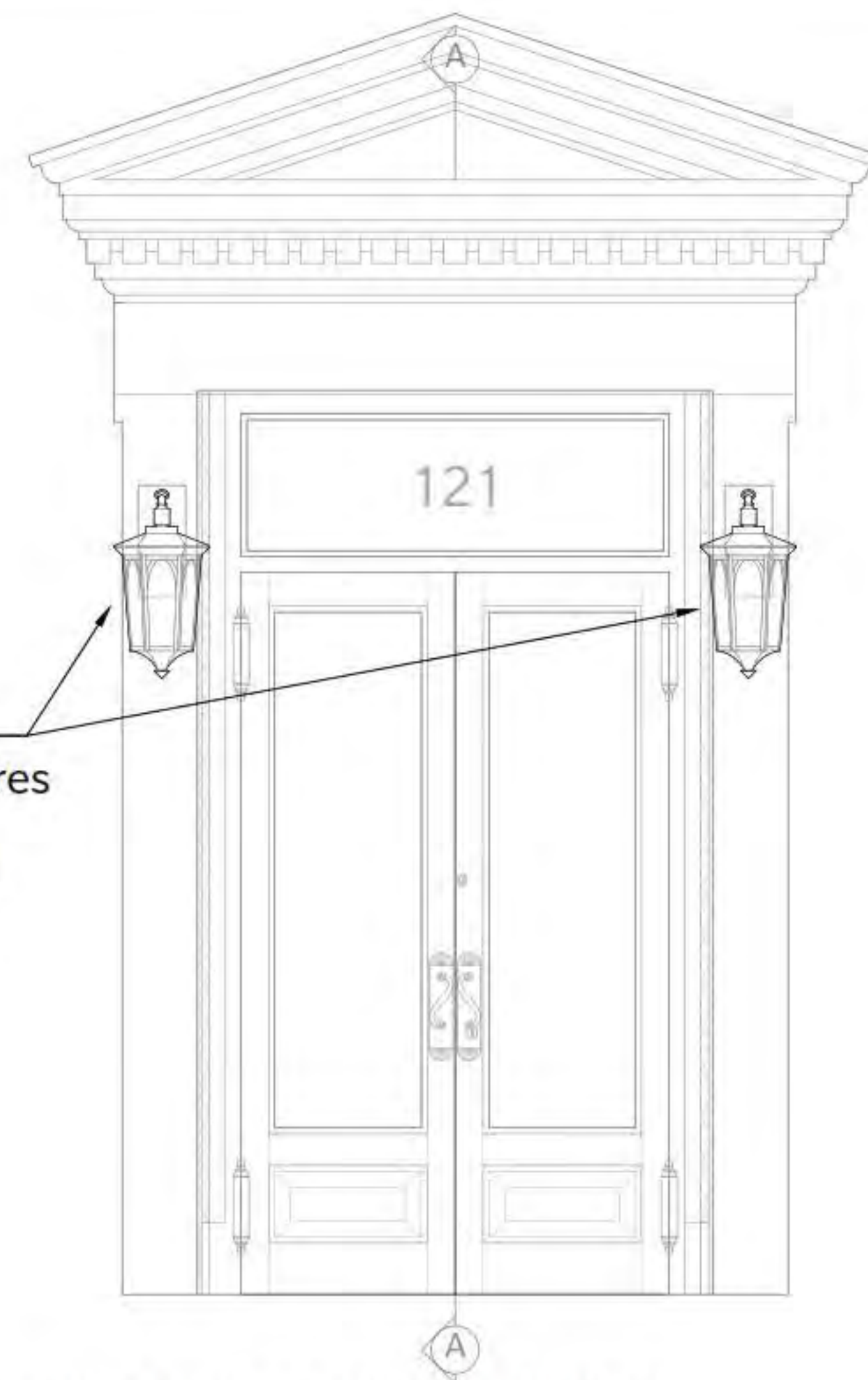
PHOTO OF EXISTING OUTER ENTRY DOORS  
(DATE OF PHOTO 03/03/20)  
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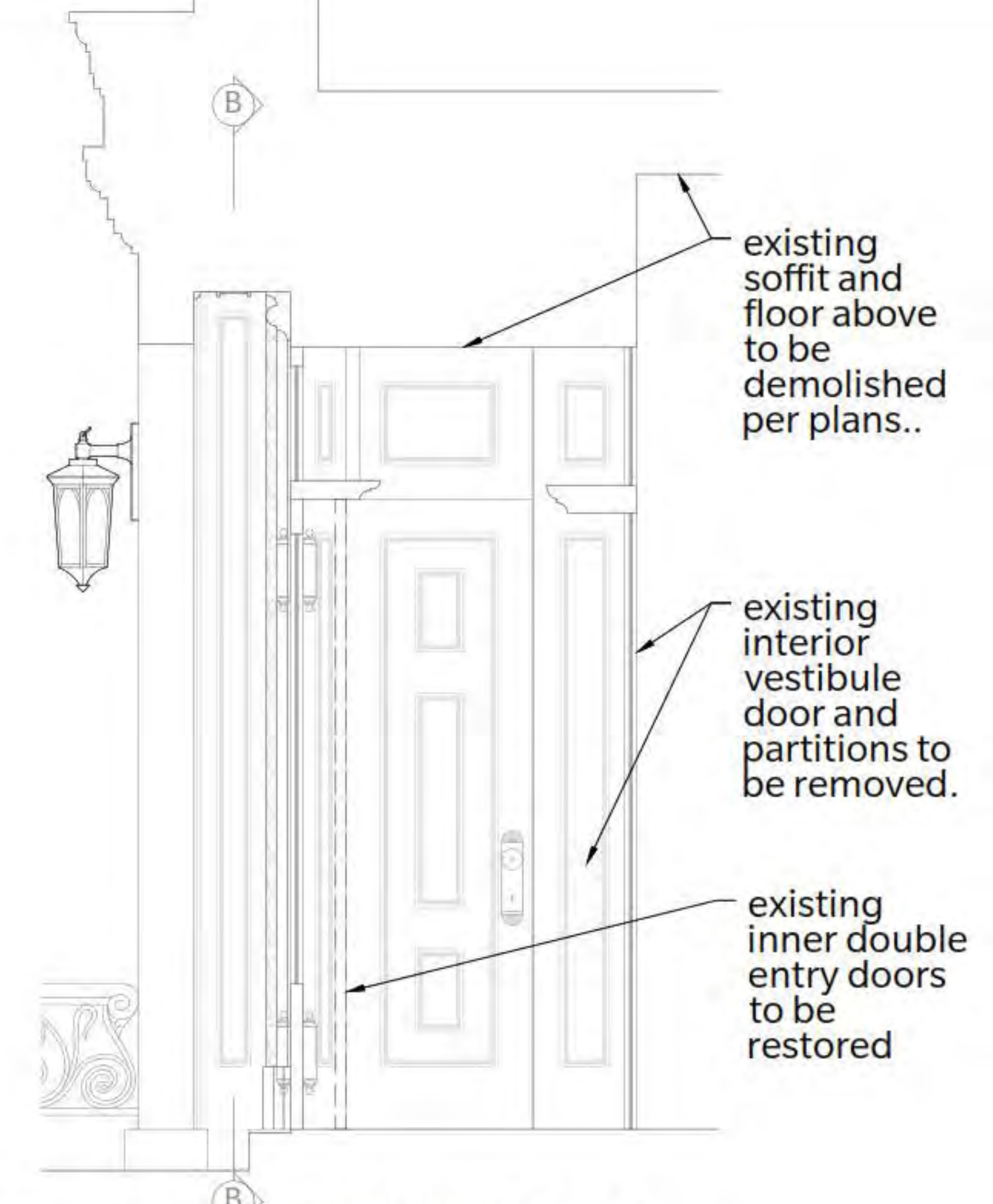
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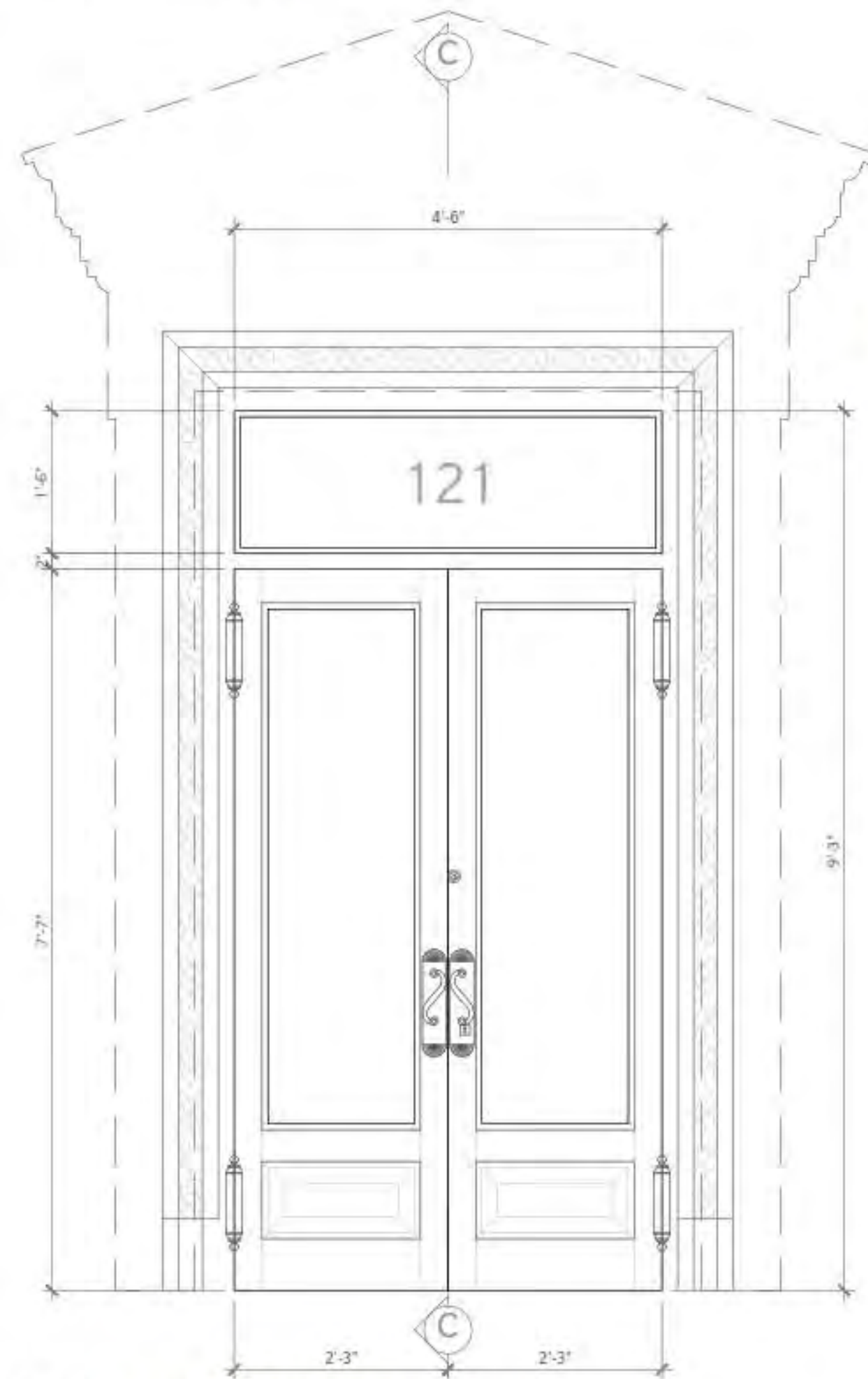
EXISTING ENTRY DOORS SECTION 'B'  
NOT TO SCALE (3/4" = 1'-0" on D size paper)



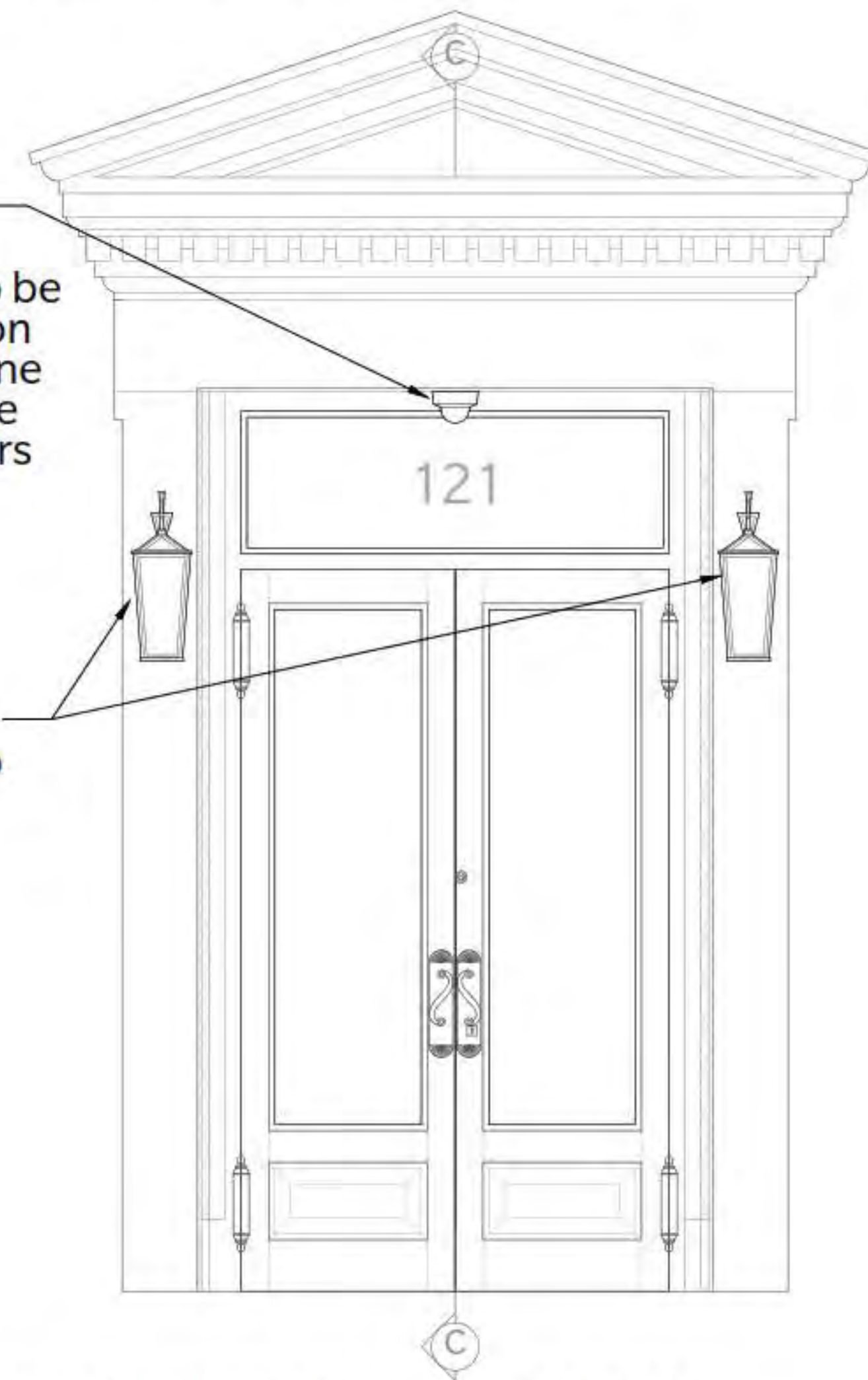
EXISTING ENTRY DOORS ELEVATION  
NOT TO SCALE (3/4" = 1'-0" on D size paper)



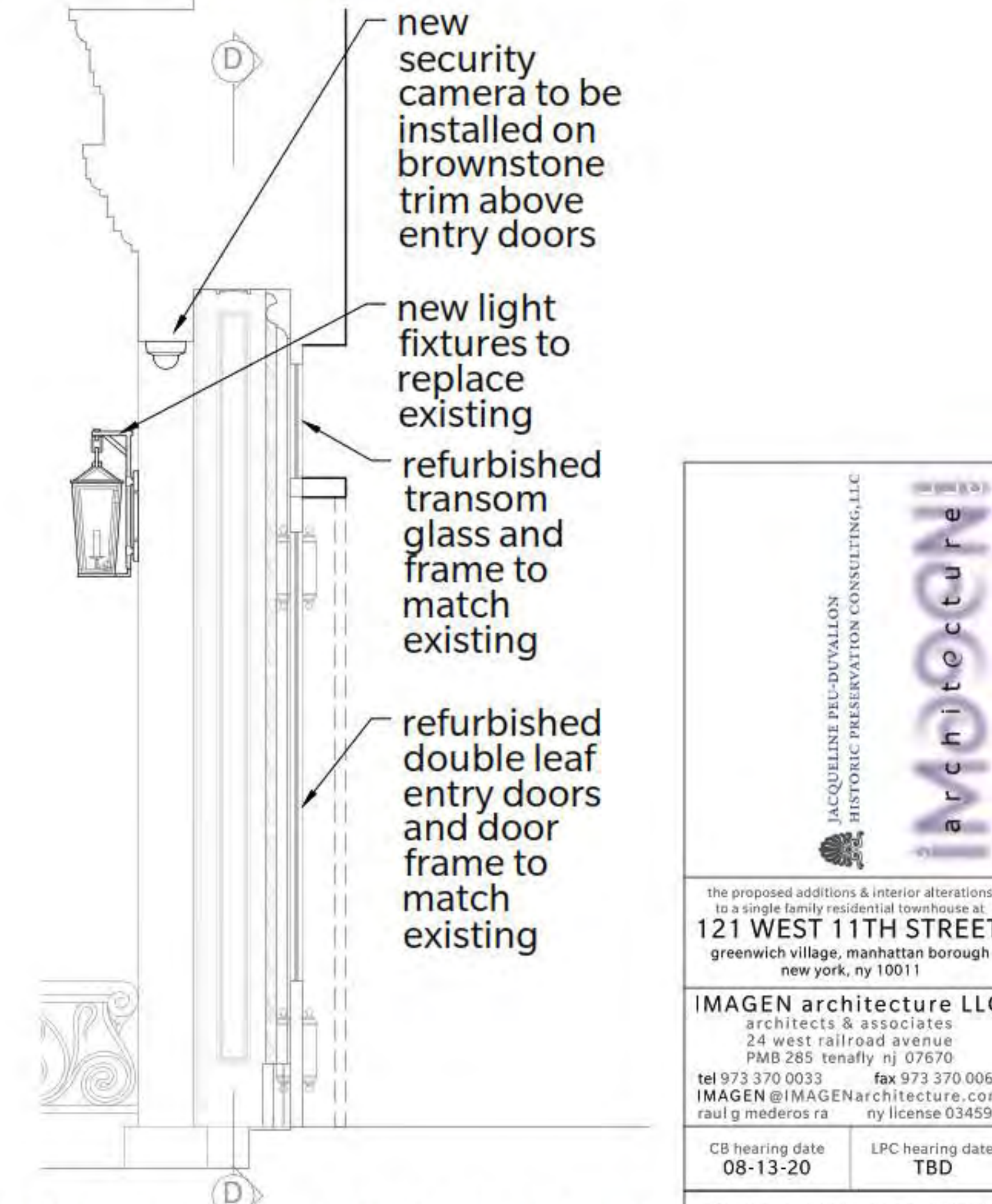
EXISTING ENTRY DOORS SECTION 'A'  
NOT TO SCALE (3/4" = 1'-0" on D size paper)



PROPOSED ENTRY DOORS SECTION 'D'  
NOT TO SCALE (3/4" = 1'-0" on D size paper)



PROPOSED ENTRY DOORS ELEVATION  
NOT TO SCALE (3/4" = 1'-0" on D size paper)



PROPOSED ENTRY DOORS SECTION 'C'  
NOT TO SCALE (3/4" = 1'-0" on D size paper)

**IMAGEN**  
architecture

JACQUELINE BIL-DUVALLOON  
HISTORIC PRESERVATION CONSULTING, LLC

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08-13-20

LPC hearing date  
TBD

landmarks preservation commission review  
L-001R of 32



# LIGHT FIXTURES

## EXISTING & PROPOSED LIGHT FIXTURES AT MAIN ENTRY



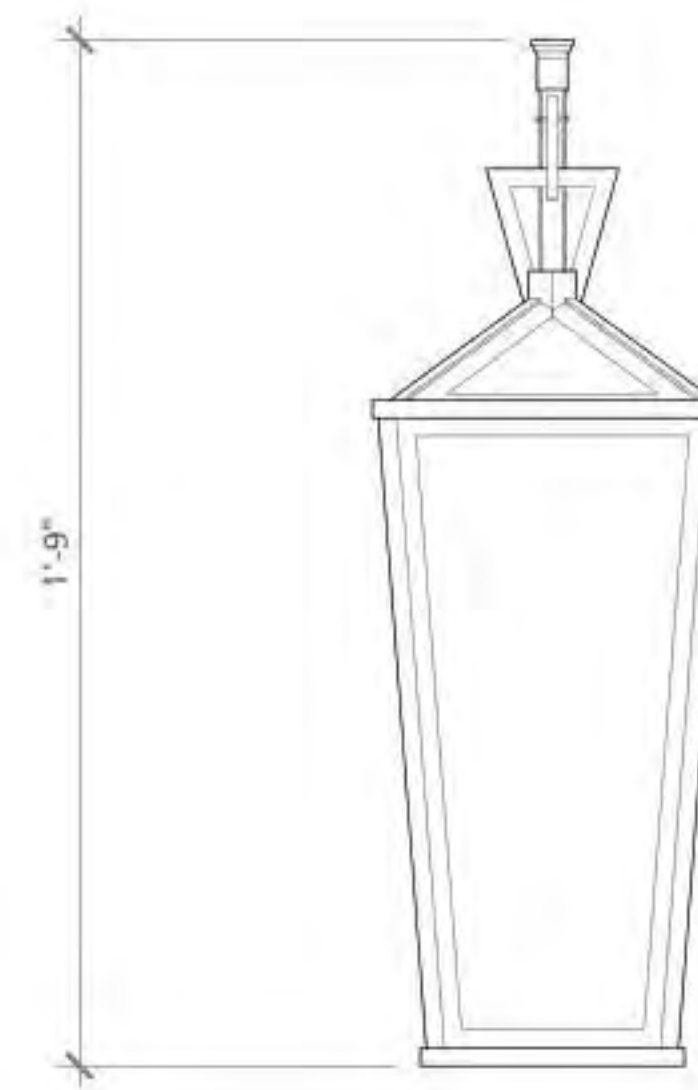
EXISTING LIGHT FIXTURE  
NOT TO SCALE



EXISTING LIGHT FIXTURE  
3" = 1'-0" on D size paper



PROPOSED LIGHT FIXTURE  
NOT TO SCALE



PROPOSED LIGHT FIXTURE  
3" = 1'-0" on D size paper

JACQUELINE BIL-DUVALLOX  
HISTORIC PRESERVATION CONSULTING, LLC  
**architect**

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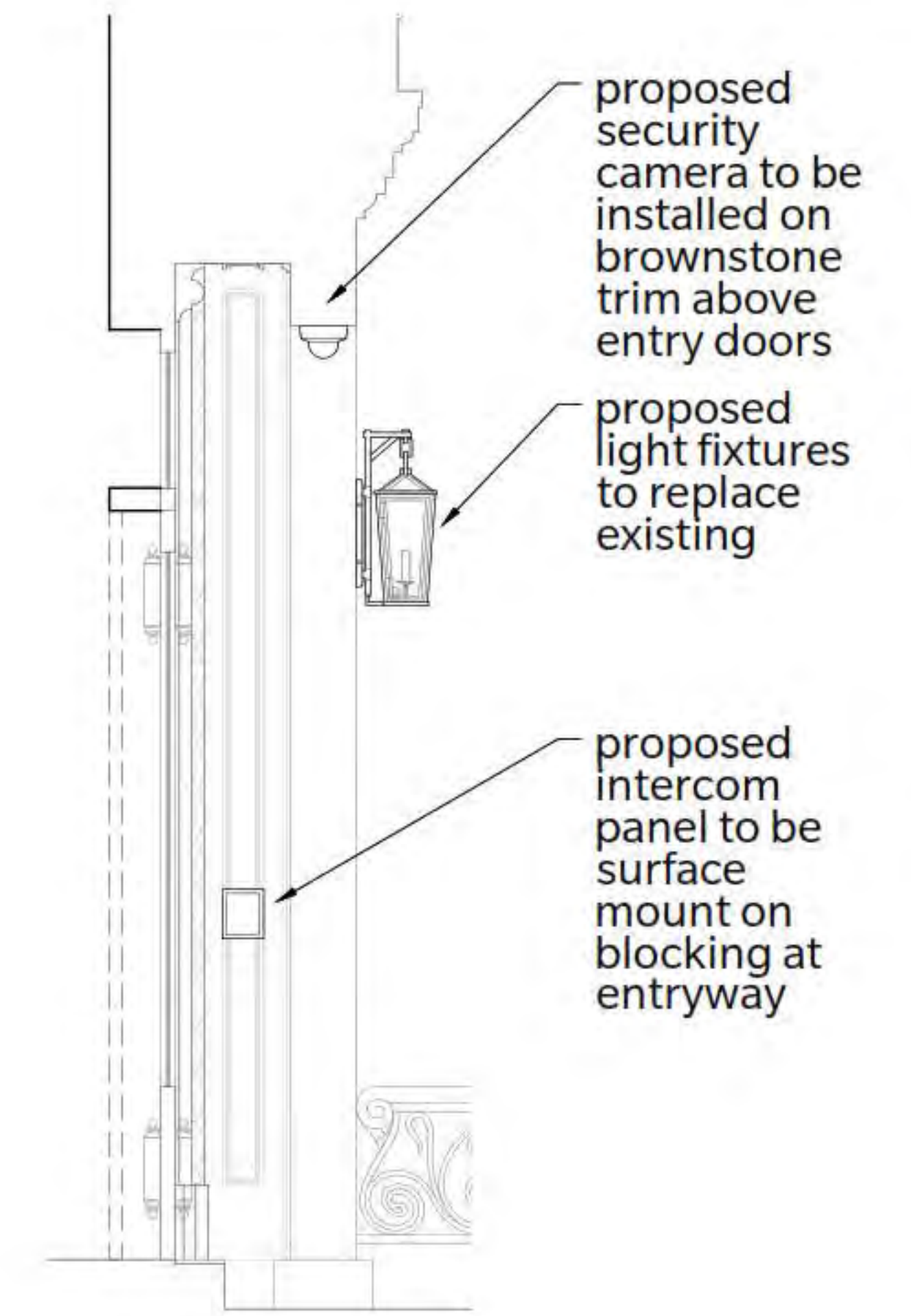
CB hearing date  
**08-13-20**  
LPC hearing date  
**TBD**

landmarks preservation commission review  
**L-001S of 32**



# LIGHT FIXTURE, CAMERA & INTERCOM

PROPOSED LIGHT FIXTURE, SECURITY CAMERA AND INTERCOM PANEL AT MAIN ENTRANCE

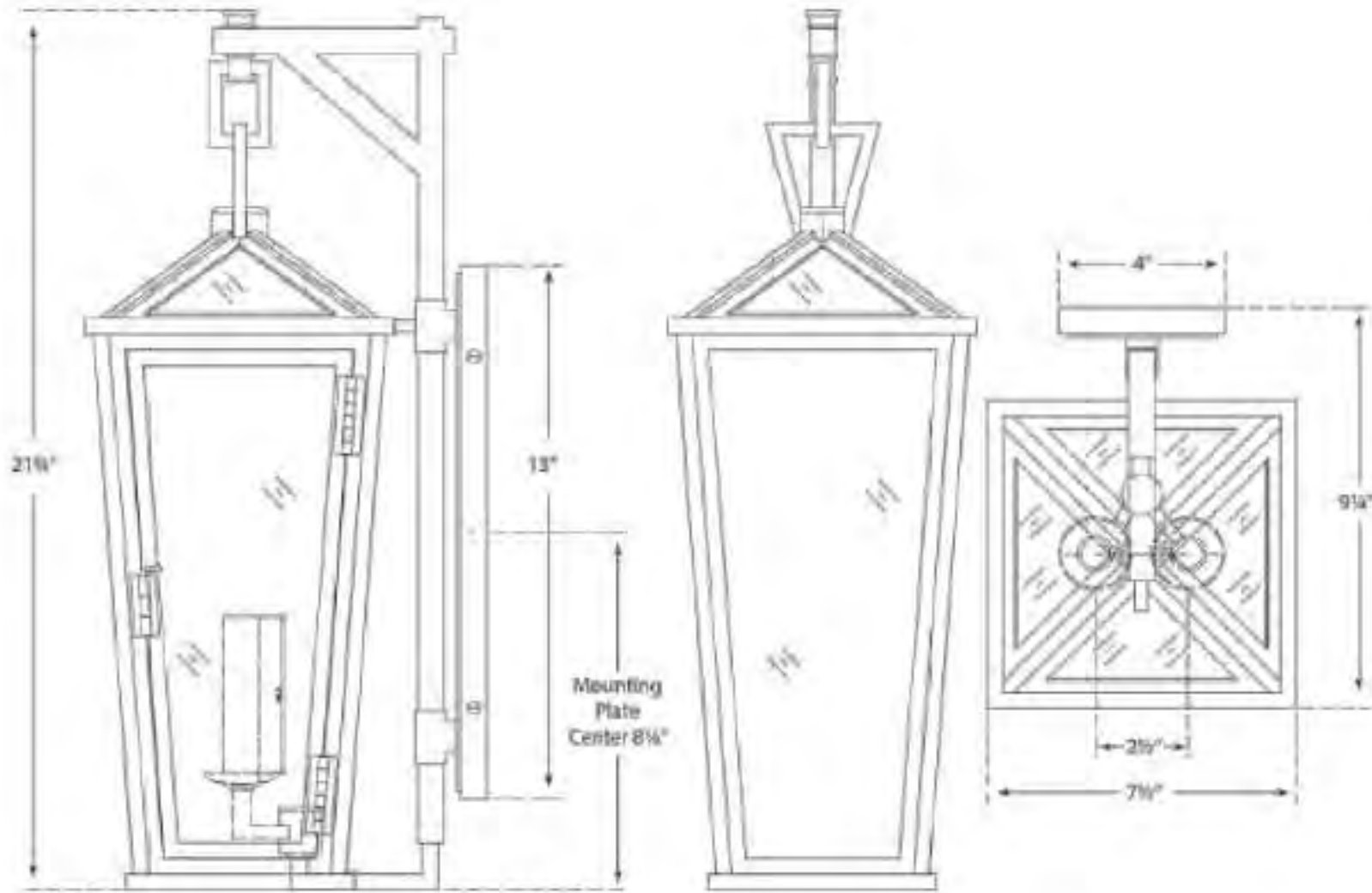


PROPOSED LIGHT FIXTURE  
NOT TO SCALE

PROPOSED SECURITY CAMERA WITH SMOKED DOME  
NOT TO SCALE

PROPOSED SURFACE MOUNTED INTERCOM INSTALLED ON BLOCKING 'BLACK BRUSHED NICKEL'  
NOT TO SCALE

PROPOSED LIGHT FIXTURE SECURITY CAMERA & INTERCOM LOCATIONS  
NOT TO SCALE (3/4" = 1'-0" on D size paper)

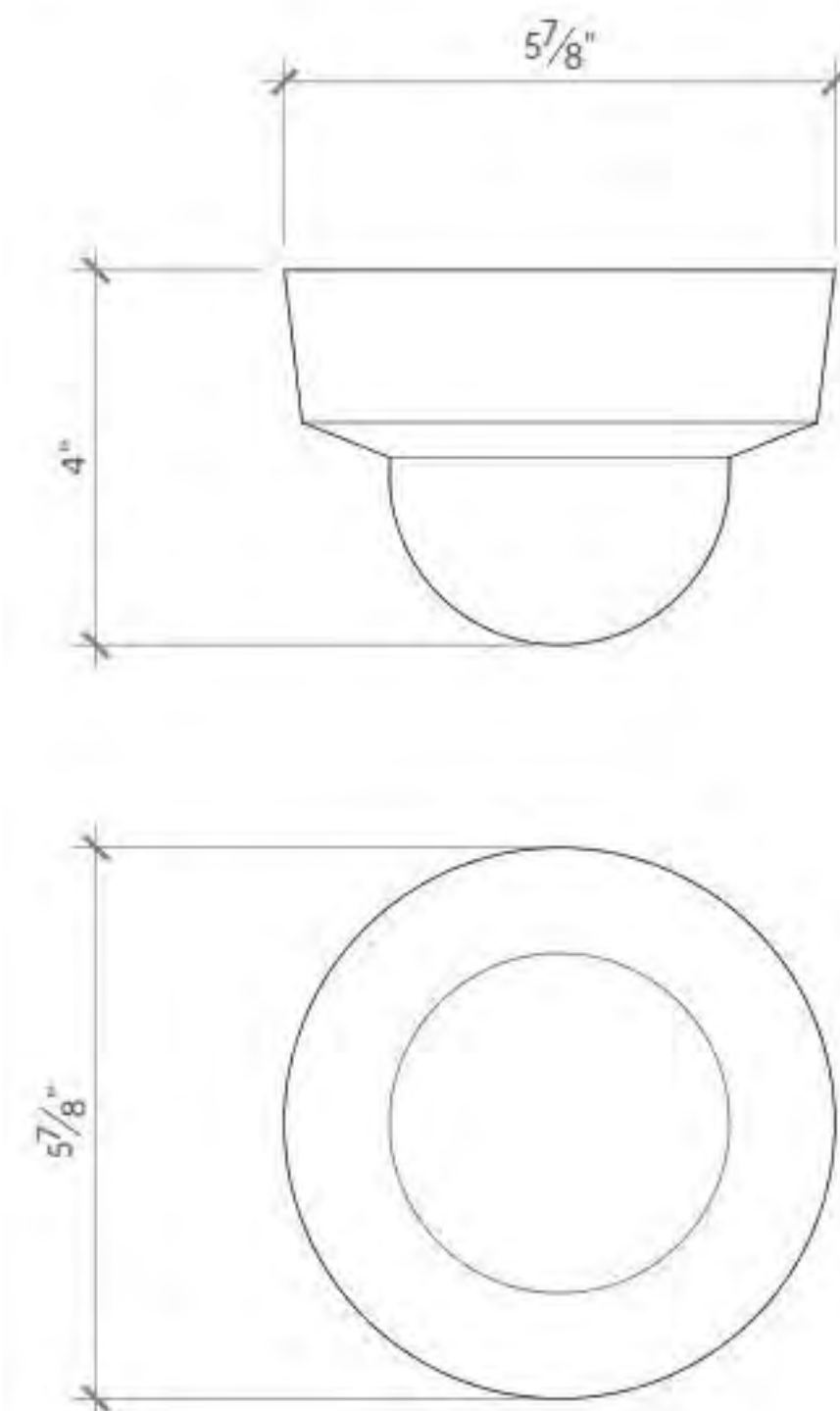


**Darlana Small Tall Bracketed Wall Lantern**  
Item # CHO 2086BZ

Designer: Chapman & Myers

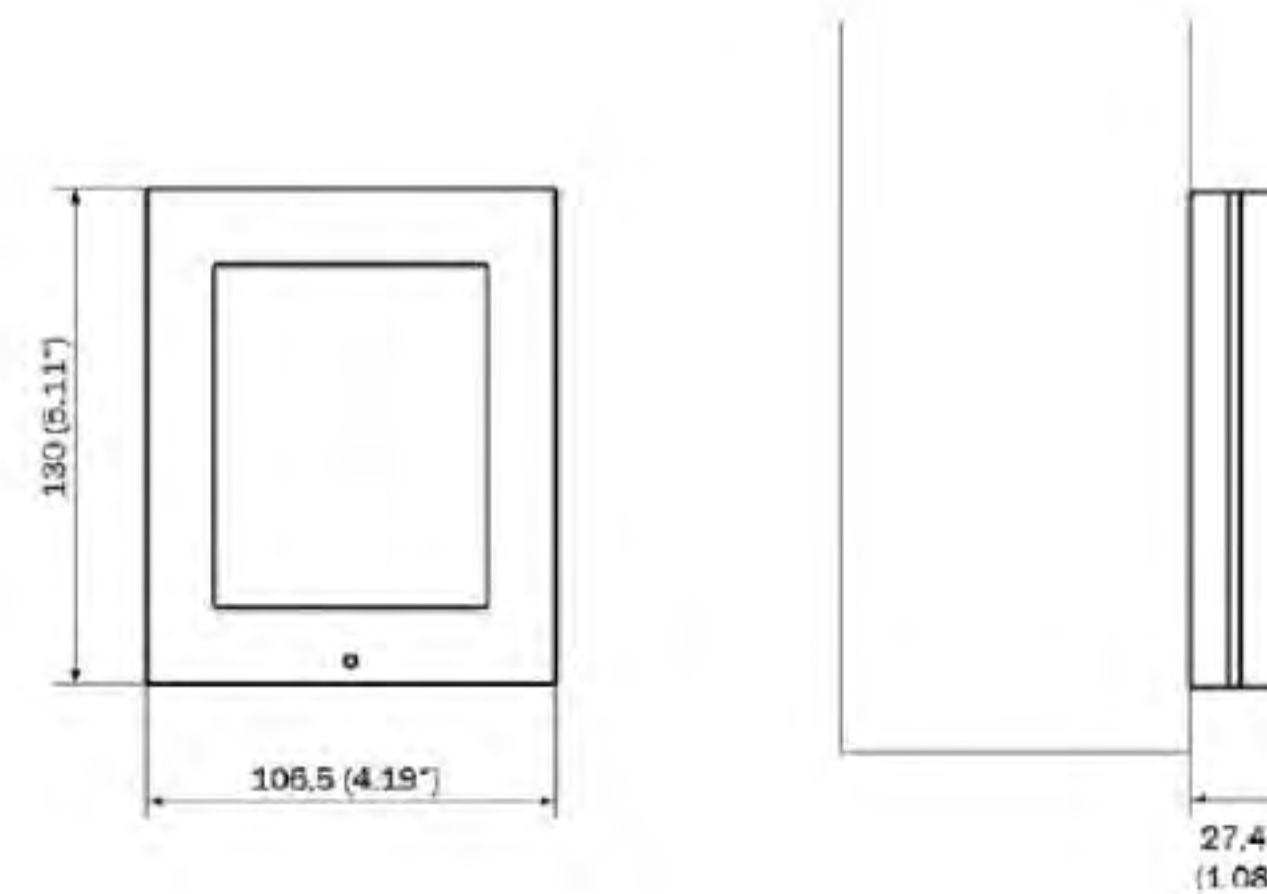
- Height: 21.25"
- Width: 7.5"
- Extension: 9.75"
- Backplate: 4" x 13" Rectangle
- Finishes: BZ
- Glass Options: CG
- Socket: 2 - E12 Candelabra
- Wattage: 2 - 60 C

PROPOSED LIGHT FIXTURE DETAILS  
NOT TO SCALE



overall dimensions  
3.98" X 5.85" X 5.85"

PROPOSED SECURITY CAMERA DETAILS  
NOT TO SCALE (6" = 1'-0" on D size paper)



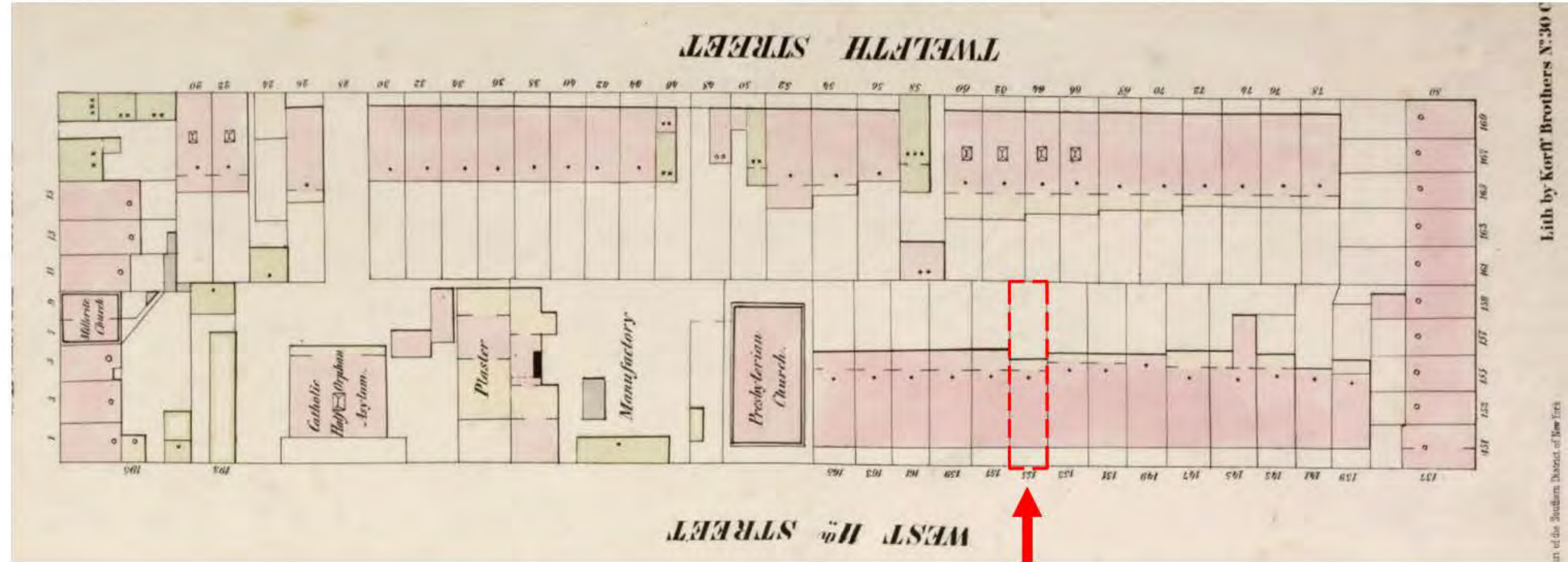
overall dimensions  
5.11" X 4.19" X 1.08"

PROPOSED INTERCOM DETAILS  
NOT TO SCALE (6" = 1'-0" on D size paper)


  
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 CB hearing date 08-13-20 LPC hearing date TBD  
 landmarks preservation commission review  
**L-001T of 32**

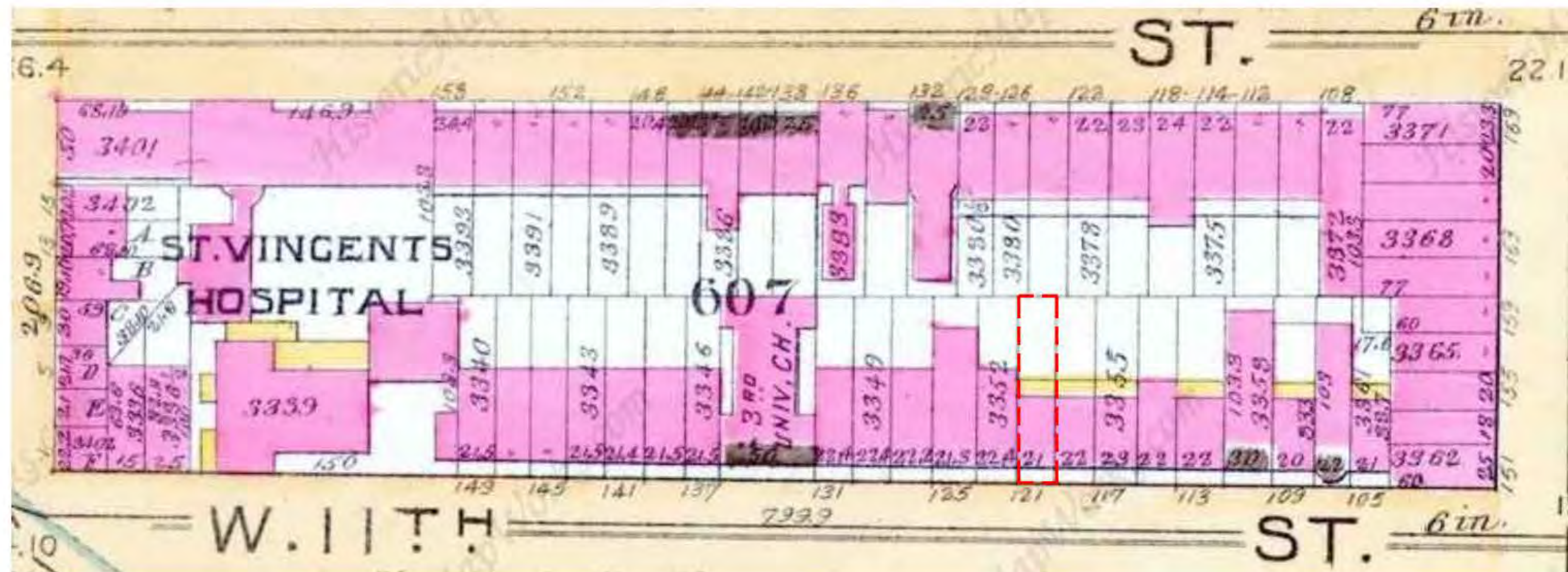


# REAR FACADE EVOLUTION



1857 PERRIS MAP

121 AND FIVE OTHER HOUSES IN ITS ROW HAD WOOD TEA PORCHES AT REAR. ONE HOUSE IN THE ROW HAS A REAR 'EL'



1891 BROMLEY ATLAS

121 AND FIVE OTHER HOUSES IN ITS ROW RETAIN THEIR WOOD TEA PORCHES AT REAR. THREE HOUSES HAVE MASONRY ADDITIONS AT REAR.

JACQUELINE BIL-DUVALLO  
HISTORIC PRESERVATION CONSULTING, LLC

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architecture

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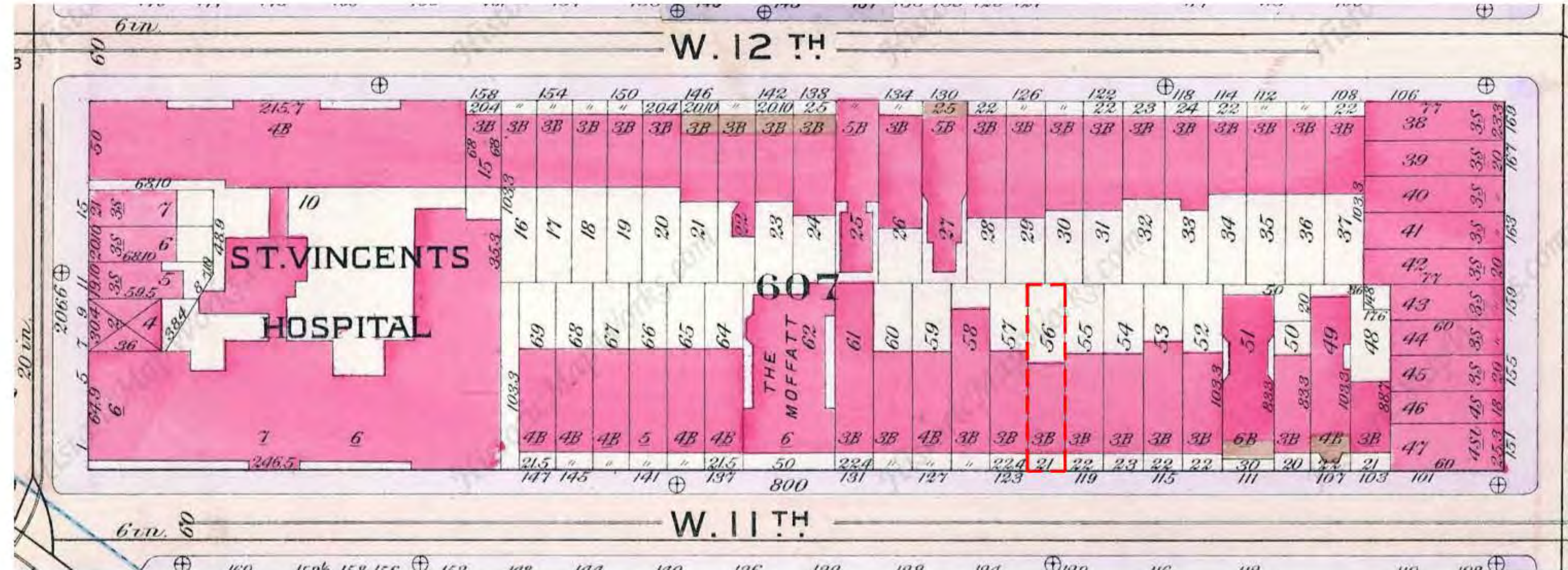
CB hearing date  
 08-13-20

LPC hearing date  
 TBD

landmarks preservation commission review  
 L-001U of 32

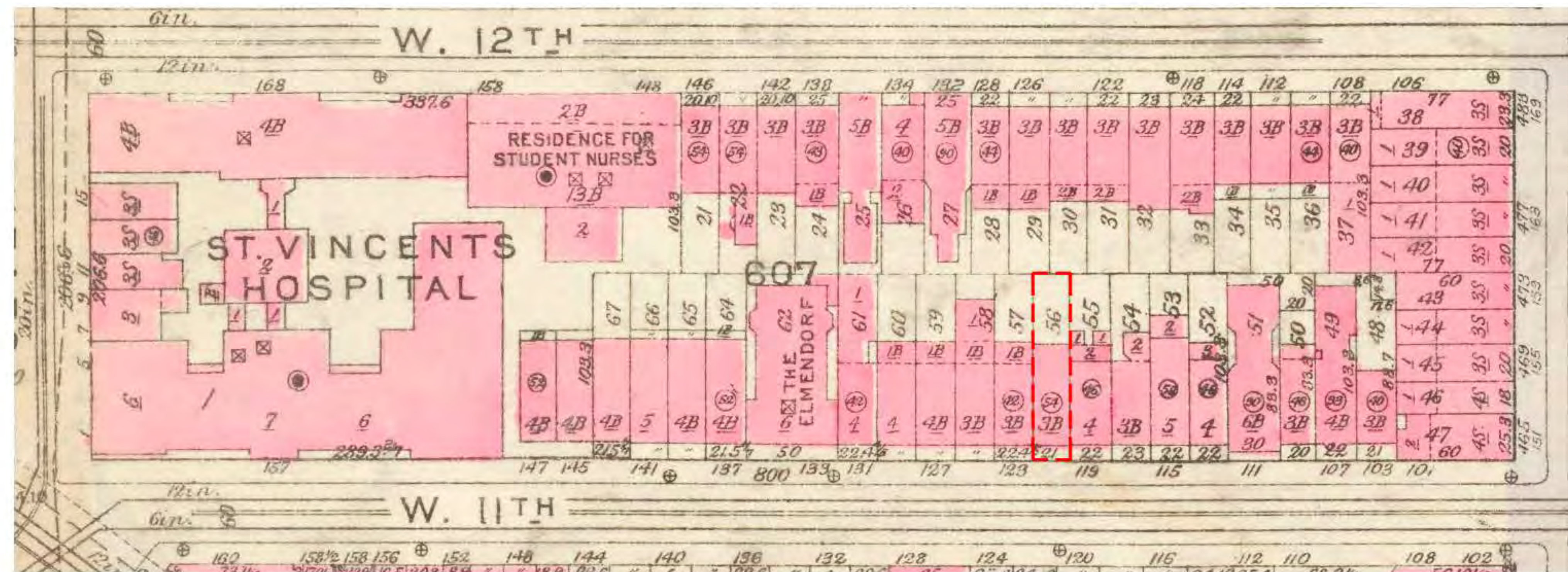


# REAR FACADE EVOLUTION



1915 BROMLEY ATLAS

NO WOOD TEA PORCHES REMAIN AT THE REARS OF ANY HOUSES IN THE ROW. SIX HOUSES HAVE MASONRY ADDITIONS AT REAR.



1930 BROMLEY ATLAS

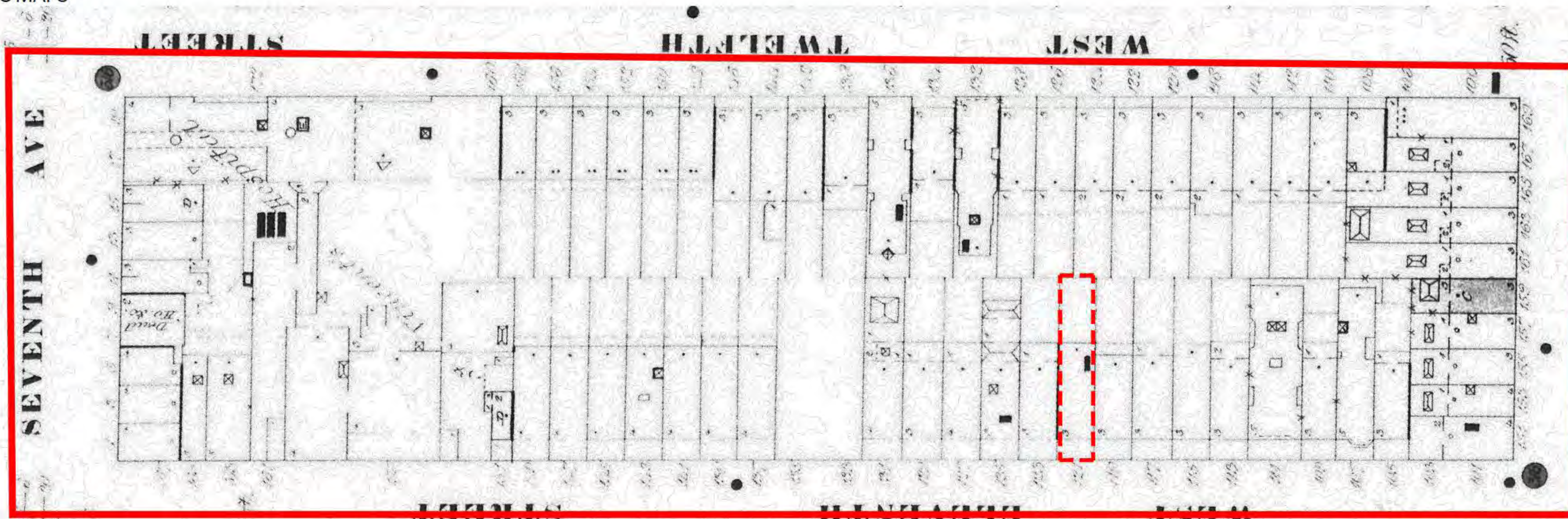
121'S REAR FACADE HAS BEEN PULLED OUT WITH A FULL HEIGHT MASONRY ADDITION, SO THAT ITS REAR NOW ALIGNS WITH THE REAR ADDITIONS OF THE OTHER HOUSES IN ITS ROW. THERE ARE ONE STORY MASONRY ADDITIONS AT 119 AND 117. THERE IS A TWO STORY ADDITION AT 113. THERE IS A FULL HEIGHT ADDITION AT 115. THE HEIGHT OF THE MASONRY ADDITION AT 109 IS NOT SPECIFIED.

  
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**L-001V of 32**

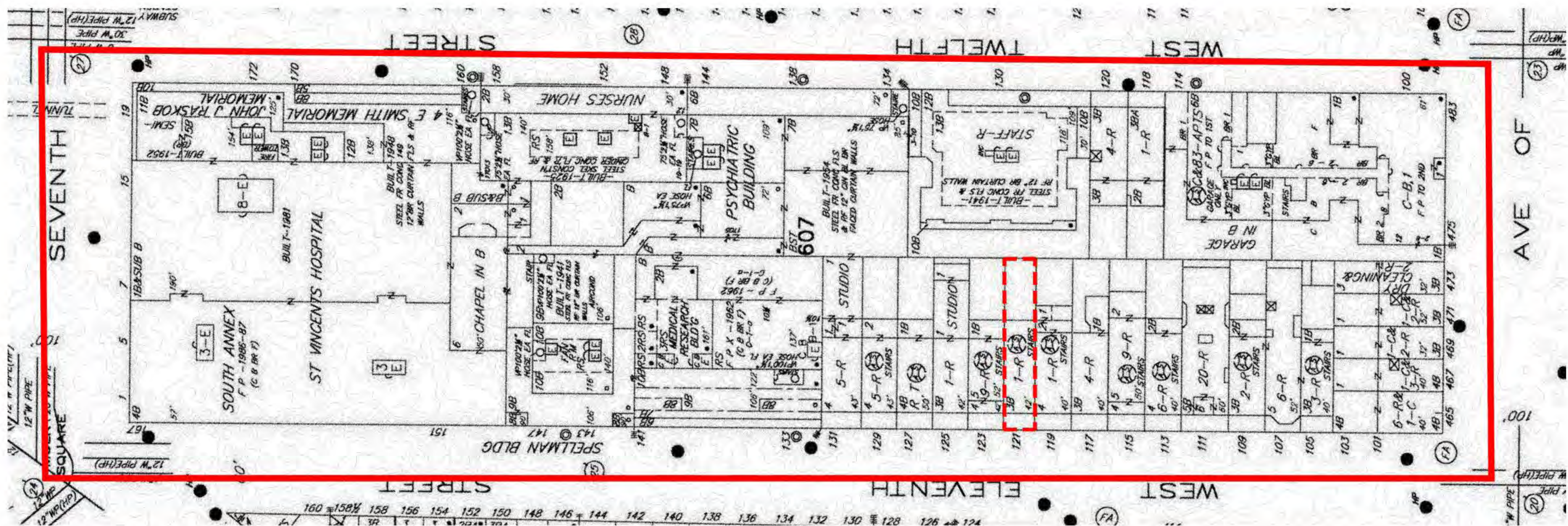


# SITE EVOLUTION

HISTORIC MAPS



1895 CERTIFIED SANBORN MAP  
NOT TO SCALE



2005 CERTIFIED SANBORN MAP  
NOT TO SCALE

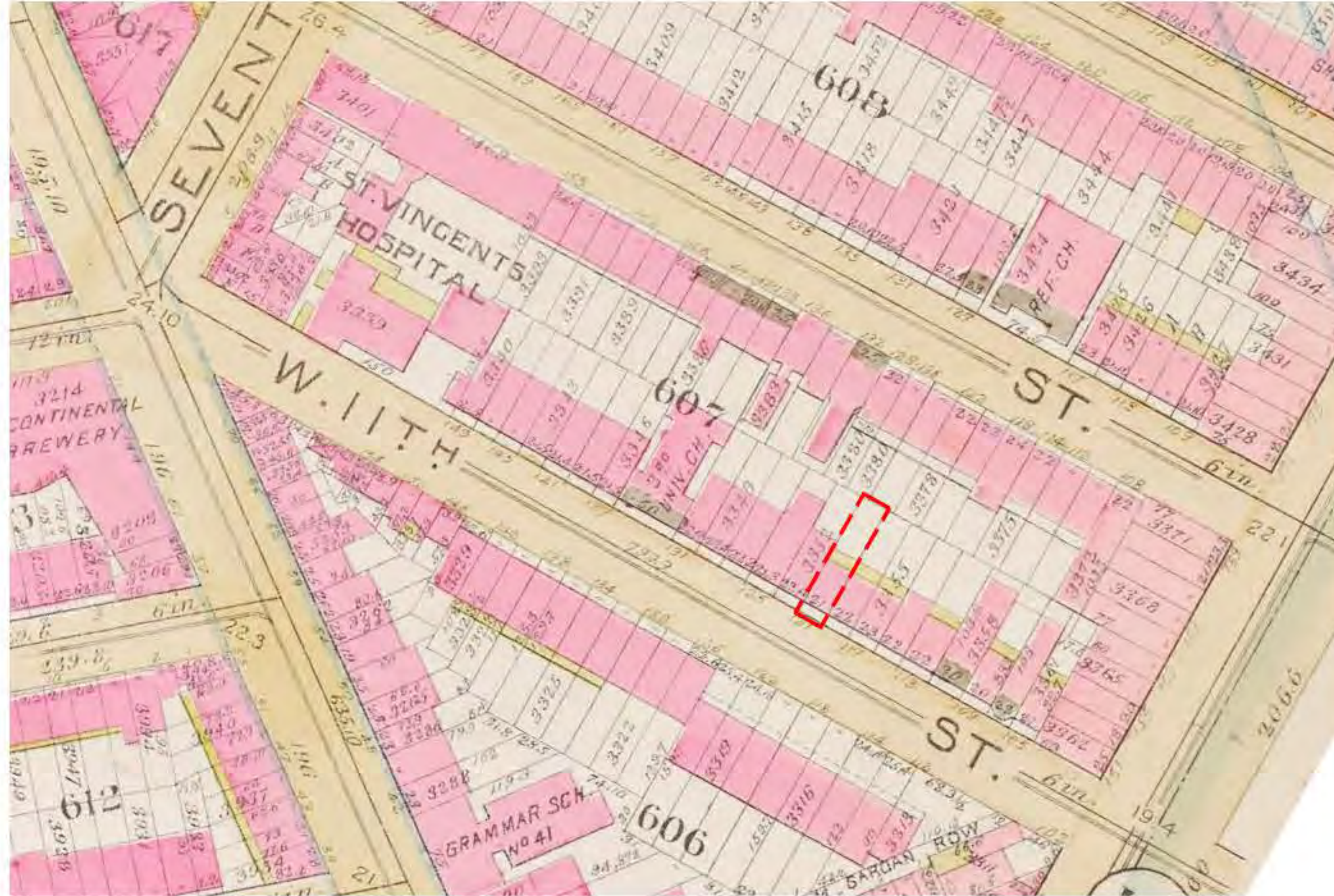
  
 the proposed additions & interior alterations  
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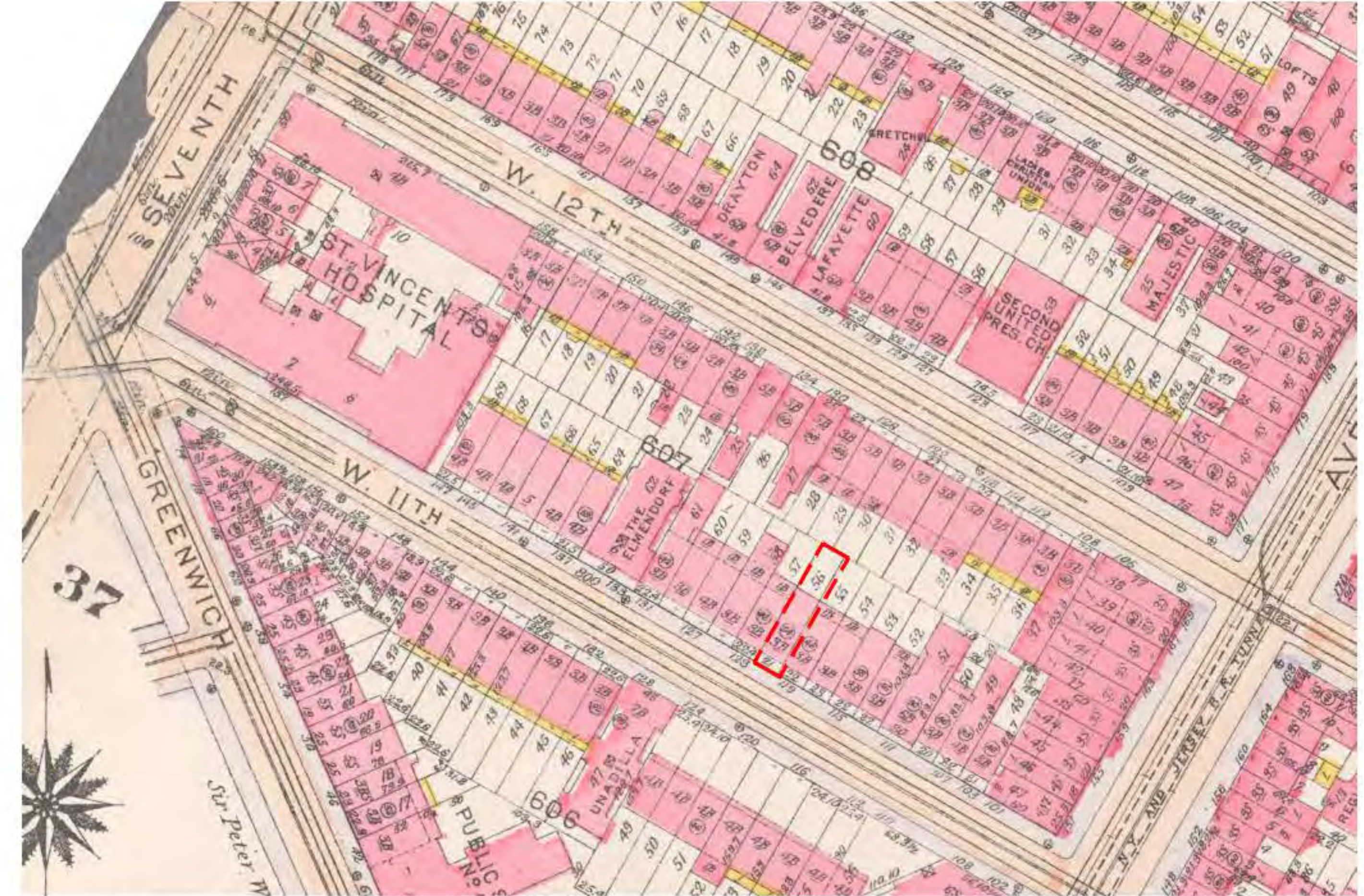


# SITE EVOLUTION

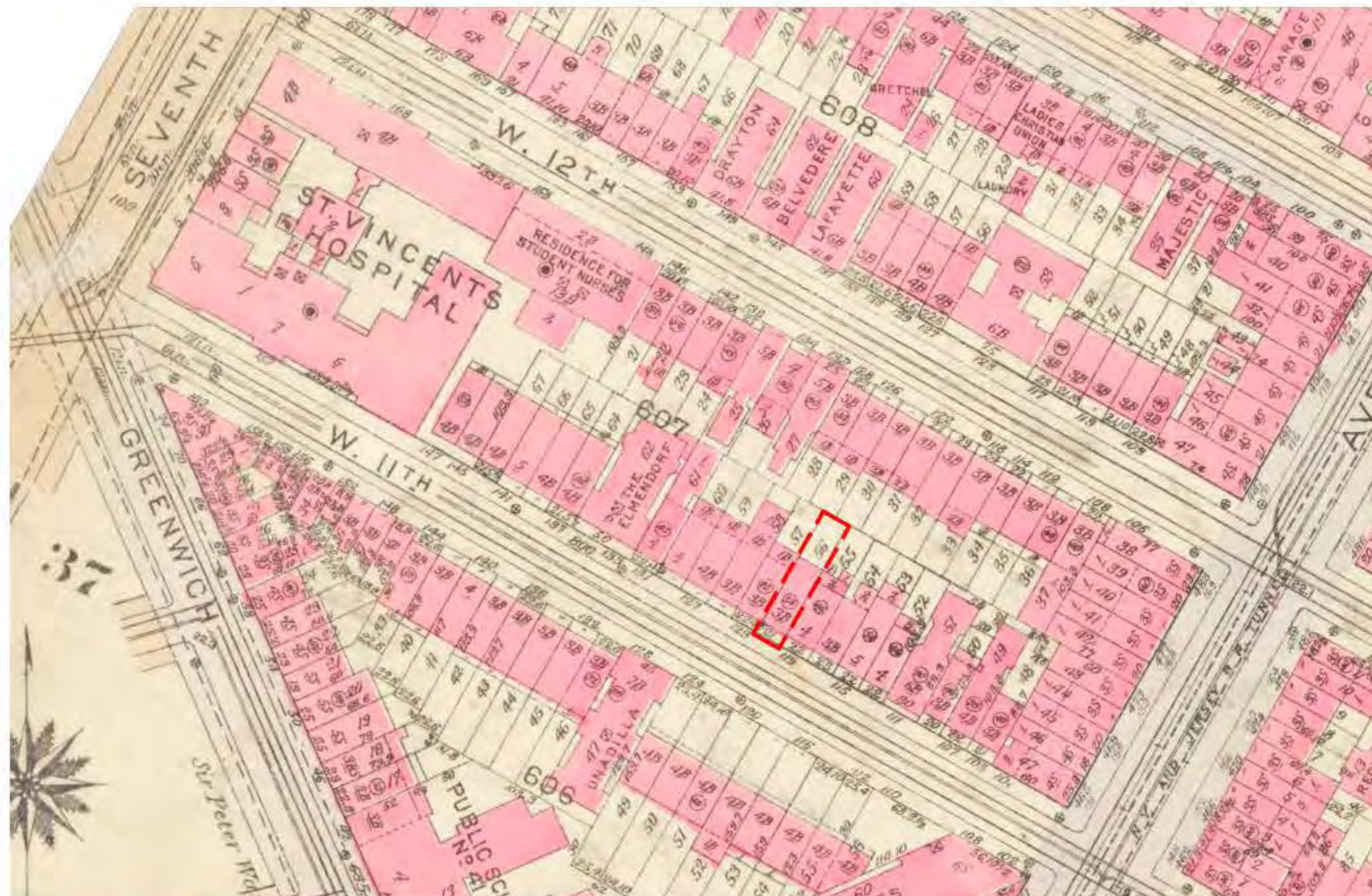
## HISTORIC MAPS



1891 BROMLEY MAP  
NOT TO SCALE



1916 BROMLEY MAP  
NOT TO SCALE

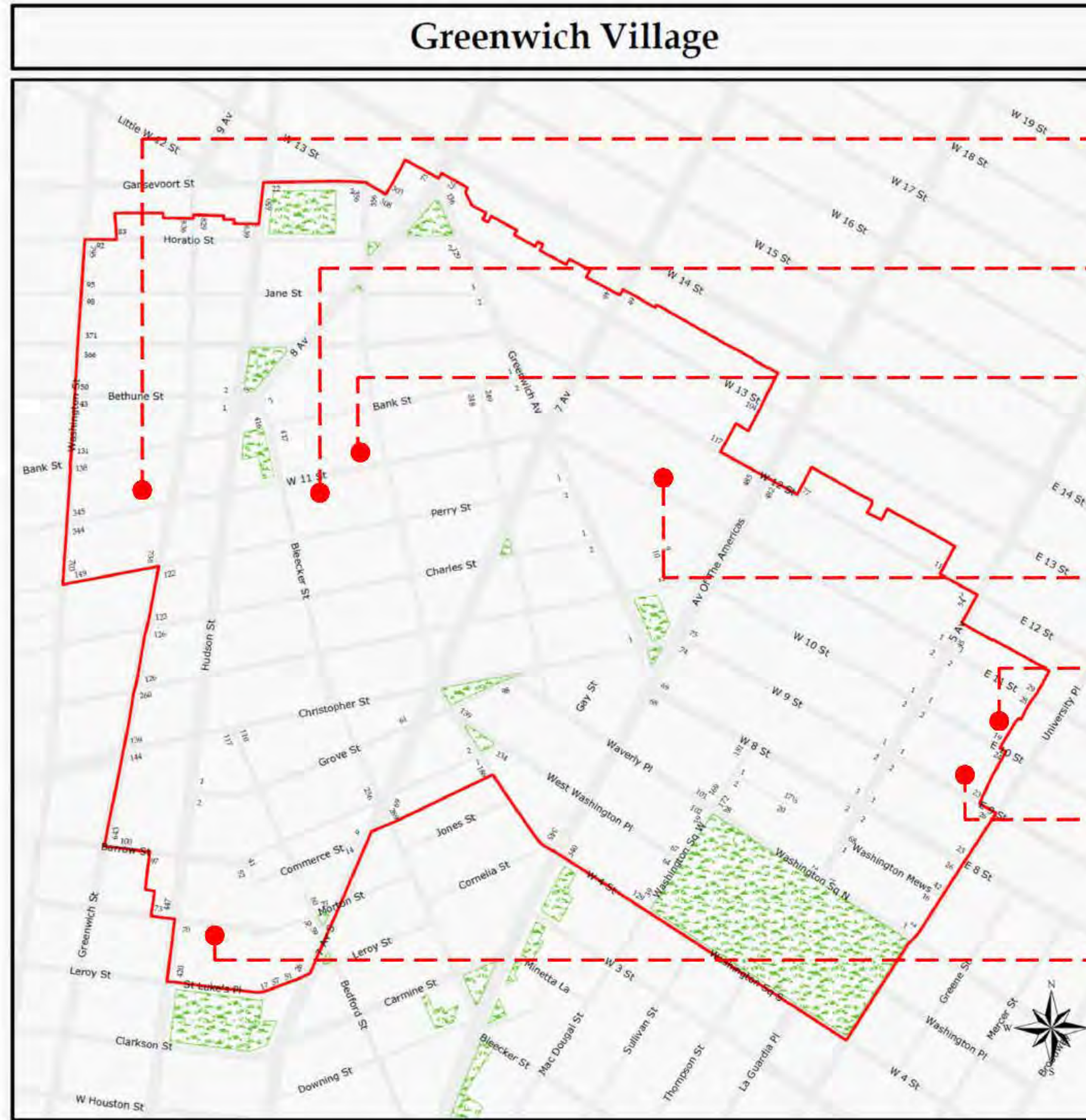


1930 BROMLEY MAP  
NOT TO SCALE

  
 the proposed additions & interior alterations  
 to a single family residential townhouse at  
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**L-001X of 32**



# VISIBLE ROOFTOP ADDITION APPROVALS IN THE GREENWICH VILLAGE HISTORIC DISTRICT



317-319 WEST 11TH STREET  
SUL ISSUED 12/17/19: CofA 20-10165, 7/13/20  
PRESENTATION SHOWED ROOFTOP ADDITION  
WOULD BE VISIBLE FROM THE AVENUE

278 WEST 11TH STREET  
CofA 19-19864, 2/27/18  
PRESENTATION SHOWED ROOFTOP ADDITION  
WOULD BE VISIBLE FROM THE STREET

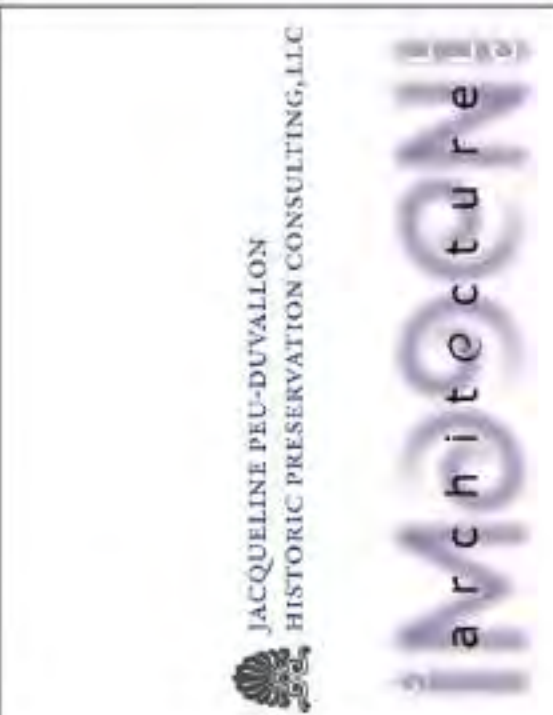
265 WEST 11TH STREET  
SUL ISSUED 10/29/19: CofA 20-04628, 12/27/19  
PRESENTATION SHOWED ROOFTOP ADDITION  
WOULD BE VISIBLE THROUGH AN ALLEY

121 WEST 11TH STREET

27 EAST 11TH STREET  
CofA 15-3162 issued 1/15/14  
PRESENTATION SHOWED THE ROOFTOP ADDITION  
WOULD BE VISIBLE FROM THE CORNER OF UNIVERSITY PLACE

17 EAST 9TH STREET  
SUL issued 10/09/19  
PRESENTATION SHOWED ROOFTOP ADDITION  
WOULD BE VISIBLE FROM UNIVERSITY PLACE

66 MORTON STREET  
CofA 20-00963 issued 8/28/19  
PRESENTATION SHOWED ROOFTOP ADDITION  
WOULD BE VISIBLE FROM THE AVENUE



the proposed additions & interior alterations  
to a single family residential townhouse at  
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greenwich village, manhattan borough  
new york, ny 10011

**IMAGEN architecture LLC**  
architects & associates  
24 west railroad avenue  
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IMAGEN@IMAGENarchitecture.com  
raul g mederos ra ny license 034595

CB hearing date 08-13-20 LPC hearing date TBD

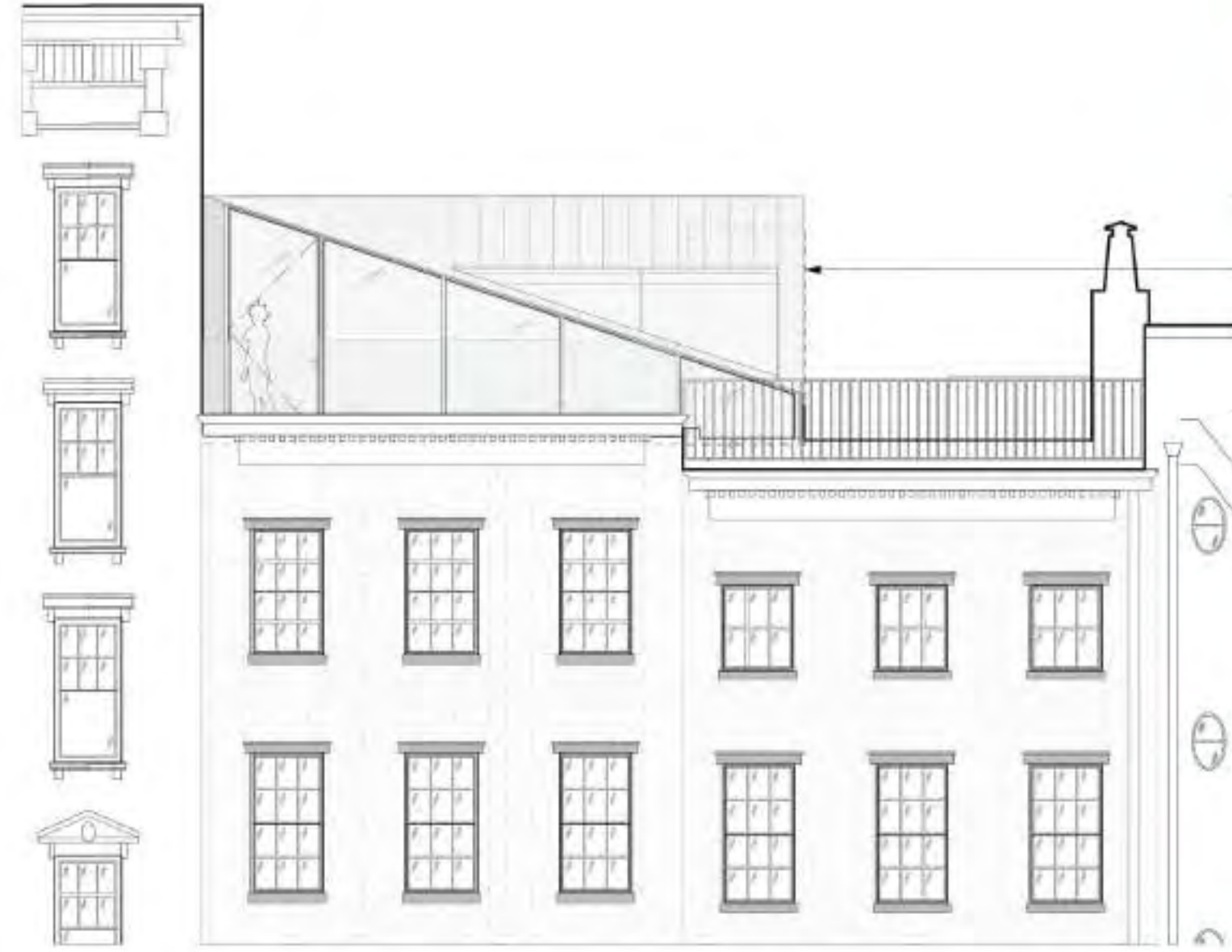
landmarks preservation commission review



# VISIBLE ROOFTOP ADDITION APPROVALS

IN THE GREENWICH VILLAGE HISTORIC DISTRICT

317-319 WEST 11TH STREET  
 SUL ISSUED 12/17/19: CofA 20-10165, 7/13/20  
 PRESENTATION SHOWED THE ROOFTOP ADDITION WOULD BE VISIBLE FROM THE AVENUE



1 PENTHOUSE - PROPOSED SOUTH ELEVATION  
 1/8" = 1'-0"



278 WEST 11TH STREET  
 CofA 19-19864, 2/27/18  
 PRESENTATION SHOWED THE ROOFTOP ADDITION WOULD BE VISIBLE FROM THE STREET



JACQUELINE BIL-DUVALLO  
 HISTORIC PRESERVATION CONSULTING, LLC  
**architect**

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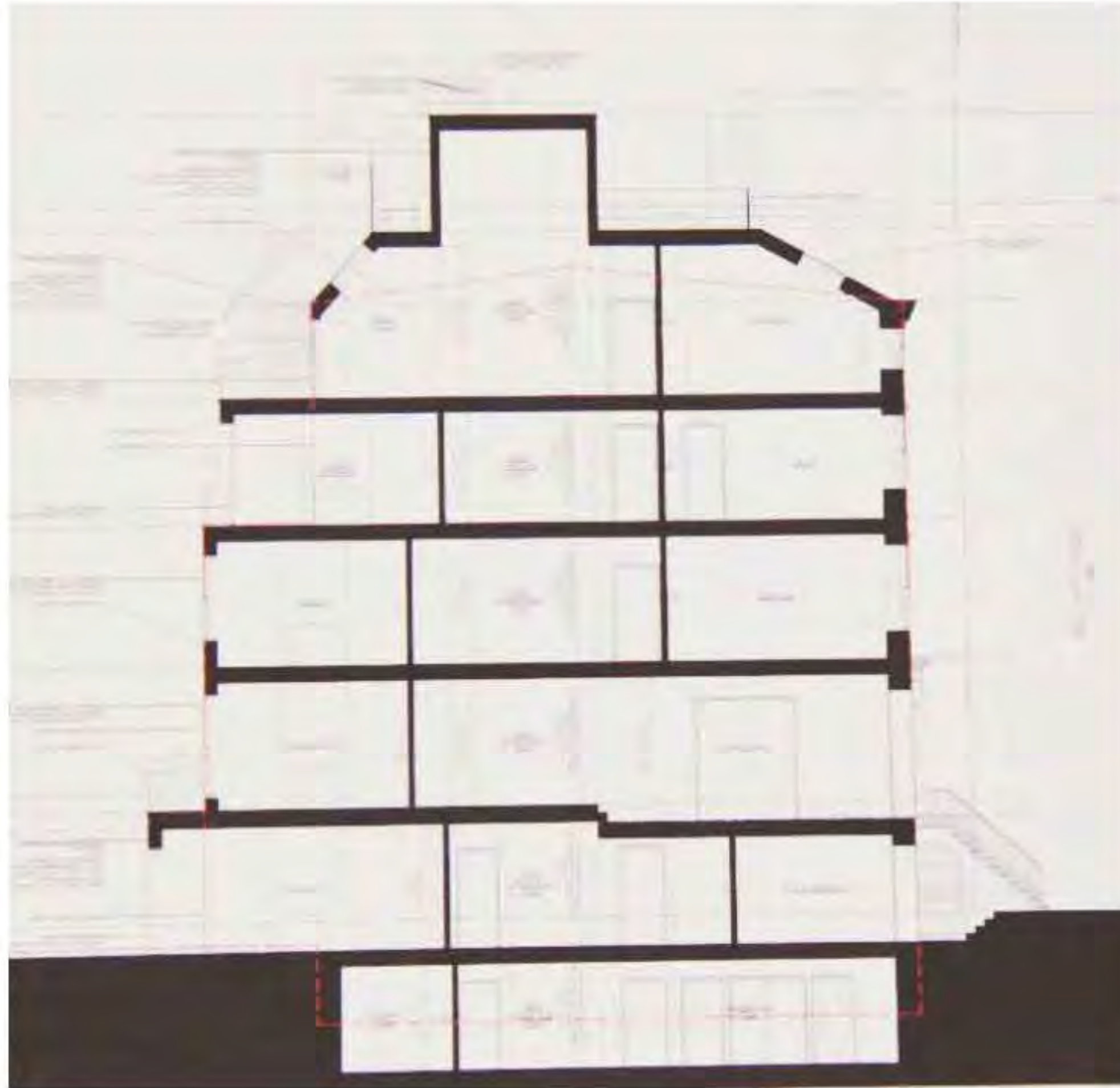
CB hearing date  
**08-13-20** LPC hearing date  
**TBD**

landmarks preservation commission review  
**L-001Z of 32**

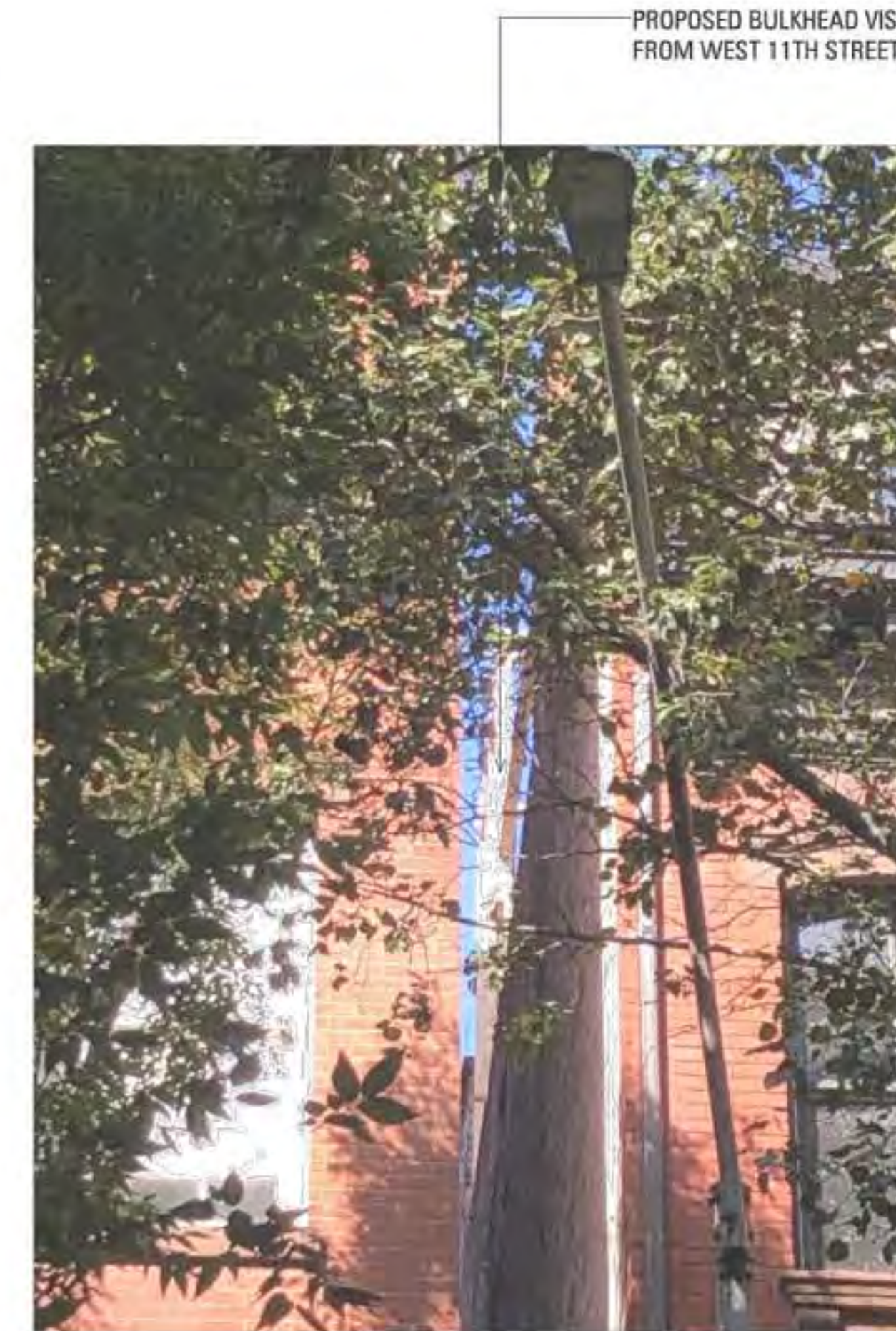


# VISIBLE ROOFTOP ADDITION APPROVALS IN THE GREENWICH VILLAGE HISTORIC DISTRICT

27 EAST 11TH STREET  
CofA 15-3162 issued 1/15/14  
PRESENTATION SHOWED THE ROOFTOP ADDITION  
WOULD BE VISIBLE FROM THE CORNER OF UNIVERSITY PLACE

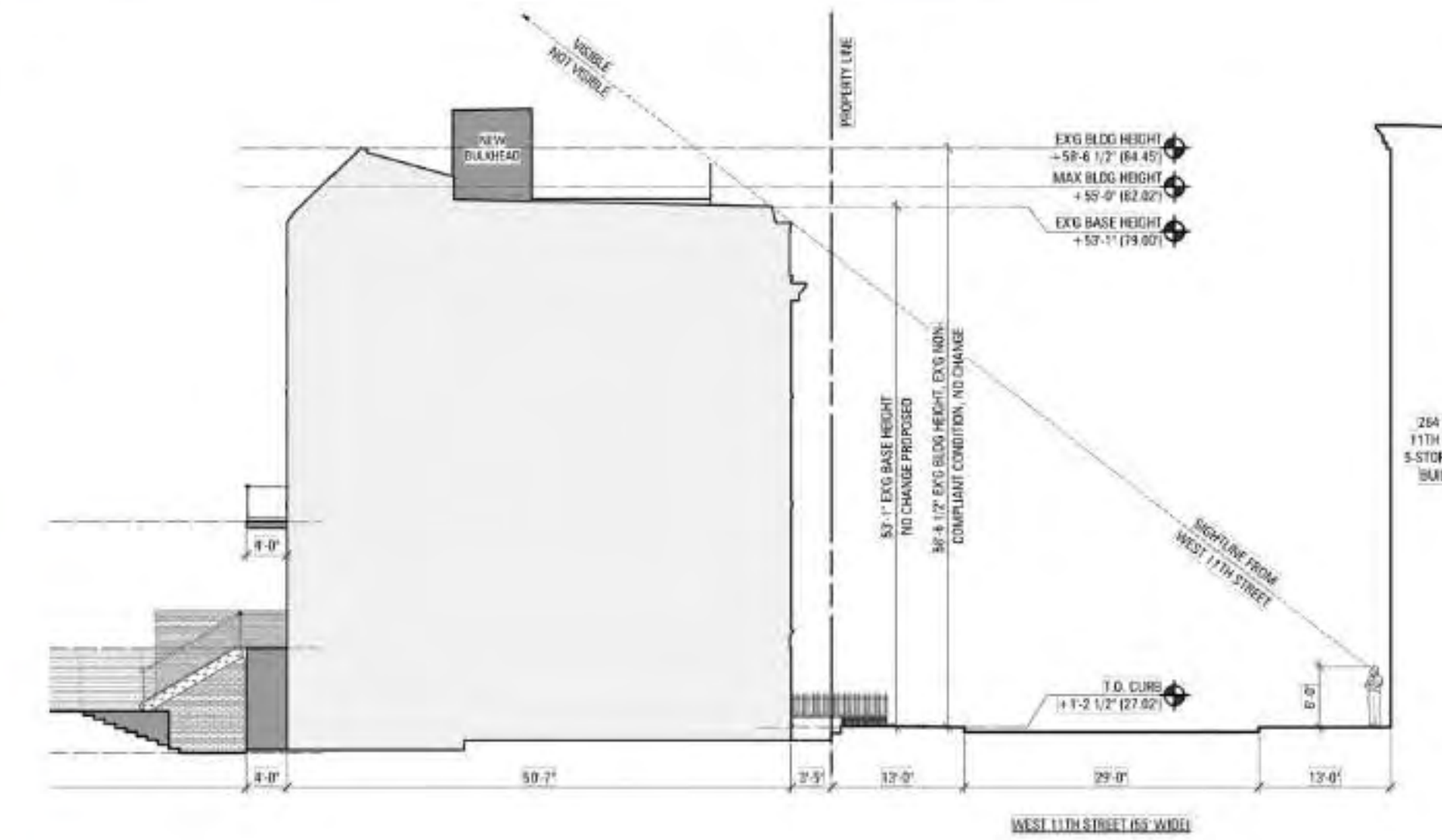


265 WEST 11TH STREET  
SUL ISSUED 10/29/19: CofA 20-04628, 12/27/19  
PRESENTATION SHOWED THE ROOFTOP ADDITION WOULD BE VISIBLE THROUGH AN ALLEY



3. CLOSE-UP PHOTO OF SIGHTLINE FROM WEST 11TH STREET

PROPOSED BULKHEAD VISIBLE FROM WEST 11TH STREET



  
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 landmarks preservation commission review  
**L-001AA of 32**



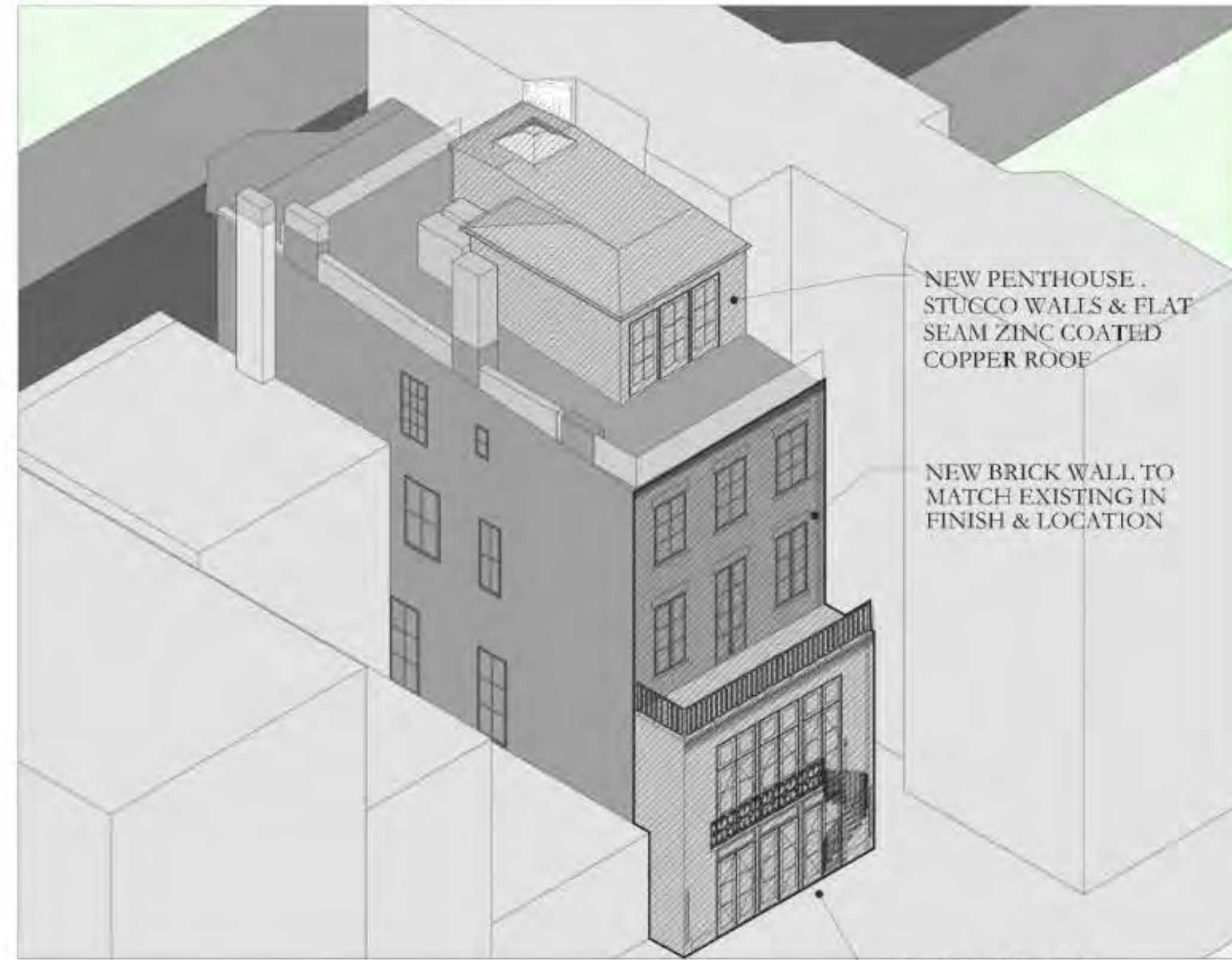
# VISIBLE ROOFTOP ADDITION APPROVALS

IN THE GREENWICH VILLAGE HISTORIC DISTRICT

66 MORTON STREET

CofA 20-00963 issued 8/28/19

PRESENTATION SHOWED THE ROOFTOP ADDITION WOULD BE VISIBLE FROM THE AVENUE



NEW PENTHOUSE .  
STUCCO WALLS & FLAT  
SEAM ZINC COATED  
COPPER ROOF

NEW BRICK WALL TO  
MATCH EXISTING IN  
FINISH & LOCATION

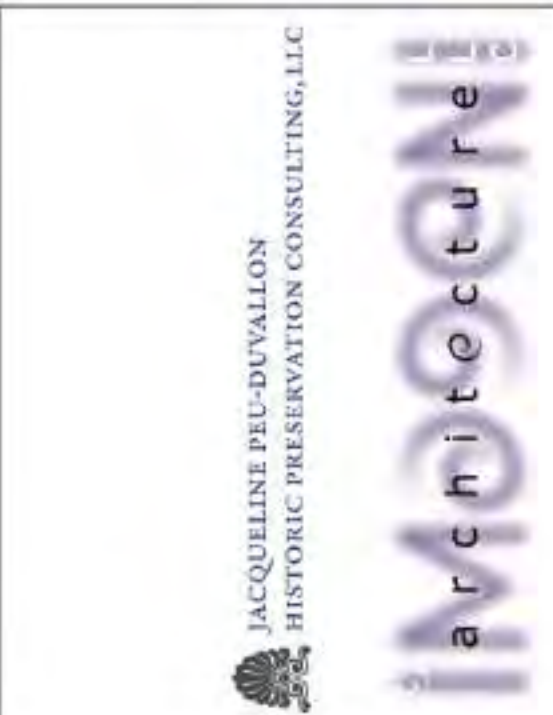
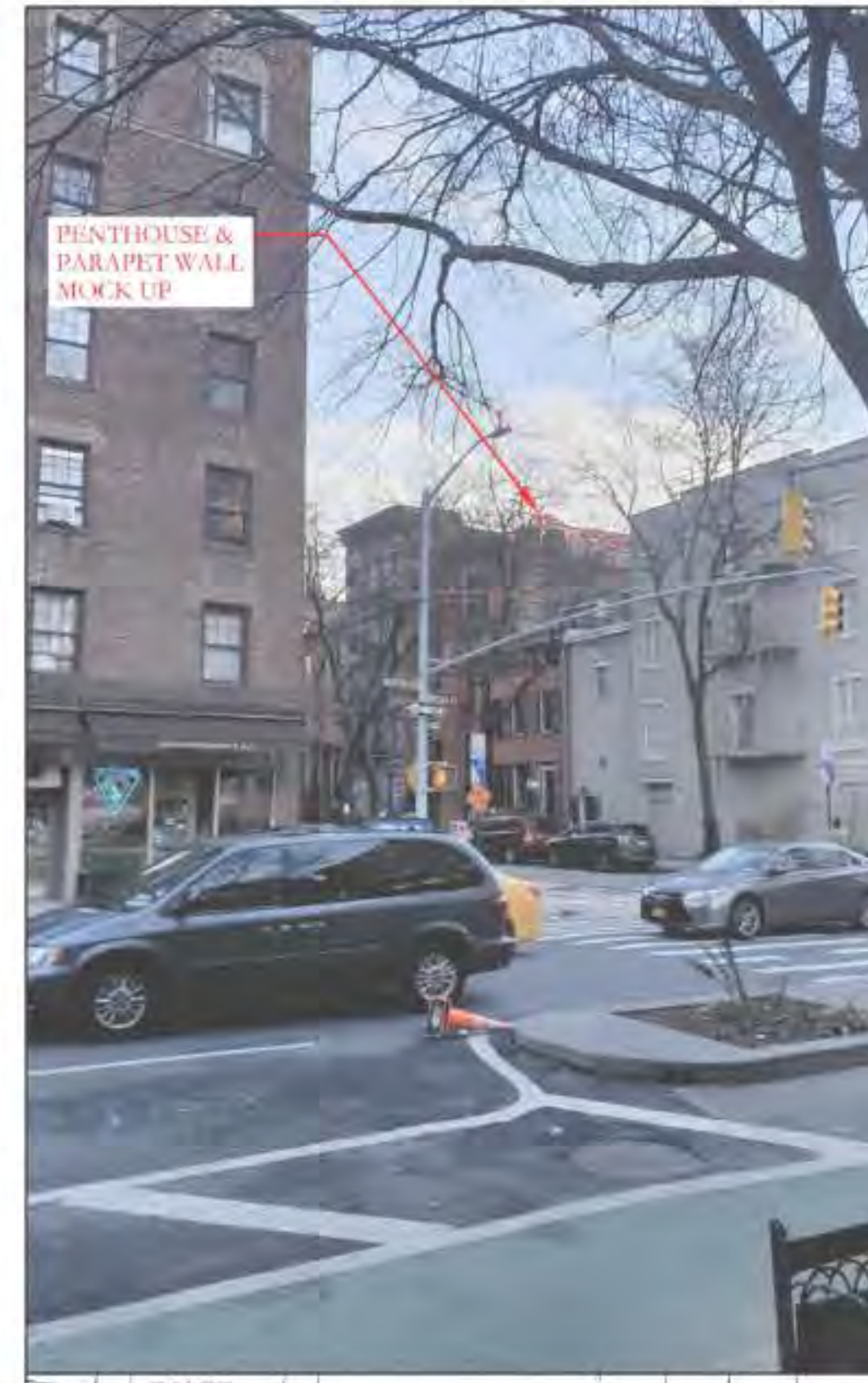
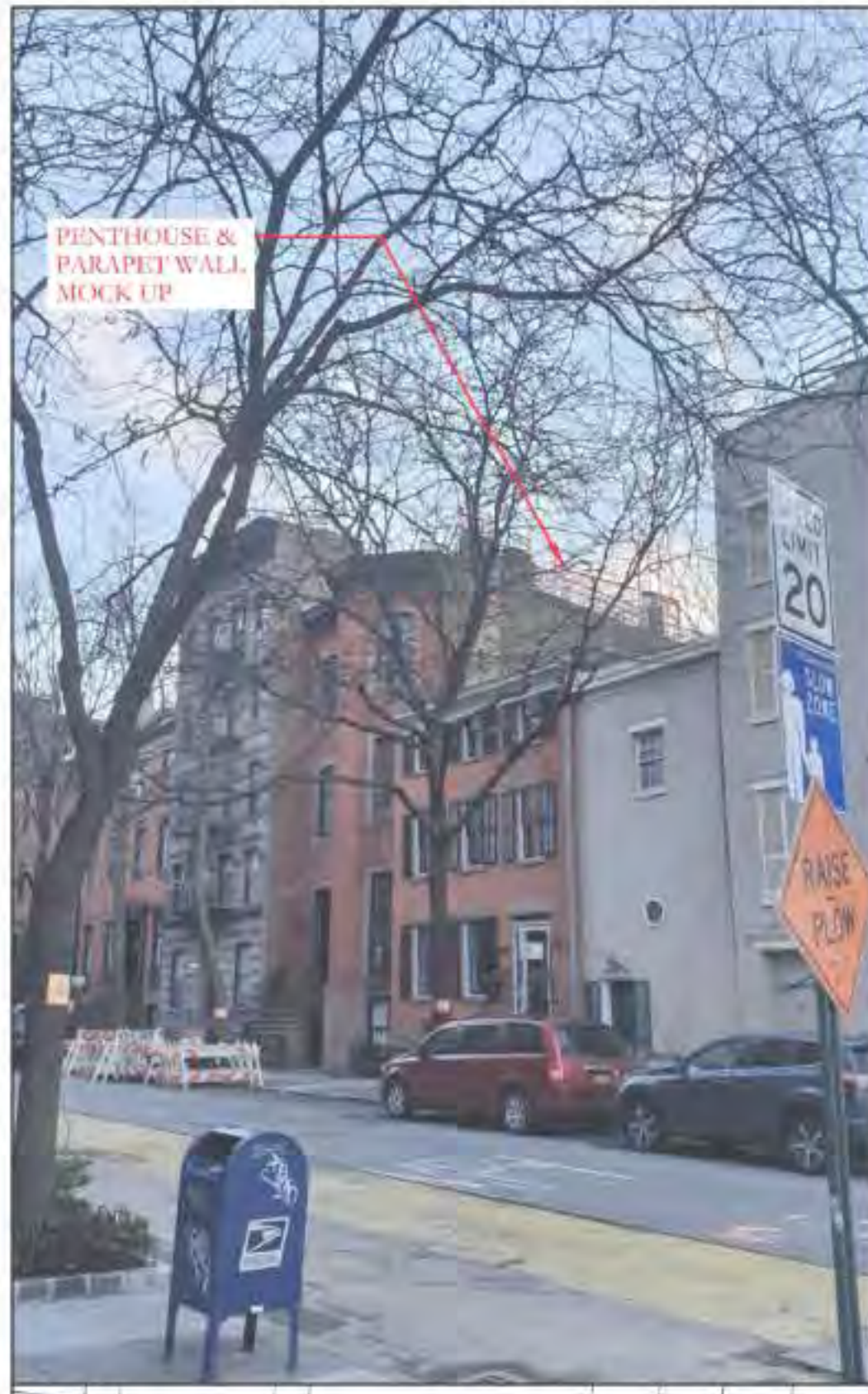
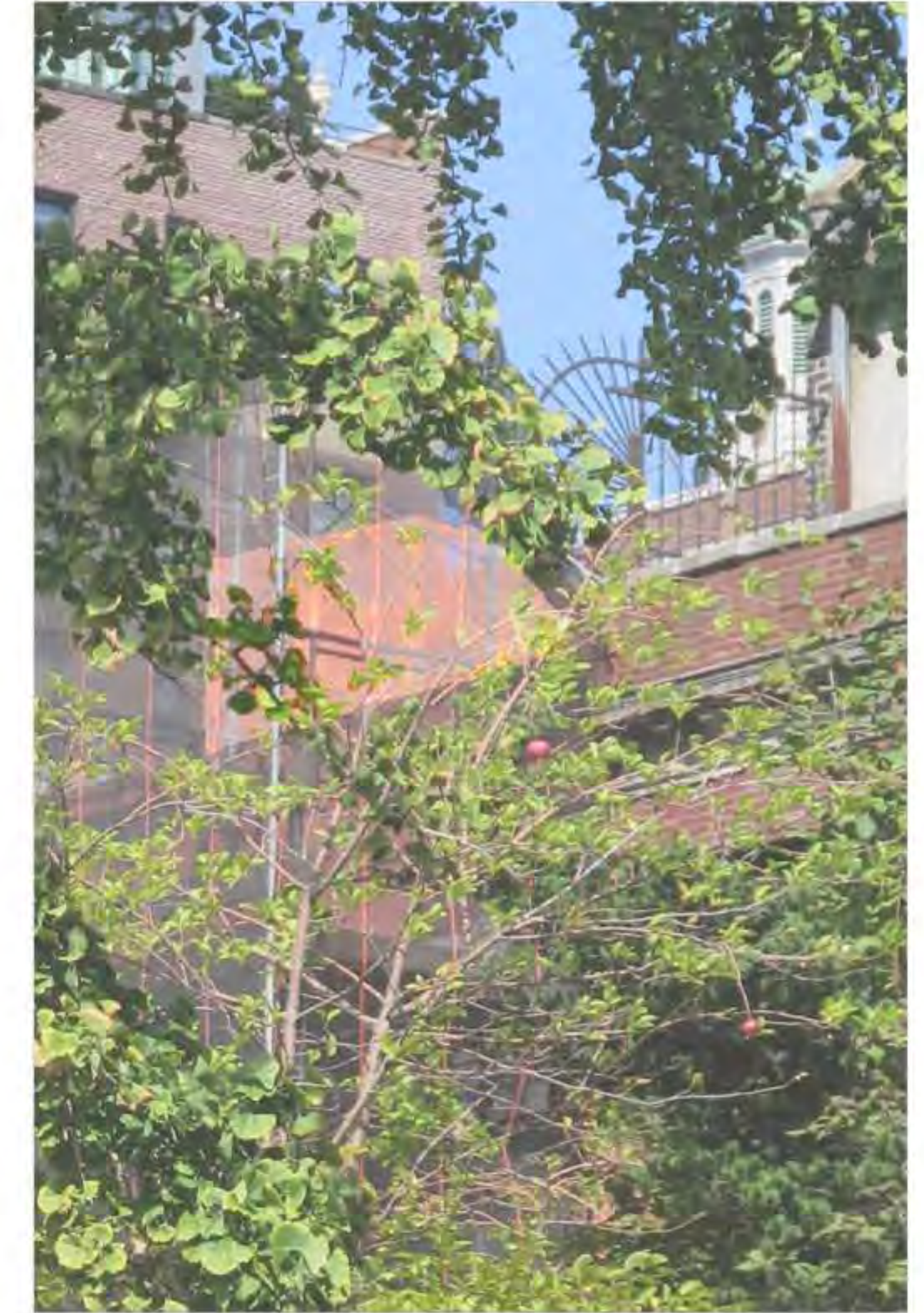
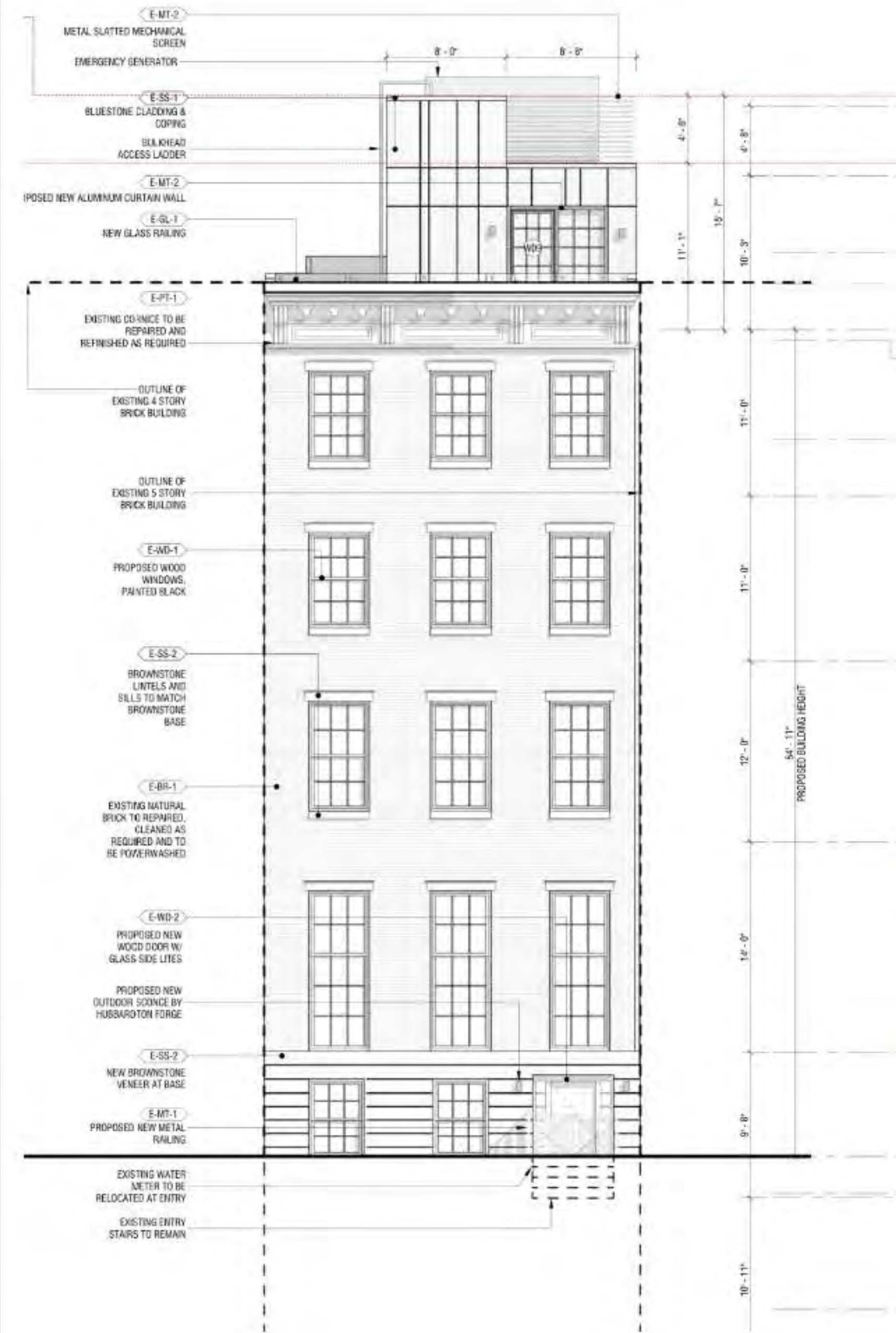
NEW 6'-5 1/2" REAR  
EXTENSION. BRICK  
TO MATCH EXISTING .

02 PROPOSED REAR AXON DIAGRAM  
LC-12 N.T.S.

17 EAST 9TH STREET

SUL issued 10/09/19

PRESENTATION SHOWED THE ROOFTOP ADDITION WOULD BE VISIBLE FROM UNIVERSITY PLACE



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CB hearing date  
**08-13-20** LPC hearing date  
**TBD**

landmarks preservation commission review

**L-001BB of 32**



**VISIBLE ROOFTOP ADDITION APPROVALS  
IN THE GREENWICH VILLAGE HISTORIC DISTRICT**



317-319 WEST 11TH STREET  
(DATE OF PHOTO 08/05/20)



278 WEST 11TH STREET  
(DATE OF PHOTO 08/05/20)



27 EAST 11TH STREET  
(DATE OF PHOTO 08/05/20)



265 WEST 11TH STREET  
(DATE OF PHOTO 08/05/20)



17 EAST 9TH STREET  
(DATE OF PHOTO 08/05/20)



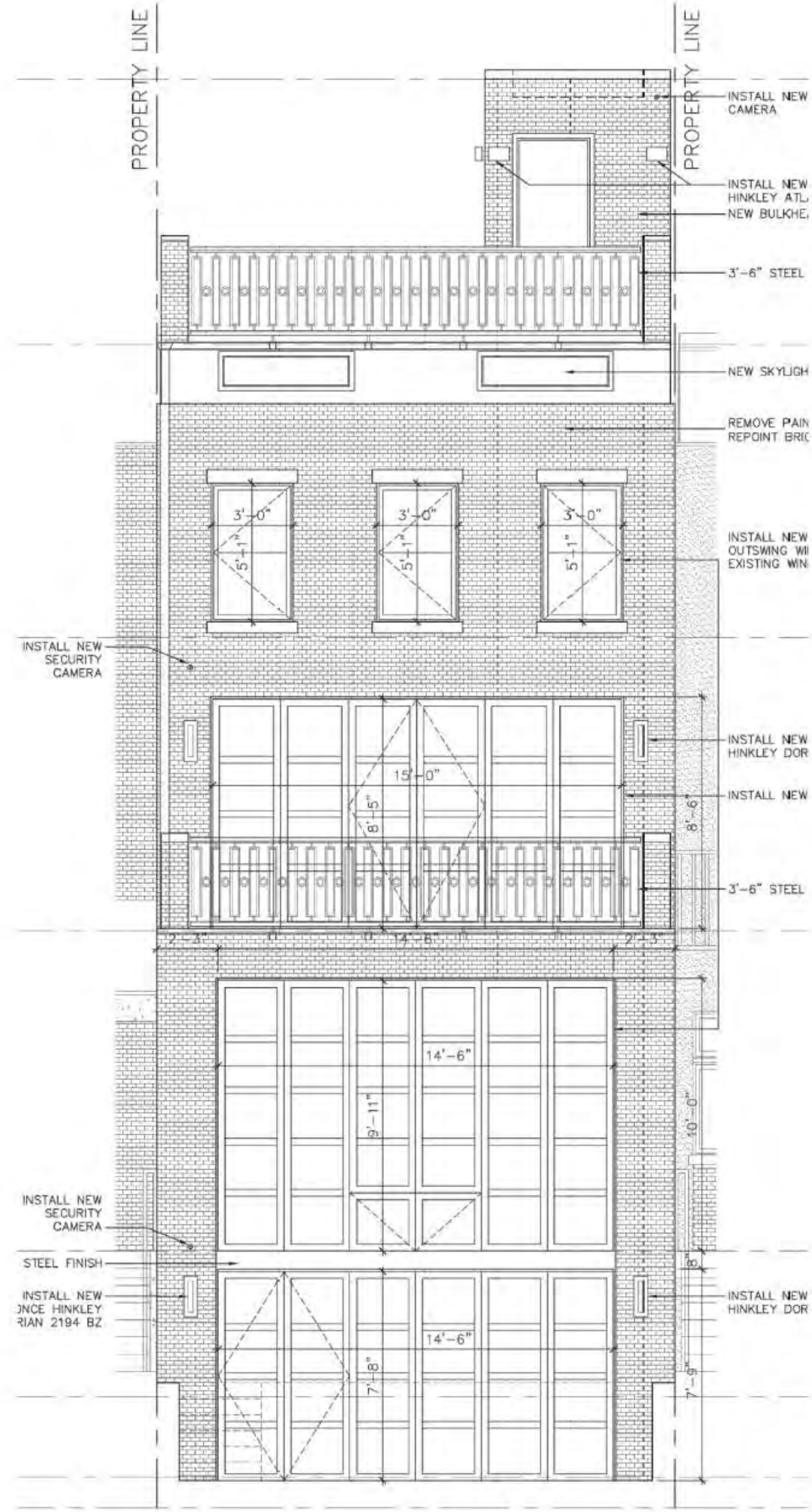
66 MORTON STREET  
(DATE OF PHOTO 08/05/20)

  
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 landmarks preservation commission review  
**L-001CC of 32**



**REAR ADDITION APPROVALS**  
 IN THE GREENWICH VILLAGE HISTORIC DISTRICT

246 WEST 12TH STREET



PROPOSED REAR ELEVATION  
 SCALE: 3/8" = 1'-0"

77 JANE STREET



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CB hearing date **08-13-20** LPC hearing date **TBD**

landmarks preservation commission review  
**L-001DD of 32**



# ROOF

## PHOTOGRAPHS OF EXISTING ROOF CONDITIONS



PHOTO OF REAR CHIMNEY  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE



PHOTO OF SKYLIGHTS, FLUES, AND ROOF HATCH  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE



PHOTO OF SKYLIGHTS, FLUES, HATCH AND WEST PARAPET  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE



PHOTO OF FRONT CHIMNEY  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE



PHOTO OF SKYLIGHTS, FLUES, HATCH AND WEST PARAPET  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE



PHOTO OF SKYLIGHTS, FLUES, AND ROOF HATCH  
(DATE OF PHOTO 09/17/19)  
NOT TO SCALE

  
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**L-001EE of 32**